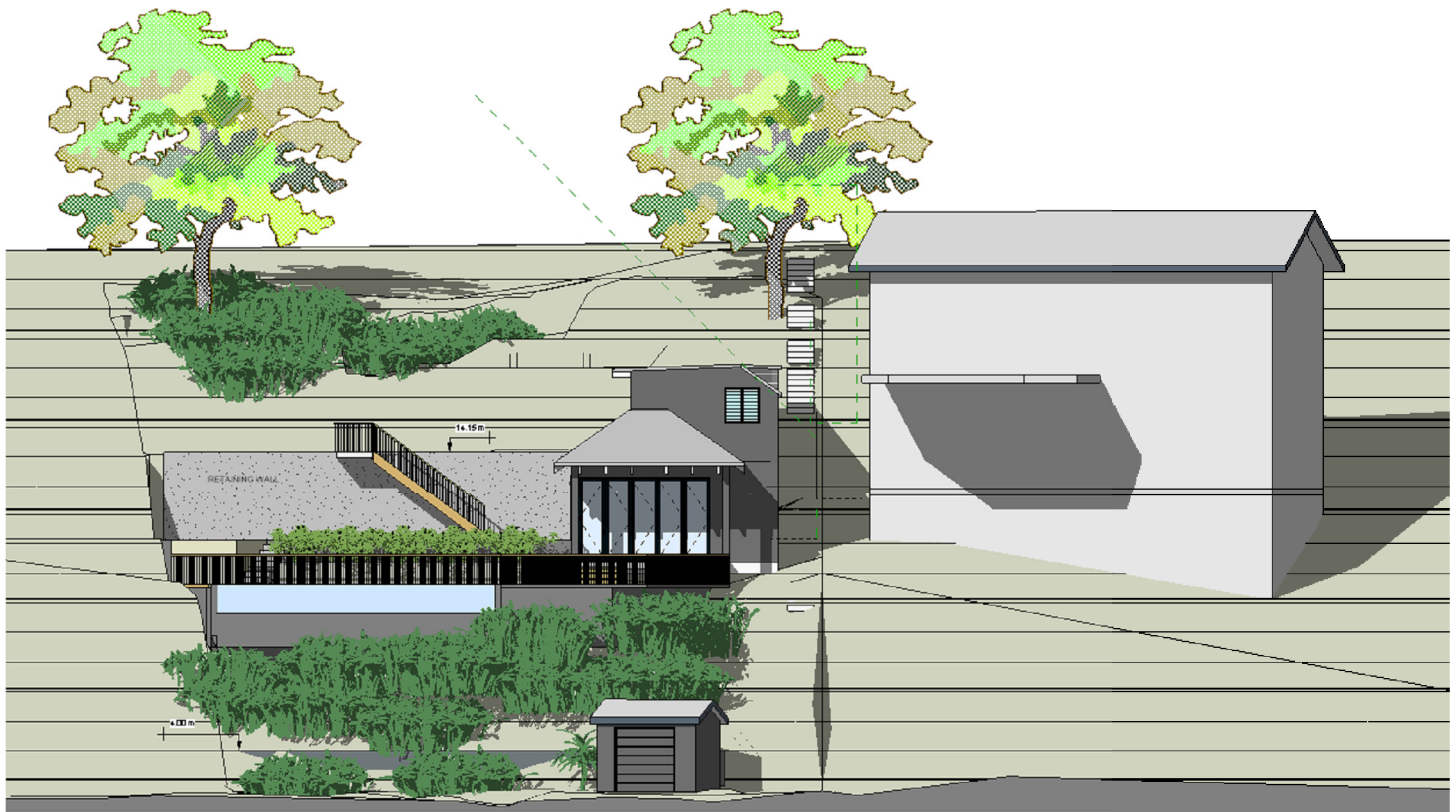


967 BARRENJOEY ROAD, PALM BEACH



PITTWATER ESTIMATED VIEW - APPROVED DA

- RETAINING WALL:**
- 1. VERIFY ALL REQUIRED RETAINING WALLS ON SITE AFTER SITE PREPARATION AND DETERMINE EXACT LOCATION. RETAINING WALLS AS PER CLAUSES 3.29(5) & (6) MUST BE DESIGNED & CERTIFIED BY STRUCTURAL ENGINEER.
- BASIX REQUIREMENTS:**
- 1.INDIGENOUS OR LOW WATER USE SPECIES OF VEGETATION MUST BE PLANTED THROUGHOUT 532m2 OF THE SITE
 - 2. RAINWATER TANK MUST BE MIN 4500 L & INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES
 - 3. RAINWATER TANK MUST COLLECT RAIN RUNOFF FROM AT LEAST 152m² OF THE ROOF AREA
 - 4. RAINWATER TANK MUST BE CONNECTED TO AT LEAST 1 OUTDOOR TAP IN THE DEVELOPMENT, ALL TOILETS IN THE DEVELOPMENT, THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHER IN THE DEVELOPMENT
 - 5. ALL SHOWERHEADS MIN RAITING OF 3 STARS
 - 6. EVERY TOILET FLUSHING SYSTEM MIN RAITING OF 5 STARS
 - 7. KITCHEN TAPS MIN RAITING OF 5 STARS
 - 8. BASIN TAPS MIN RAITING OF 6 STARS
 - 9. THE SWIMMING POOL MUST NOT HAVE A VOLUME GRATER THAN 100kL, MUST HAVE POOL COVER AND BE OUTDOORS
 - 10. EXTERNAL WALL INSULATION TO BE MIN R1.5
 - 11. CEILING AND ROOF INSULATION TO BE R1.5
 - 12. INSULATION MUST BE INSTALLED IN ACCORDANCE WITH PART 3.12.1.1 OF THE BUILDING CODE OF AUSTRALIA
 - 13. HOT WATER SYSTEM MUST BE SOLAR (ELECTRIC BOOSTED) WITH A PERFORMANCE OF 31 TO 35 REC_s OR BETTER
 - 14. VENTILATION IN AT LEAST 1 BATHROOM , INDIVIDUAL FAN DUCTED TO FACADE OR ROOF IN KITCHEN, LAUNDRY - NATURAL VANTILATION ONLY
- WINDOWS:**
- ALL WINDOWS TO BE PROTECTED IN ACCORDANCE WITH PART 3.9.2.5 OF THE BCA
- BALUSTRADE:**
- INSTALL LOAD BEARING TOP RAIL TO GLASS BALUSTRADES



