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4	SITE PLAN
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6	WATER MANAGEMENT PLAN (FF)
7	GROUND FLOOR PLAN
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9	DOOR & WINDOW SCHEDULES
10	ELEVATIONS / SECTION
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15	BUTLER'S PANTRY DETAILS
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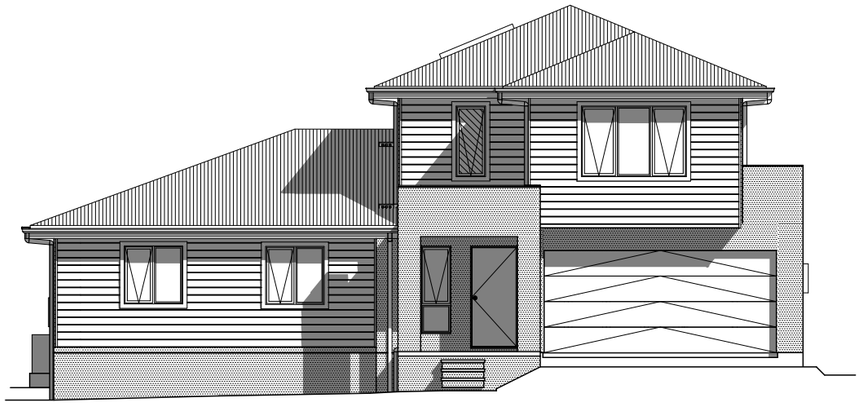
28	SHADOW DIAGRAMS - JUNE 21



GRANNY FLAT

HOT WATER SYSTEM
- GAS CONTINUOUS FLOW - 6 STAR

HEATING SYSTEM
- SPLIT SYSTEM AIR CONDITIONING TO LIVING / DINING / KITCHEN, EER 3.5 - 4.0

COOLING SYSTEM
- SPLIT SYSTEM AIR CONDITIONING TO LIVING / DINING / KITCHEN, EER 3.0 - 3.5

VENTILATION (EXHAUST FANS)
- AT LEAST ONE BATHROOM: INDIVIDUAL FAN - DUCTED TO FACADE OR ROOF, INTERLOCKED TO LIGHT
- KITCHEN RANGEHOOD: INDIVIDUAL FAN - DUCTED TO FACADE OR ROOF, MANUAL SWITCH ON/OFF
- LAUNDRY: INDIVIDUAL FAN - DUCTED TO FACADE OR ROOF, MANUAL SWITCH ON/OFF

PRIMARY FLUORESCENT/LED LIGHTING INCLUDING COVER
- 2 BEDROOMS/STUDY, NON DEDICATED
- 1 LIVING/DINING AREAS, NON DEDICATED
- KITCHEN, NON DEDICATED
- ALL BATHROOMS/TOILETS, NON DEDICATED
- LAUNDRY, NON DEDICATED
- ALL HALLWAYS, NON DEDICATED

NATURAL LIGHTING TO
- KITCHEN

ALTERNATIVE ENERGY
- N/A

OTHER
- GAS COOKTOP, ELECTRIC OVEN
- FIXED OUTDOOR CLOTHESLINE BY OWNER

SUSTAINABILITY COMMITMENTS

WATER COMMITMENTS

3 STAR (> 7.5 BUT <= 9 L/MIN) SHOWER HEADS
4 STAR TOILET SUITES
4 STAR KITCHEN TAPS
5 STAR BATHROOM TAPS

241.49 m² TOTAL ROOF AREA

4500 L WATER TANK(S) MINIMUM CAPACITY
151.41 m² MINIMUM ROOF AREA TO TANK(S)

RAINWATER TANK(S) TO BE CONNECTED TO:
- AT LEAST ONE OUTDOOR TAP
- ALL TOILETS
- WASHING MACHINE

NO RETICULATED RECYCLED WATER SUPPLY

250 m² GARDEN/LAWN AREA

ENERGY COMMITMENTS

HOT WATER SYSTEM
- GAS CONTINUOUS FLOW - 6 STAR

HEATING SYSTEM
- 3-PHASE REVERSE CYCLE AIR CONDITIONING EER 3.5 - 4.0

COOLING SYSTEM
- 3-PHASE REVERSE CYCLE AIR CONDITIONING EER 3.0 - 3.5

VENTILATION (EXHAUST FANS)
- AT LEAST ONE BATHROOM: INDIVIDUAL FAN - DUCTED TO FACADE OR ROOF, INTERLOCKED TO LIGHT
- KITCHEN RANGEHOOD: INDIVIDUAL FAN - DUCTED TO FACADE OR ROOF, MANUAL SWITCH ON/OFF
- NO MECHANICAL VENTILATION TO LAUNDRY

PRIMARY FLUORESCENT/LED LIGHTING INCLUDING COVER
- 4 BEDROOMS/STUDY, NON DEDICATED
- 3 LIVING/DINING AREAS, NON DEDICATED
- KITCHEN, NON DEDICATED
- ALL BATHROOMS/TOILETS, NON DEDICATED
- LAUNDRY, NON DEDICATED
- ALL HALLWAYS, NON DEDICATED

NATURAL LIGHTING TO
- KITCHEN
- 3 BATHROOM(S)/TOILET(S)

ALTERNATIVE ENERGY
- N/A

OTHER
- GAS COOKTOP, ELECTRIC OVEN
- FIXED OUTDOOR CLOTHESLINE BY OWNER

BUILDING INFORMATION

GROUND FLOOR CEILING HEIGHT(S):	2580mm
FIRST FLOOR CEILING HEIGHT:	2580mm
FRAMES AND TRUSSES:	STEEL
ROOF PITCH (U.N.O.):	3°, 5°, 20°, 22.5°
ELECTRICITY SUPPLY:	3-PHASE
GAS SUPPLY:	RETICULATED NATURAL
ROOF MATERIAL:	SHEET METAL
ROOF COLOUR:	DARK
ROOF INSULATION:	R4.1 BATTS MIN. 60mm FOIL FACED BLANKET
WHIRLYBIRDS:	1
WALL MATERIAL:	HEBEL
WALL COLOUR:	N/A
WALL INSULATION:	R2.5 BATTS WALL WRAP
FLOOR INSULATION:	N/A

ENGINEERING & SITE INFORMATION

SLAB TO BE 85mm THICK (U.N.O.) WITH REINFORCEMENT TO ENGINEERS SPECIFICATIONS & DETAILS OVER A 200µm WATERPROOF MEMBRANE ON A BED OF FREE DRAINING COARSE SAND (WHERE SPECIFIED)

PROVIDE HEBEL CONTROL JOINTS IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-1998 OR AS/NZS 4600-2018

DESIGN CRITERIA
WIND RATING: N2

SITE CLASSIFICATION
SITE CLASSIFICATION IS: H

SLAB CLASSIFICATION
SLAB CLASSIFICATION IS: H

TOTAL FLOOR AREAS

GARAGE	32.68
GRANNY FLAT	58.55
LIVING (FIRST FLOOR)	102.76
LIVING (GROUND FLOOR)	92.22
OUTDOOR LIVING (GRANNY FLAT)	9.33
PORCH	6.29
STAIRS	5.66
VOID	5.56
	313.05 m²

LOCATION MAP

LOT 2
#4 DIXON AVENUE

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	9	CONTRACT PLAN	PNG	2020.05.21								
	10	AMENDMENTS AS PER PCV007	JOP	2020.06.15	SUBURB: FRENCHS FOREST	POSTCODE: 2086	COUNCIL: NORTHERN BEACHES	SECTION No: -	SHEET TITLE: COVER SHEET	SCALES:	SHEET No: 1 / 28	651528
	11	AMENDMENTS AS PER PCV008	JOP	2020.07.16								

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

WIND CLASSIFICATION	N2
WITHIN 1 KM. OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	NO

SITE CO-ORDINATES	
LATITUDE	LONGITUDE
33° 44' 53" S	151° 14' 41" E

SERVEY AREA	
OLD OR NEW	OLD

OWNERS ARE FULLY RESPONSIBLE FOR ENSURING THEY HAVE REMOVED ALL EXISTING STRUCTURES AND UTILITY SERVICES FROM THE PROPOSED CONSTRUCTION SITE I.E.:
- EXISTING HOUSE, CARPORT, SHED, PAVING, PATHS, GARDEN BEDS, DRIVEWAYS, SWIMMING POOL OR UNDERGROUND TANKS AND ALL BELOW GROUND FOOTING STRUCTURES.
- REMOVAL OF ANY TREES, STUMPS, BARK OR EXCESSIVE GROWTH WHICH MAY IMPACT ON CONSTRUCTION SITE ACCESS.
- ALL BUILDING MATERIALS OR WASTE ON SITE IS TO BE FULLY REMOVED.
- ANY DEPRESSIONS TO NATURAL GROUND LEVEL ARE TO BE ADEQUATELY FILLED.
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- GAS METER AND ASSOCIATED PIPE WORK TO BE REMOVED BACK TO SITE BOUNDARY.
- ELECTRICAL METER AND ASSOCIATED SERVICES TO BE REMOVED TO AGREED SAFE DISTANCE (BOUNDARY/POLE).
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- EXISTING SITE SEWER & STORM WATER CONNECTIONS TO BE REMOVED AND CAPPED OFF TO PREVENT INCIDENCE OF BUILDING MATERIALS ENTERING THOSE SYSTEMS AND LEAVING YOUR SITE.
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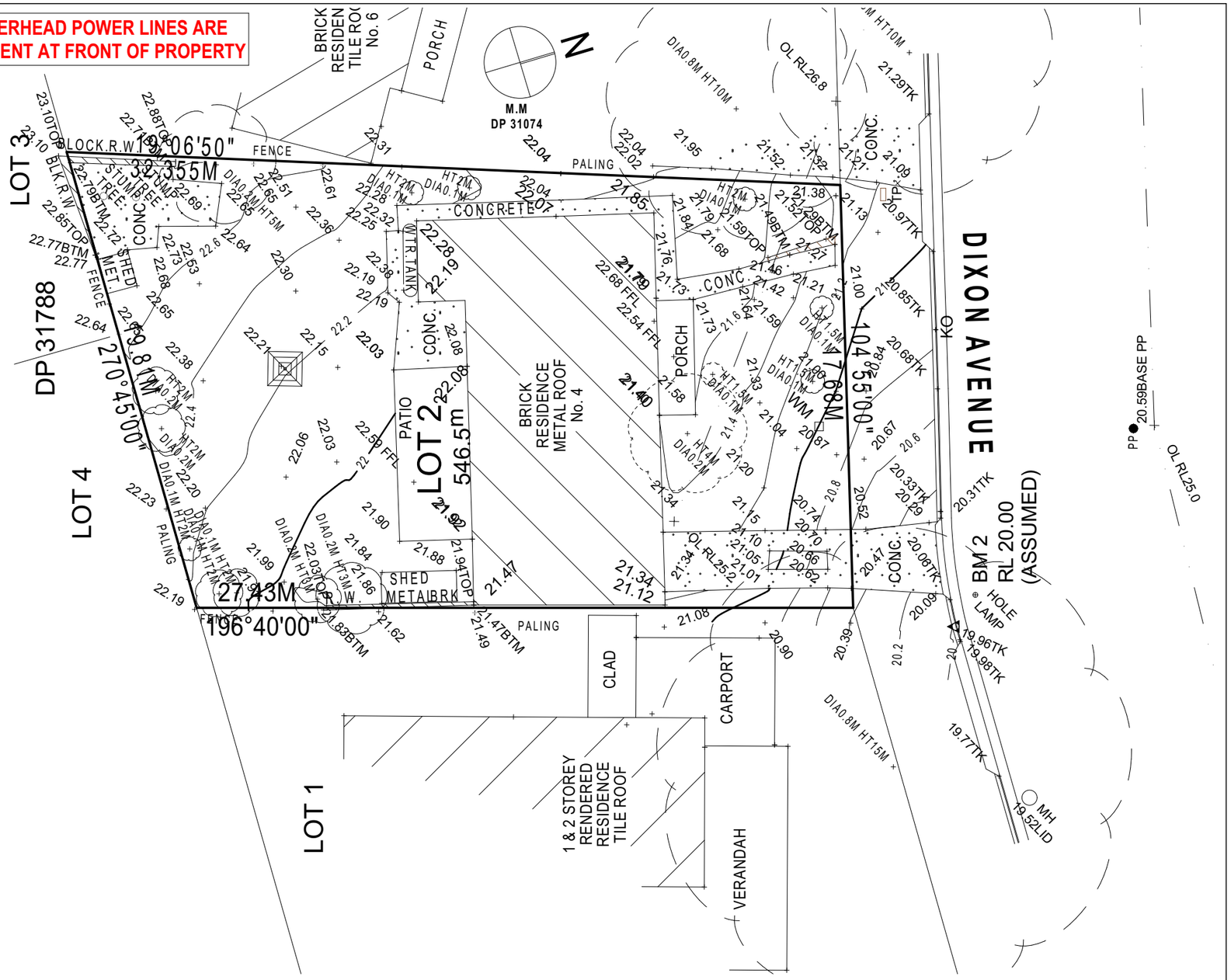
OVERHEAD POWER LINES ARE PRESENT AT FRONT OF PROPERTY



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	11	AMENDMENTS AS PER PCV008	JOP	2020.07.16								

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SITE ANALYSIS

ORIENTATION - LIVING AREAS TO THE DWELLING ARE CENTERED WITH A SOUTH ORIENTATION. GOOD SHADING AND THE ARRANGEMENT OF GLAZING WILL MAXIMISE THE POTENTIAL FOR COOLING SOUTHERLY BREEZES TO VENTILATE THE LIVING AREAS IN THE SUMMER MONTHS, ADDING TO THE INTERNAL COMFORT. THE EXTERNAL SHADING TO GLAZED AREAS ENABLES THE DWELLING TO COMFORTABLY ACHIEVE ABSA/BASIX THERMAL COMFORT TARGETS.

TOPOGRAPHY - GENTLY SLOPED BLOCK AS INDICATED BY CONTOURS ON SITE PLAN. SINGLE STOREY DESIGN USED TO TAKE ADVANTAGE OF TOPOGRAPHY WITH MAX CUT OF 662mm AND MAX FILL 12mm.

STREETSCAPE - SETBACKS COMPLY WITH COUNCIL'S REQUIREMENTS, WITH MAIN DWELLING SET BACK 6.082m AND GARAGE SET BACK 7.216m.

CONTEXT - NO SPECIAL REQUIREMENTS.

VEGETATION - SITE IS CLEAR OF TREES AND VEGETATION.

PRIVACY - THE LIVING AREAS OF THE DWELLING ARE SET BACK FROM 1.096m TO OVER 1.400m FROM THE BOUNDARY TO PROVIDE BOTH VISUAL AND ACOUSTIC PRIVACY. IT IS PROPOSED THAT THERE WILL BE AMPLE PRIVACY AND SOLAR AMENITY TO PROPOSED RESIDENCES.

NOISE AND LIGHT - THE PROPOSED POSITION OF THE DWELLING COMPLIES WITH COUNCIL SETBACKS TO THE STREET FRONTAGE. THE SITE IS SITUATED IN A RESIDENTIAL LOCATION WITH THE POSTIONING OF TWO OF THE THREE BEDROOMS AWAY FROM THE MAIN NOISE SOURCE, THUS REDUCING POTENTIAL IMPACT OF STREET NOISE.

PREVAILING WINDS - THE LIVING AREAS OF THE DWELLING WILL BENEFIT FROM SOUTHERLY BREEZES DURING SUMMER.

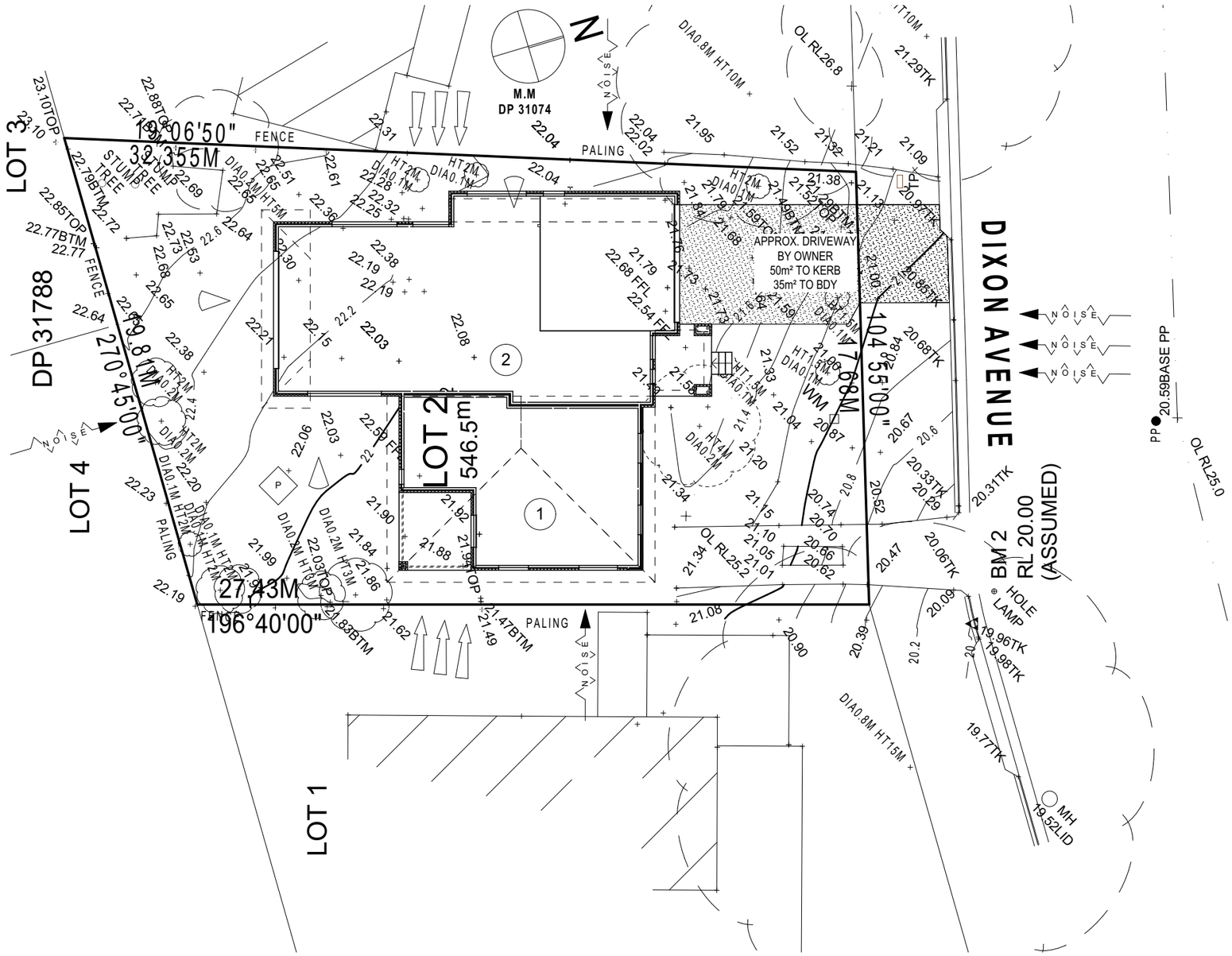
DRAINAGE - THE SITE DRAINS NATURALLY TO THE FRONT AND REAR OF THE BLOCK. ROOF WATER COLLECTION WILL BE PARTIALLY DIVERTED TO RECYCLING TANKS FOR USE WITHIN THE DWELLING WITH THE TANK OVERFLOW AND THE REMAINING ROOF AREA DISCHARGING TO THE REAR INTERALLOTMENT DRAINAGE.

