

**PSE ACCESS CONSULTING**

Access/Built Environment  
Architectural Advice/Training  
Adaptation/Certification/B.C.A  
ACAA Accredited.

## **ACCESS/COMPLIANCE REPORT**

### **ACCESS/ SECURITY/ACCESSIBILITY SEPARATION**

**DISABILITY DISCRIMINATION ACT 1992 (DDA)**

**BUILDING CODES AUSTRALIA (BCA),**

**NATIONAL CONSTRUCTION CODE (NCC)-2016.**

**Disability (Access to Premises-Buildings) Standard-2010, (DAtPS).**

**STATE ENVIRONMENTAL PLANNING POLICY**

**(Affordable Rental Housing) 2009.**

**SUBJECT; BOARDING HOUSE.**

**SITE ADDRESS; 74 Willandra Road Narraweena.**

**REPORT BY; PETER SIMPSON.**

ACAA Accredited Access Consultant.  
Accreditation No. 185

7<sup>th</sup> April 2017.

**SUBJECT; BOARDING HOUSE.**  
**COMPOSITION OF DEVELOPMENT;**

This proposed boarding house (BCA/NCC-2016 Class 3 Building) development at this address will (and applicable technical detail for Development Application or/and Construction Certificate issuance) consist of;

1. Twenty eight **sole-occupancy units** including two **accessible sole-occupancy units** and including the manager's room.
2. To maintain, for the topography of site, the objectives of STATE ENVIRONMENTAL PLANNING POLICY (Affordable Rental Housing) 2009 the development is provided with pedestrian access, to first floor, from Willandra Road, with access to nearby public transport and access from Willandra Road with basement parking.
3. Two levels of **sole-occupancy units** with, on ground level, a common use kitchen/living area, laundry and accessible sanitary facility with a lift servicing all levels.
  - Ground floor has a common use wheelchair accessible sanitary facility.
  - Ground level contains the **accessible sole-occupancy unit** with ground level for pedestrian entry and not effected by the non-availability of the lift for emergency exit or failure of lift due to electrical or mechanical failure.
3. The number of fully wheelchair accessible bedroom proposed is number required by the BCA/NCC-2016 Table D3.1.
  - These rooms proposed fully accessible to the specifications of AS1428.1-2009 *Design for access and mobility* and applicable circulation at bed of **AS1428.2 Clause 6.2** *Circulation space for 180° wheelchair turn* called for by BCA/NCC-2016 Table D3.1
4. Access requirements for people with disability to the, relevant to this development, is proposed to be catered for with implementation of technical specification of AS1428.1-2009 *Design for access and mobility* in finish detail of such items as footpaths/accessible paths of travel and points of entry.

➤ **Disability Discrimination Act 1992.**

**Part 3 Objects**

The objects of this Act are:

- (a) to **eliminate**, as far as possible, **discrimination** against persons on the ground of disability in the areas of:
  - (i) work, **accommodation**, education, **access to premises**, clubs and sport; and
  - (ii) the provision of goods, facilities, services and land; and
  - (iii) existing laws; and
  - (iv) the administration of Commonwealth laws and programs; and
- (b) to ensure, as far as practicable, that persons with disabilities have the same rights to equality before the law as the rest of the community; and
- (c) to promote recognition and acceptance within the community of the principle that persons with disabilities have the same fundamental rights as the rest of the community.

## **Part 23 Access to premises**

*Disability Discrimination Act 1992*

### **Part 4 Interpretation**

*premises* includes:

- (a) a structure, building, aircraft, vehicle or vessel; and
- (b) a place (whether enclosed or built on or not); and
- (c) a part of premises (including premises of a kind referred to in paragraph (a) or (b)).

