

5.1

NATIONWIDE HOUSE

ENERGY RATING SCHEME

63.8

MJ/m²

www.nathers.gov.au

0007976970-01

25 Aug 2022

Assessor Luis Contigiani

Accreditation No. DMN13/1543

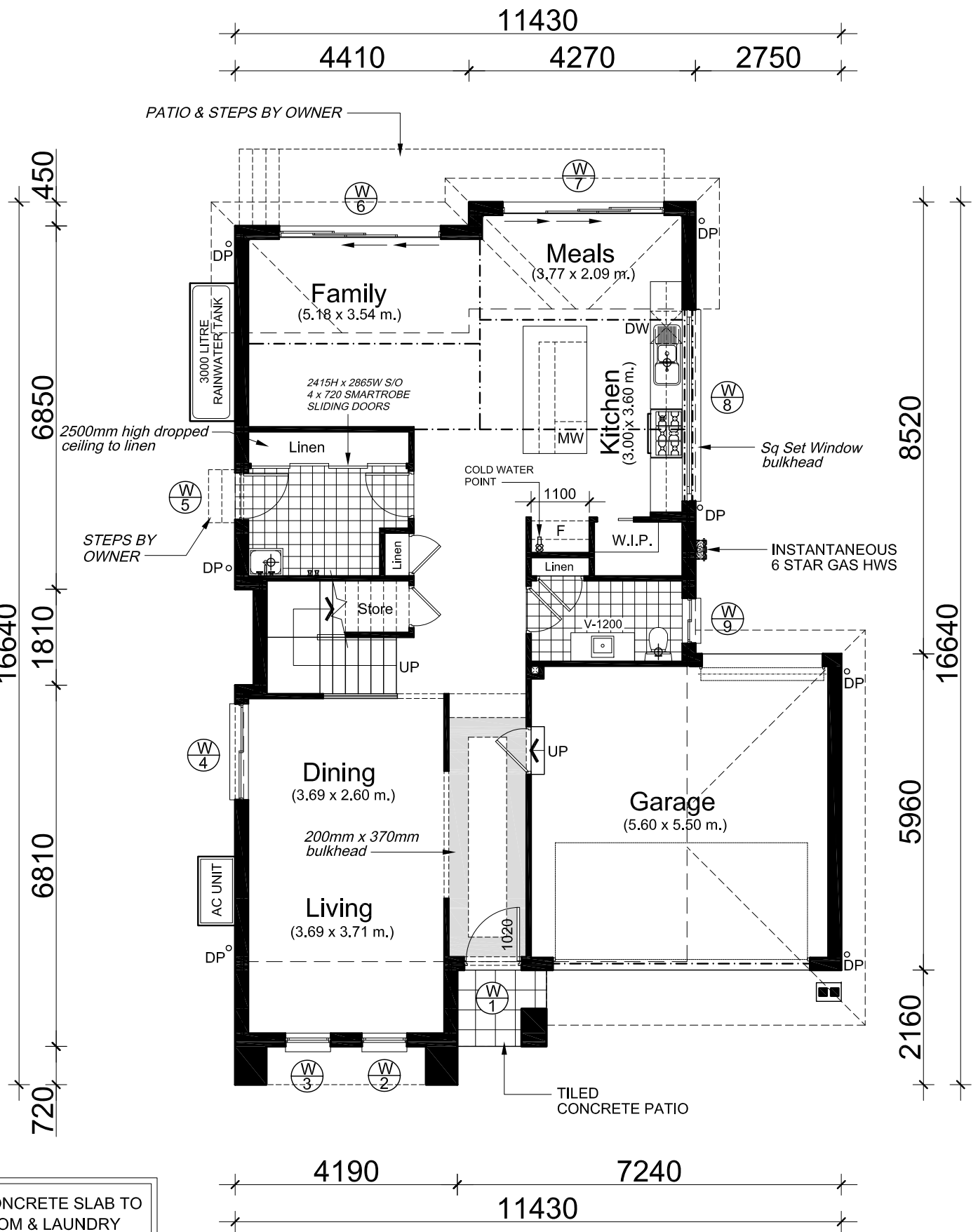
Address

49 WARRIWOOD RD,

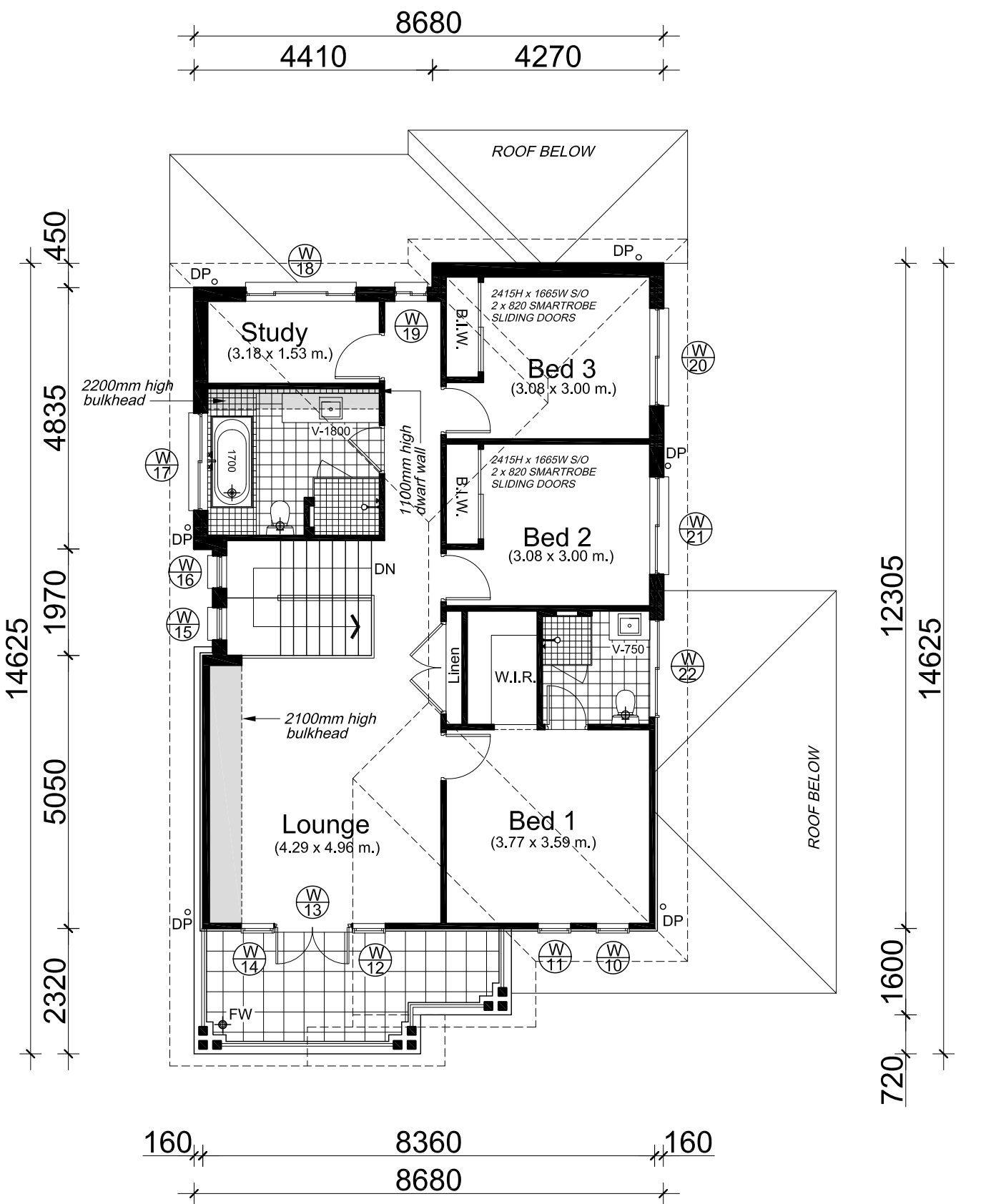
WARRIWOOD, NSW, 2102

hstar.com.au

WINDOW SCHEDULE				
No	TYPE	HEIGHT	WIDTH	GLAZING/REMARK
1		2388	1080	TIMBER ENTRY FRAME
2	AW2109	2057	850	AWNING
3	AW2109	2057	850	AWNING
4	SW1818	1800	1810	SLIDING
5		2039	881	TIMBER ENTRY FRAME
6	UAD2430-3	2400	3048	ALFRESCO STACKER DOOR
7	UAD2430-3	2400	3048	ALFRESCO STACKER DOOR
8	FW0536	500	3610	FIXED
9	SW1209	1200	850	SLIDING / OBSCURE GLASS