PITTWATER ESTIMATED VIEW - PROPOSED SECTION 4.55

THESE DOCUMENTS MUST BE READ IN CONJUNCTION WITH ALL THE SUB CONSULTANTS REPORTS AND RECOMMENDATIONS. THE ARCHITECTURAL DOCUMENTS FORM PART OF THE TOTAL CONSTRUCTION SET AND ARE NOT TO BE TAKEN AS EXCLUSIVELY BEING THE BUILDING CONSTRUCTION DOCUMENTS

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ISSUE	DATE	DESCRIPTION	DRWN	CHKD
DA	26.10.2018	SECTION 96 _review	MW	
	29.06.2020	CONSTRUCTION CERTIFICATE	KM	
	21.08.2020	SECTION 4.55 - POOL & RET. WALLS	KM	

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BUILDING DESIGNS

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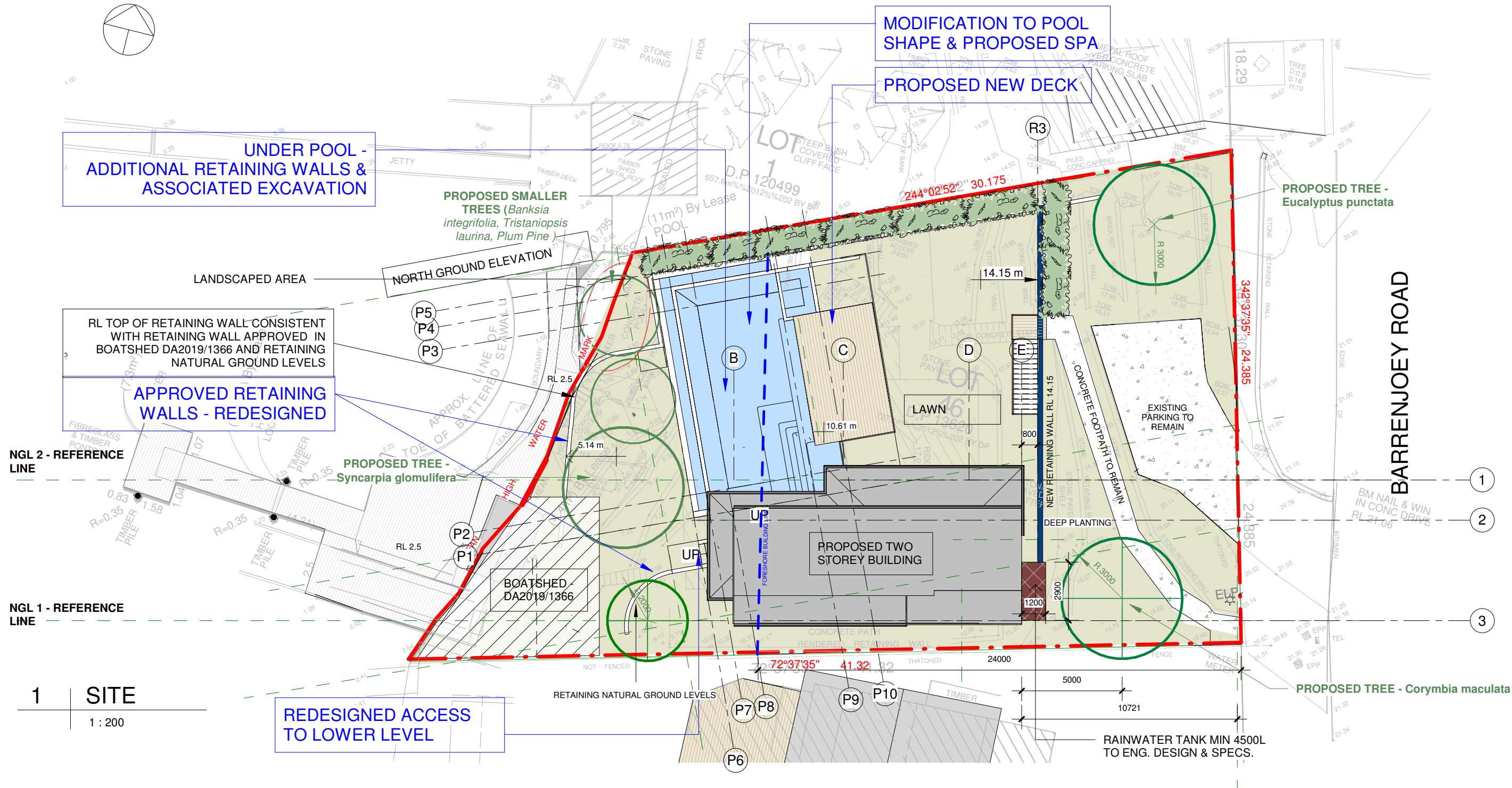
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PROJECT TITLE:	NEW BUILD & POOL
PROJECT NO.:	PAL.2018016
AT:	967 BARRENJOEY RD PALM BEACH
FOR:	SMJ INVESTMENTS PTY LTD

SHEET TITLE:	NOTES
SHEET NO:	CC101
SCALE A3:	As indicated

SECTION 4.55 PROPOSED CHANGES :



NOTES:
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SEDIMENT & EROSION CONTROL ARE TO BE INSTALLED AND MAINTAINED DURING THE LIFE OF THE PROJECT

ALL CONSTRUCTION TO COMPLY WITH CURRENT NCC CODES AND AUSTRALIAN STANDARDS.