- (1) It is unlawful for a person to discriminate against another person on the ground of the other person's disability or a disability of any of that other person's associates:
- (a) by refusing to allow the other person access to, or the use of, any premises that the public or a section of the public is entitled or allowed to enter or use (whether or payment or not); or
  - (b) in the terms or conditions on which the first-mentioned person is prepared to allow the other person access to, or the use of, any such premises; or
  - (c) in relation to the provision of means of access to such premises; or
  - (d) by refusing to allow the other person the use of any facilities in such premises that the public or a section of the public is entitled or allowed to use (whether for payment or not); or
  - (e) in the terms or conditions on which the first-mentioned person is prepared to allow the other person the use of any such facilities; or
  - (f) by requiring the other person to leave such premises or cease to use such facilities.

### **(2) Part 25 Accommodation**

- (1) It is unlawful for a person, whether as principal or agent, to discriminate against another person on the ground of the other person's disability or a disability of any of that other person's associates:
- (a) by refusing the other person's application for accommodation; or
  - (b) in the terms or conditions on which the accommodation is offered to the other person; or
  - (c) by deferring the other person's application for accommodation or according the other person a lower order of precedence in any list of applicants for that accommodation.
- (2) It is unlawful for a person, whether as principal or agent, to discriminate against another person on the ground of the other person's disability or a disability of any of the other person's associates:

Standards/Legislation called into effect by the DDA;

- Building Codes Australia (BCA/NCC-2016)
- AS1428.1-2009 Design for access and mobility
- AS2890.6-2009 *Parking facilities-Off street parking for PWD.*

➤ **Building Codes Australia (BCA) Part D3. Access for People with disability.**

The Building Codes Australia (BCA) (BCA- National Construction Code (NCC) 2016 & specifically Part D3), clearly specifies, Part D3 *Access for people with disabilities* Part D3.2 *General building access requirements* (c) (i) from the allotment boundary, for the proposed boarding house, at the main **points of entry, access compliant with AS1428.1** is to be provided.

The Building Codes Australia (BCA) (BCA- National Construction Code (NCC) 2016 & specifically Part D3), calls for compliance with **BCA Part D3 Access for people with disability** for general building access for people with disability for accommodation requirements. These parts bring into effect the technical specifications of Australian Standards (AS1428.1-2009) to support their own requirements and provisions. Called for by **BCA Part D3.2 General building access requirements** are

**Class 3:** a residential building, other than a building of Class 1 or 2, which is a common place of long term or transient living for a number of unrelated persons, including—

- (a) a boarding house, guest house, hostel, lodging house or backpackers accommodation; or

**D3.1 General building access requirements**

Buildings and parts of buildings must be *accessible* as *required* by Table D3.1, unless exempted by D3.4.

Table D3.1 REQUIREMENTS FOR ACCESS FOR PEOPLE WITH A DISABILITY

Class of building	Access requirements
Class 3	
Class of building	Access requirements
Common areas	From a pedestrian entrance <i>required</i> to be <i>accessible</i> to at least 1 floor containing <i>sole-occupancy units</i> and to the entrance doorway of each <i>sole-occupancy unit</i> located on that level.  To and within not less than 1 of each type of room or space for use in common by the residents, including a cooking facility, sauna, gymnasium, <i>swimming pool</i> , common laundry, games room, TV room, individual shop, dining room, public viewing area, ticket purchasing service, lunch room, lounge room, or the like.
<i>Sole-occupancy units</i>	Not more than 2 <i>required accessible sole-occupancy units</i> may be located adjacent to each other.  Where more than 2 <i>accessible sole-occupancy units</i> are <i>required</i> , they must be representative of the range of rooms available.
Table D3.1 REQUIREMENTS FOR ACCESS FOR PEOPLE WITH A DISABILITY—continued	
Class of building	Access requirements
If the building or group of buildings contain—	To and within—
1 to 10 <i>sole-occupancy units</i>	1 <i>accessible sole-occupancy unit</i> .
11 to 40 <i>sole-occupancy units</i>	2 <i>accessible sole-occupancy units</i> .

