

LEGEND

BOUNDARY

EXISTING BUILDING/STRUCTURE

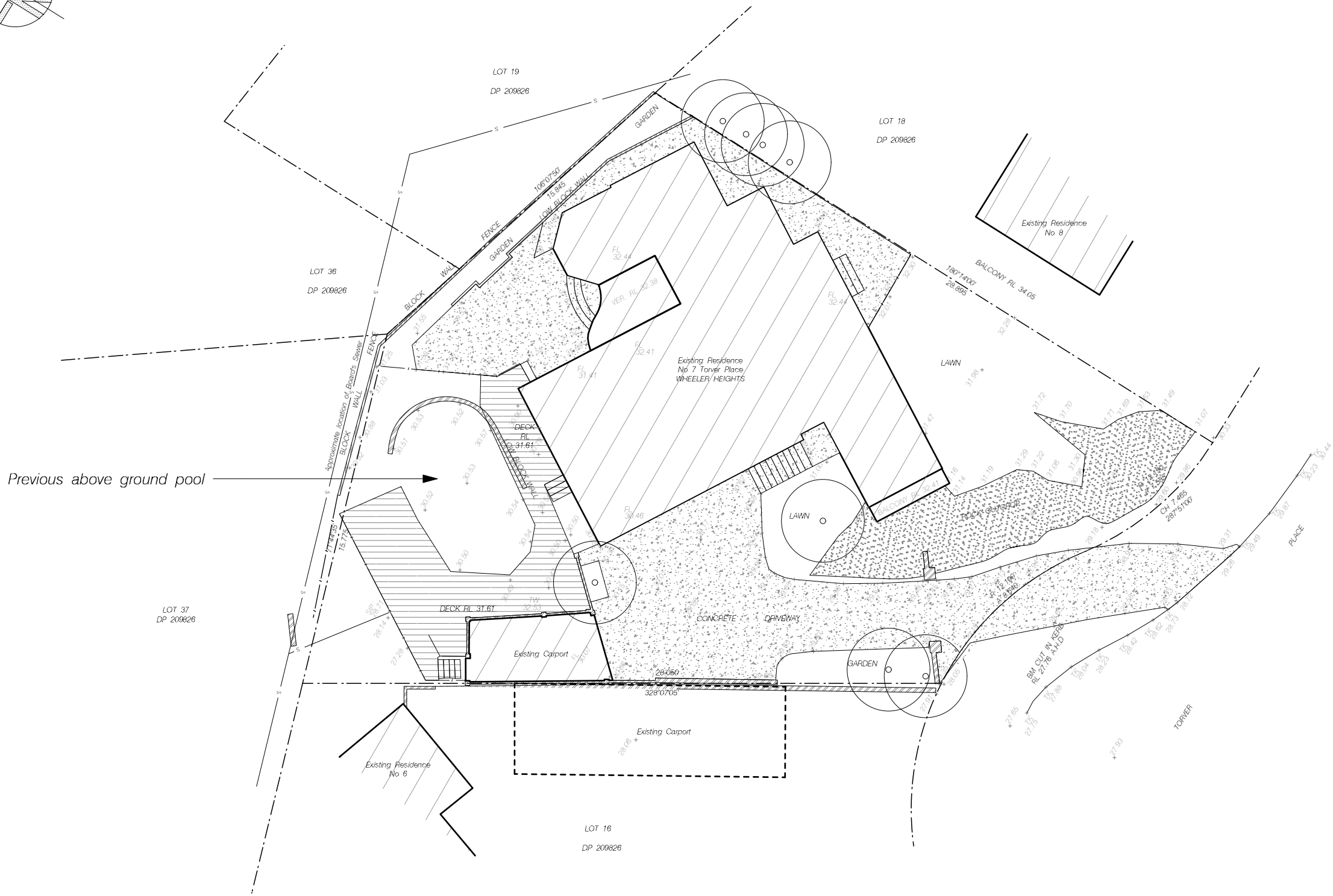
EXISTING DECK

EXISTING PAVING

EXISTING ROCK OUTCROP

EXISTING RETAINING WALL/WALL

EXISTING TREE



SCALE @ ISO A3:1:200

0

1

2

3

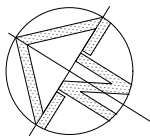
4

5

10

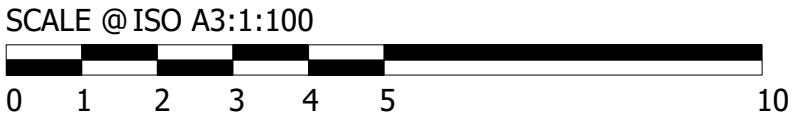
Site information based on survey by Beyond Measure Surveys
dated 28-09-2024
REFER TO SURVEY FOR FULL SITE DETAILS