ALL CONSTRUCTION TO BE CONSTRUCTED TO BAL 12.5 UNDER SECTION 5 OF AS3959-2009

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SITE AREA	727.1m ²	
SITE COVERAGE (HOUSE & BOATSHED)	113m ² + 27.5m ² = 140.5m ²	20%
POOL AREA	85m ²	12%
HARD SURFACE	31.6m ²	4%
LANDSCAPED AREA	470m ²	64%

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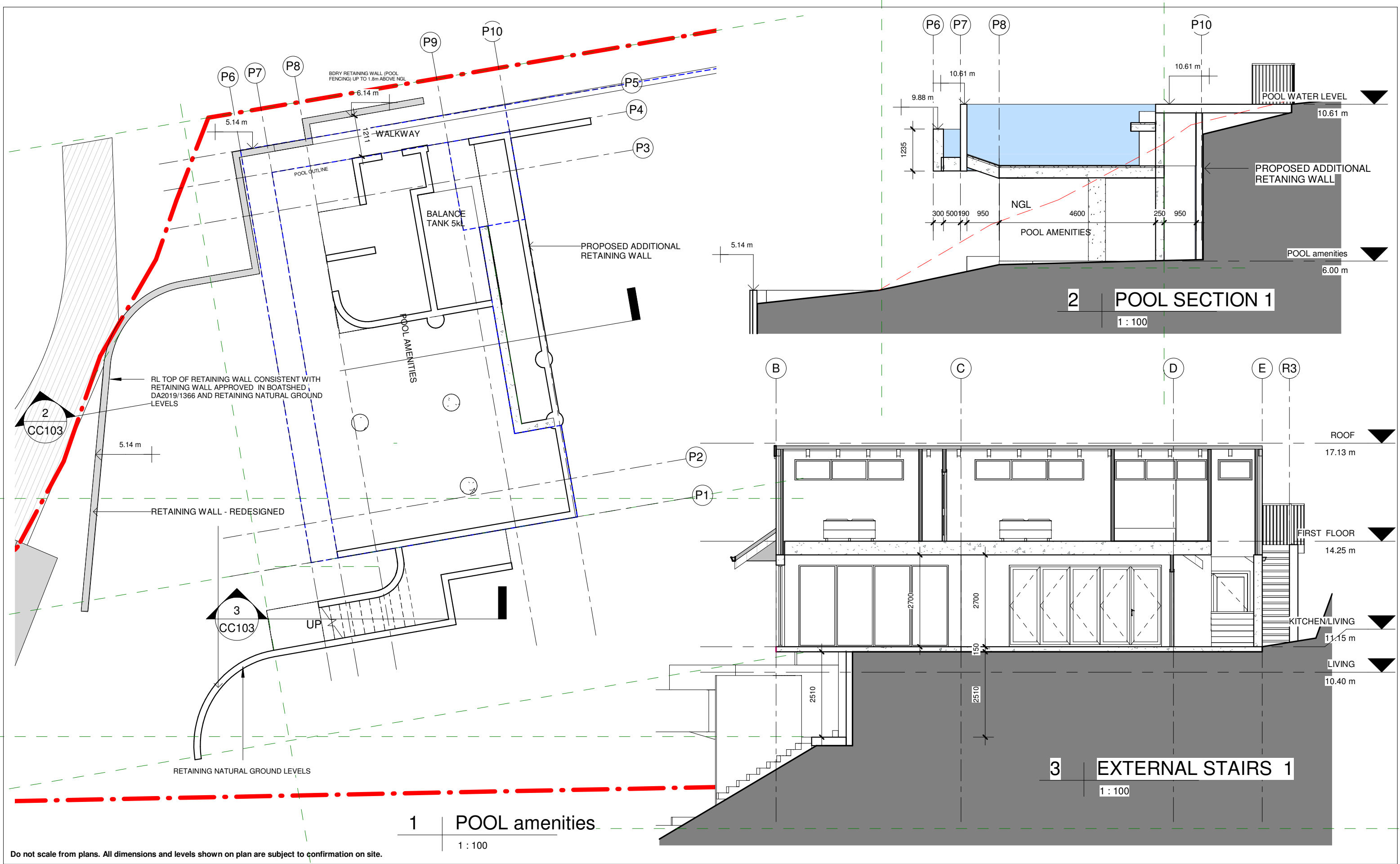
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PROJECT TITLE:	NEW BUILD & POOL
PROJECT NO.:	PAL.2018016
AT:	967 BARRENJOEY RD PALM BEACH
FOR:	SMJ INVESTMENTS PTY LTD