10	AW1506	1457	610	AWNING
11	AW1506	1457	610	AWNING
12	AW2106	2057	610	AWNING
13	HD2115	2100	1450	ALUM HINGED DOOR
14	AW2106	2057	610	AWNING
15	FW3006	3000	610	FIXED
16	FW3006	3000	610	FIXED
17	SW0618	600	1810	SLIDING / OBSCURE GLASS
18	SW1221	1200	2050	SLIDING
19	SW1206	1200	610	SLIDING
20	SW0618	600	1810	SLIDING
21	SW0918	857	1810	SLIDING
22	SW0918	857	1810	SLIDING / OBSCURE GLASS



Ground Floor Plan



First Floor Plan

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2022/1914

Zone R3 - Medium Density Residential

Control Table Calculations

Pittwater LEP 2014

Warriewood Valley Release Area

Site Area Total area of site = 372.800 sq.m Private Open Space Minimum 24.00sqm area required (minimum 4.00m dimension) Provided 53.170 sq.m	Carparking Requirement Required 2 Provided 2 Landscaped Area Minimum 25% of site area required Required 25% of site or 93.200 sq.m Provided 31.7% of site 118.320 sq.m
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Site Plan

SEVERE MARINE ENVIRONMENT
(NOTE: BRICK JOINTS TO ONLY BE IRONED OR FLUSH.
RAKED JOINTS ARE NOT ALLOWED)

REVISION	DATE	DRAWN BY	COMMENTS
B	25.08.22	DM	Additional survey information added & sewer main plotted as per payout

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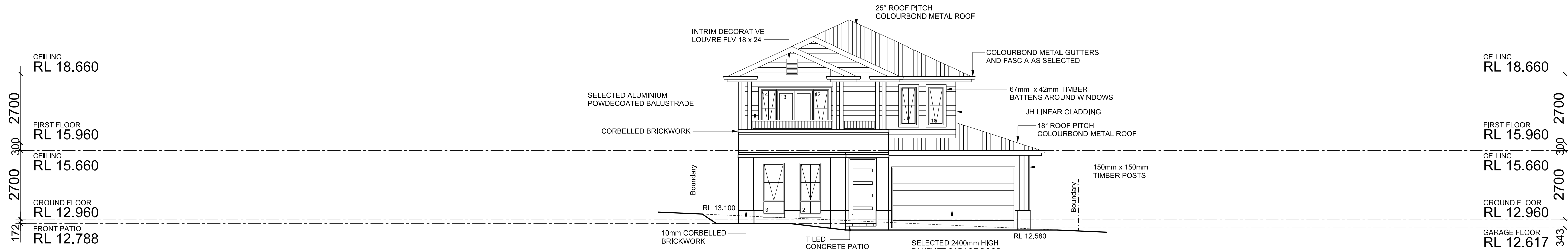
Suite 1, Level 1