<div><div>DRAWN BY</div><div>Unit 20 12 Phillip Mall West Pymble 2073 Phone 9440 5451 ABN 97 077 163 663</div><div><div>Fellow of the Landscape Design Institute (Aust) ldi.org.au</div></div></div> <div><div><div>outside</div><div>LIVING</div></div><div><div>bi</div><div>Landscape Design Institute</div><div>Professional Member</div></div></div>	<div>NOTES TO THE PLAN</div> <div>THIS PLAN IS TO BE READ AS PART OF A COMPLETE SET OF DRAWINGS RELATING TO THE PROPOSED DEVELOPMENT</div> <div>THIS PLAN RELATES TO A SPECIFIC DEVELOPMENT INFORMATION RELATING TO THE DEVELOPMENT NEEDS TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION</div> <div>ALL MEASUREMENTS ARE IN MILLIMETRES UNLESS OTHERWISE INDICATED</div>	<div>CLIENT</div> <div>Sarah and Craig Stewart</div> <div>SITE</div> <div>7 Torver Pl WHEELER HEIGHTS</div>	<div>DRAWING</div> <div>SITE PLAN EXISTING</div> <div>PROJECT</div> <div>New pool and deck</div>	<div>Date of Issue</div> <div>A 15/04/2025</div> <div>B 30/04/2025</div> <div>C 15/05/2025</div>	<div>JOB No</div> <div>25-09</div>
					<div>ISSUE</div> <div>C</div>
					<div>DWG No</div> <div>Sht-1</div>