SERVICES - ELECTRICITY - UNDERGROUND TO HOUSE.
SEWER - YES
STORMWATER - TO REAR INTERALLOTMENT DRAINAGE.

VEHICLE ACCESS - THE GARAGE HAS BEEN PLACED TO REQUIRE MINIMAL ALTERATION TO THE SITE, WITH THE FINISHED FLOOR LEVEL BEING APPROXIMATELY 1.175mm ABOVE THE KERB LEVEL. TWO UNDERCOVER SPACES WILL BE INCORPORATED WITH ADDITIONAL SPACE ON THE APRON FOR TEMPORARY PARKING - THE DRIVEWAY IS APPROXIMATELY 6m LONG WITHIN THE BOUNDARY.

SURVEY CONSTRAINTS - REFER TO SITE PLAN FOR MORE INFORMATION.

SECURITY - THE SURROUNDING BLOCKS ARE CURRENTLY UNOCCUPIED HOWEVER THERE WILL BE RESIDENCES CONSTRUCTED IN THE VICINITY OF THE PROPOSED SITE IN THE NEAR FUTURE AND THEREFORE CASUAL SURVEILLANCE WILL BE REQUIRED.



SITE ANALYSIS LEGEND

①/② NUMBER OF STORIES	V VIEWS
OVERLOOKING POSITION	PREVAILING WINDS
NOISE POSSIBLE NOISE SOURCE	VEGETATION
P PRIVATE AREA	

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	11	AMENDMENTS AS PER PCV008	JOP	2020.07.16	FRENCHS FOREST	2086	NORTHERN BEACHES	-	SITE ANALYSIS	1:200	3 / 28	651528

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

REFER TO STORMWATER PLAN FOR ALL ROOF COLLECTION AND SURFACE DRAINAGE CONNECTIONS AND DISCHARGE SYSTEMS.

STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS. ALL SURFACE WATER DRAINAGE BY OWNER.

CHARGED STORMWATER SYSTEM CANNOT BE USED FOR DISPOSAL OF DRIVEWAY OR OTHER SURFACE STORMWATER. OWNER IS TO PROVIDE ALTERNATIVE DISCHARGE LINES IF DOWNPIPES ARE NOTED AS 'CDP' ON PLAN. THE BUILDER PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

WIND CLASSIFICATION	N2
WITHIN 1 KM. OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	NO

SITE CO-ORDINATES	
LATITUDE	LONGITUDE
33° 54' 17" S	150° 59' 20" E

SERVEY AREA	
OLD OR NEW	OLD

CUT/FILL CALCULATIONS	
Cut Volume (m³)	Fill Volume (m³)
31.51	30.26

+/- 100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS.
SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS

OWNERS ARE FULLY RESPONSIBLE FOR ENSURING THEY HAVE REMOVED ALL EXISTING STRUCTURES AND UTILITY SERVICES FROM THE PROPOSED CONSTRUCTION SITE I.E.:
- EXISTING HOUSE, CARPORT, SHED, PAVING, PATHS, GARDEN BEDS, DRIVEWAYS, SWIMMING POOL OR UNDERGROUND TANKS AND ALL BELOW GROUND FOOTING STRUCTURES.
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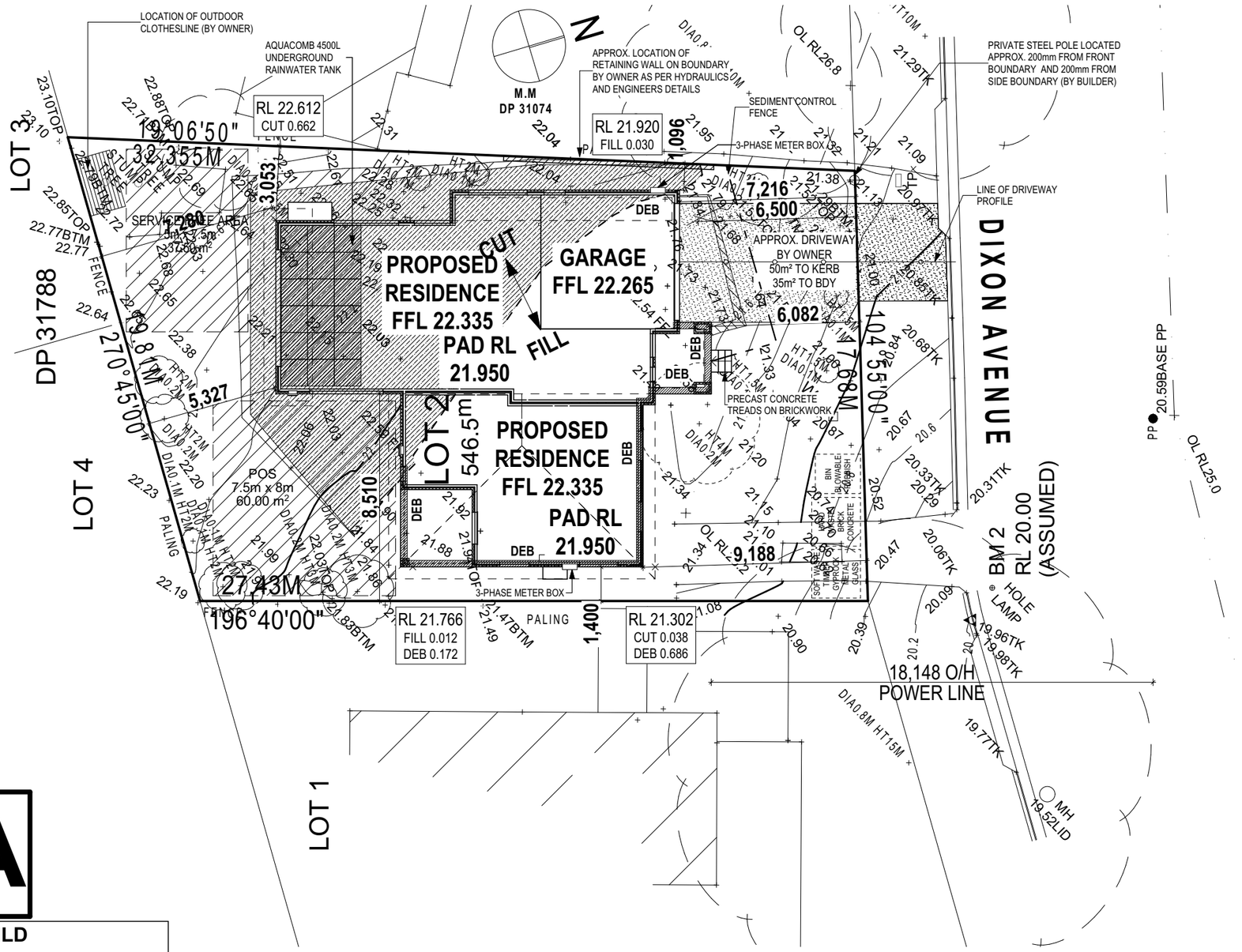
DA

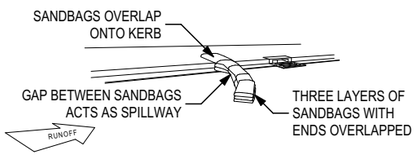
FLOOR SPACE RATIO
N/A
MAXIMUM: N/A

SITE COVERAGE
N/A
MAXIMUM: N/A

LANDSCAPED AREA
300m² / 54.89%
MINIMUM: 218.6m²

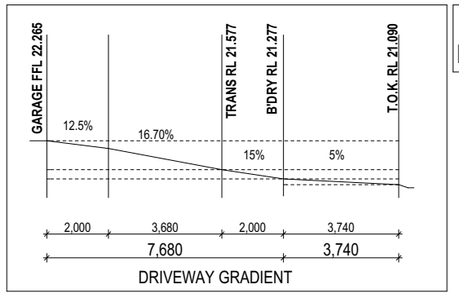
DA





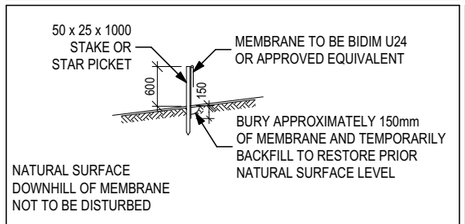
SANDBAG KERB INLET SEDIMENTATION TRAP

KNOCK DOWN REBUILD
EXISTING STRUCTURE TO BE DEMOLISHED (BY OWNER)
STREET TREE TO BE RELOCATED FOR DRIVEWAY (BY OWNER)

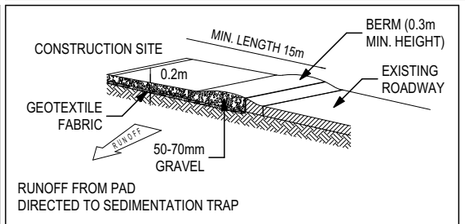


DRIVEWAY GRADIENT

OVERHEAD POWER LINES ARE PRESENT AT FRONT OF PROPERTY



SILT FENCING DETAIL



TEMPORARY CONSTRUCTION EXIT

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ADDRESS: 4 DIXON AVENUE (KNOCK DOWN REBUILD)	DP No: 31074	FACADE DESIGN: MODERN	FACADE CODE: F-NMXTVLIMODNFA
SUBURB: FRENCHS FOREST / POSTCODE: 2086 / COUNCIL: NORTHERN BEACHES	SECTION No: -	SHEET TITLE: SITE PLAN	SCALES: 1:200, 1:1 / SHEET No: 4 / 28

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651528

Template Version: 19.018

REFER TO STORMWATER DESIGN BY DONOVAN ASSOCIATES FOR STORMWATER REQUIREMENTS

REFERENCE: E-317119 ISSUE A

DATED: 15.06.2020

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MOJO homes

SPECIFICATION:		DRAWING	DRAWN		CLIENT:			LOT No:	HOUSE DESIGN:	HOUSE CODE:		DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
MOJO MORE	7	CONTRACT PLANS (PCV 003)	JVA	2020.05.04	MR. MARC A. KRAMER & MRS. RENEE S. KRAMER			2	TIVOLI 27	H-		
COPYRIGHT: © 2020	8	AMENDMENTS AS PER PCV004	JOP	2020.05.18	ADDRESS: 4 DIXON AVENUE (KNOCK DOWN REBUILD)			DP No: 31074	FACADE DESIGN: MODERN	FACADE CODE: F-NMXTVLIMODNFA		
	9	CONTRACT PLAN	PNG	2020.05.21								
	10	AMENDMENTS AS PER PCV007	JOP	2020.06.15	SUBURB: FRENCHS FOREST	POSTCODE: 2086	COUNCIL: NORTHERN BEACHES	SECTION No: -	SHEET TITLE: WATER MANAGEMENT PLAN (GF)	SCALES: 1:100	SHEET No: 5 / 28	651528
	11	AMENDMENTS AS PER PCV008	JOP	2020.07.16								

Template Version: 19.018

REFER TO STORMWATER DESIGN BY DONOVAN ASSOCIATES FOR STORMWATER REQUIREMENTS

REFERENCE: E-317119 ISSUE A

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MOJO homes

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MOJO MORE	7	CONTRACT PLANS (PCV 003)	JVA	2020.05.04	MR. MARC A. KRAMER & MRS. RENEE S. KRAMER			2	TIVOLI 27	H-		
COPYRIGHT: © 2020	8	AMENDMENTS AS PER PCV004	JOP	2020.05.18	ADDRESS: 4 DIXON AVENUE (KNOCK DOWN REBUILD)			DP No: 31074	FACADE DESIGN: MODERN	FACADE CODE: F-NMXTVLIMODNFA		
	9	CONTRACT PLAN	PNG	2020.05.21								
	10	AMENDMENTS AS PER PCV007	JOP	2020.06.15	SUBURB: FRENCHS FOREST	POSTCODE: 2086	COUNCIL: NORTHERN BEACHES	SECTION No: -	SHEET TITLE: WATER MANAGEMENT PLAN (FF)	SCALES: 1:100	SHEET No: 6 / 28	651528
	11	AMENDMENTS AS PER PCV008	JOP	2020.07.16								

Template Version: 19.018

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

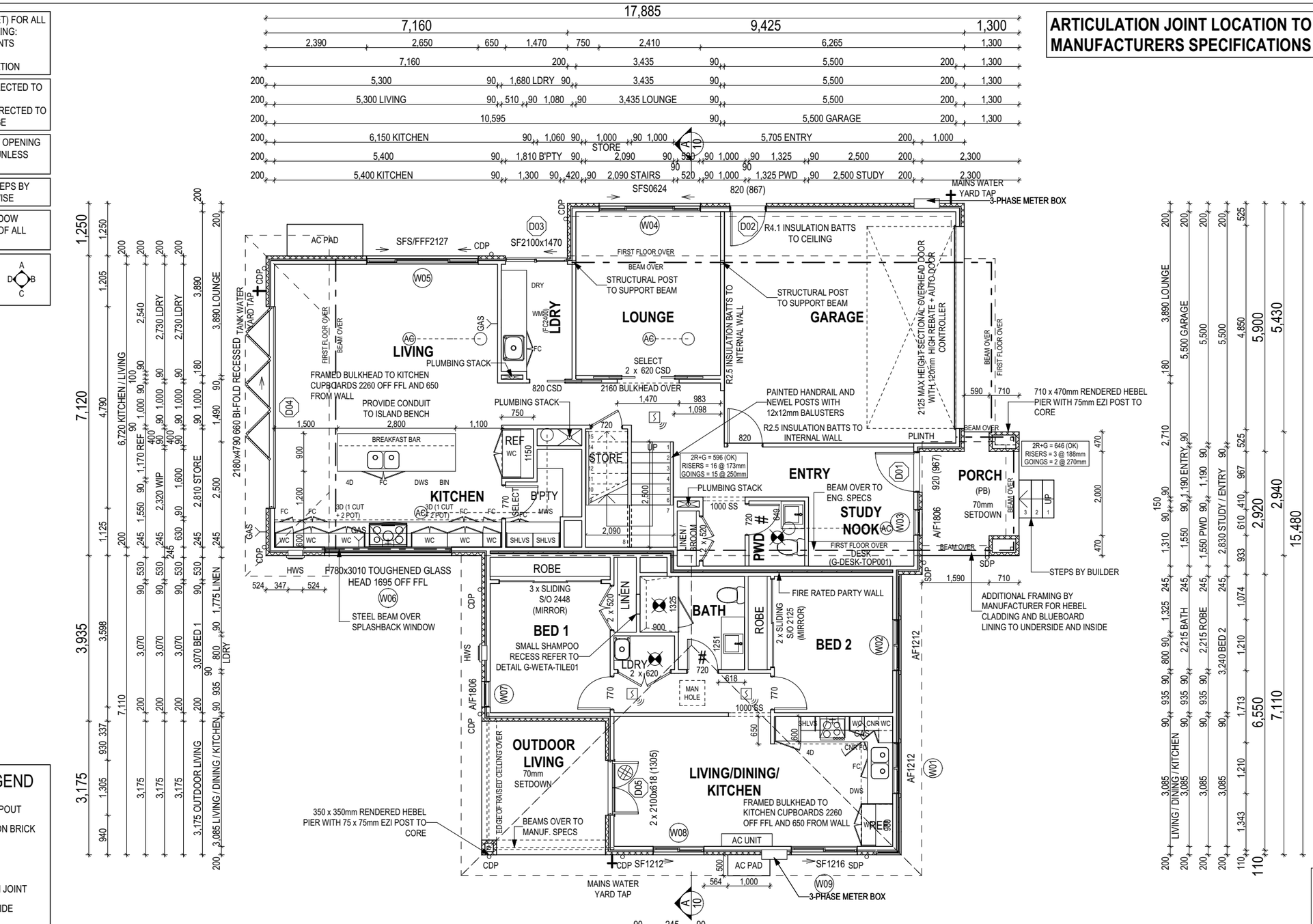
CDP — CHARGED DOWNPIPE DIRECTED TO TANK
SDP — STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE

ALL BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2160 ABOVE FFL UNLESS NOTED OTHERWISE

ALL EXTERIOR LANDINGS AND STEPS BY OWNER UNLESS NOTED OTHERWISE

REFER TO SHEET 9 (DOOR & WINDOW SCHEDULES) FOR FULL DETAILS OF ALL DOORS AND WINDOWS

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



ARTICULATION JOINT LOCATION TO MANUFACTURERS SPECIFICATIONS

PROVIDE AND INSTALL 3 PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM. NUMBER AND POSITIONING OF OUTLETS AND THE FINAL LOCATION OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

ALL ALFRESCO SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB (DOES NOT APPLY TO VERANDAH / PATIO / PORCH SLABS).

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH THE REQUIREMENTS OF PART 3.7.1.7(c) OF THE NCC.