SHEET TITLE:	SITE PLAN
SHEET NO:	CC102
SCALE A3:	1 : 200



ISSUE	DATE	DESCRIPTION	DRWN	CHKD
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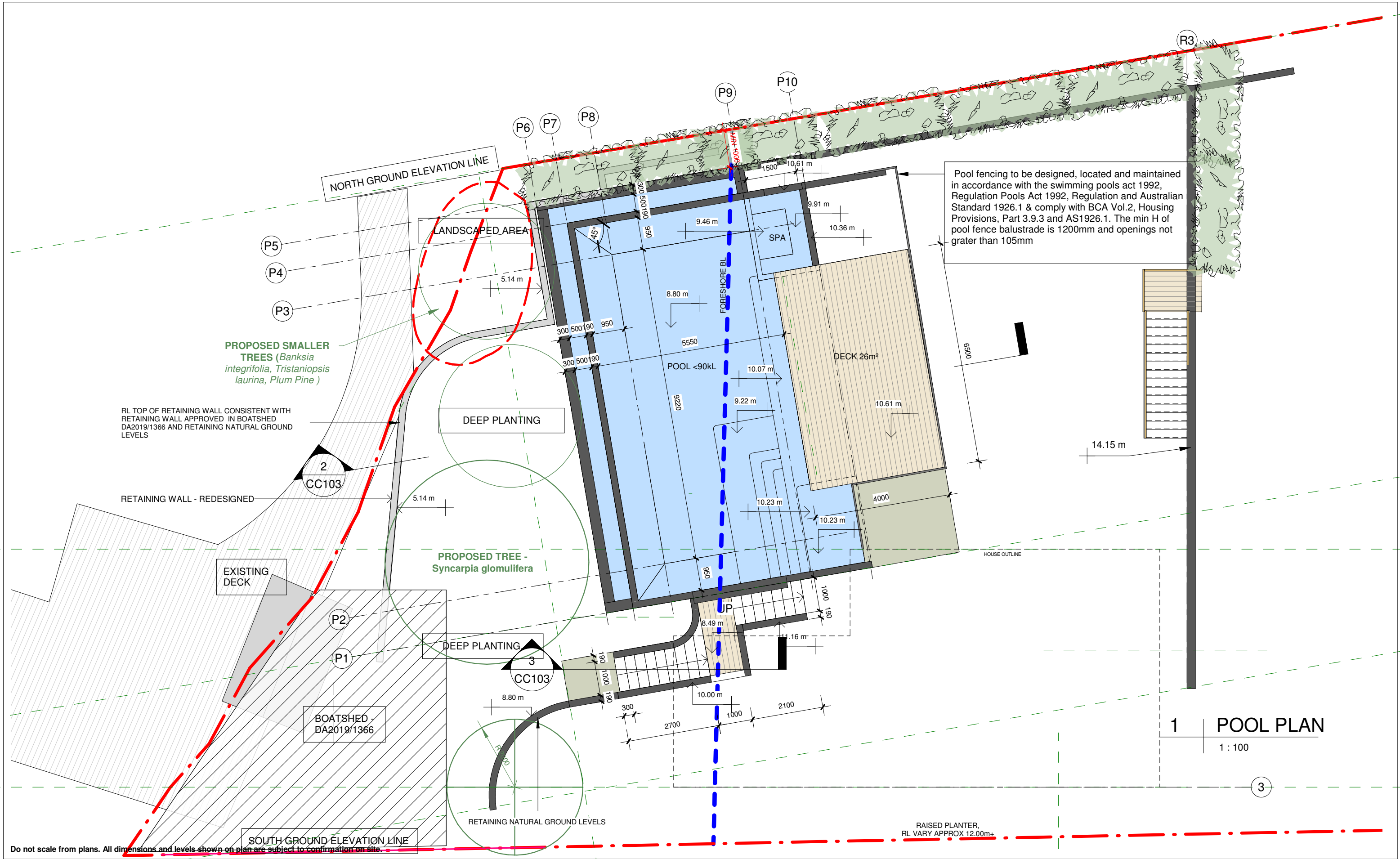
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PROJECT TITLE:	NEW BUILD & POOL
PROJECT NO.:	PAL.2018016
AT:	967 BARRENJOEY RD PALM BEACH
FOR:	SMJ INVESTMENTS PTY LTD