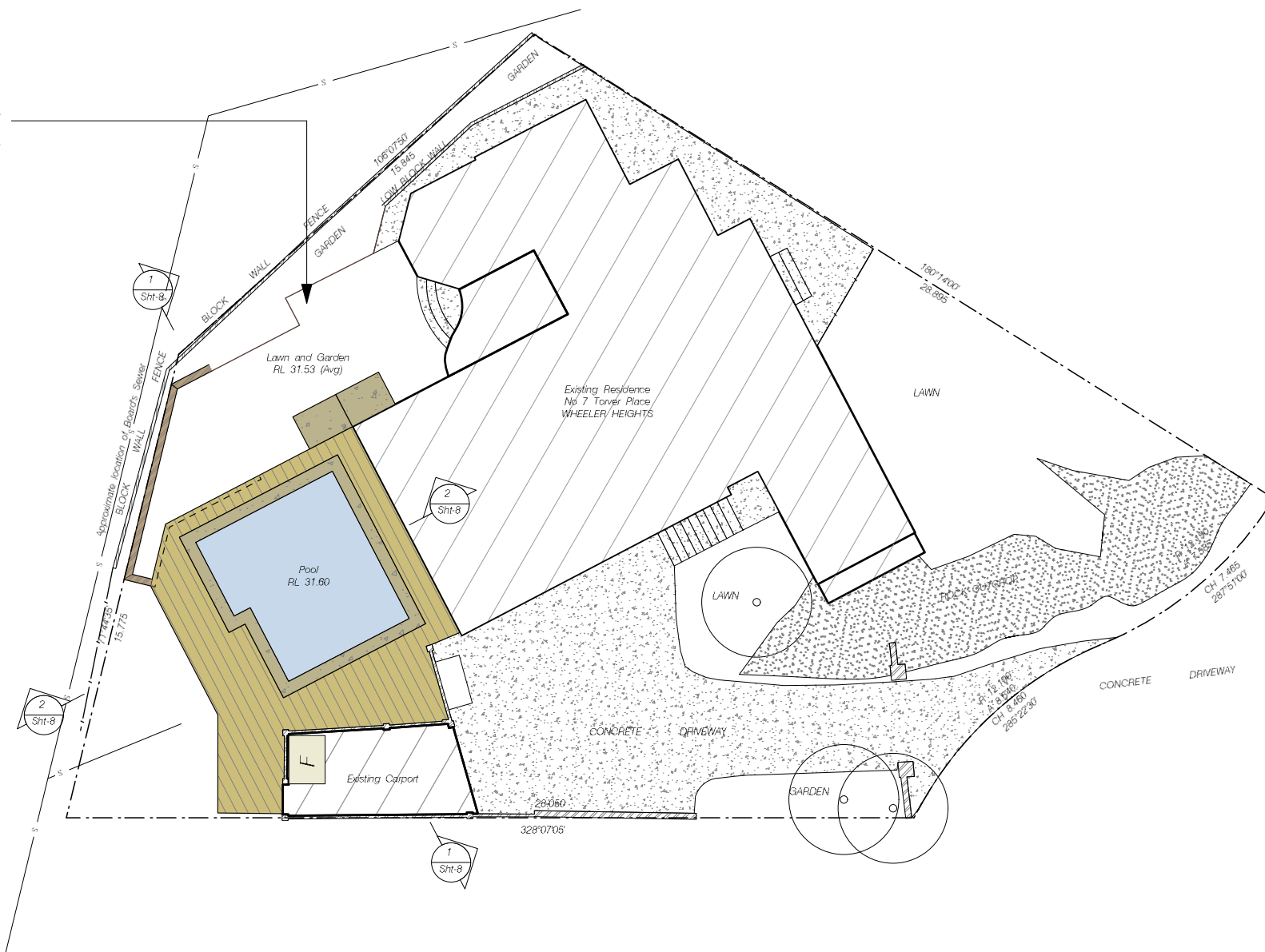


LEGEND

- BOUNDARY
- EXISTING BUILDING/STRUCTURE
- EXISTING DECK
- EXISTING PAVING
- EXISTING ROCK OUTCROP
- EXISTING RETAINING WALL/WALL
- EXISTING TREE



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					<div><div>ISSUE</div><div>C</div></div>
					<div><div>DWG No</div><div>Sht-2</div></div>



	BOUNDARY
	EXISTING BUILDING
	PROPOSED DECK
	EXISTING PAVING
	PROPOSED PAVING
	PROPOSED POOL
	EXISTING RETAINING WALL/WALL
	PROPOSED RETAINING WALL/WALL
	EXISTING TREE RETAIN

1. *All dimensions to be verified prior to commencement by the builder. Any discrepancies are to be resolved with the designer.*
2. *All structural work to engineer's detail.*
3. *Levels shown are indicative (unless provided by a registered surveyor).*
4. *All services are to be located and verified prior to commencement of building work.*
5. *Stormwater is to be connected to the kerb and gutter system via the existing stormwater drainage pipes. Installation of any new drainage components are to be installed by a licensed contractor as per AS681136 and BCA Requirements.*
6. *Materials and workmanship to comply with the provisions of the National Construction Industry Code, relevant Australian Standards and the requirements of Local Government Authority.*
7. *The Structure is to be maintained in a stable condition during construction.*

F SOUND PROOF FILTER BOX

IDENTIFY & MARK THE LOCATION OF ALL ABOVE & BELOW GROUND SERVICES PRIOR TO COMMENCING ANY WORK. TAKE ALL REQUIRED PRECAUTIONS TO PREVENT DAMAGE TO SERVICES

POOL OVERFLOW TO BE PUMPED TO SEWER TO
COUNCIL'S & SYDNEY WATER'S REQUIREMENTS

SEE PART SITE PLAN FOR MORE DETAIL

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NOTES TO THE PLAN	
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CLIENT

Sarah and Craig Stewart

SITE

7 Torver Pl
WHEELER HEIGHTS

DRAWING

SITE PLAN

PROJECT

New pool and deck

	Date of Issue
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A 15/04/2025

B 30/04/2025

C 15/05/2025

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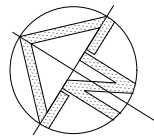
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ISSUE