FLOOR PLAN LEGEND

HS / WS	HOB SPOUT / WALL SPOUT
	FACE BRICK / COMMON BRICK
	HEBEL
	SOUND INSULATION
AJ	BRICK ARTICULATION JOINT
3D	DENOTES DRAWER SIDE
	EXHAUST FAN
L.B.W	LOAD BEARING WALL
	THIS DOOR OPENS FIRST
	SMOKE ALARM
#	LIFT OFF HINGE
	WATER POINT
WP	FRIDGE WATER POINT
GAS	GAS BAYONET

ALL DIMENSIONS ARE FRAME DIMENSIONS

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

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MOJO homes

SPECIFICATION: MOJO MORE		DRAWING	DRAWN		CLIENT: MR. MARC A. KRAMER & MRS. RENEE S. KRAMER		LOT No: 2	HOUSE DESIGN: TIVOLI 27	HOUSE CODE: H-
COPYRIGHT: © 2020	7	CONTRACT PLANS (PCV 003)	JVA	2020.05.04					
	8	AMENDMENTS AS PER PCV004	JOP	2020.05.18	ADDRESS: 4 DIXON AVENUE (KNOCK DOWN REBUILD)		DP No: 31074	FACADE DESIGN: MODERN	FACADE CODE: F-NMXTVLIMODNFA
	9	CONTRACT PLAN	PNG	2020.05.21					
	10	AMENDMENTS AS PER PCV007	JOP	2020.06.15	SUBURB: FRENCHS FOREST	POSTCODE: 2086	COUNCIL: NORTHERN BEACHES	SECTION No: -	SHEET TITLE: GROUND FLOOR PLAN
	11	AMENDMENTS AS PER PCV008	JOP	2020.07.16					

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SCALES: 1:100 | SHEET No: 7 / 28

651528

Template Version: 19.018

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

CDP — CHARGED DOWNPIPE DIRECTED TO TANK
SDP — STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE

ALL BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2160 ABOVE FFL UNLESS NOTED OTHERWISE

ALL EXTERIOR LANDINGS AND STEPS BY OWNER UNLESS NOTED OTHERWISE

REFER TO SHEET 9 (DOOR & WINDOW SCHEDULES) FOR FULL DETAILS OF ALL DOORS AND WINDOWS

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:

FIRST FLOOR BEDROOM WINDOW OPENINGS TO BE RESTRICTED AS REQUIRED BY NCC D2.24 (VOLUME ONE) AND/OR NCC 3.9.2.5 (VOLUME TWO)

ALL STAIR TREADS TO PROVIDE A MINIMUM SLIP RESISTANCE TO MEET NCC 3.9.1 REQUIREMENTS

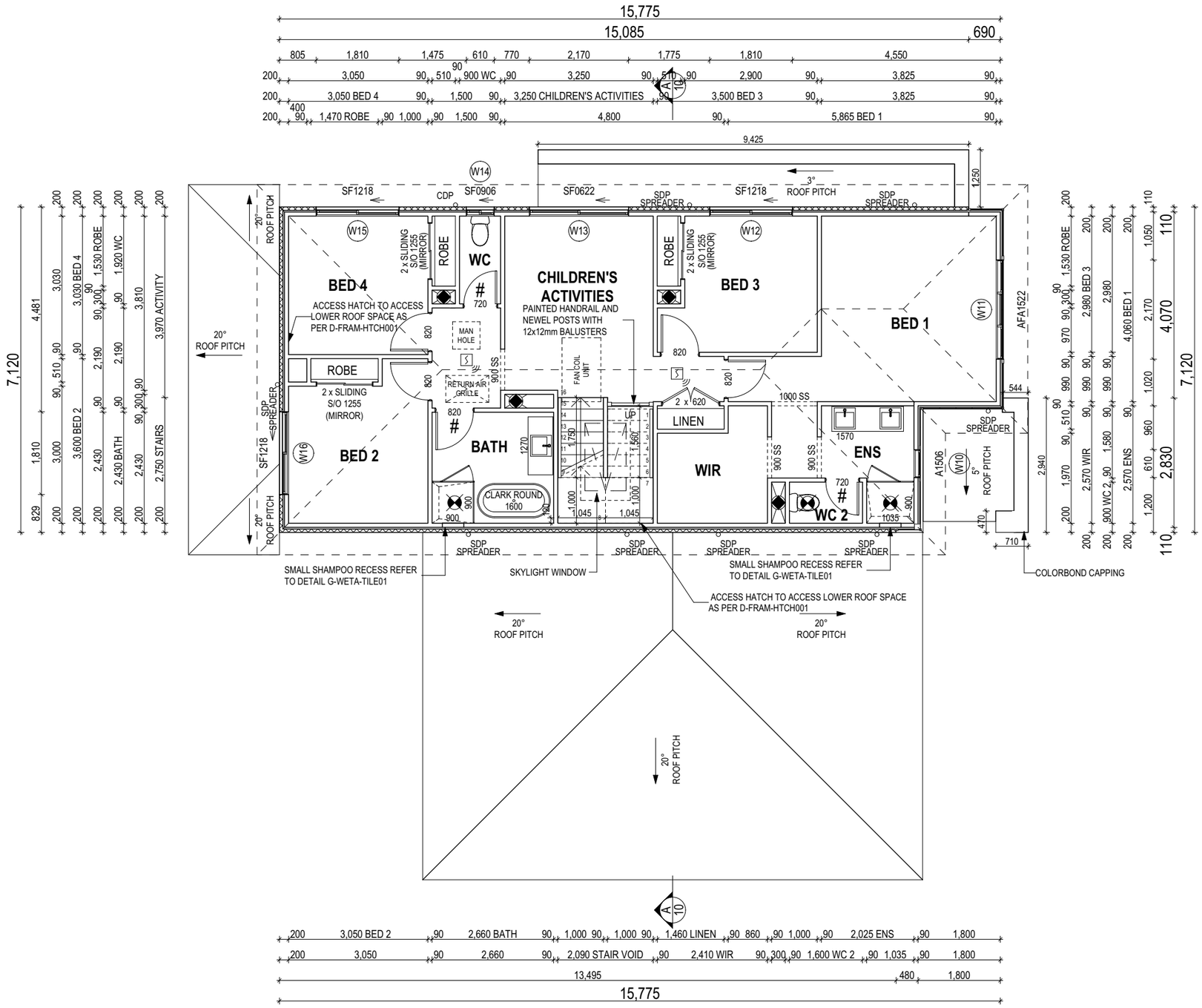
PROVIDE FLOOR WASTE AND OVERFLOW SPITTERS TO UPPER FLOOR TANKED BALCONIES AS PER:
- G-FACA-BALC02 (PFC/BRICKWORK)
- G-FRAM-BALC001 (LIGHTWEIGHT CLADDING)

ARTICULATION JOINT LOCATION TO MANUFACTURERS SPECIFICATIONS

PROVIDE AND INSTALL 3 PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM. NUMBER AND POSITIONING OF OUTLETS AND THE FINAL LOCATION OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH THE REQUIREMENTS OF PART 3.7.1.7(c) OF THE NCC.



FLOOR PLAN LEGEND

HS / WS	HOB SPOUT / WALL SPOUT
	FACE BRICK / COMMON BRICK
	SOUND INSULATION
AJ	BRICK ARTICULATION JOINT
3D	DENOTES DRAWER SIDE
	EXHAUST FAN
L.B.W	LOAD BEARING WALL
	THIS DOOR OPENS FIRST
	SMOKE ALARM
#	LIFT OFF HINGE
	WATER POINT
WP	FRIDGE WATER POINT
GAS	GAS BAYONET

THIS PLAN ACCEPTED BY:

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ALL DIMENSIONS ARE FRAME DIMENSIONS

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MOJO homes

SPECIFICATION: MOJO MORE		DRAWING	DRAWN		CLIENT: MR. MARC A. KRAMER & MRS. RENEE S. KRAMER		LOT No: 2	HOUSE DESIGN: TIVOLI 27	HOUSE CODE: H-
COPYRIGHT: © 2020	7	CONTRACT PLANS (PCV 003)	JVA	2020.05.04					
	8	AMENDMENTS AS PER PCV004	JOP	2020.05.18	ADDRESS: 4 DIXON AVENUE (KNOCK DOWN REBUILD)		DP No: 31074	FACADE DESIGN: MODERN	FACADE CODE: F-NMXTVLIMODNFA
	9	CONTRACT PLAN	PNG	2020.05.21					
	10	AMENDMENTS AS PER PCV007	JOP	2020.06.15	SUBURB: FRENCHS FOREST	POSTCODE: 2086	COUNCIL: NORTHERN BEACHES	SECTION No: -	SHEET TITLE: FIRST FLOOR PLAN
	11	AMENDMENTS AS PER PCV008	JOP	2020.07.16					

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SCALES: 1:100 | SHEET No: 8 / 28

651528

Template Version: 19.018

WINDOW SCHEDULE

IDENTIFICATION			SIZE							REVEAL & REVEAL COVERPLATE (CPL)				
ID	CODE[0]	ROOM	HEIGHT	WIDTH	AREA (m²)	FRAME	SILL TYPE	GLAZING	ORIENT.	HEAD	SILL	LEFT[1]	RIGHT[2]	ADDITIONAL INFORMATION[3]
W01	AF1212	LIVING/DINING/KITCHEN	1,200	1,210	1.45	ALUMINIUM	NONE	CLEAR	N	SINGLE	SINGLE	SINGLE	SINGLE	MP 605
W02	AF1212	BED 2	1,200	1,210	1.45	ALUMINIUM	NONE	CLEAR	N	SINGLE	SINGLE	SINGLE	SINGLE	MP 605
W03	A/F1806	STUDY NOOK	1,800	610	1.10	ALUMINIUM	NONE	CLEAR	N	SINGLE	SINGLE	SINGLE	SINGLE	BP 600
W04	SFS0624	LOUNGE	600	2,410	1.45	ALUMINIUM	NONE	CLEAR	W	SINGLE	SINGLE	SINGLE	SINGLE	
W05	SFS/FFF2127	LIVING	2,060	2,650	5.46	ALUMINIUM	NONE	CLEAR	W	SINGLE	SINGLE	SINGLE	SINGLE	BP 600, MP 663-1325/0
W06	F780x3010	KITCHEN	780	3,010	2.35	ALUMINIUM	NONE	CLEAR, TOUGHENED	E	SINGLE	SINGLE	SINGLE	SINGLE	
W07	A/F1806	BED 1	1,800	610	1.10	ALUMINIUM	NONE	CLEAR	S	SINGLE	SINGLE	SINGLE	SINGLE	BP 600
W08	SF1212	LIVING/DINING/KITCHEN	1,200	1,210	1.45	ALUMINIUM	NONE	CLEAR	E	SINGLE	SINGLE	SINGLE	SINGLE	
W09	SF1216	LIVING/DINING/KITCHEN	1,200	1,570	1.88	ALUMINIUM	NONE	CLEAR	E	SINGLE	SINGLE	SINGLE	SINGLE	
W10	A1506	ENS	1,460	610	0.89	ALUMINIUM	NONE	OBSCURE, TOUGHENED	N	SINGLE	SINGLE	SINGLE	SINGLE	
W11	AFA1522	BED 1	1,460	2,170	3.17	ALUMINIUM	NONE	CLEAR	N	SINGLE	SINGLE	SINGLE	SINGLE	MP 723-723
W12	SF1218	BED 3	1,200	1,810	2.17	ALUMINIUM	NONE	CLEAR	W	SINGLE	SINGLE	SINGLE	SINGLE	
W13	SF0622	CHILDREN'S ACTIVITIES	600	2,170	1.30	ALUMINIUM	NONE	CLEAR	W	SINGLE	SINGLE	SINGLE	SINGLE	
W14	SF0906	WC	860	610	0.52	ALUMINIUM	NONE	OBSCURE, TOUGHENED	W	SINGLE	SINGLE	SINGLE	SINGLE	
W15	SF1218	BED 4	1,200	1,810	2.17	ALUMINIUM	NONE	CLEAR	W	SINGLE	SINGLE	SINGLE	SINGLE	
W16	SF1218	BED 2	1,200	1,810	2.17	ALUMINIUM	NONE	CLEAR	S	SINGLE	SINGLE	SINGLE	SINGLE	
					30.09									

[0, 3] ASSUME LOOKING FROM OUTSIDE [1, 2] ASSUME LOOKING FROM INSIDE

EXTERIOR DOOR SCHEDULE

ID	CODE[0]	ROOM	HEIGHT	WIDTH	AREA (m²)	FRAME	SILL TYPE	GLAZING	ORIENT.	DOOR TYPE	ADDITIONAL INFORMATION[1]
D01	920	ENTRY	2,106	967	2.04	TIMBER	NONE	DOOR(S): CLEAR - SIDELIGHT(S): N/A	N	SWINGING	
D02	820	GARAGE	2,106	867	1.83	TIMBER	NONE	DOOR(S): N/A - SIDELIGHT(S): N/A	W	SWINGING	
D03	SF2100x1470	LDRY	2,100	1,470	3.09	ALUMINIUM	NONE	CLEAR	W	SLIDING	
D04	2180x4790 660 BI-FOLD	LIVING	2,180	4,790	10.44	ALUMINIUM	NONE	CLEAR	S	BI-FOLD	
D05	2 x 2100x618	OUTDOOR LIVING	2,100	1,305	2.74	ALUMINIUM	NONE	CLEAR	S	---	
					20.14 m²						

[0, 1] ASSUME LOOKING FROM OUTSIDE

INTERIOR DOOR SCHEDULE

TYPE	CODE	QTY	HEIGHT	WIDTH	ADDITIONAL INFORMATION
CAVITY SLIDING	2 x 620 CSD	1	2,040	1,240	SELECT
CAVITY SLIDING	820 CSD	1	2,040	820	
SLIDING	2 x SLIDING	1	2,040	2,110	MIRROR
SLIDING	2 x SLIDING	3	2,040	1,240	MIRROR
SLIDING	3 x SLIDING	1	2,040	2,433	MIRROR
SQUARE SET OPENING	1000 SS	3	2,160	1,000	
SQUARE SET OPENING	900 SS	3	2,160	900	
SWINGING	2 x 520	2	2,040	1,040	
SWINGING	2 x 620	2	2,040	1,240	
SWINGING	720	4	2,040	720	LIFT-OFF HINGES
SWINGING	720	1	2,040	720	
SWINGING	770	1	2,040	770	SELECT
SWINGING	770	2	2,040	770	
SWINGING	820	1	2,040	820	LIFT-OFF HINGES
SWINGING	820	5	2,040	820	

PICTURE / TV RECESS & SQUARE SET WINDOW SCHEDULE

TYPE	HEIGHT	WIDTH	AREA (m²)	QTY

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

THIS PLAN ACCEPTED BY:

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SIGNATURE:

DATE:

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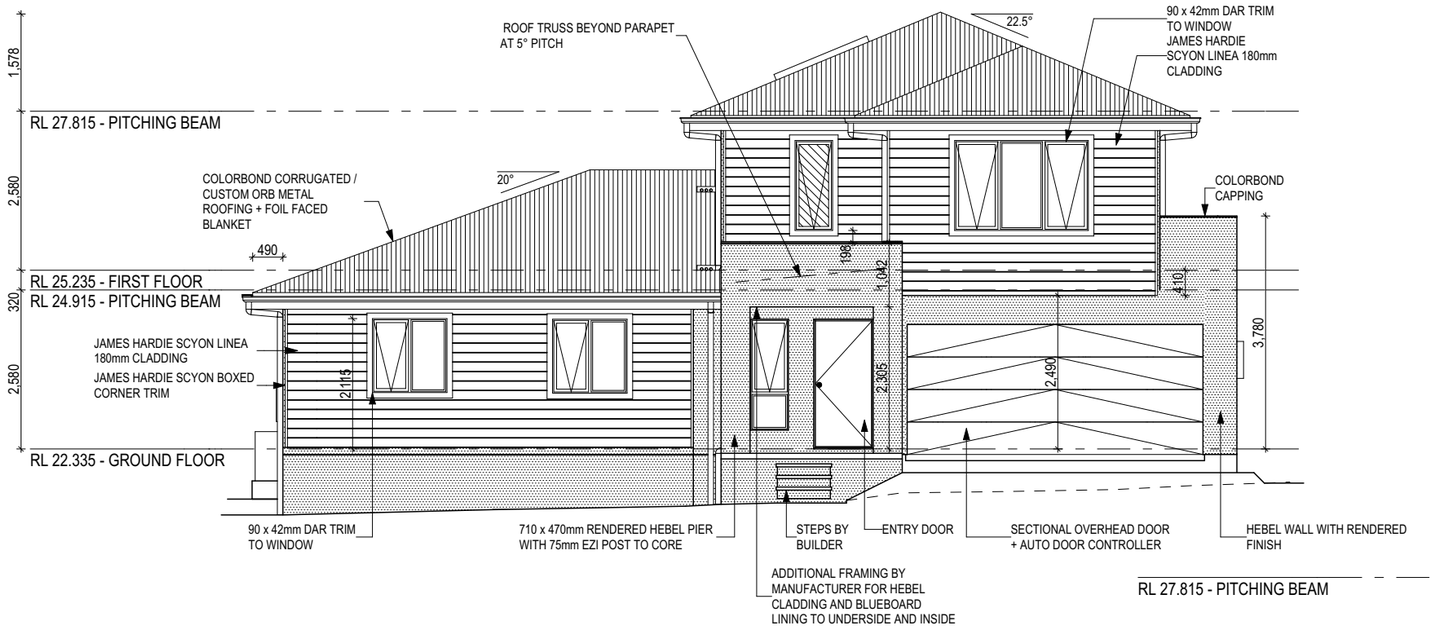
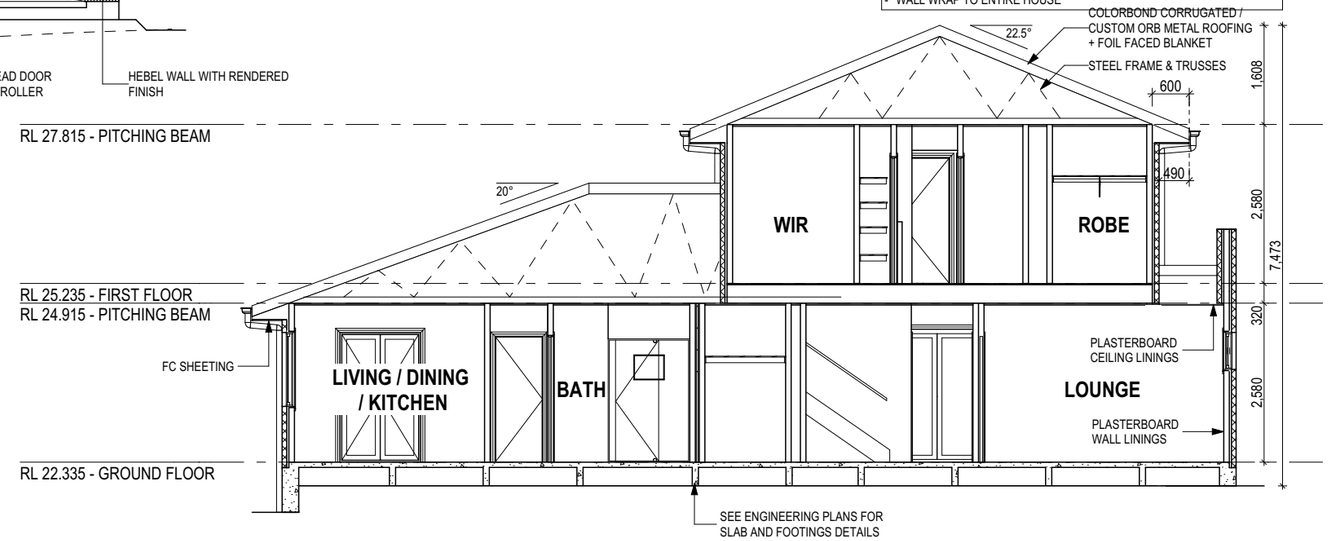
SH = SNAP HEADER SILL