SHEET TITLE:	POOL AMENITIES LEVEL
SHEET NO:	CC103
SCALE A3:	1 : 100



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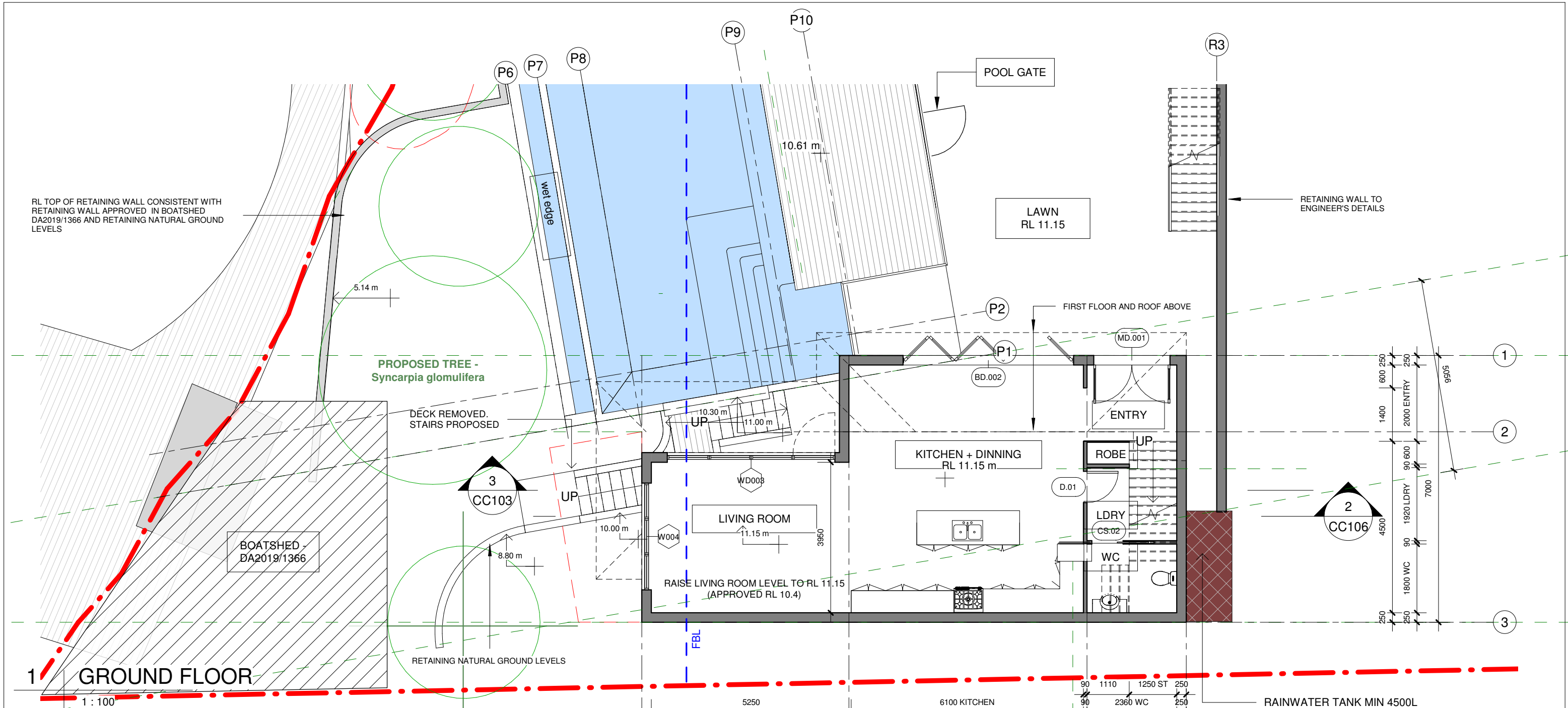
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PROJECT TITLE:	NEW BUILD & POOL
PROJECT NO.:	PAL.2018016
AT:	967 BARRENJOEY RD PALM BEACH
FOR:	SMJ INVESTMENTS PTY LTD

SHEET TITLE:	POOL PLAN
SHEET NO:	CC104
SCALE A3:	1 : 100



DOOR SCHEDULE				
Mark	Width	Height	Head Height	Comments
BD.002	4478	2400	2400	Bifold - North
CS.02	820	2040	2040	
D.01	820	2200	2200	
D.03	820	2040	2040	
D.04	820	2200	2200	
D.05	820	2040	2040	
MD.001	2000	2150	2150	
R.01	1524	2032	2032	
R.02	1524	2032	2032	

WINDOW SCHEDULE					
Type Mark	Opening Size		Head Height	Count	Comments
	Width	Height			
W004	2800	2400	2400	1	
W.101	1000	600	2400	1	North
W.102	2700	600	2400	1	North
W.103	3200	600	2400	2	North
W.105	1200	1200	2100	1	West
W.106	2500	600	2000	1	South
WD003	4400	2400	2400	1	

NOTES:
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ALL CONSTRUCTION TO COMPLY WITH CURRENT NCC CODES AND AUSTRALIAN STANDARDS.

ALL CONSTRUCTION TO BE CONSTRUCTED TO BAL 12.5 UNDER SECTION 5 OF AS3959-2009

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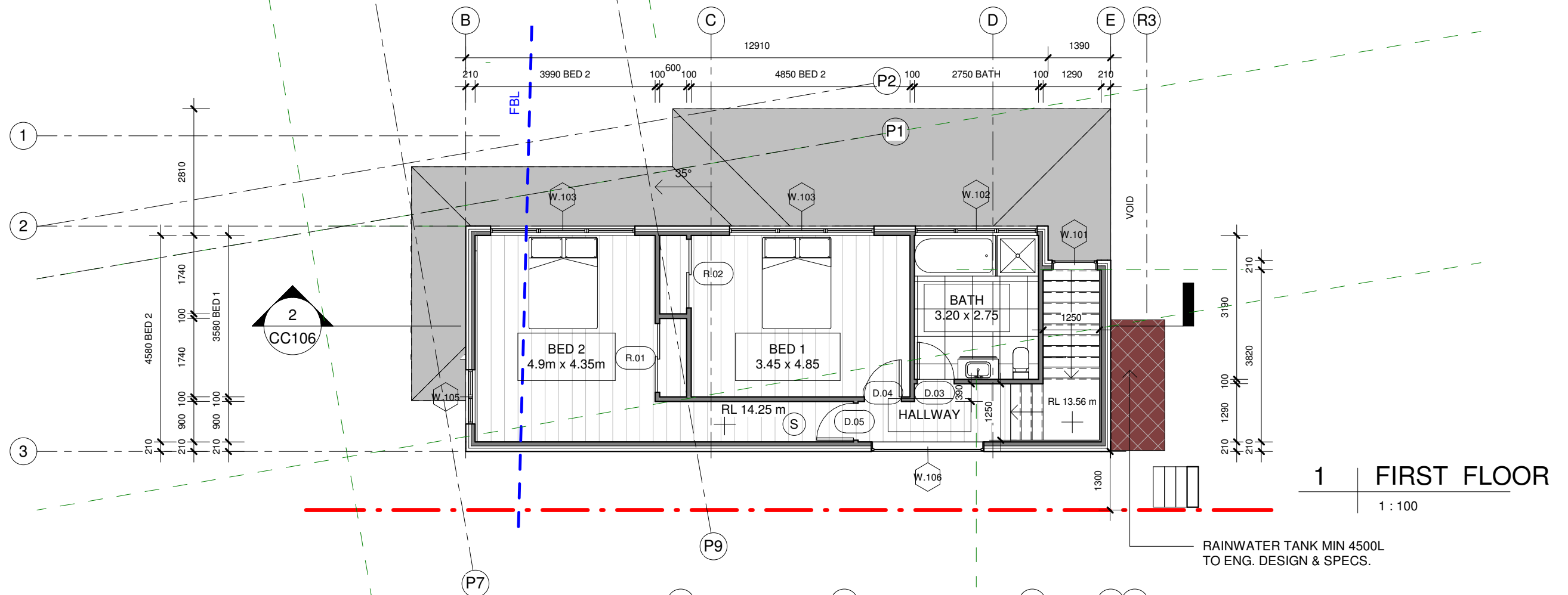
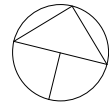
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PROJECT TITLE:	NEW BUILD & POOL
PROJECT NO.:	PAL.2018016
AT:	967 BARRENJOEY RD PALM BEACH
FOR:	SMJ INVESTMENTS PTY LTD