### D3.5 Accessible carparking

#### Accessible carparking spaces—

Table D3.5 CARPARKING SPACES FOR PEOPLE WITH A DISABILITY

Class of building to which the <i>carpark</i> or carparking area is associated	Number of <i>accessible</i> carparking spaces <i>required</i>
<b>Class 1b and 3</b>	
(a) Boarding house, guest house, hostel, lodging house, backpackers accommodation, or the residential part of a hotel or motel.	To be calculated by multiplying the total number of carparking spaces by the percentage of— (i) <i>accessible sole-occupancy units</i> to the total number of <i>sole-occupancy units</i> ; or (ii) <i>accessible</i> bedrooms to the total number of bedrooms; and

### BCA/NCC-2016; Part D3 Access for People with disability

## SECTION D ACCESS AND EGRESS

### OBJECTIVE

#### DO1

The *Objective* of this Section is to—

- (a) provide, as far as is reasonable, people with safe, equitable and dignified access to—
  - (i) a building; and
  - (ii) the services and facilities within a building; and
- (b) safeguard occupants from illness or injury while evacuating in an emergency.

#### D3.2 Access to buildings

- (a) An *accessway* must be provided to a building *required* to be *accessible*—
  - (i) from the main points of a pedestrian entry at the allotment boundary; and
  - (ii) from another *accessible* building connected by a pedestrian link; and
  - (iii) from any *required accessible* carparking space on the allotment.
- (b) In a building *required* to be *accessible*, an *accessway* must be provided through the principal pedestrian entrance, and—
  - (i) through not less than 50% of all pedestrian entrances including the principal pedestrian entrance; and
  - (ii) in a building with a total *floor area* more than 500 m<sup>2</sup>, a pedestrian entrance which is not *accessible* must not be located more than 50 m from an *accessible* pedestrian entrance,

Compliance with the BCA/NCC-2016 will encompass access to the front door of all level “**Sole-occupancy units**” including access to and within the “**accessible sole-occupancy units**” of this development.

## PERFORMANCE REQUIREMENTS

### DP1

Access must be provided, to the degree necessary, to enable—

- (a) people to—
  - (i) approach the building from the road boundary and from any *accessible* carparking spaces associated with the building; and
  - (ii) approach the building from any *accessible* associated building; and
  - (iii) access work and public spaces, accommodation and facilities for personal hygiene; and
- (b) identification of *accessways* at appropriate locations which are easy to find.

## ➤ Disability (Access to Premises-Buildings) Standard-2010.

### *Purpose of the Premises Standards*

4. The purpose of the Premises Standards is to provide:

- a nationally applicable set of provisions that detail what must be done to provide for non-discriminatory access to public buildings for people with disability
- the first and perhaps the most significant step in the development of consistent and uniform requirements for non-discriminatory building access — bringing together the access requirements under the DDA and building law, and

Premises Standards would harmonise the requirements of the Building Code and the Disability Discrimination Act in relation to access to buildings through incorporation of the Access Code into the Building Code. The Access Code forms Schedule 1 of the Premises Standards and contains its technical requirements.

## **Part 1 Preliminary**

### **1.3 Objects**

The objects of these Standards are:

- (a) to ensure that dignified, equitable, cost-effective and reasonably achievable access to buildings, and facilities and services within buildings, is provided for people with a disability; and
- (b) to give certainty to building certifiers, building developers and building managers that, if access to buildings is provided in accordance with these Standards, the provision of that access, to the extent covered by these Standards, will not be unlawful under the Act.

## **Part 2 Scope of Standards**

### **2.1 Buildings to which Standards apply**

(1) Subject to subsection (2), these Standards apply to the following:

- (a) a new building to the extent that the building is:
- (iii) a Class 3, 5, 6, 7, 8, 9 or 10 building;