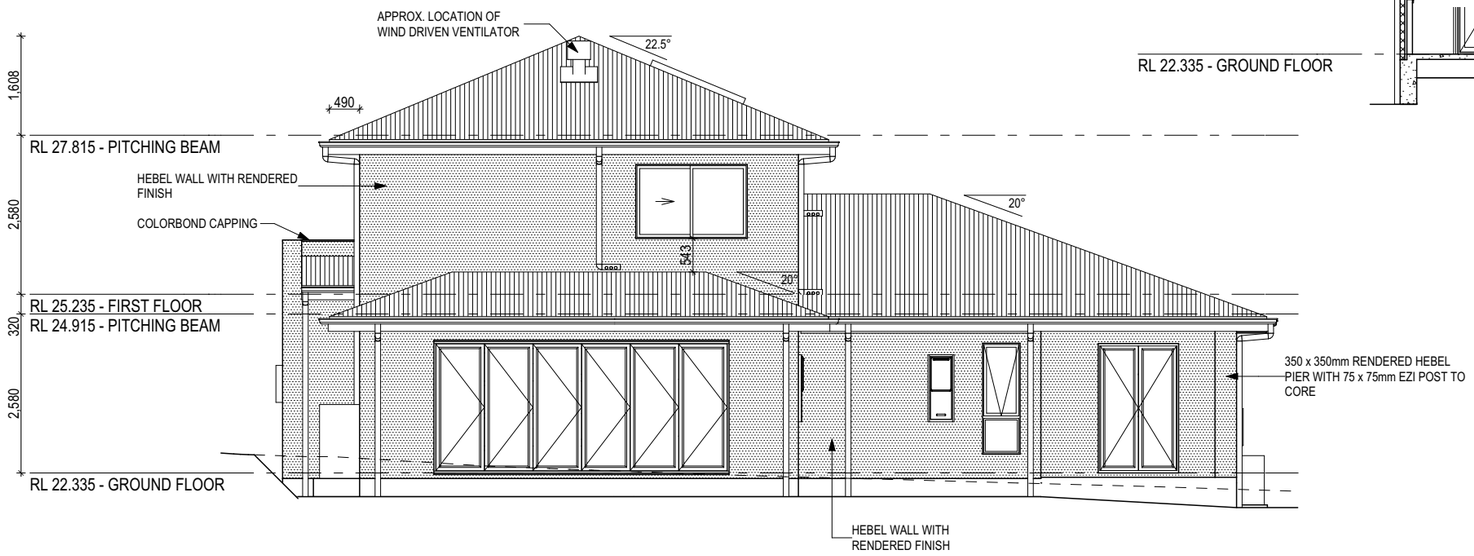


FRONT ELEVATION
Scale: 1:100

INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC AND RELEVANT AUSTRALIAN STANDARDS:
- R2.5 BATTS TO EXTERNAL WALLS (EXCLUDING GARAGE)
- R2.5 BATTS TO INTERNAL WALLS OF GARAGE
- R4.1 CEILING BATTS (EXCLUDING OUTDOOR LIVING, GARAGE CEILING TO BE UNDER SIDE FIRST FLOOR & PORCH)
- FOIL FACED BLANKET UNDER ROOFING
- WALL WRAP TO ENTIRE HOUSE



SECTION A-A
Scale: 1:100



REAR ELEVATION
Scale: 1:100

WINDOW TYPE LEGEND
AWNING | DOUBLE HUNG | FIXED | LOUVRE | SLIDING

GLASS TYPE LEGEND
CLEAR | OBSCURE | ACOUSTIC | LOW-E | TONED

THIS PLAN ACCEPTED BY:

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SIGNATURE:

DATE:

ALL CUT/FILL BATTERS ARE 1:1 MAX GRADIENT

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MOJO homes

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MOJO MORE	7	CONTRACT PLANS (PCV 003)	JVA	2020.05.04	MR. MARC A. KRAMER & MRS. RENEE S. KRAMER			2	TIVOLI 27	H-	
COPYRIGHT: © 2020	8	AMENDMENTS AS PER PCV004	JOP	2020.05.18	ADDRESS: 4 DIXON AVENUE (KNOCK DOWN REBUILD)			DP No: 31074	FACADE DESIGN: MODERN	FACADE CODE: F-NMXTVLIMODNFA	
	9	CONTRACT PLAN	PNG	2020.05.21							
	10	AMENDMENTS AS PER PCV007	JOP	2020.06.15	SUBURB: FRENCHS FOREST	POSTCODE: 2086	COUNCIL: NORTHERN BEACHES	SECTION No: -	SHEET TITLE: ELEVATIONS / SECTION	SCALES: 1:100	SHEET No: 10 / 28
	11	AMENDMENTS AS PER PCV008	JOP	2020.07.16							

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651528

Template Version: 19.018

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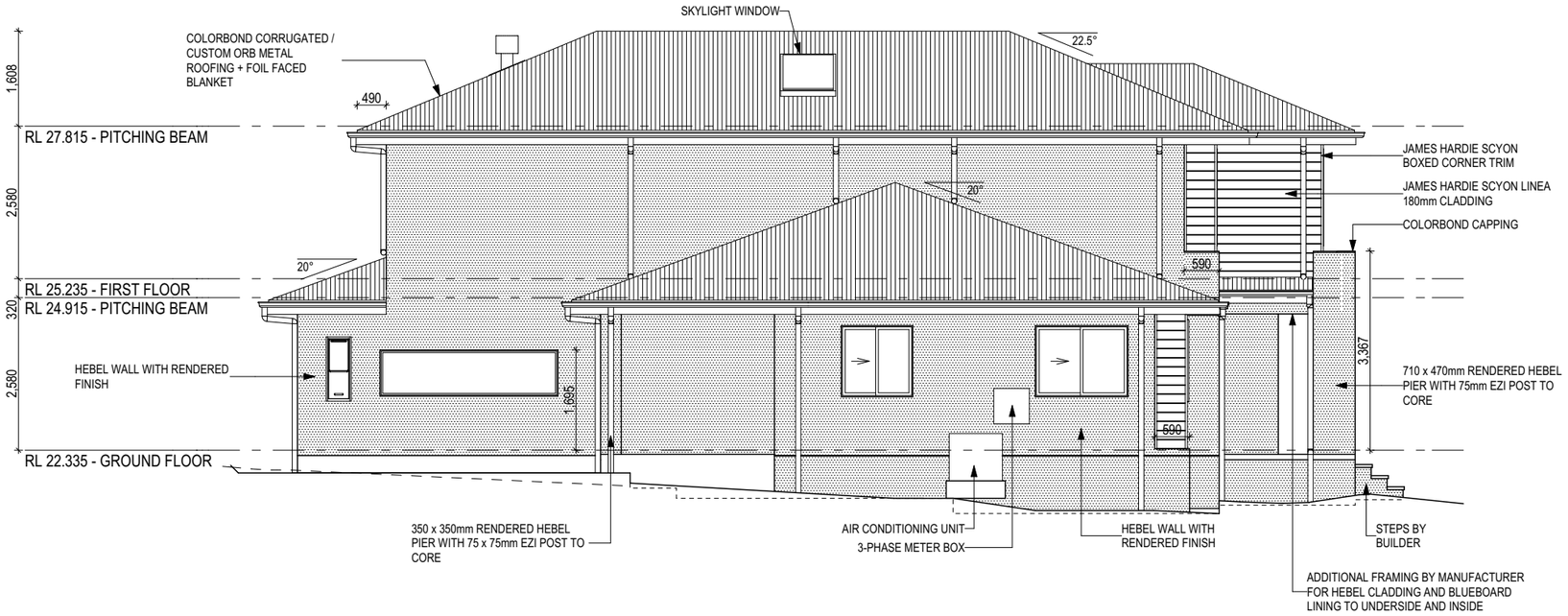
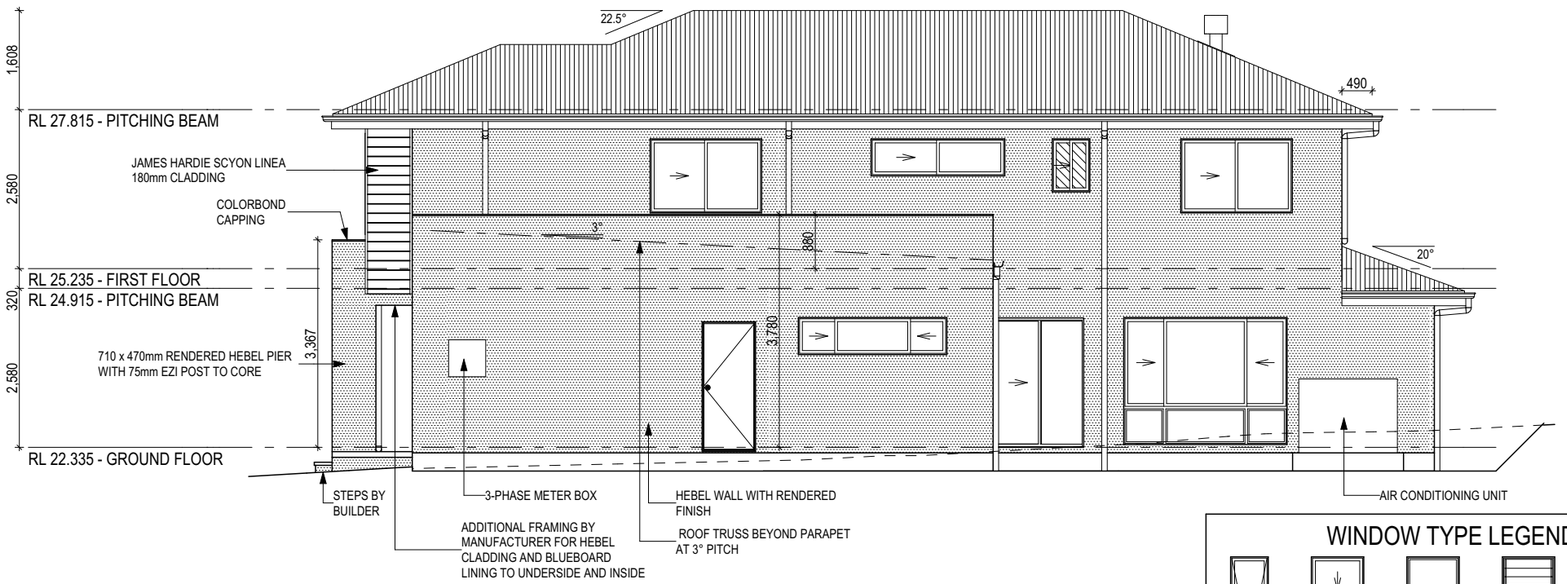
SH = SNAP HEADER SILL

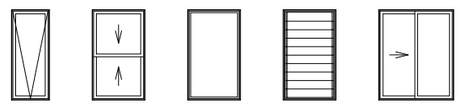


LEFT ELEVATION
Scale: 1:100



RIGHT ELEVATION
Scale: 1:100

WINDOW TYPE LEGEND



GLASS TYPE LEGEND

THIS PLAN ACCEPTED BY:

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SIGNATURE:

DATE:

ALL CUT/FILL BATTERS ARE 1:1 MAX GRADIENT

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MOJO homes

SPECIFICATION:		DRAWING	DRAWN		CLIENT:			LOT No:	HOUSE DESIGN:	HOUSE CODE:	
MOJO MORE	7	CONTRACT PLANS (PCV 003)	JVA	2020.05.04	MR. MARC A. KRAMER & MRS. RENEE S. KRAMER			2	TIVOLI 27	H-	
COPYRIGHT: © 2020	8	AMENDMENTS AS PER PCV004	JOP	2020.05.18	ADDRESS: 4 DIXON AVENUE (KNOCK DOWN REBUILD)			DP No: 31074	FACADE DESIGN: MODERN	FACADE CODE: F-NMXTVLIMODNFA	
	9	CONTRACT PLAN	PNG	2020.05.21							
	10	AMENDMENTS AS PER PCV007	JOP	2020.06.15	SUBURB: FRENCHS FOREST	POSTCODE: 2086	COUNCIL: NORTHERN BEACHES	SECTION No: -	SHEET TITLE: ELEVATIONS	SCALES: 1:100	SHEET No: 11 / 28
	11	AMENDMENTS AS PER PCV008	JOP	2020.07.16							

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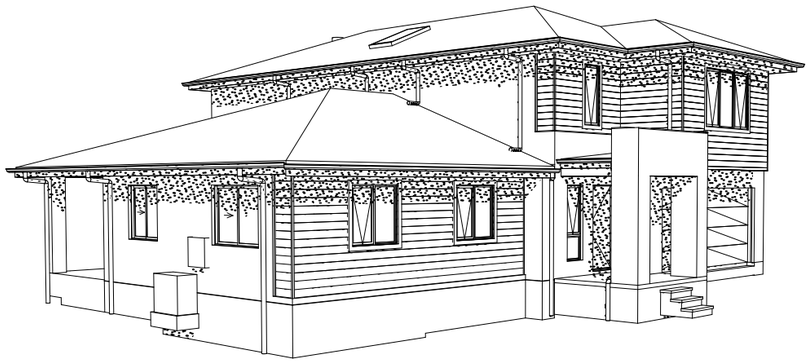
651528

Template Version: 19.018



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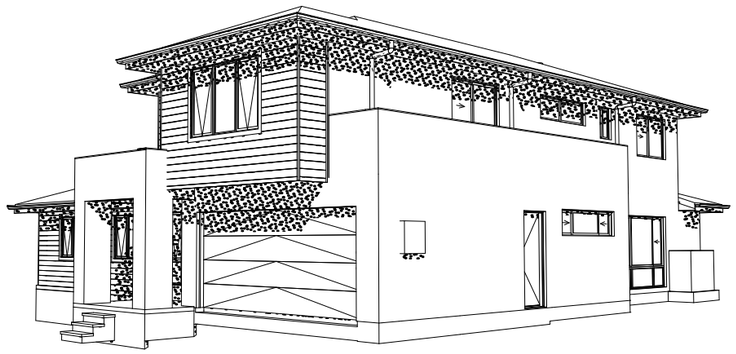

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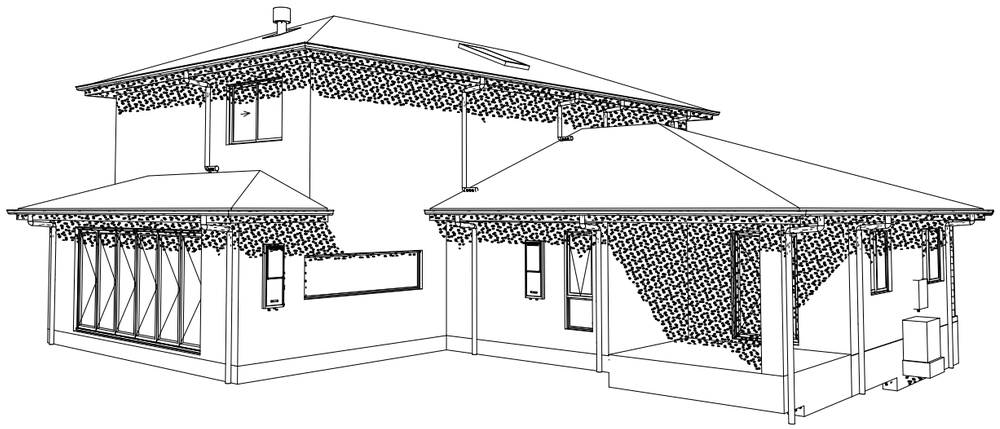

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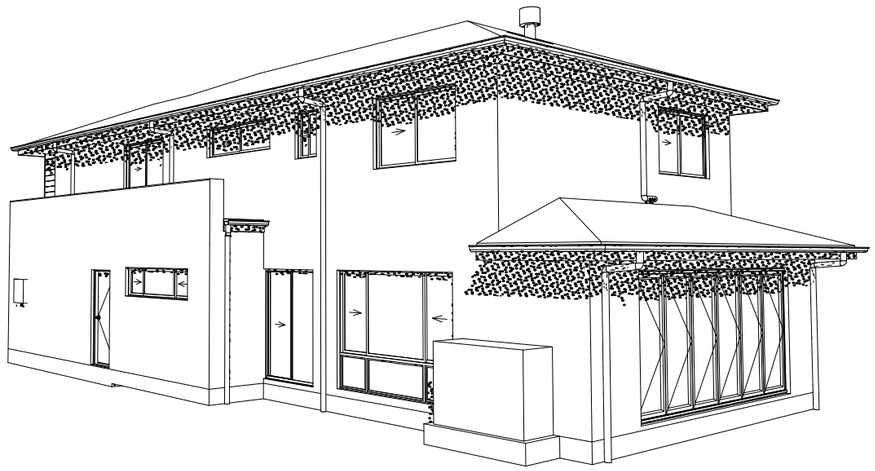

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MOJO homes

SPECIFICATION: MOJO MORE

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	DRAWING	DRAWN	
7	CONTRACT PLANS (PCV 003)	JVA	2020.05.04
8	AMENDMENTS AS PER PCV004	JOP	2020.05.18
9	CONTRACT PLAN	PNG	2020.05.21
10	AMENDMENTS AS PER PCV007	JOP	2020.06.15
11	AMENDMENTS AS PER PCV008	JOP	2020.07.16