C

	DWG No
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Sht-3



Existing palm retained
Revitalise with new underplanting

Lawn follows existing grade, and
increases Landscaped Open
Space

New garden edge to replace
existing
H: to 560

Lawn and garden areas

New retaining wall to create
extended level lawn
TOW: 31.56
H: to 1000

New deck
RL 31.80

Retain step access to carport

1
Sht-8

2
Sht-8

1
Sht-8

SCALE @ ISO A3:1:100



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SITE

7 Torver Pl
WHEELER HEIGHTS

DRAWING

PART SITE PLAN

PROJECT

New pool and deck

Date of Issue

A 15/04/2025

B 30/04/2025

C 15/05/2025

JOB No

25-09

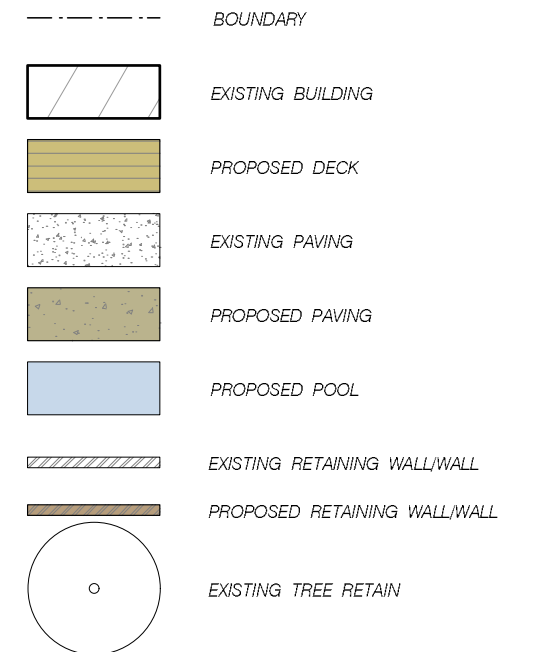
ISSUE

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DWG No

Sht-4

LEGEND

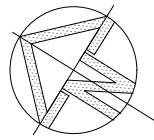


Datum: Floor level 31.60 [AHD]
The pool will be 190mm below the datum

F SOUND PROOF FILTER BOX

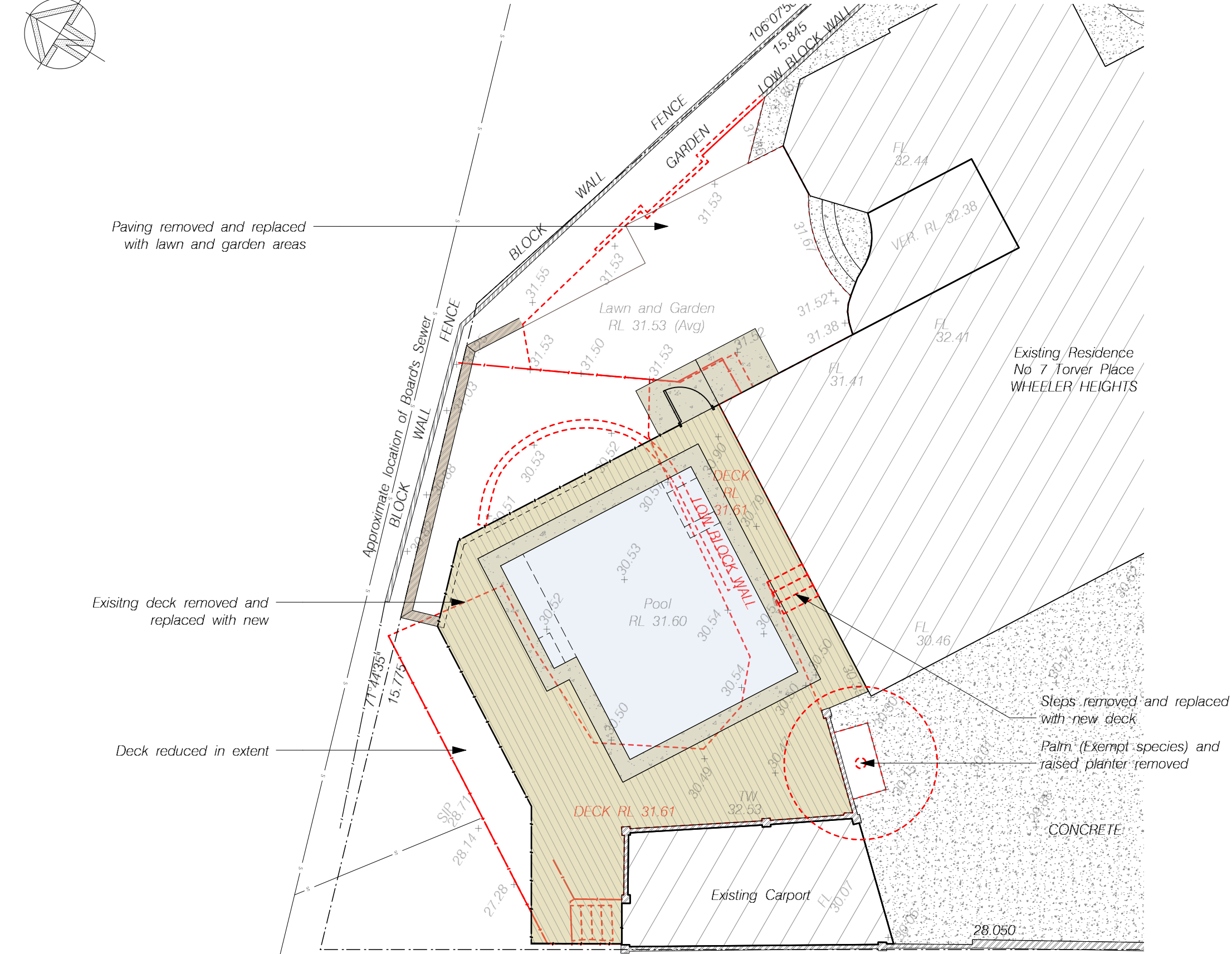
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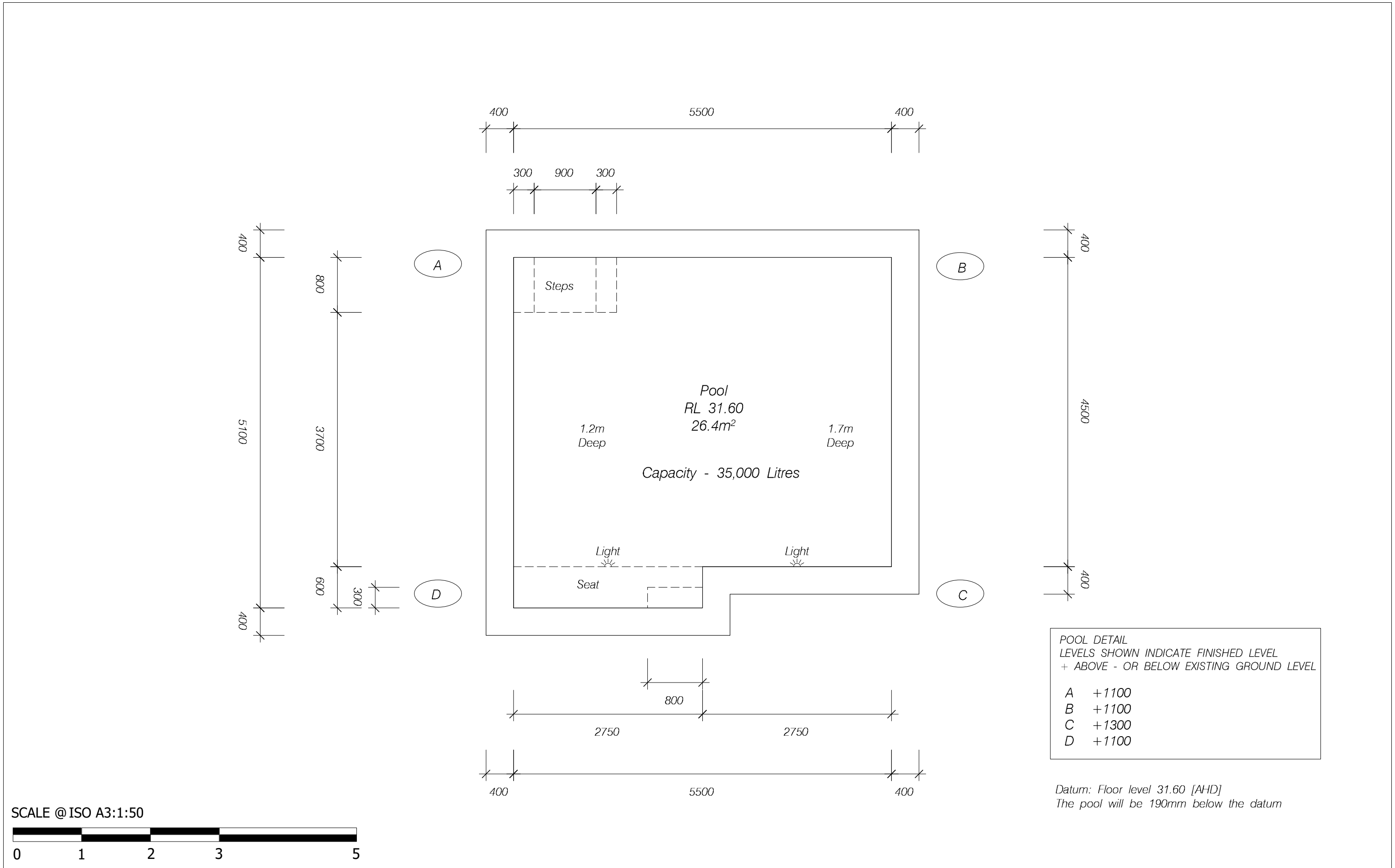
- BOUNDARY
- TO BE REMOVED
- EXISTING BUILDING/STRUCTURE
- EXISTING PAVING
- EXISTING RETAINING WALL/WALL
- EXISTING TREE