## Part D3 Access for people with a disability

**Table D3.1: Requirements for access for people with a disability**

Class of building	Access requirements
<b>Class 3</b>	
Common areas	<p>From a pedestrian entrance <i>required</i> to be <i>accessible</i> to at least one floor containing <i>sole-occupancy units</i> and to the entrance doorway of each <i>sole-occupancy unit</i> located on that level</p> <p>To and within not less than one of each type of room or space for use in common by the residents, including a cooking facility, sauna, gymnasium, <i>swimming pool</i>, common laundry, games room, TV room, individual shop, dining room, public viewing area, ticket purchasing service, lunchroom, lounge room, or the like</p> <p>Where a ramp complying with AS 1428.1 or a passenger lift is installed:</p> <ul style="list-style-type: none"> <li>(a) to the entrance doorway of each <i>sole-occupancy unit</i>, and</li> <li>(b) to and within rooms or spaces for use in common by the residents,</li> </ul> <p>located on the levels served by the lift or ramp</p>
Sole-occupancy units	<p>Not more than 2 <i>required accessible sole-occupancy units</i> may be located adjacent to each other</p> <p>Where more than 2 <i>accessible sole-occupancy units</i> are <i>required</i>, they must be representative of the range of rooms available</p>
If the building or group of buildings contain:	To and within:
1 to 10 <i>sole-occupancy units</i>	1 <i>accessible sole-occupancy unit</i>
11 to 40 <i>sole-occupancy units</i>	2 <i>accessible sole-occupancy units</i>

### D3.2 Access to buildings

- (1) An *accessway* must be provided:
  - (a) to a building *required to be accessible*;
  - (b) from the main points of a pedestrian entry at the allotment boundary; and
    - (i) from another *accessible* building connected by a pedestrian link; and
    - (ii) from any *required accessible* carparking space on the allotment.
- (2) In a building *required to be accessible*, an *accessway* must be provided through the principal pedestrian entrance, and:



➤ **STATE ENVIRONMENTAL PLANNING POLICY**  
**(Affordable Rental Housing) 2009.**

**Aims of Policy:**

The aims of this Policy are as follows:

- (a) to provide a consistent planning regime for the provision of affordable rental housing,
- (b) to facilitate the effective delivery of new affordable rental housing by providing incentives by way of expanded zoning permissibility, floor space ratio bonuses and non-discretionary development standards,
- (c) to facilitate the retention and mitigate the loss of existing affordable rental housing,
- (d) to employ a balanced approach between obligations for retaining and mitigating the loss of existing affordable rental housing, and incentives for the development of new affordable rental housing,
- (e) to facilitate an expanded role for not-for-profit-providers of affordable rental housing,
- (f) to support local business centres by providing affordable rental housing for workers close to places of work,
- (g) to facilitate the development of housing for the homeless and other disadvantaged people who may require support services, including group homes and supportive accommodation.

**Note.** The Act defines affordable housing as follows:

***affordable housing*** means housing for very low income households, low income households or moderate income households, being such households as are prescribed by the regulations or as are provided for in an environmental planning instrument.

**ACCESS and COMPLIANCE ASSESSMENT;**

- The “**accessible sole-occupancy units**” units six and twenty have access to them (and all **sole-occupancy units** entrance doorway on that level) by an uninterrupted accessible path of travel from the street frontages compliant with the AS1428.1-2009 Clause 6 *Continuous accessible paths of travel*.

The requirements of BCA/NCC-2016 Part D3 *Access for people with disabilities*, Disability (Access to Premises-Buildings) Standard-2010, **DAtPS** and AS1428.1-4, as well as associated standards/legislation, are met with this proposed development and in their relation to the requirements to satisfy relevant State and Federal legislation.

- Access is provided (BCA/NCC-2016 Part D3.2 (a) (i) & (ii) & Table D3.1) for all residents/visitors “*to and within-one bedroom and associated sanitary facilities*” and “*from the main points of a pedestrian entry (Willandra Road) at the allotment boundary*” by continuous accessible paths of travel which are compliant with AS1428.1-2009 Clause 6 *Continuous accessible paths of travel*.
- Access is provided (BCA/NCC-2016 Part D3 Table 3.1 for all residents “*to and within not less than 1 of each type of room or space for use in common by the residents*” including the common room/outdoor terraces by continuous accessible paths of travel, pedestrian links which are compliant with AS1428.1-2009 Clause 6 *Continuous accessible paths of travel*.