CLIENT: MR. MARC A. KRAMER & MRS. RENEE S. KRAMER

ADDRESS: 4 DIXON AVENUE (KNOCK DOWN REBUILD)

SUBURB: FRENCHS FOREST | POSTCODE: 2086 | COUNCIL: NORTHERN BEACHES

LOT No: 2

DP No: 31074

SECTION No: -

HOUSE DESIGN: TIVOLI 27

FACADE DESIGN: MODERN

SHEET TITLE: HOUSE EXTERIOR 3D VIEWS

HOUSE CODE: H-

FACADE CODE: F-NMXTVLIMODNFA

SCALES:

SHEET No: 12 / 28

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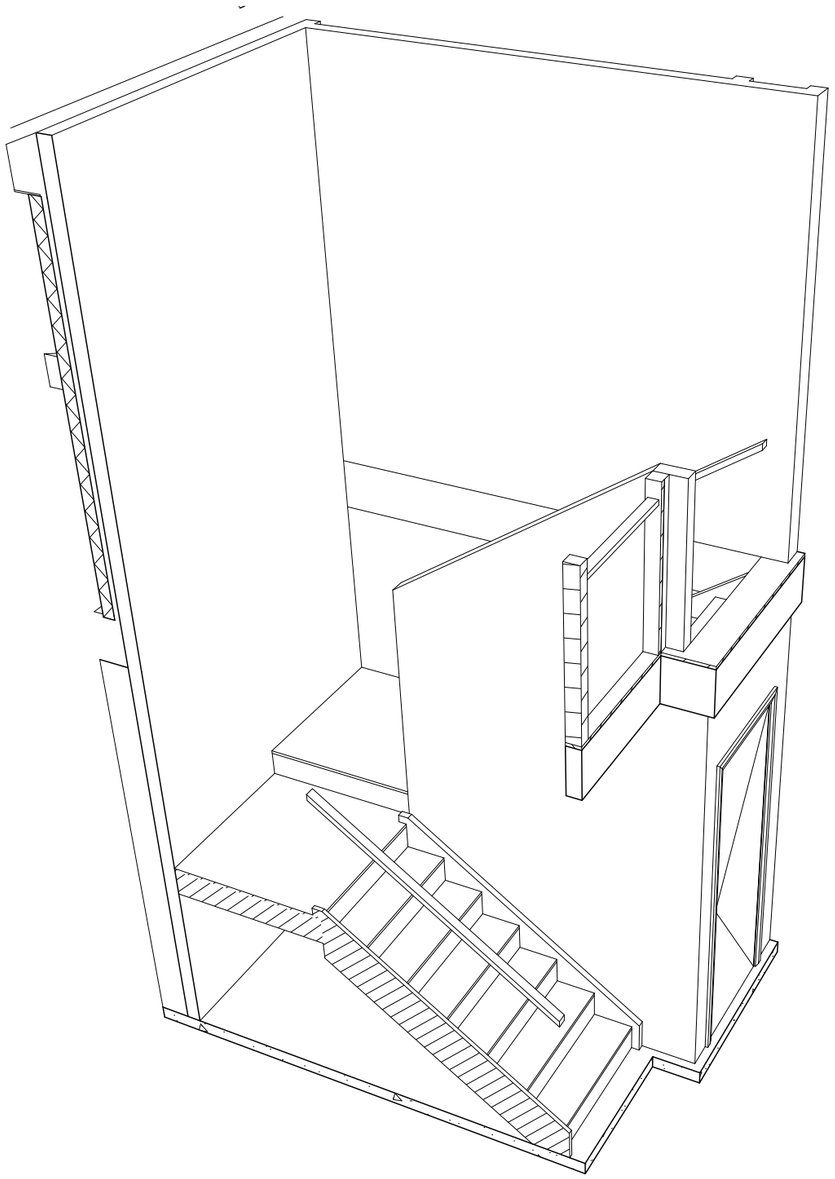
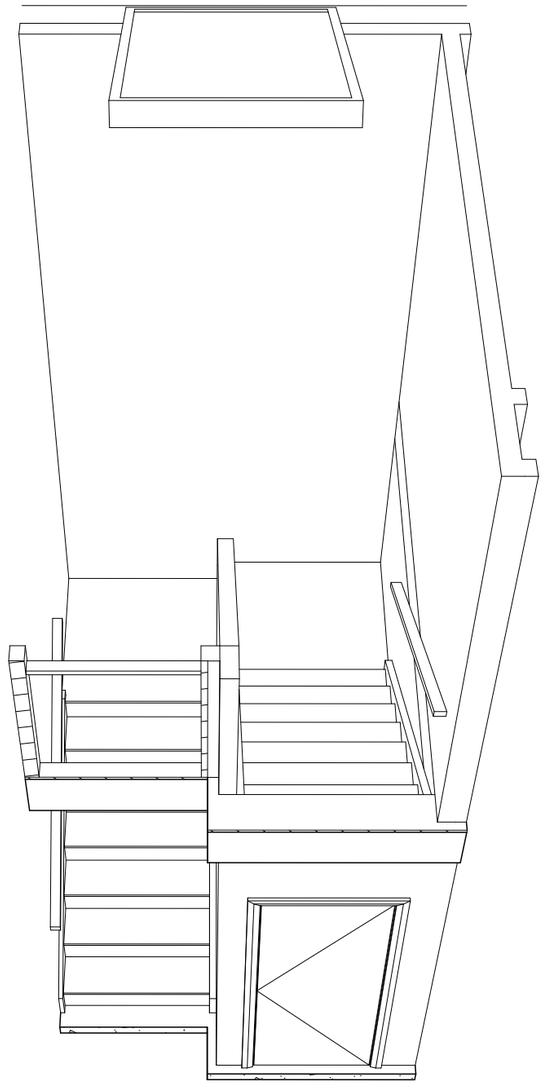


VIEW 1



VIEW 2

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MOJO homes

SPECIFICATION:		DRAWING	DRAWN		CLIENT:			LOT No:	HOUSE DESIGN:	HOUSE CODE:		DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
MOJO MORE	7	CONTRACT PLANS (PCV 003)	JVA	2020.05.04	MR. MARC A. KRAMER & MRS. RENEE S. KRAMER			2	TIVOLI 27	H-		
COPYRIGHT: © 2020	8	AMENDMENTS AS PER PCV004	JOP	2020.05.18	ADDRESS: 4 DIXON AVENUE (KNOCK DOWN REBUILD)			DP No: 31074	FACADE DESIGN: MODERN	FACADE CODE: F-NMXTVLIMODNFA		
	9	CONTRACT PLAN	PNG	2020.05.21								
	10	AMENDMENTS AS PER PCV007	JOP	2020.06.15	SUBURB: FRENCHS FOREST	POSTCODE: 2086	COUNCIL: NORTHERN BEACHES	SECTION No: -	SHEET TITLE: STAIRCASE 3D VIEWS	SCALES:	SHEET No: 13 / 28	651528
	11	AMENDMENTS AS PER PCV008	JOP	2020.07.16								

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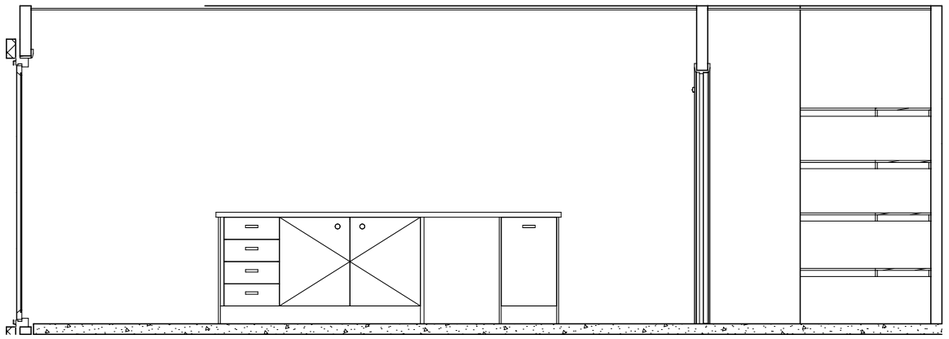
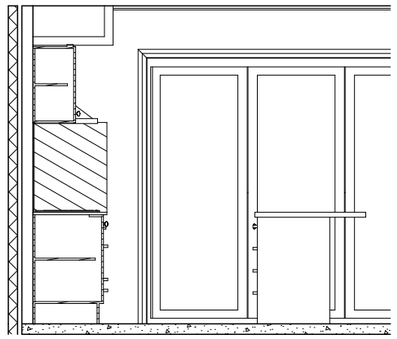
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY. JOINER MAY ADJUST CABINETRY AS REQUIRED.

GAS CONNECTION FOR COOKTOP (WHERE APPLICABLE) TO BE LOCATED 700mm TO RIGHT HAND SIDE OF CENTRE OF COOKTOP



ELEVATION A
Scale: 1:50



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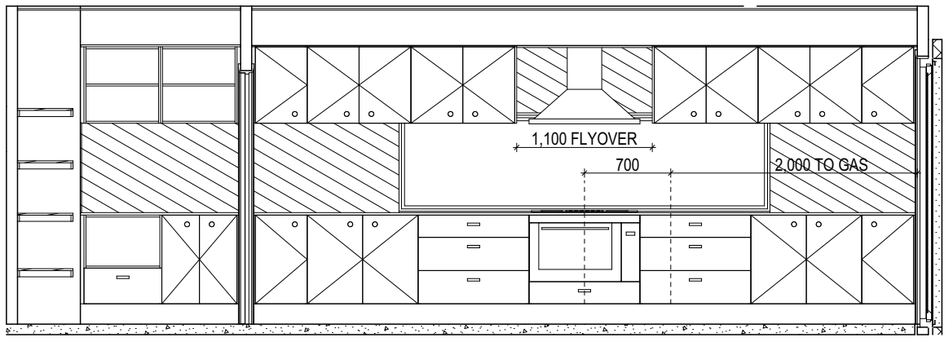
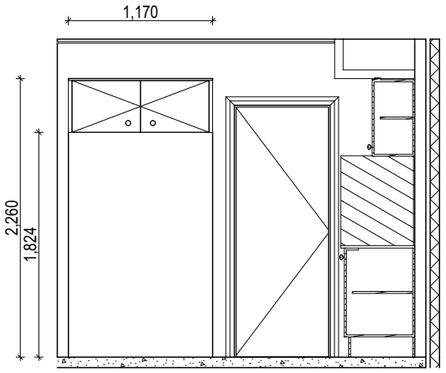
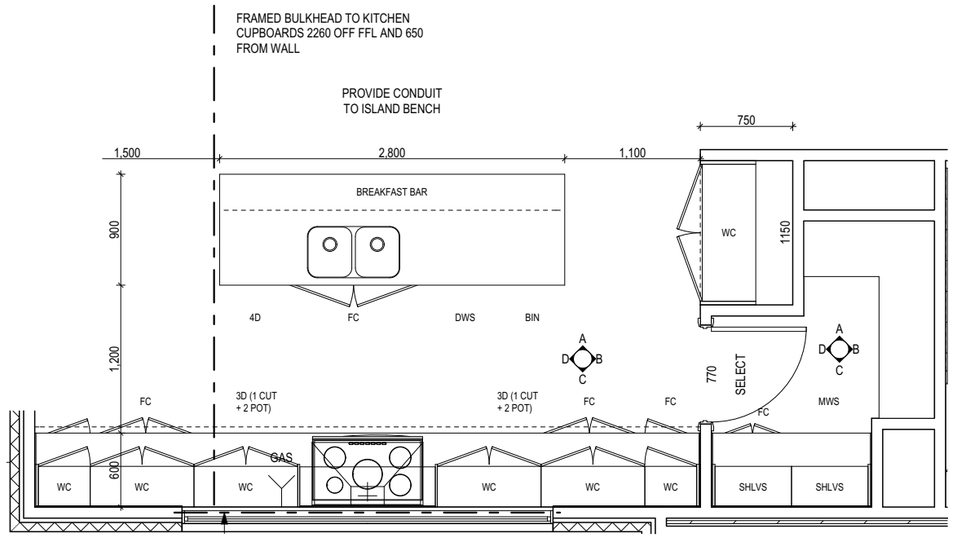


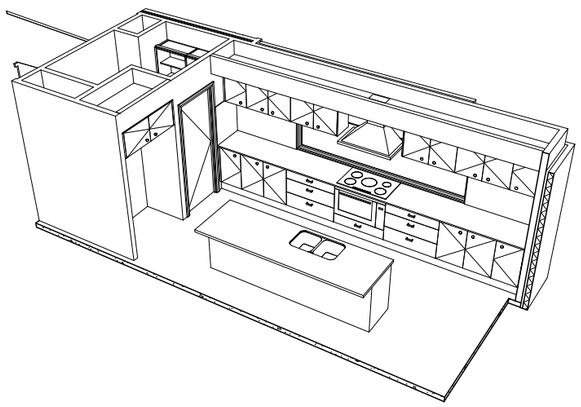
ELEVATION C
Scale: 1:50

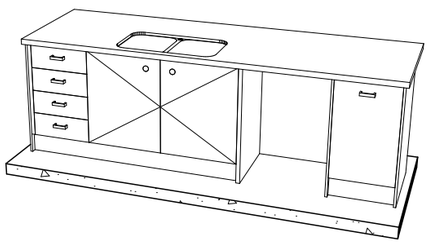


ELEVATION B
Scale: 1:50



KITCHEN PLAN
Scale: 1:50





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MOJO homes

SPECIFICATION:		DRAWING		DRAWN	CLIENT:			LOT No:	HOUSE DESIGN:	HOUSE CODE:	
MOJO MORE	7	CONTRACT PLANS (PCV 003)	JVA	2020.05.04	MR. MARC A. KRAMER & MRS. RENEE S. KRAMER			2	TIVOLI 27	H-	
COPYRIGHT: © 2020	8	AMENDMENTS AS PER PCV004	JOP	2020.05.18	ADDRESS: 4 DIXON AVENUE (KNOCK DOWN REBUILD)			DP No: 31074	FACADE DESIGN: MODERN	FACADE CODE: F-NMXTVLIMODNFA	
	9	CONTRACT PLAN	PNG	2020.05.21							
	10	AMENDMENTS AS PER PCV007	JOP	2020.06.15	SUBURB: FRENCHS FOREST	POSTCODE: 2086	COUNCIL: NORTHERN BEACHES	SECTION No: -	SHEET TITLE: KITCHEN DETAILS	SCALES: 1:50	SHEET No: 14 / 28
	11	AMENDMENTS AS PER PCV008	JOP	2020.07.16							

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- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

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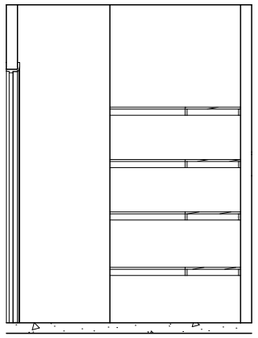
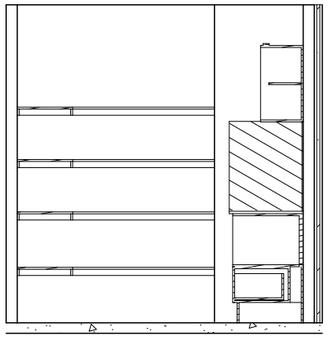
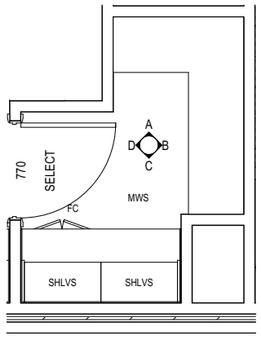


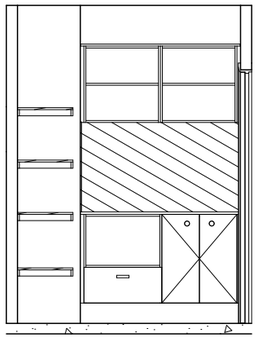
ELEVATION A
Scale: 1:50



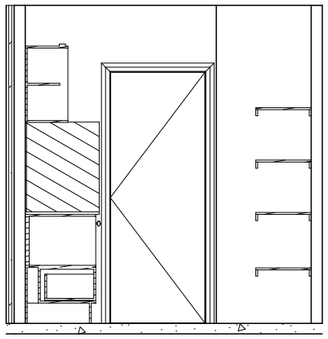
ELEVATION B
Scale: 1:50



BUTLER'S PANTRY PLAN
Scale: 1:50



ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50

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MOJO homes

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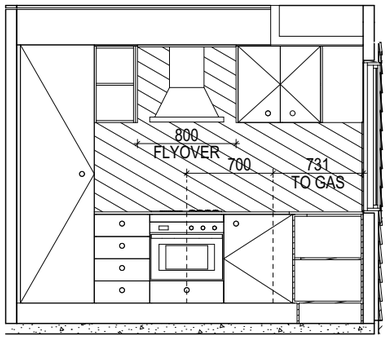
MOJO MORE	7	CONTRACT PLANS (PCV 003)	JVA	2020.05.04	MR. MARC A. KRAMER & MRS. RENEE S. KRAMER			2	TIVOLI 27	H-		
COPYRIGHT:	8	AMENDMENTS AS PER PCV004	JOP	2020.05.18	ADDRESS:			DP No:	FACADE DESIGN:	FACADE CODE:		
© 2020	9	CONTRACT PLAN	PNG	2020.05.21	4 DIXON AVENUE (KNOCK DOWN REBUILD)			31074	MODERN	F-NMXTVLIMODNFA		
	10	AMENDMENTS AS PER PCV007	JOP	2020.06.15	SUBURB:	POSTCODE:	COUNCIL:	SECTION No:	SHEET TITLE:	SCALES:	SHEET No:	651528
	11	AMENDMENTS AS PER PCV008	JOP	2020.07.16	FRENCHS FOREST	2086	NORTHERN BEACHES	-	BUTLER'S PANTRY DETAILS	1:50	15 / 28	

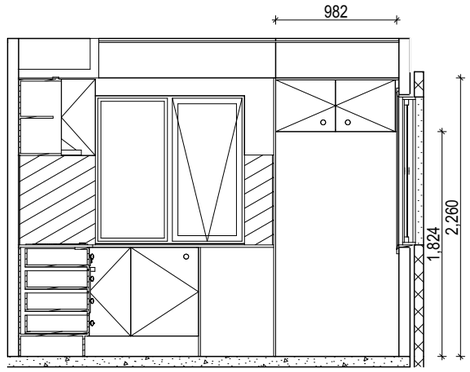
Template Version: 19.018

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

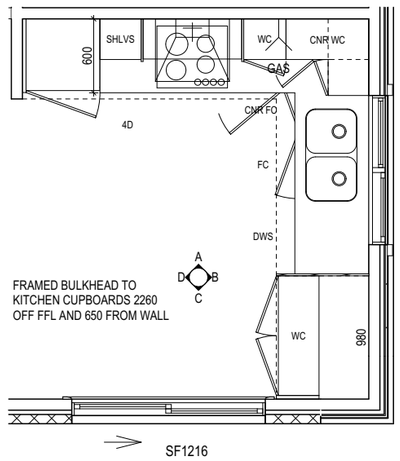
KITCHEN DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY. JOINER MAY ADJUST CABINETRY AS REQUIRED.