SCALE @ ISO A3:1:100



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SCALE @ ISO A3:1:50



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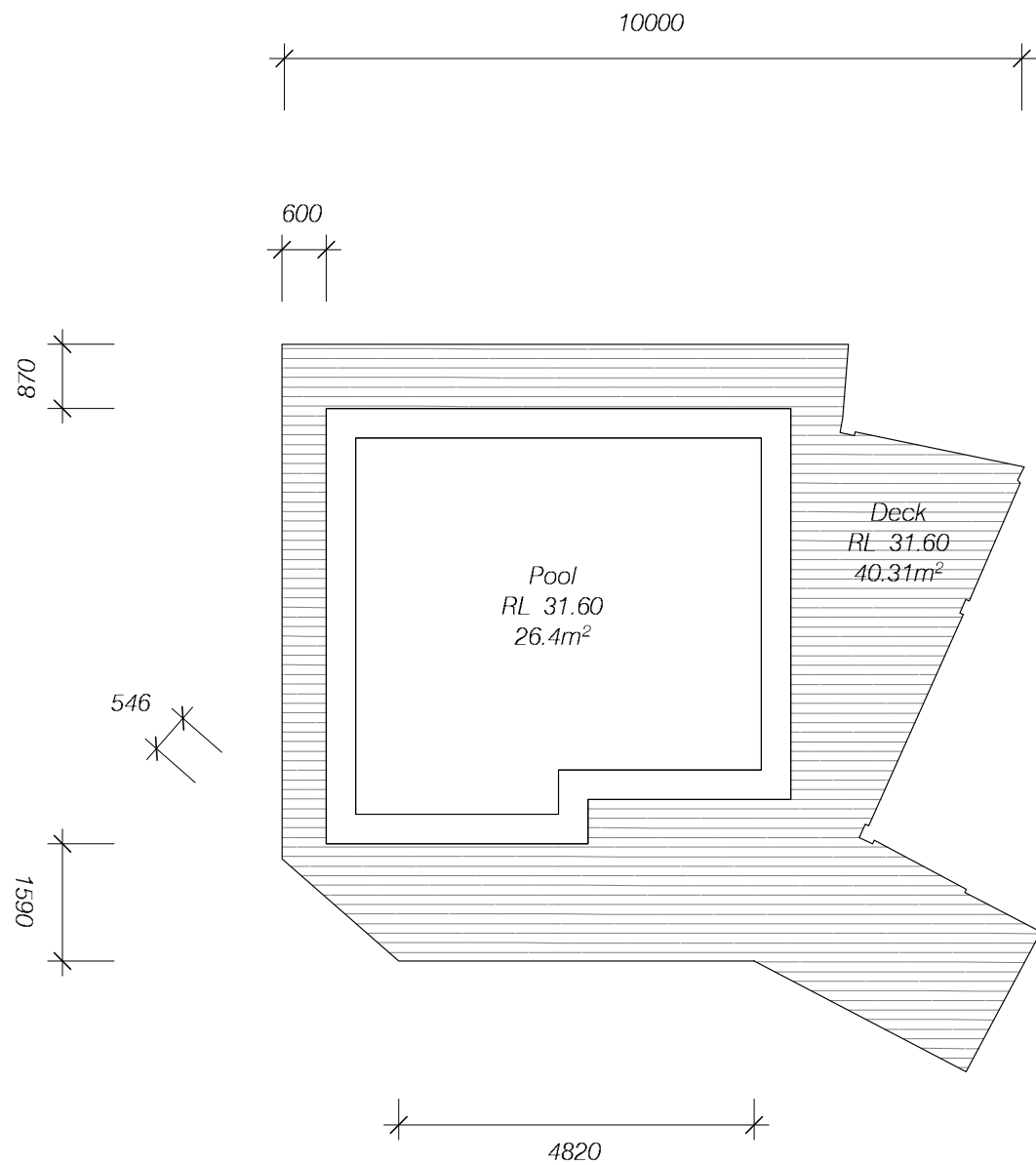
SITE
7 Torver Pl
WHEELER HEIGHTS