- Clause D3.1 General building access requirements – Access Code for Buildings Schedule 1 Part D3.
  - Dignified, equitable, cost effective and **reasonable achievable** access is provided to and within the building (To the degree necessary [BCA/NCC-2016 *Performance requirements* DP1] to unit No. 6 & 20).
- All pedestrian walkways on the accessible paths of travel to and within the development (to each of the sole-occupancy units) are compliant with the requirements of AS1428.1-2009 (called upon by BCA/NCC-2016 Table D3.1) in their technical specifications.
  - All staircases/ramps where required (**Except for fire isolated stairs/ramps BCA/NCC 2016 Part D3.3 Parts of a building to be accessible (a)** except for provision of stair tread nosing) comply with AS1428.1-2009 Clause 10.3 *Ramps*, Figure 14-19 & Clause 11 *Stairways*, Figure 26-29 in finish and construction detail with handrails compliant with AS1428.1-2009 Clause 12 *Handrails* and Figure 14 & 15 *Ramp Handrails* and Figures 26 *Stair handrail*.
  - All walkways/stairs/ramps have, where required, the required TGSI's at the top/intermediate and bottom landing (**Except for fire isolated stairs/ramps BCA/NCC 2016 Part D3.3 Parts of a building to be accessible (a)**) compliant with **AS/NZS 1428.4.2 Clause 2.2.3 and Figure A1**, for technical requirements, with appropriate luminance contrast also included on stair nosing as per Figure 27 to comply with BCA/NCC 2016 Part D3.8 *Tactile indicators*.
- All pedestrian walkways/paths of travel are proposed to be compliant with the design and technical specifications of AS1428.1-2009 Clause 6 *Continuous accessible paths of travel* for their gradients, surface finish and other relevant features.
- The entrance door, to the “**accessible sole-occupancy units**”, and its circulation area are of a dimension mandated by AS1428.1-2009 Clause 13.2 & 13.3. The doors have a clear opening dimension of 850mm compliant with AS1428.1 Clause 13.1 & Figure 30 and door circulation space dimensions compliant with AS1428.1 Clause 13.3 & Figure 31.
- The entrance door hardware and locking mechanism as fitted are technically compliant with the requirements of AS1428.1-2009 Clause 13.5 *Door Controls*.

#### **Bathroom;**

- The bathroom for the “**accessible sole-occupancy units/bedrooms**” is, as with common use accessible (disabled) sanitary facility, designed, and built, to the relevant specifications of AS1428.1-2009 Clause 15.2 *Accessible unisex sanitary facility* to Clause 15.6 *Circulation space in accessible sanitary facility* with reference dimensions from Figure 50 *Sanitary compartment showing overlap of washbasin fixture into shower circulation space*.
  - i. Located adjacent to the accessible SOU's with easy access for occupants/people with disability with internal dimensions typical of 2300mm X 2600mm.

- ii. The entry door is to be compliant with **AS1428.1-2009 Clause 13.2** Figure 31 with a minimum 850mm clear opening dimension and the maximum 5mm construction tolerance threshold specified by **AS1428.1 Clause 5.1.2** Note: *a construction tolerance of up to 5mm is acceptable using rounded or bevelled edges.*
- iii. The toilet pan will be in the correct position as per **AS1428.1-2009 Design for access and mobility Clause 15.2.2 WC pan clearances & Figure 38 Water closet pan clearances, seat height and width** at 800mm to front of pan & 450mm centre from side wall & seat 470mm high.
- iv. The grab rails are to be fitted correctly at pan for position and design compliant with **AS1428.1-2009 Clause 15.2.7 & Figure 42 Position of grab rails in water closet** as with all other fittings and fixtures including the hand dryer, basin, a shelf and cloth hanger.
- v. The clear turning circle requirement of 1540mm will be present to comply with **AS1428.2 Clause 6.2** and the floor with a slip resistant surface as specified in **AS1428.1 Clause 12 Surface on a continual accessible path of travel.**