208 -210 Northumberland St,

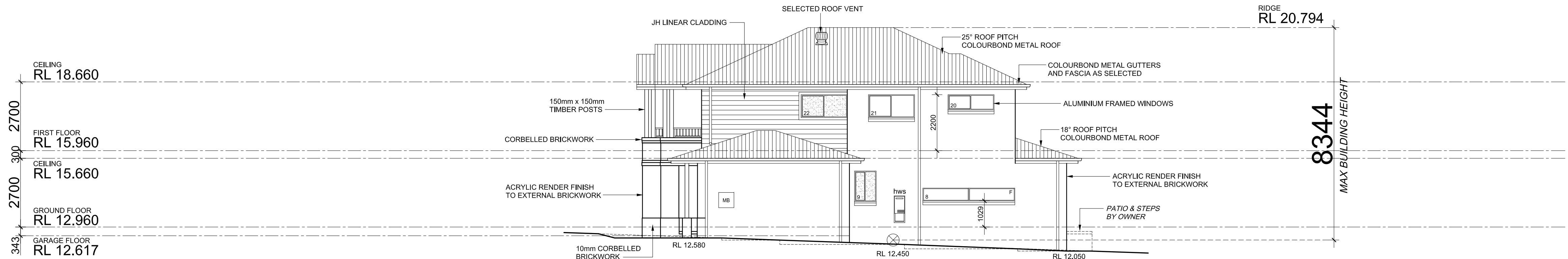
Liverpool NSW 2170

Email: mail@rl.net.au Phone: 9602 7700 Fax: 9734 6633

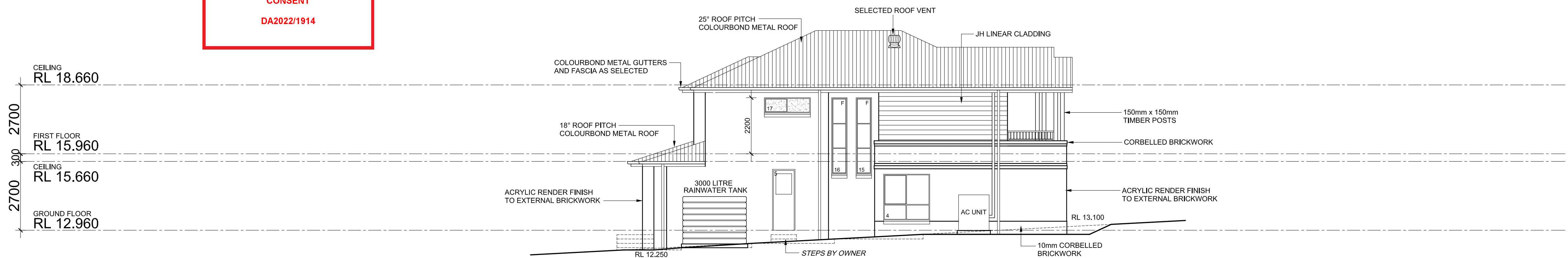
Site Plan, Floor Plans & Calculations PROPOSED TWO STOREY DWELLING			
CLIENT: Mr Tan Hung Nguyen			
SITE ADDRESS: No.49 (Lot 5 in DP 1206507) Warriewood Road,			
SUBURB: Warriewood		SCALE: 1 : 100	
COUNCIL: Northern Beaches		JOB No.: RL 5778	
REVISION: B		DATE: 25.08.2022	
		SHEET: 1 of 2	



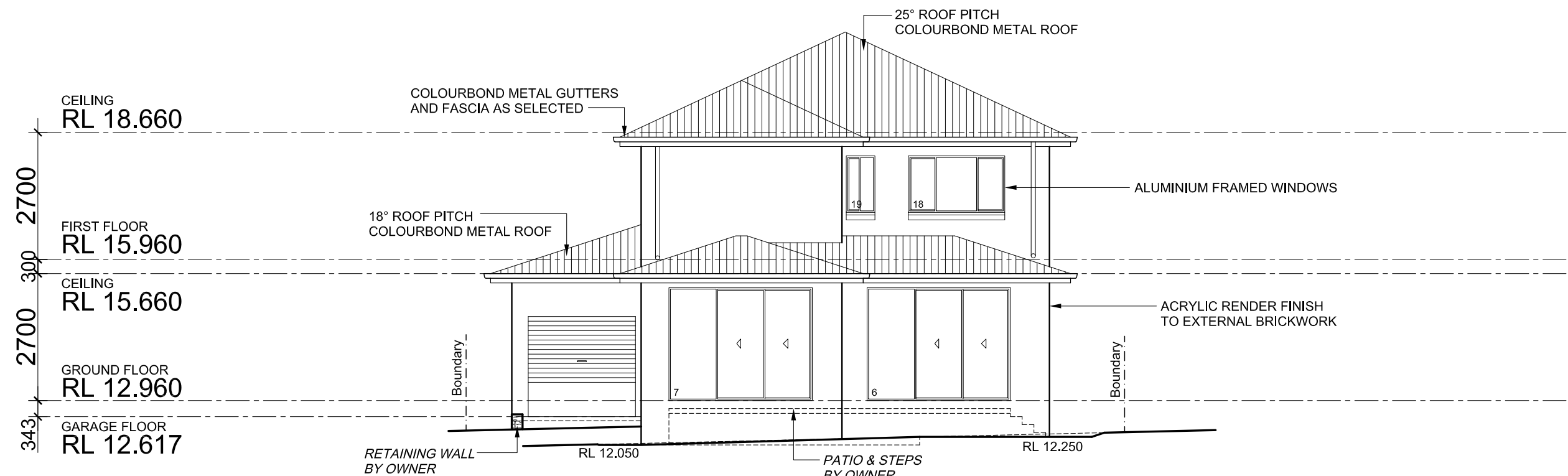
Warriewood Road (North Eastern) Elevation