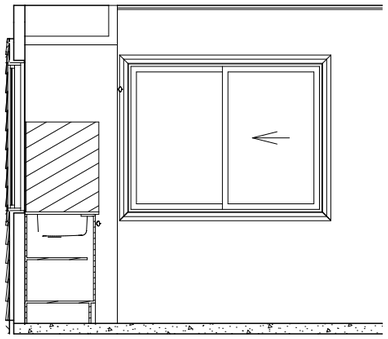
ELEVATION A
Scale: 1:50



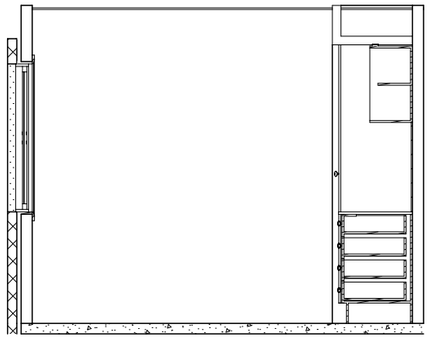
ELEVATION B
Scale: 1:50



KITCHEN PLAN (GRANNY FLAT)
Scale: 1:50



ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50

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MOJO homes

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	9	CONTRACT PLAN	PNG	2020.05.21							
	10	AMENDMENTS AS PER PCV007	JOP	2020.06.15	SUBURB: FRENCHS FOREST	POSTCODE: 2086	COUNCIL: NORTHERN BEACHES	SECTION No: -	SHEET TITLE: KITCHEN DETAILS (GRANNY FLAT)	SCALES: 1:50	SHEET No: 16 / 28
	11	AMENDMENTS AS PER PCV008	JOP	2020.07.16							

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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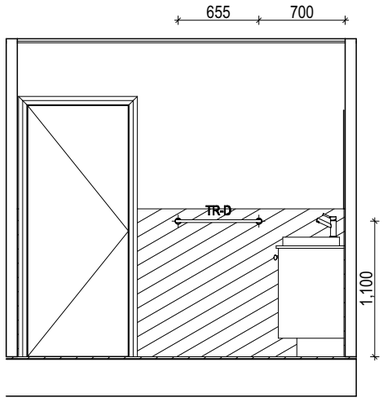
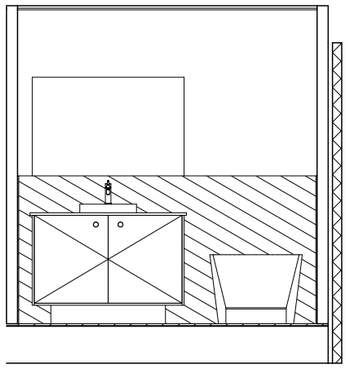
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

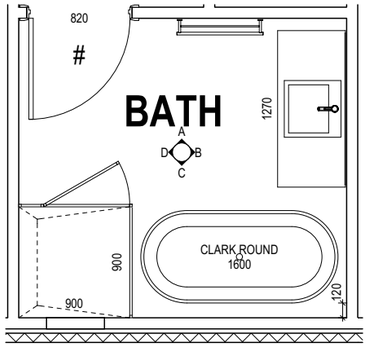
PROVIDE ADDITIONAL WALL FRAME TO LAUNDRY FOR FIXING OF WALL MOUNTED CLOTHES DRYER AS PER D-FRAM-ELEC006



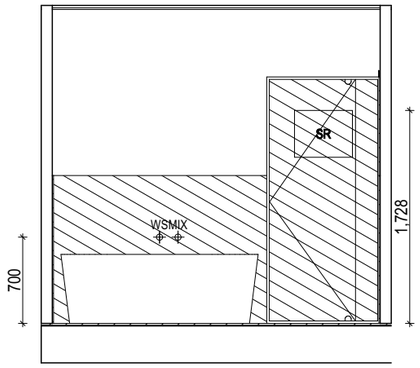
ELEVATION A
Scale: 1:50



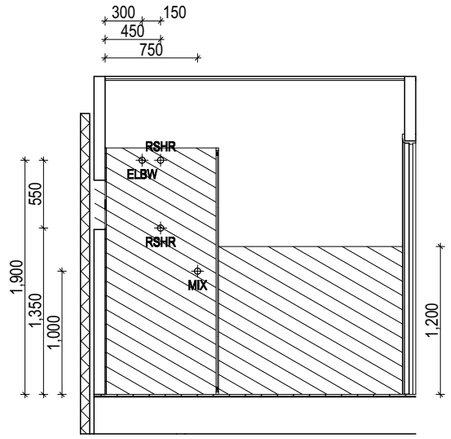
ELEVATION B
Scale: 1:50



BATHROOM PLAN
Scale: 1:50



ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50

LEGEND

RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER

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MOJO homes

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MOJO MORE	7	CONTRACT PLANS (PCV 003)	JVA	2020.05.04	MR. MARC A. KRAMER & MRS. RENEE S. KRAMER			2	TIVOLI 27	H-		
COPYRIGHT:	8	AMENDMENTS AS PER PCV004	JOP	2020.05.18	ADDRESS:			DP No:	FACADE DESIGN:	FACADE CODE:		
© 2020	9	CONTRACT PLAN	PNG	2020.05.21	4 DIXON AVENUE (KNOCK DOWN REBUILD)			31074	MODERN	F-NMXTVLIMODNFA		
	10	AMENDMENTS AS PER PCV007	JOP	2020.06.15	SUBURB:	POSTCODE:	COUNCIL:	SECTION No:	SHEET TITLE:	SCALES:	SHEET No:	
	11	AMENDMENTS AS PER PCV008	JOP	2020.07.16	FRENCHS FOREST	2086	NORTHERN BEACHES	-	BATHROOM DETAILS	1:50	17 / 28	651528

Template Version: 19.018

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
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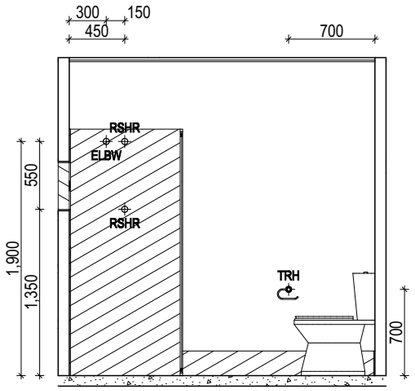
- GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

PROVIDE ADDITIONAL WALL FRAME TO LAUNDRY FOR FIXING OF WALL MOUNTED CLOTHES DRYER AS PER D-FRAM-ELEC006



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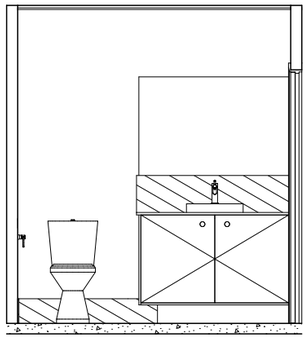

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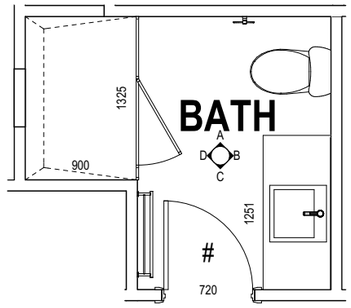
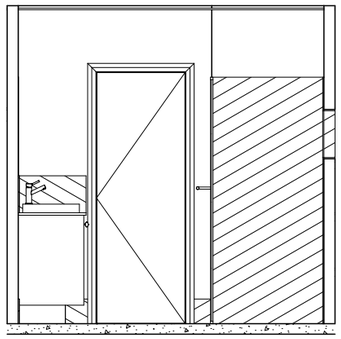


BATHROOM PLAN (GRANNY FLAT)
Scale: 1:50

LEGEND

RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER



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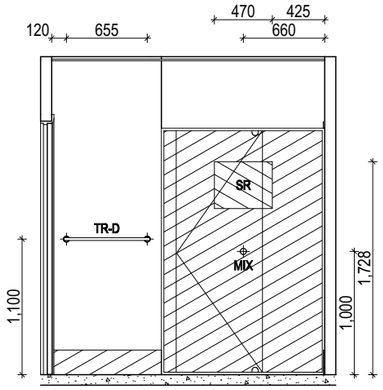
Scale: 1:50



ELEVATION D
Scale: 1:50

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MOJO homes

SPECIFICATION:		DRAWING	DRAWN		CLIENT:			LOT No:	HOUSE DESIGN:	HOUSE CODE:	
MOJO MORE	7	CONTRACT PLANS (PCV 003)	JVA	2020.05.04	MR. MARC A. KRAMER & MRS. RENEE S. KRAMER			2	TIVOLI 27	H-	
COPYRIGHT: © 2020	8	AMENDMENTS AS PER PCV004	JOP	2020.05.18	ADDRESS: 4 DIXON AVENUE (KNOCK DOWN REBUILD)			DP No: 31074	FACADE DESIGN: MODERN	FACADE CODE: F-NMXTVLIMODNFA	
	9	CONTRACT PLAN	PNG	2020.05.21							
	10	AMENDMENTS AS PER PCV007	JOP	2020.06.15	SUBURB: FRENCHS FOREST	POSTCODE: 2086	COUNCIL: NORTHERN BEACHES	SECTION No: -	SHEET TITLE: BATHROOM DETAILS (GRANNY FLAT)	SCALES: 1:50	SHEET No: 18 / 28
	11	AMENDMENTS AS PER PCV008	JOP	2020.07.16							

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651528

Template Version: 19.018

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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PROVIDE ADDITIONAL WALL FRAME TO LAUNDRY FOR FIXING OF WALL MOUNTED CLOTHES DRYER AS PER D-FRAM-ELEC006

LEGEND

RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
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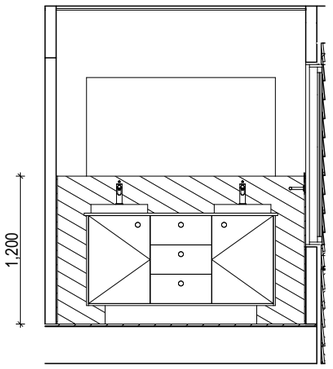
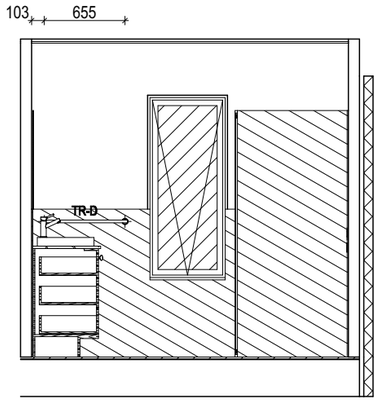
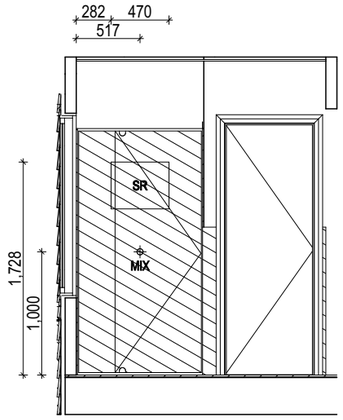
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER



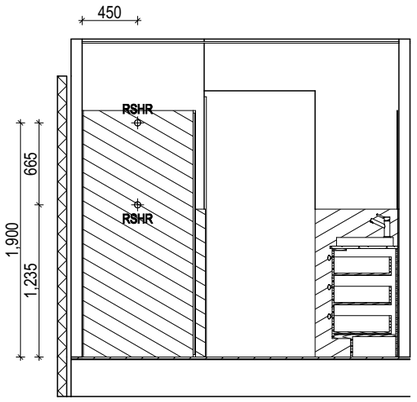
ELEVATION A
Scale: 1:50



ELEVATION B
Scale: 1:50



ELEVATION C
Scale: 1:50



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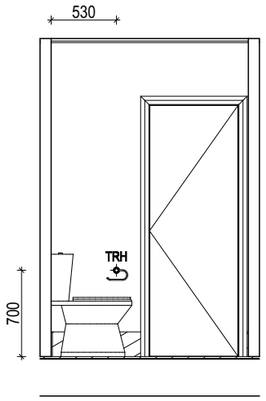
Scale: 1:50



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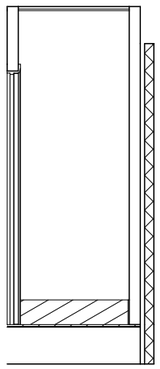

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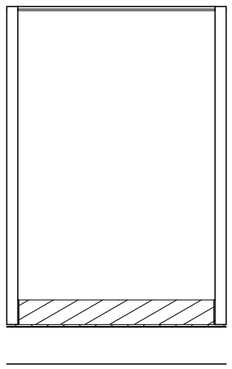
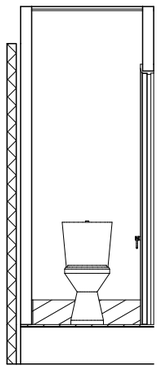
Scale: 1:50



ELEVATION G
Scale: 1:50



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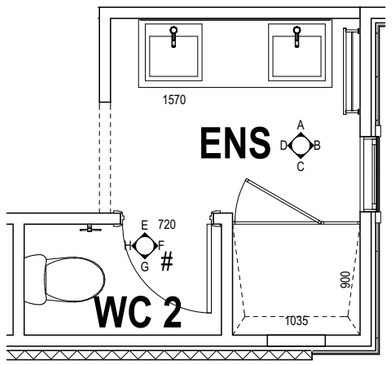
Scale: 1:50



ENSUITE / WC 2 PLAN
Scale: 1:50

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MOJO homes

SPECIFICATION:		DRAWING	DRAWN		CLIENT:			LOT No:	HOUSE DESIGN:	HOUSE CODE:	
MOJO MORE	7	CONTRACT PLANS (PCV 003)	JVA	2020.05.04	MR. MARC A. KRAMER & MRS. RENEE S. KRAMER			2	TIVOLI 27	H-	
COPYRIGHT: © 2020	8	AMENDMENTS AS PER PCV004	JOP	2020.05.18	ADDRESS: 4 DIXON AVENUE (KNOCK DOWN REBUILD)			DP No: 31074	FACADE DESIGN: MODERN	FACADE CODE: F-NMXTVLIMODNFA	
	9	CONTRACT PLAN	PNG	2020.05.21							
	10	AMENDMENTS AS PER PCV007	JOP	2020.06.15	SUBURB: FRENCHS FOREST	POSTCODE: 2086	COUNCIL: NORTHERN BEACHES	SECTION No: -	SHEET TITLE: ENSUITE / WC 2 DETAILS	SCALES: 1:50	SHEET No: 19 / 28
	11	AMENDMENTS AS PER PCV008	JOP	2020.07.16							

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651528

Template Version: 19.018

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
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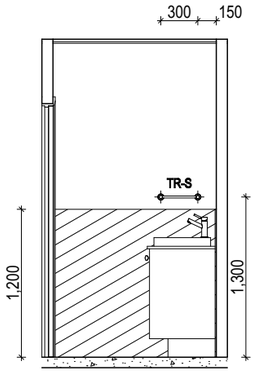
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

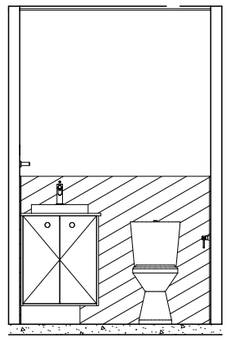
PROVIDE ADDITIONAL WALL FRAME TO LAUNDRY FOR FIXING OF WALL MOUNTED CLOTHES DRYER AS PER D-FRAM-ELEC006

LEGEND

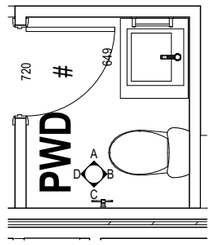
RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER



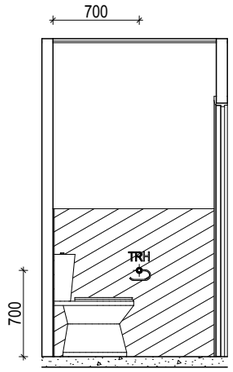
ELEVATION A
Scale: 1:50



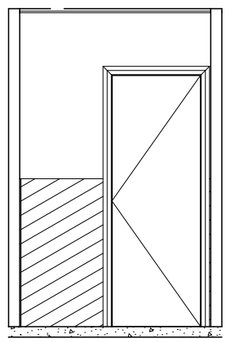
ELEVATION B
Scale: 1:50



POWDER ROOM PLAN
Scale: 1:50



ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50

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MOJO homes

SPECIFICATION: MOJO MORE

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	DRAWING	DRAWN	
7	CONTRACT PLANS (PCV 003)	JVA	2020.05.04
8	AMENDMENTS AS PER PCV004	JOP	2020.05.18
9	CONTRACT PLAN	PNG	2020.05.21
10	AMENDMENTS AS PER PCV007	JOP	2020.06.15
11	AMENDMENTS AS PER PCV008	JOP	2020.07.16

CLIENT: MR. MARC A. KRAMER & MRS. RENEE S. KRAMER
LOT No: 2
HOUSE DESIGN: TIVOLI 27
HOUSE CODE: H-
ADDRESS: 4 DIXON AVENUE (KNOCK DOWN REBUILD)
DP No: 31074
FACADE DESIGN: MODERN
FACADE CODE: F-NMXTVLIMODNFA
SUBURB: FRENCHS FOREST
POSTCODE: 2086
COUNCIL: NORTHERN BEACHES
SECTION No: -
SHEET TITLE: POWDER ROOM DETAILS
SCALES: 1:50
SHEET No: 20 / 28