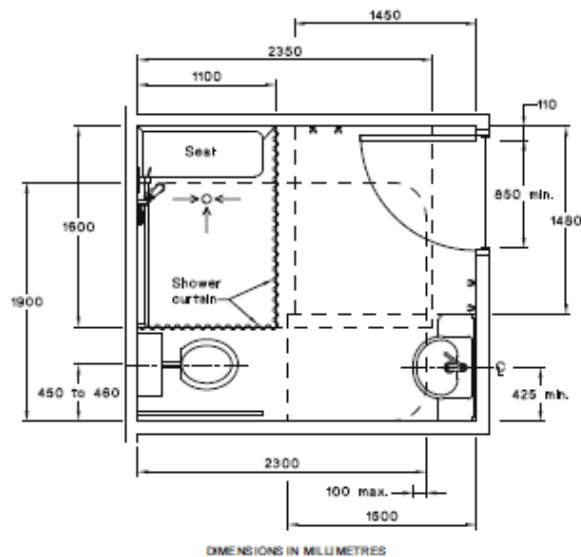


FIGURE 50 SANITARY COMPARTMENT SHOWING OVERLAP OF WASHBASIN FIXTURE INTO SHOWER CIRCULATION SPACE

LEGEND  
 --- Circulation space line DIMENSIONS IN MILLIMETRES

FIGURE 43 CIRCULATION SPACE FOR WC PAN—RIGHT-HAND TRANSFER (LEFT-HAND TRANSFER IS MIRROR REVERSED)



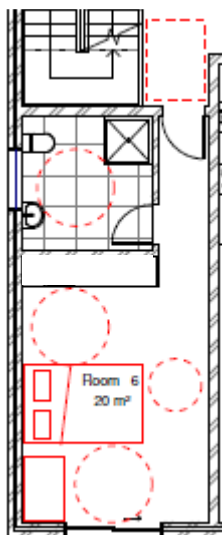
Common use sanitary facility

**6.2 Circulation space for 180° wheelchair turn** The space required for a wheelchair to make a 180° turn shall be not less than 2070 mm in the direction of travel and not less than 1540 mm wide.

- vi. The appropriate signage is installed along with a locking mechanism on the sanitary facility entrance door for privacy.

## Accessible sole-occupancy units.

Typical “Accessible” showing 1540mm & 1000mm clear circulation spaces.



### Bedroom;

- The bedroom **as built** meets the requirements of AS1428.2 Clause 6.2 in having the bed and wardrobe (Capable of easily being repositioned when/if required by person with disability) with the circulation space required (bed size not specified in NCC) of AS1428.2-1992 Clause 6.2 and Figure 29 *Circulation space around beds*. The clear turning circulation requirement, clear of wardrobe fixtures, of 1540mm is as built to comply with **AS1428.2 Clause 6.2**

AS 1428.2—1992

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**6.2 Circulation space for 180° wheelchair turn** The space required for a wheelchair to make a 180° turn shall be not less than 2070 mm in the direction of travel and not less than 1540 mm wide.

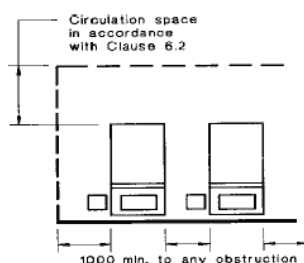


FIGURE 29 CIRCULATION SPACE AROUND BEDS

- The GPOs/light switches/phone outlets/TV outlets and other fittings/fixtures are installed in accordance with the specifications of AS1428.1-2009 Clause 14 *Switches and general purpose outlets* (power points).
- Also provided is a storage area which could be used as wardrobe area if additional circulation is required in the bedroom or for storage of equipment/personal items specific to their requirements

Basement Car parking;

The appropriate “headroom” is present in the car park to satisfy the requirements of AS/NZS2890.6:2009 *Parking facilities-Off street parking for people with disability* Clause 2.4 *Headroom* for a general “floor to an overhead obstruction” measurement of 2200mm.

- The dedicated accessible (disabled) car parking space for accessible units 2500mm clearance above that area as detailed in Clause 2.4 & Figure 2.7 *Headroom required*.

Car parking;

- The dedicated accessible (disabled) car space is provided at the lift which services all level of the building with the “shared area” being a walkway to the lift.