SHEET TITLE:	GROUND FLOOR PLAN
SHEET NO:	CC105
SCALE A3:	1 : 100

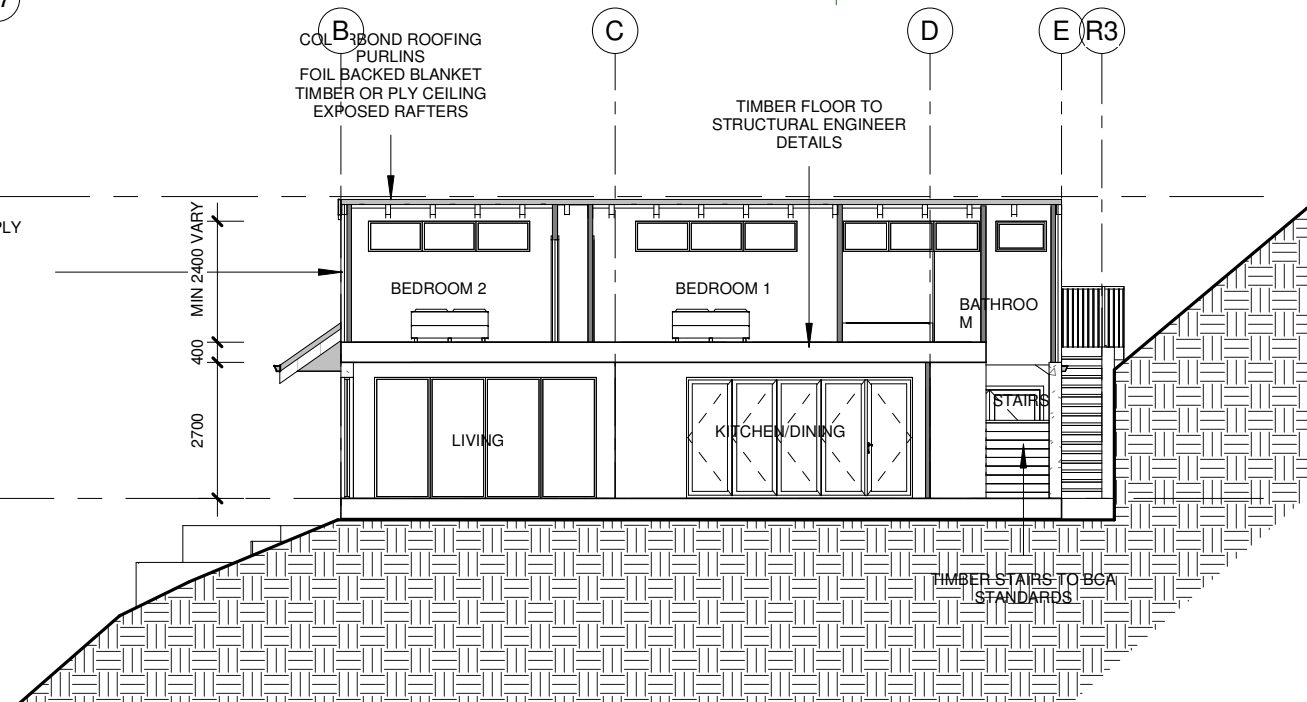


1 | FIRST FLOOR
1 : 100

ROOF
17.13 m

KITCHEN/LIVING
11.15 m
POOL WATER LEVEL
10.61 m

SELECTED CLADDING TO COMPLY
WITH BAL12.5 RATING
SARKING MEMBRANE
TIMBER STUD WALLS
INSULATION R2.0
PLASTERBOARD 10mm



ALL THE STRUCTURAL
ELEMENTS INCLUDING:
- FOUNDATIONS,
- RETAINING WALLS,
- MASONRY WALLS (IF ANY)
- SUB-FLOORS
- RAFTERS
MUST BE DESIGN AND
SPECIFIED BY THE
STRUCTURAL ENGINEER