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651528

Template Version: 19.018

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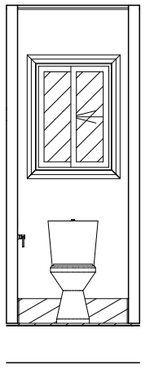
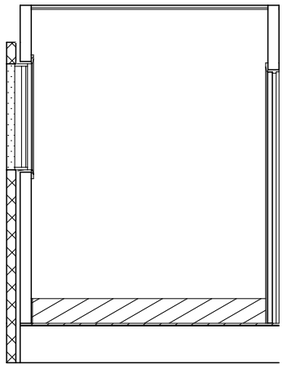
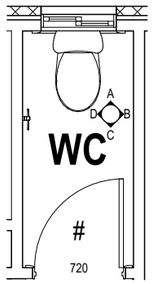


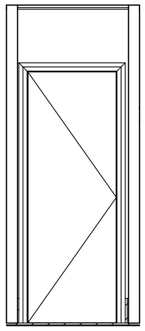
ELEVATION A
Scale: 1:50



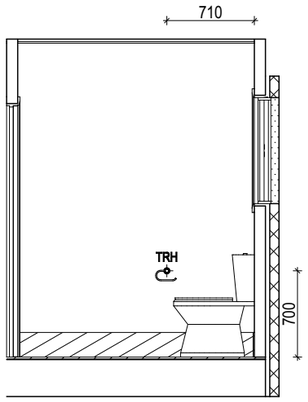
ELEVATION B
Scale: 1:50



WC PLAN
Scale: 1:50



ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50

LEGEND

RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
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MOJO homes

SPECIFICATION:		DRAWING	DRAWN		CLIENT:			LOT No:	HOUSE DESIGN:	HOUSE CODE:	
MOJO MORE	7	CONTRACT PLANS (PCV 003)	JVA	2020.05.04	MR. MARC A. KRAMER & MRS. RENEE S. KRAMER			2	TIVOLI 27	H-	
COPYRIGHT: © 2020	8	AMENDMENTS AS PER PCV004	JOP	2020.05.18	ADDRESS: 4 DIXON AVENUE (KNOCK DOWN REBUILD)			DP No: 31074	FACADE DESIGN: MODERN	FACADE CODE: F-NMXTVLIMODNFA	
	9	CONTRACT PLAN	PNG	2020.05.21							
	10	AMENDMENTS AS PER PCV007	JOP	2020.06.15	SUBURB: FRENCHS FOREST	POSTCODE: 2086	COUNCIL: NORTHERN BEACHES	SECTION No: -	SHEET TITLE: WC DETAILS	SCALES: 1:50	SHEET No: 21 / 28
	11	AMENDMENTS AS PER PCV008	JOP	2020.07.16							

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651528

Template Version: 19.018

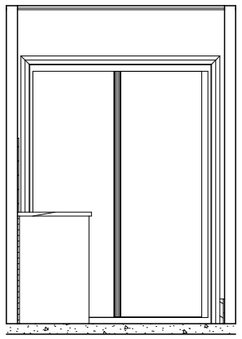
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

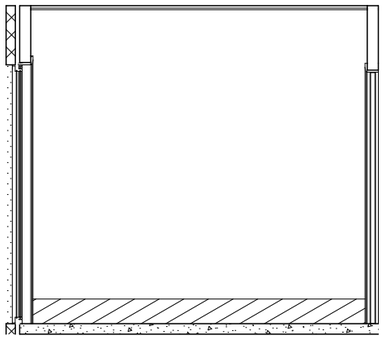
PROVIDE ADDITIONAL WALL FRAME TO LAUNDRY FOR FIXING OF WALL MOUNTED CLOTHES DRYER AS PER D-FRAM-ELEC006

LEGEND

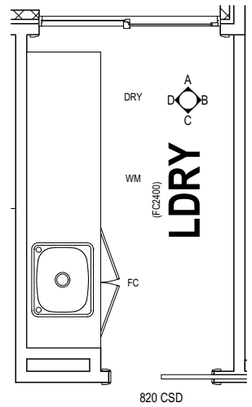
RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER



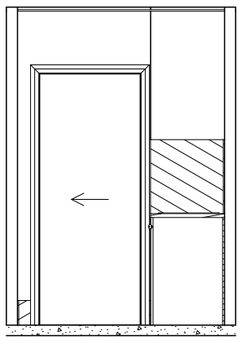
ELEVATION A
Scale: 1:50



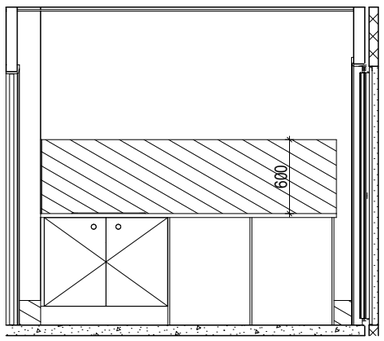
ELEVATION B
Scale: 1:50



LAUNDRY PLAN
Scale: 1:50



ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50

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SIGNATURE:

DATE:

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MOJO homes

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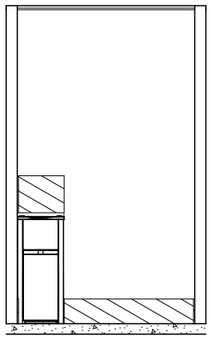
COPYRIGHT:	8	AMENDMENTS AS PER PCV004	JOP	2020.05.18	ADDRESS:			DP No:	FACADE DESIGN:	FACADE CODE:		
© 2020	9	CONTRACT PLAN	PNG	2020.05.21	4 DIXON AVENUE (KNOCK DOWN REBUILD)			31074	MODERN	F-NMXTVLIMODNFA		
	10	AMENDMENTS AS PER PCV007	JOP	2020.06.15	SUBURB:	POSTCODE:	COUNCIL:	SECTION No:	SHEET TITLE:	SCALES:	SHEET No:	
	11	AMENDMENTS AS PER PCV008	JOP	2020.07.16	FRENCHS FOREST	2086	NORTHERN BEACHES	-	LAUNDRY DETAILS	1:50	22 / 28	651528

Template Version: 19.018

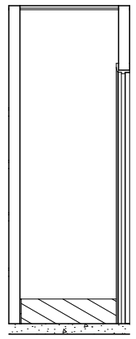
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY

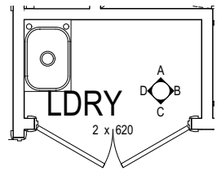
PROVIDE ADDITIONAL WALL FRAME TO LAUNDRY FOR FIXING OF WALL MOUNTED CLOTHES DRYER AS PER D-FRAM-ELEC006



ELEVATION A
Scale: 1:50



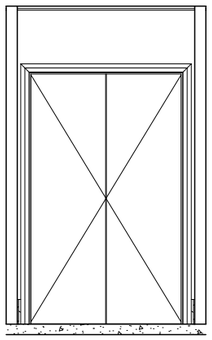
ELEVATION B
Scale: 1:50



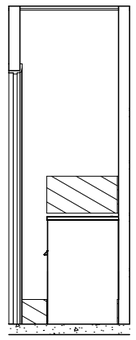
LAUNDRY PLAN (GRANNY FLAT)
Scale: 1:50

LEGEND

RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER



ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50

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DATE:

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MOJO homes

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COPYRIGHT:	8	AMENDMENTS AS PER PCV004	JOP	2020.05.18	ADDRESS:			DP No:	FACADE DESIGN:	FACADE CODE:		
© 2020	9	CONTRACT PLAN	PNG	2020.05.21	4 DIXON AVENUE (KNOCK DOWN REBUILD)			31074	MODERN	F-NMXTVLIMODNFA		
	10	AMENDMENTS AS PER PCV007	JOP	2020.06.15	SUBURB:	POSTCODE:	COUNCIL:	SECTION No:	SHEET TITLE:	SCALES:	SHEET No:	
	11	AMENDMENTS AS PER PCV008	JOP	2020.07.16	FRENCHS FOREST	2086	NORTHERN BEACHES	-	LAUNDRY DETAIL (GRANNY FLAT)	1:50	23 / 28	651528

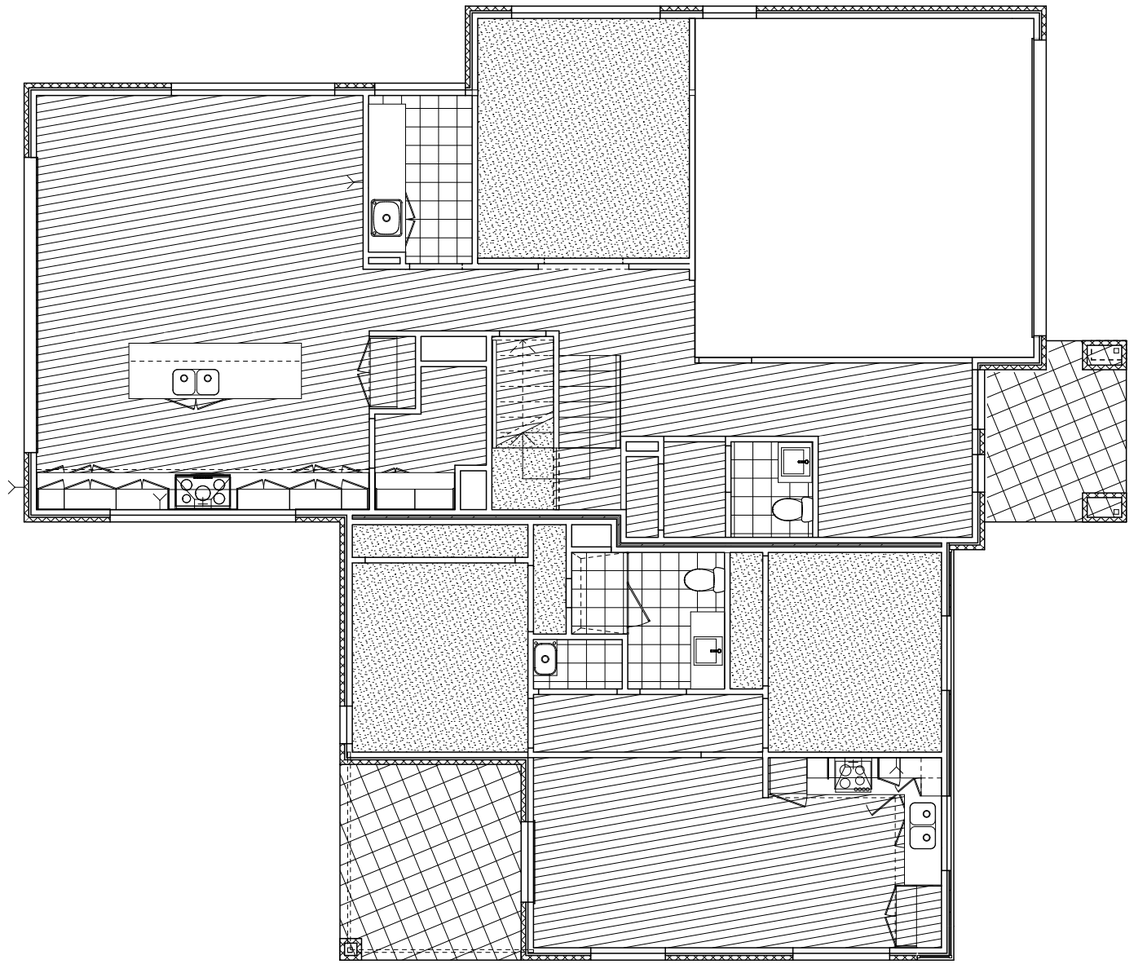
Template Version: 19.018

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

COVERINGS LEGEND

- NO COVERING
- COVER GRADE CONCRETE
- CARPET (GRANNY FLAT BY BUILDER, MAIN HOUSE BY OWNER)
- TIMBER (BY BUILDER)
- TILE (STANDARD WET AREAS)
- TILE (UPGRADED AREAS)
- VINYL

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.



FLOOR COVERINGS (GROUND FLOOR)

Scale: 1:100

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MOJO homes

SPECIFICATION:		DRAWING	DRAWN	
MOJO MORE	7	CONTRACT PLANS (PCV 003)	JVA	2020.05.04
COPYRIGHT: © 2020	8	AMENDMENTS AS PER PCV004	JOP	2020.05.18
	9	CONTRACT PLAN	PNG	2020.05.21
	10	AMENDMENTS AS PER PCV007	JOP	2020.06.15
	11	AMENDMENTS AS PER PCV008	JOP	2020.07.16

CLIENT:	LOT No:	HOUSE DESIGN:	HOUSE CODE:
MR. MARC A. KRAMER & MRS. RENEE S. KRAMER	2	TIVOLI 27	H-
ADDRESS: 4 DIXON AVENUE (KNOCK DOWN REBUILD)	DP No: 31074	FACADE DESIGN: MODERN	FACADE CODE: F-NMXTVLIMODNFA
SUBURB: FRENCHS FOREST / POSTCODE: 2086 / COUNCIL: NORTHERN BEACHES	SECTION No: -	SHEET TITLE: FLOOR COVERINGS (GF)	SCALES: 1:100 / SHEET No: 24 / 28

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651528

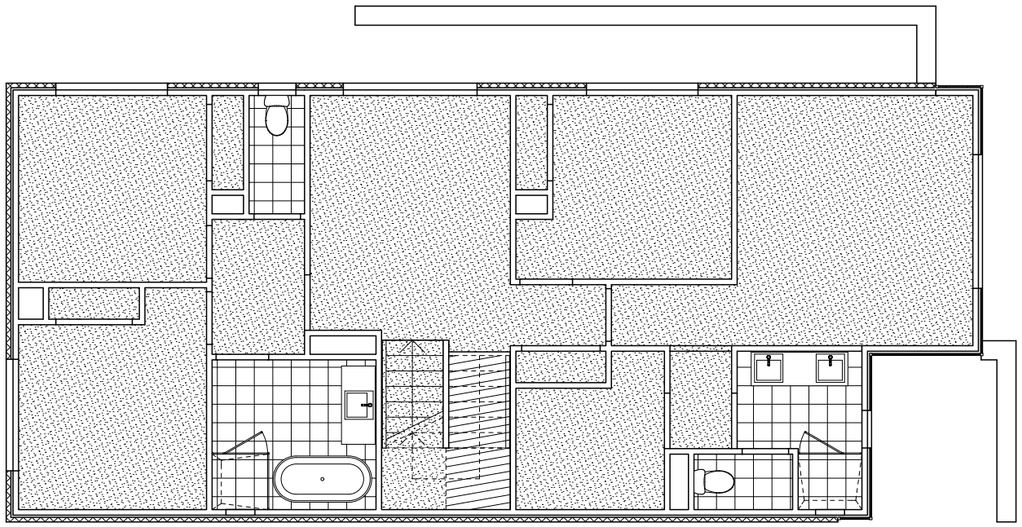
Template Version: 19.018

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

COVERINGS LEGEND

- NO COVERING
- COVER GRADE CONCRETE
- CARPET (GRANNY FLAT BY BUILDER, MAIN HOUSE BY OWNER)
- TIMBER (BY BUILDER)
- TILE (STANDARD WET AREAS)
- TILE (UPGRADED AREAS)
- VINYL

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.



FLOOR COVERINGS (FIRST FLOOR)
Scale: 1:100

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MOJO homes

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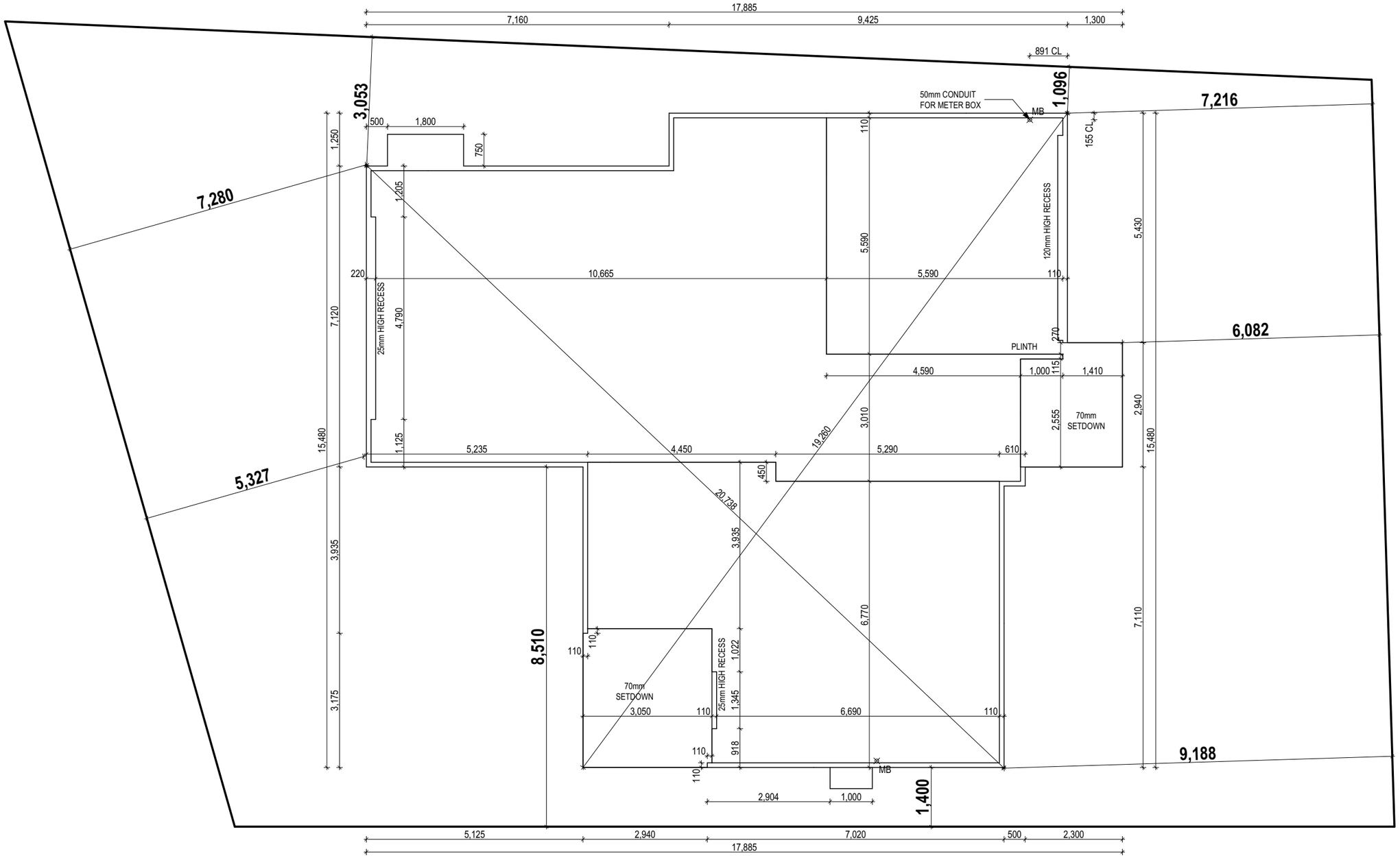
MOJO MORE	7	CONTRACT PLANS (PCV 003)	JVA	2020.05.04	MR. MARC A. MARC A. KRAMER & MRS. RENEE S. KRAMER			2	TIVOLI 27	H-		
COPYRIGHT:	8	AMENDMENTS AS PER PCV004	JOP	2020.05.18	ADDRESS:			DP No:	FACADE DESIGN:	FACADE CODE:		
© 2020	9	CONTRACT PLAN	PNG	2020.05.21	4 DIXON AVENUE (KNOCK DOWN REBUILD)			31074	MODERN	F-NMXTVLIMODNFA		
	10	AMENDMENTS AS PER PCV007	JOP	2020.06.15	SUBURB:	POSTCODE:	COUNCIL:	SECTION No:	SHEET TITLE:	SCALES:	SHEET No:	
	11	AMENDMENTS AS PER PCV008	JOP	2020.07.16	FRENCHS FOREST	2086	NORTHERN BEACHES	-	FLOOR COVERINGS (FF)	1:100	25 / 28	651528

Template Version: 19.018

ALL ALFRESCO SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB (DOES NOT APPLY TO VERANDAH / PATIO / PORCH SLABS).