The provision, numerically wise, of accessible (disabled) car parking spaces for the nominated “accessible” unit is in accordance with BCA Table D3.5.

- i. The parking space is proposed to be technically and feature designed to comply with the AS2890.2009 Part 6 *Parking facilities-Off street parking for people with disability* Section 2.2 *Parking space-dimensions* Point 1 *Angle parking spaces*.

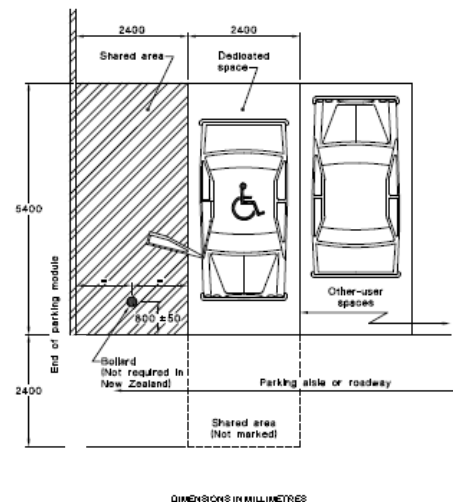


FIGURE 22 EXAMPLE OF AN ANGLE PARKING SPACE WITH SHARED AREA ON ONE SIDE ONLY DIMENSIONS FOR AUSTRALIA ONLY\*

## ~~A2.2 Angle parking spaces~~

~~The shared area can be shared with any other suitable use, noting that it needs to be accessible in accordance with AS 1428.1 and free of other than transitory obstructions at all times.~~

AS2890.2009 Part 6.

### 1.3.2 Shared area

An area adjacent to a dedicated space provided for access or egress to or from a parked vehicle and which may be shared with any other purpose that does not involve other than transitory obstruction of the area, e.g. a walkway, a vehicular aisle, dual use with another adjacent dedicated space.

Accessibility, safe, equitable and dignified, is provided “To and within all areas normally used by the residents or visitors” and to the degree necessary to address Building Codes Australia/ National Construction Code-2016 Section D *Access and egress*, Part D3 *Access for people with disability* Table D3.1 as well as Section D *Access and Egress Objectives* D01 (b) *Safeguard occupants from illness or INJURY in an emergency* and Disability (Access to Premises-Buildings) Standard-2010.

- The wheelchair accessible lift is provided for access all level of the buildings and has a lift car size no less than that required to be compliant with **AS1735.12 Lifts Escalators and Moving Walks, Section 2** (minimum 1400mm X 1600mm and door opening of 900mm). This will allows an unobstructed path of travel from the dedicated accessible (disabled) car parking spaces in this development for a person with disability.
- The lift car has the appropriate controls/grab rails and emergency phone/intercom system for operation by a person with disability satisfying the requirements of AS1735.12 Part 7.2 *Provision in lift cars*, Part 7.3 *Location* & Part 7.4 *Design*. The door is self-closing at a pace to allow ease of entry and operation of the lift is prevented until fully closed.

### **SUMMARY; 74 Willandra Rd Narraweena.**

As documented above all areas of compliance requirements of BCA/NCC-2016 Part D3 and would be seen to address along with the relevant “Objects” of DDA 1992, Disability (Access to Premises-Buildings) Standard-2010 in regard access, including to and within the “**accessible sole-occupancy units**”, for and provision of housing for people with disability has been catered for (and applicable technical detail for Development Application or/and Construction Certificate issuance) with this boarding house development.

There is provided equitable access to and within this boarding house development and the appropriate residential dwelling “**accessible sole-occupancy units**” in a manner which complies with AS1428.1-2009 *Design for access and mobility* and BCA/NCC-2016 Part D3. The technical requirements called for in these standards, and related legislations has been adhered to in addressing the Disability Discrimination Act 1992 legislation in regard to access, appropriate housing and the inherent rights and aspirations of people with disability.

Yours sincerely



Peter Simpson

Accredited by,  
Association of Consultants in Access Australia  
Accreditation No. 185.