DRAWING
POOL DETAIL

PROJECT
New pool and deck

Date of Issue
A 15/04/2025
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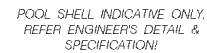
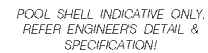
SITE
7 Torver Pl
WHEELER HEIGHTS

DRAWING
DECK DETAIL

PROJECT
New pool and deck

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A 15/04/2025
B 30/04/2025
C 15/05/2025

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DWG No Sht-7



0 1 2 3 4 5 10

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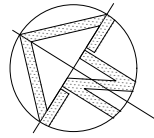
Professional Member

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SITE
7 Torver Pl
WHEELER HEIGHTS

Date of Issue	
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LEGEND

	BOUNDARY
	EXISTING BUILDING
	EXISTING PAVING
	PROPOSED PAVING
	PROPOSED POOL
	EXISTING RETAINING WALL/WALL
	EXISTING TREE RETAIN
	E: 500 EXTENT OF EXCAVATION
	+: 500 EXTENT BELOW (-) EXISTING GROUND LEVEL

SCALE @ ISO A3:1:100



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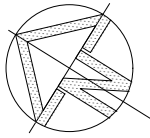
SITE
7 Torver Pl
WHEELER HEIGHTS

DRAWING
EXCAVATION PLAN

PROJECT
New pool and deck

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Sht-9



LEGEND

BOUNDARY

EXISTING BUILDING

PROPOSED DECK

EXISTING PAVING

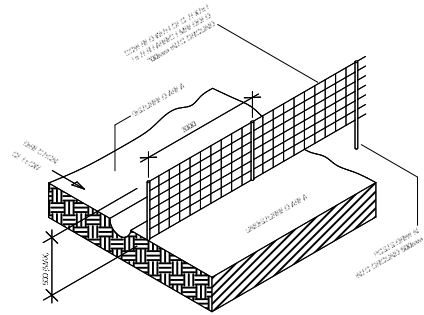
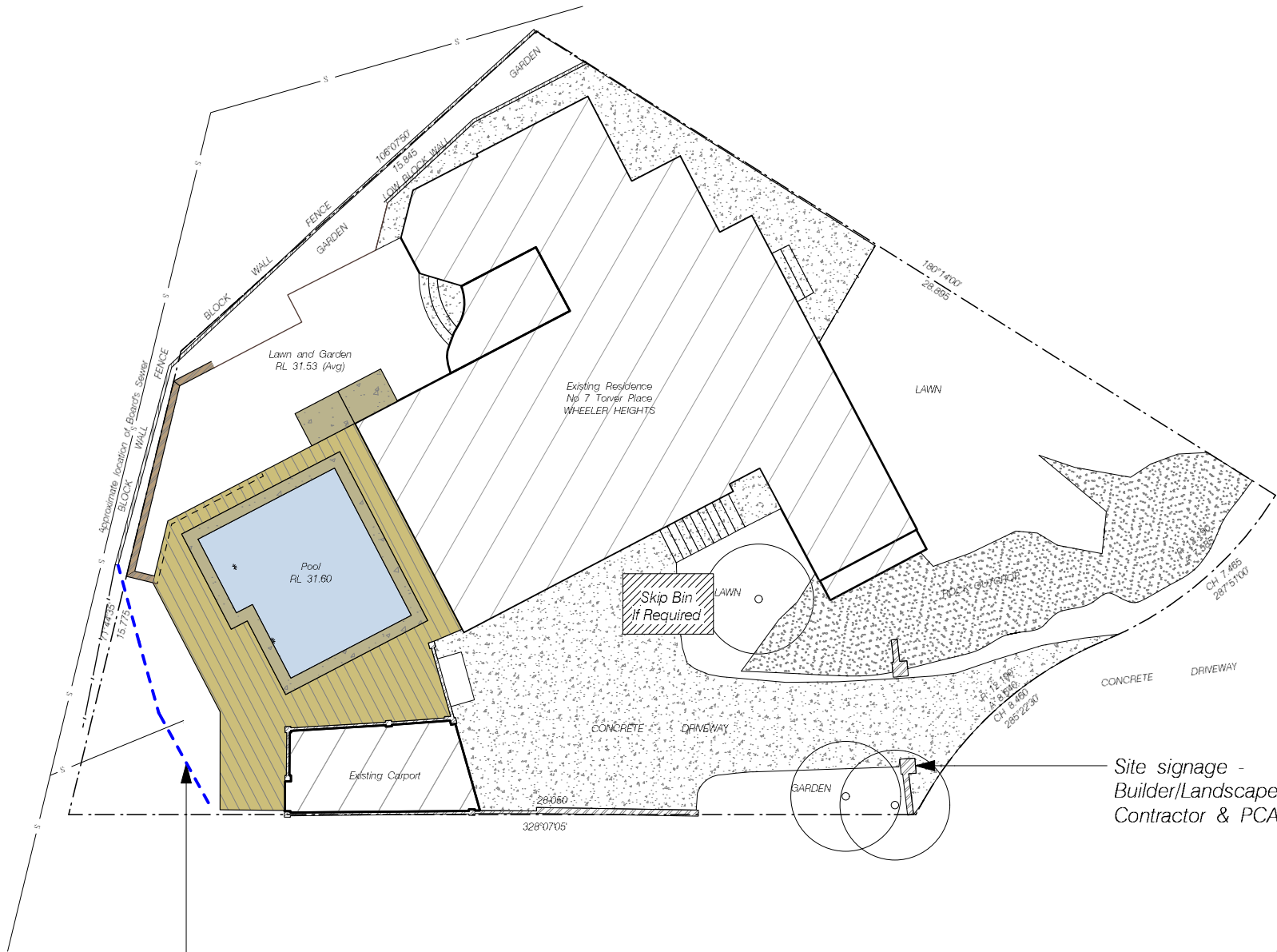
PROPOSED PAVING