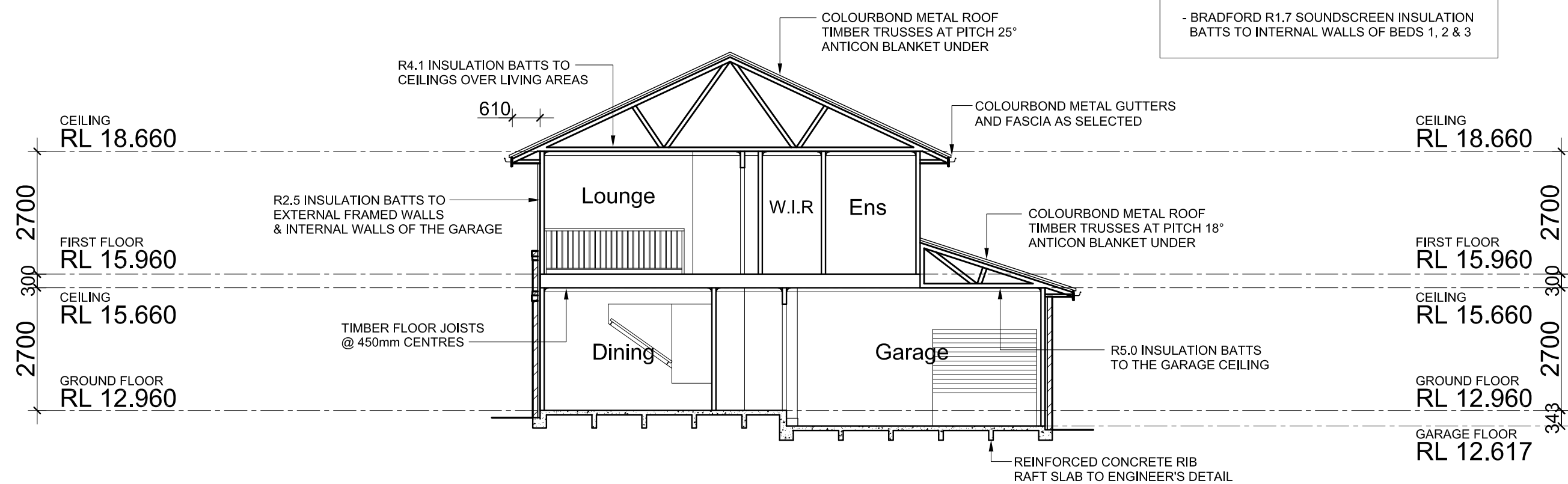
Right (North Western) Elevation



Left (South Eastern) Elevation



Rear (South Western) Elevation



Sectional Elevation

NOTE: BASIX CERTIFICATE MUST TAKE PRECEDENCE OVER THIS TEMPLATE

BASIX'S REQUIREMENT	
ADDRESS:	No.49 WARRIEWOOD ROAD, WARRIEWOOD
STORMWATER	
PROPOSED SIZE OF RAINWATER TANK INSTALLED ON SITE -	Minimum 3000 litres
HOW MUCH RAIN RUNOFF FROM ROOF MUST TANK COLLECT -	At least 89.5 sqm
RAINWATER TANK MUST SERVICE - All toilets, cold water washine machine taps & at least one outdoor garden tap	
WATER	
SHOWERHEAD RATING -	3 Star (> 7.5 but <= 9 L/min)
TOILET FLUSHING SYSTEM RATING -	4 Star
KITCHEN TAP RATING -	4 Star
BATHROOM TAP RATING -	4 Star
THERMAL COMFORT / SIMULATION METHOD	
PLEASE SEE ABSA NATHERS SPECIFICATION TABLE, CERTIFICATION NUMBER -- 0007976970-01	
ENERGY	
ACTIVE COOLING FOR LIVING ROOMS -	3-Phase (EER 2.5 - 3.0) - Day/Night zoning between living areas & bedrooms
ACTIVE COOLING FOR BED ROOMS -	3-Phase (EER 2.5 - 3.0) - Day/Night zoning between living areas & bedrooms
ACTIVE HEATING FOR LIVING ROOMS -	3-Phase (EER 2.5 - 3.0) - Day/Night zoning between living areas & bedrooms