2 | SECTION A
1 : 150

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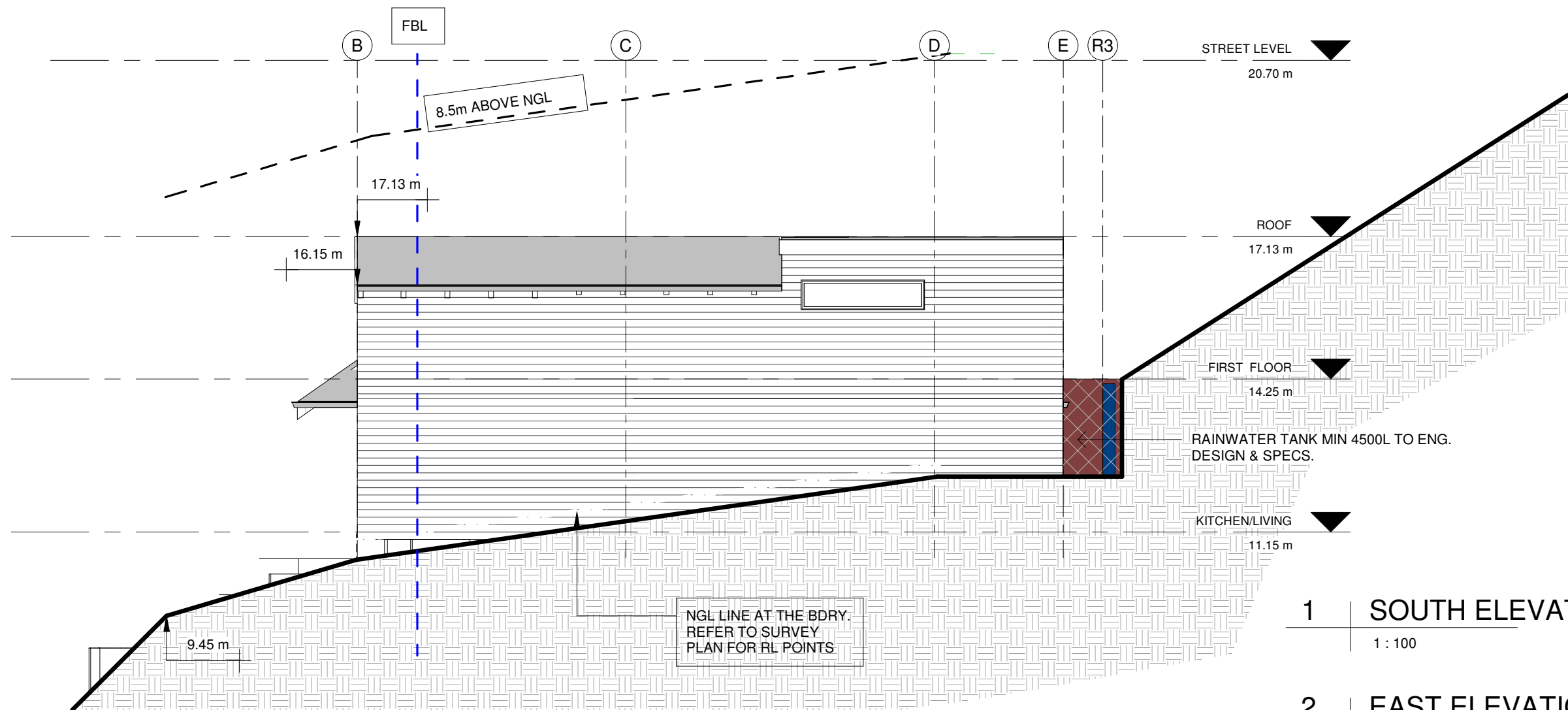
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PROJECT TITLE: NEW BUILD & POOL