PROPOSED POOL

EXISTING RETAINING WALL/WALL

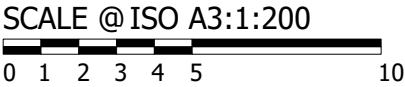
PROPOSED RETAINING WALL/WALL

EXISTING TREE RETAIN



NOTES TO SILT & SEDIMENT CONTROL FENCE CONSTRUCTION
SOURCE: GUIDELINES FOR EROSION & SEDIMENT CONTROL ON BUILDING SITES
HAWKESBURY-NEPEAN CATCHMENT MANAGEMENT TRUST WINDSOR, AUSTRALIA

- CONSTRUCT SEDIMENT FENCE ALONG CONTOURS OF SITE
- DRIVE 1.5m POSTS INTO THE GROUND. PROVIDE UPHILL RETURNS AT EITHER END
- CONNECT THE GEOTEXTILE FABRIC TO THE POSTS IN A SECURE MANNER
- CONSTRUCT A TRENCH ALONG THE UPSLOPE SIDE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE BURIED
- BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT ON BOTH SIDES
- MAINTAIN THE FENCE REGULARLY TO ENSURE EFFICIENCY



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WHEELER HEIGHTS

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SILT AND SEDIMENT CONTROL PLAN

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	PROPOSED DECK
	EXISTING PAVING
	PROPOSED PAVING
	PROPOSED POOL
	EXISTING RETAINING WALL/WALL
	PROPOSED RETAINING WALL/WALL
	EXISTING TREE RETAIN
	LANDSCAPED OPEN SPACE
	PRIVATE OPEN SPACE

SITE CALCULATIONS

SITE 652.18 sq m

SITE COVERAGE

Existing Paving Retained -	125.82 sq m
Existing Paving Removed -	28.6 sq m
Existing Deck Removed -	51.16 sq m
Proposed Pool -	26.4 sq m
Proposed Pool Coping -	9.12 sq m
Proposed Paving -	3.84 sq m
Proposed Deck -	40.31 sq m

PROPOSED LANDSCAPED OPEN SPACE

Required - 40% of the site, min 2.0m wide 260.87 sq m

Existing -	191.26 sq m (29%)
Proposed -	242.57 sq m (37%)

PROPOSED PRIVATE OPEN SPACE

Required - 60 sq m, min 5.0m wide

Proposed - 125.05 sq m Complies

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