ACTIVE HEATING FOR BED ROOMS -	3-Phase (EER 2.5 - 3.0) - Day/Night zoning between living areas & bedrooms
WHAT TYPE OF HOT WATER SYSTEM MUST BE INSTALLED -	6 STAR GAS INSTANTANEOUS
DOES THE KITCHEN HAVE NATURAL LIGHTING ?	YES
DO BATHROOMS HAVE NATURAL LIGHTING ?	YES - 3 off
VENTILATION DETAILS? At least 1 Bathroom: Ducted exhaust fan; Operation control: manual switch on / off Laundry: Natural ventilation only Kitchen: Ducted rangehood; Operation control: manual switch on / off	
WHAT TYPE OF COOKTOP AND OVEN SHALL BE INSTALLED?	Gas Cooktop & Electric Oven
IS THERE A OUTDOOR CLOTHES DRYING AREA ?	YES + FIXED INDOOR or SHELTERED CLOTHESLINE

TO COMPLY WITH BASIX CERTIFICATE NUMBER : 1330455S_02
REFER TO BASIX CERTIFICATE FOR ARTIFICIAL LIGHTING REQUIREMENTS


northern
beaches
council

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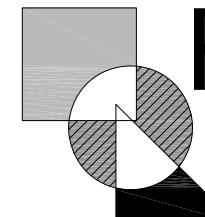
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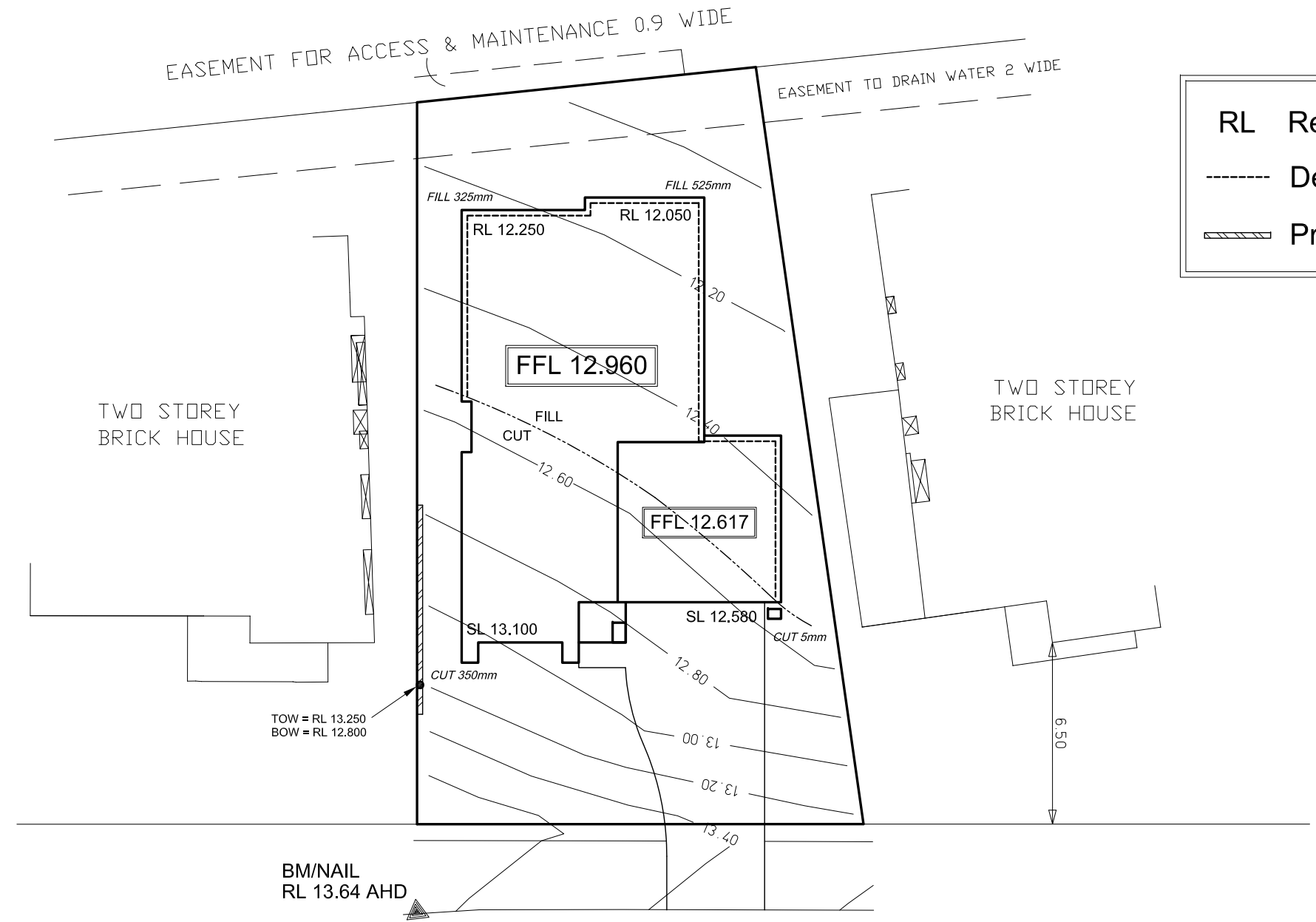
REVISION	DATE	DRAWN BY	COMMENTS
B	25.08.22	DM	Additional survey information added & sewer main plotted as per payout