PROJECT NO.: PAL.2018016

AT: 967 BARRENJOEY RD
PALM BEACH

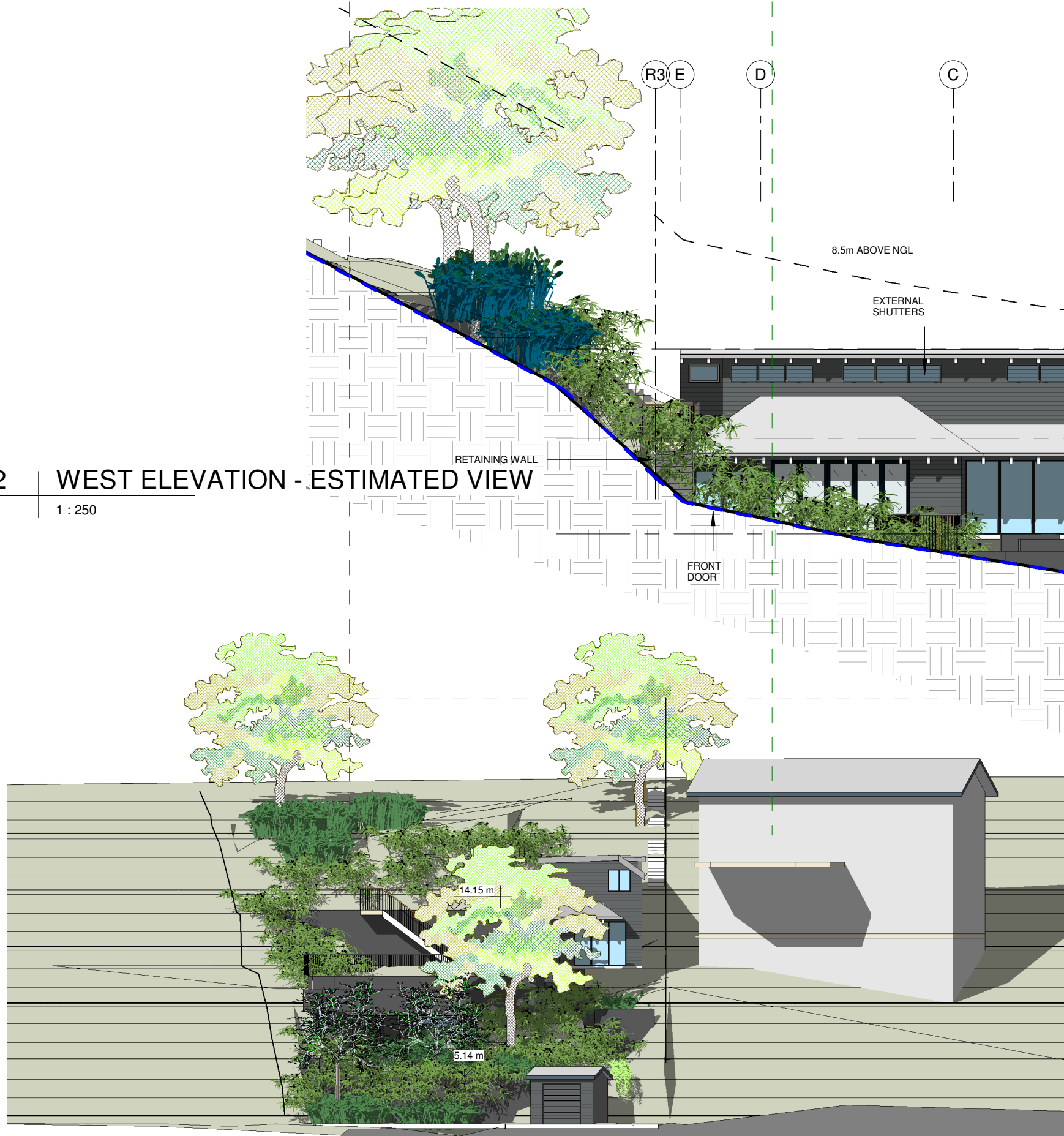
FOR: SMJ INVESTMENTS PTY LTD

SHEET TITLE: SOUTH & EAST ELEVATION

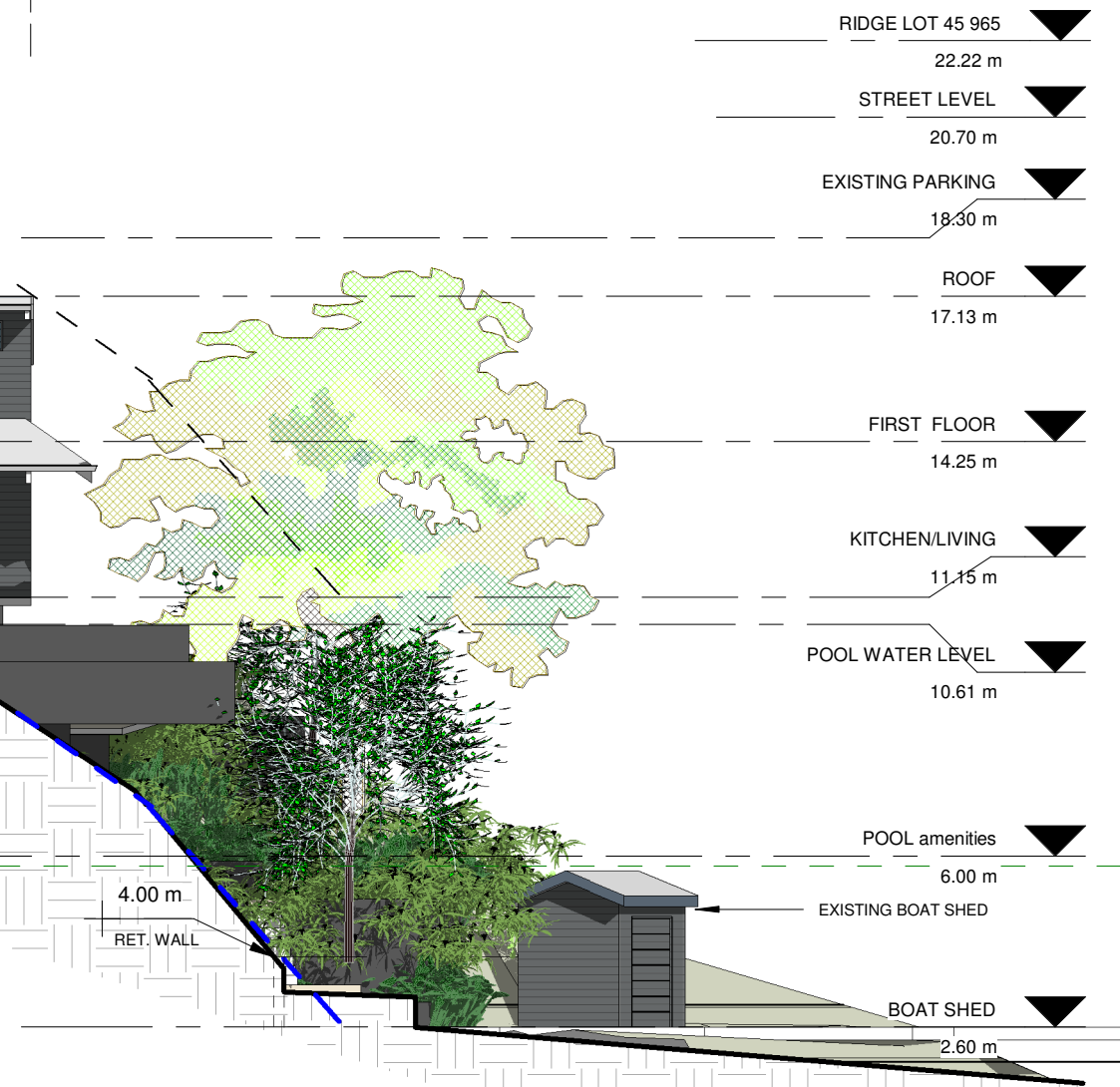
SHEET NO: CC107

SCALE A3: 1 : 100

2 WEST ELEVATION - ESTIMATED VIEW
1 : 250



1 NORTH ELEVATION
1 : 150



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PROJECT TITLE:	NEW BUILD & POOL
PROJECT NO.:	PAL.2018016
AT:	967 BARRENJOEY RD PALM BEACH
FOR:	SMJ INVESTMENTS PTY LTD

SHEET TITLE:	NORTH & WEST ELAVATIONS
SHEET NO:	CC108
SCALE A3:	As indicated