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Liverpool NSW 2170
Email: mail@rl.net.au Phone: 9602 7700 Fax: 9734 6633

Elevations, Section & BASIX Commitments PROPOSED TWO STOREY DWELLING			
CLIENT: Mr Tan Hung Nguyen			
SITE ADDRESS: No.49 (Lot 5 in DP 1206507) Warriewood Road,			
SUBURB: Warriewood		SCALE: 1 : 100	
COUNCIL: Northern Beaches		JOB No.: RL 5778	
REVISION: B	DATE: 25.08.2022	SHEET: 2 of 2	



RL Reduced (Existing) Level
 ----- Deepened Edge Beam
 Proposed Retaining Wall

northern beaches council

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WARRIEWOOD ROAD

ALL FILL TO BE CONTAINED WITHIN BUILDING FOOTPRINT BY USE OF DEEPENED EDGE BEAMS

REVISION	DATE	DRAWN BY	COMMENTS

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EXCAVATION & FILL PLAN

CLIENT: Mr Tan Hung Nguyen

SITE ADDRESS: No.49 (Lot 5 in DP 1206507) Warriewood Road,
 SUBURB: Warriewood
 COUNCIL: Northern Beaches

SCALE: 1 : 200
 JOB No.: RL 5778
 REVISION: A DATE: 08.09.2022 SHEET: 1 of 1

residential logistics

Client/s Mr. Tan Hung Nguyen

Date 31/08/22

Address Lot 5, No. 49 Warriewood Road, Warriewood

External Finish	<i>Applied Finish</i>	<i>Applied Finish</i>
Range	<i>Taubmans</i>	<i>Taubmans</i>
Colour	<i>Oil Shale</i>	<i>Miss Universe</i>



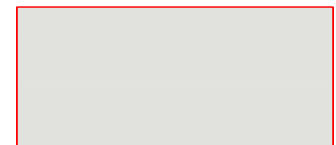
Roof Manufacturer	<i>Colorbond</i>
Range	<i>Colorbond</i>
Colour	<i>Basalt</i>



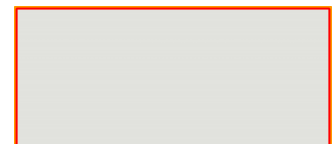
Window Frames	<i>Powder Coated Aluminium</i>
Colour	<i>Pearl White</i>



Garage Door	<i>Colorbond</i>
Colour	<i>Surfmist</i>



Gutter	<i>Colorbond</i>
Colour	<i>Surfmist</i>



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