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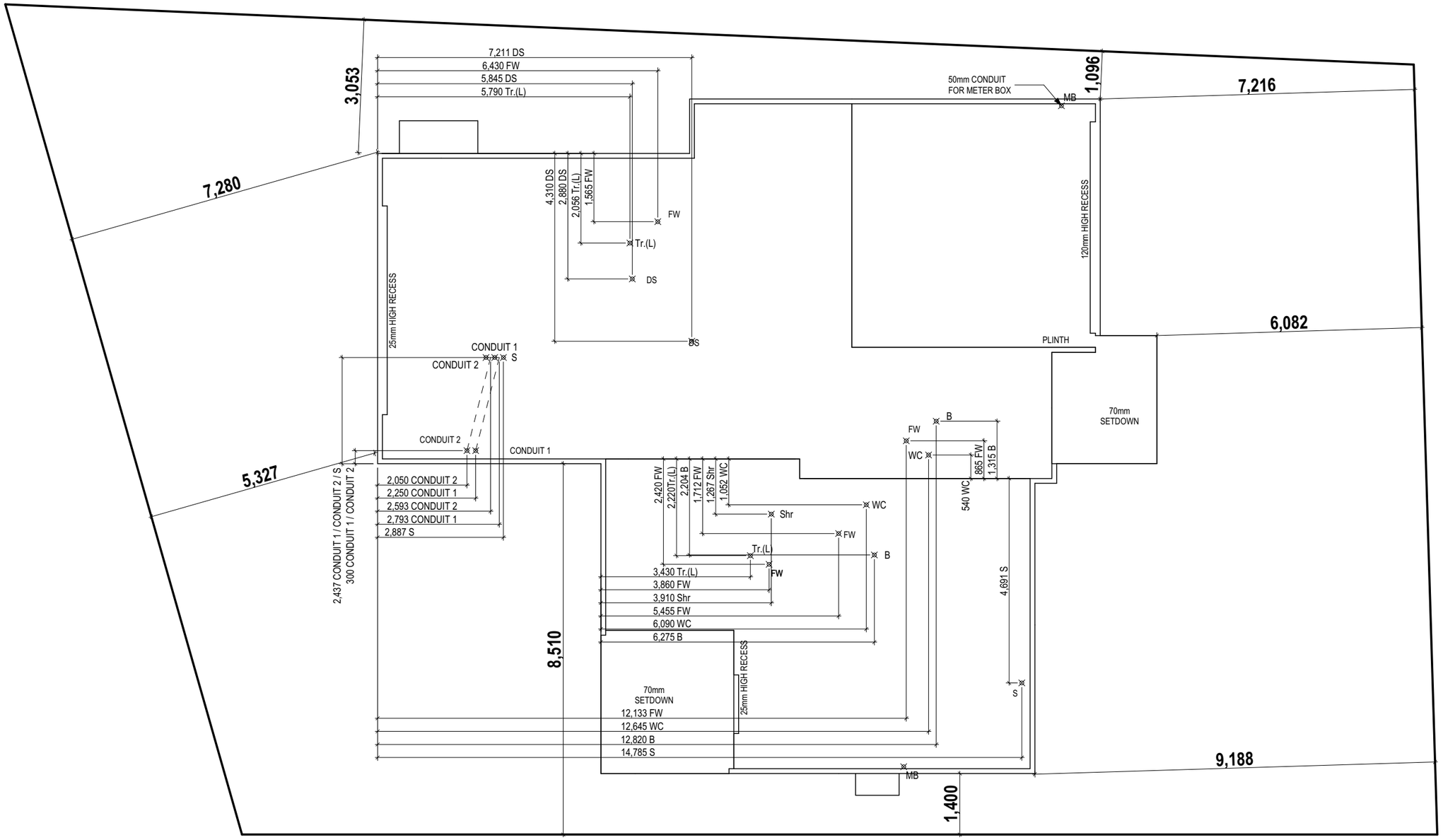
MOJO homes

SPECIFICATION: MOJO MORE		DRAWING	DRAWN		CLIENT: MR. MARC A. KRAMER & MRS. RENEE S. KRAMER			LOT No: 2	HOUSE DESIGN: TIVOLI 27	HOUSE CODE: H-	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
COPYRIGHT: © 2020	7	CONTRACT PLANS (PCV 003)	JVA	2020.05.04							
	8	AMENDMENTS AS PER PCV004	JOP	2020.05.18	ADDRESS: 4 DIXON AVENUE (KNOCK DOWN REBUILD)			DP No: 31074	FACADE DESIGN: MODERN	FACADE CODE: F-NMXTVLIMODNFA	
	9	CONTRACT PLAN	PNG	2020.05.21							
	10	AMENDMENTS AS PER PCV007	JOP	2020.06.15	SUBURB: FRENCHS FOREST	POSTCODE: 2086	COUNCIL: NORTHERN BEACHES	SECTION No: -	SHEET TITLE: SLAB PLAN	SCALES: 1:100	SHEET No: 26 / 28
	11	AMENDMENTS AS PER PCV008	JOP	2020.07.16							651528

Template Version: 19.018

ALL ALFRESCO SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB (DOES NOT APPLY TO VERANDAH / PATIO / PORCH SLABS).



LEGEND

B	BASIN
Bth	BATH WASTE
DS	DRAINAGE STACK
FW	FLOOR WASTE GULLY
Shr	SHOWER
S	SINK (KITCHEN)
Tr.(L)	TROUGH (LAUNDRY)
WC	WATER CLOSET

DRAINAGE PLAN

Scale: 1:100

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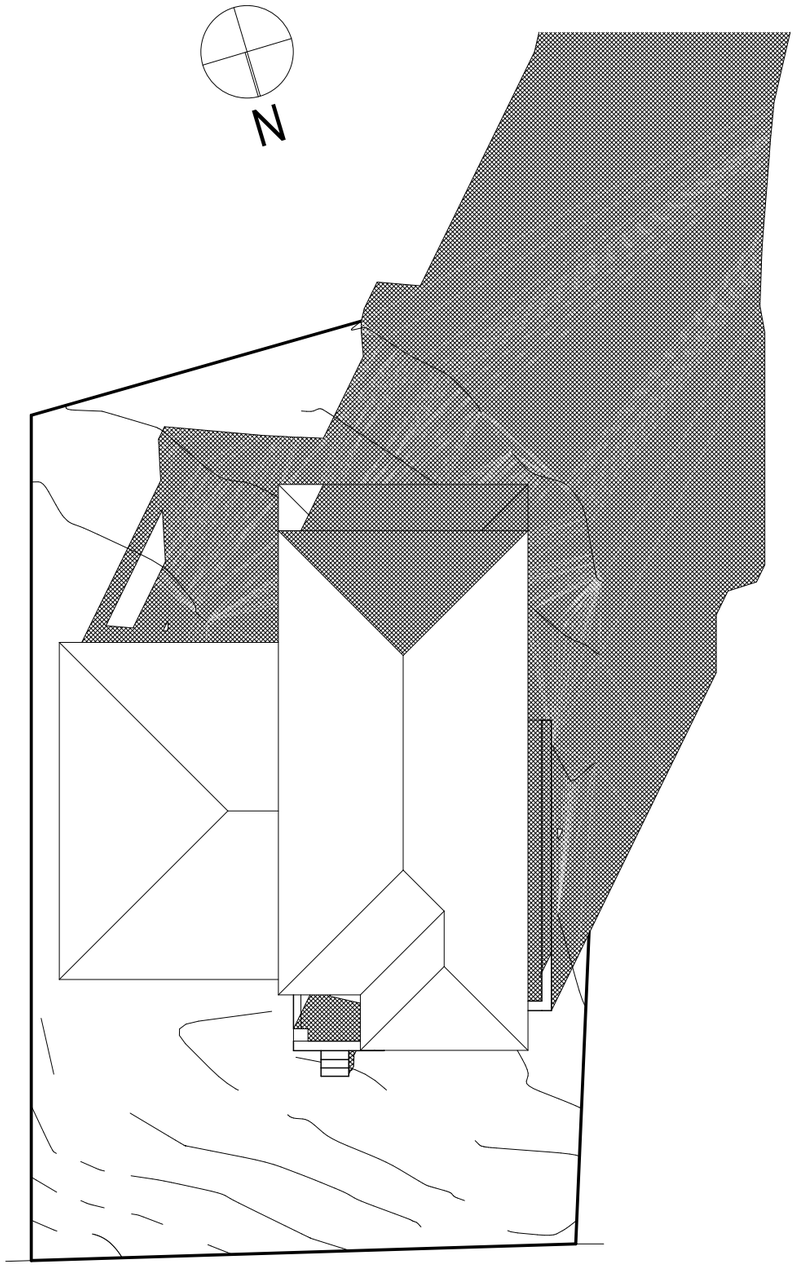
MOJO homes

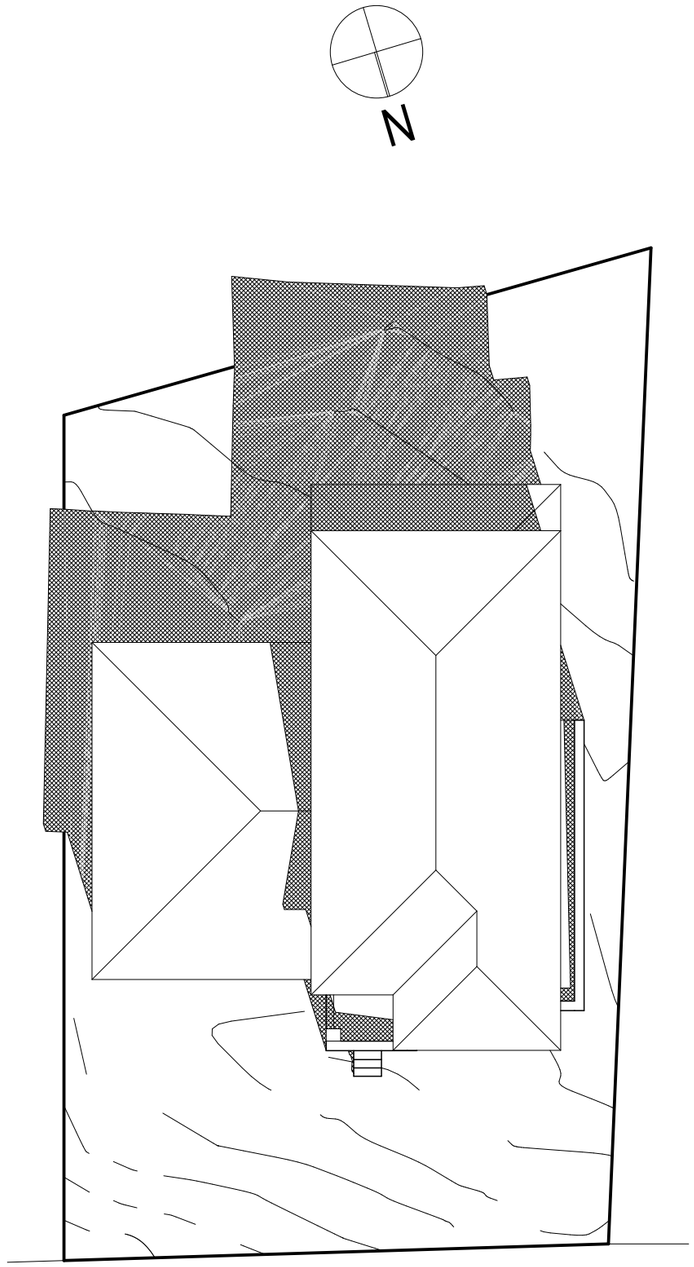
SPECIFICATION:		DRAWING	DRAWN		CLIENT:			LOT No:	HOUSE DESIGN:	HOUSE CODE:		DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
MOJO MORE	7	CONTRACT PLANS (PCV 003)	JVA	2020.05.04	MR. MARC A. KRAMER & MRS. RENEE S. KRAMER			2	TIVOLI 27	H-		
COPYRIGHT:	8	AMENDMENTS AS PER PCV004	JOP	2020.05.18	ADDRESS:			DP No:	FACADE DESIGN:	FACADE CODE:		
© 2020	9	CONTRACT PLAN	PNG	2020.05.21	4 DIXON AVENUE (KNOCK DOWN REBUILD)			31074	MODERN	F-NMXTVLIMODNFA		
	10	AMENDMENTS AS PER PCV007	JOP	2020.06.15	SUBURB:	POSTCODE:	COUNCIL:	SECTION No:	SHEET TITLE:	SCALES:	SHEET No:	
	11	AMENDMENTS AS PER PCV008	JOP	2020.07.16	FRENCHS FOREST	2086	NORTHERN BEACHES	-	DRAINAGE PLAN	1:100	27 / 28	651528

Template Version: 19.018



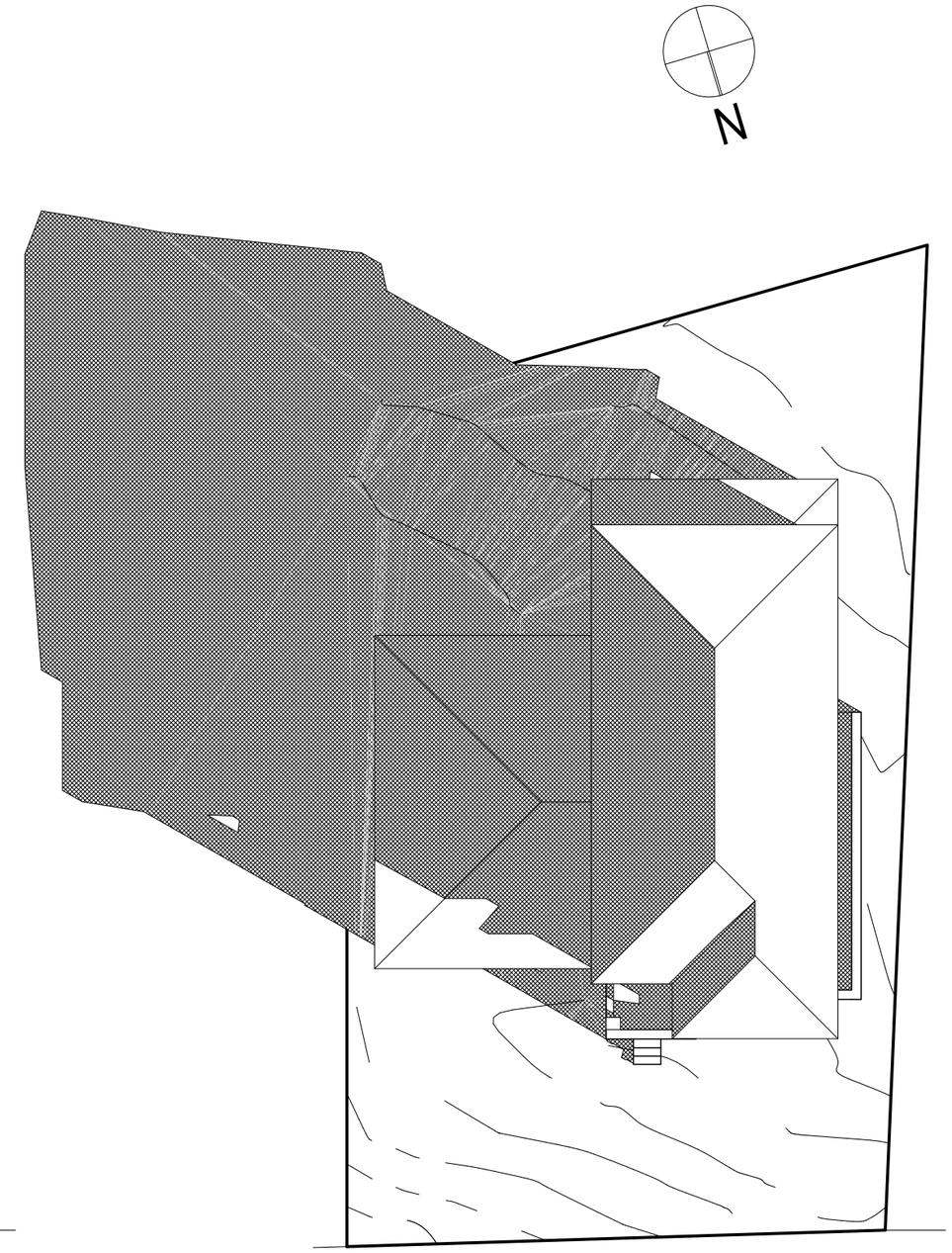
DIXON AVENUE

JUNE 21 - 0900



DIXON AVENUE

JUNE 21 - 1200



DIXON AVENUE

JUNE 21 - 1500

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MOJO homes

SPECIFICATION:		DRAWING	DRAWN		CLIENT:			LOT No:	HOUSE DESIGN:	HOUSE CODE:		DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
MOJO MORE	7	CONTRACT PLANS (PCV 003)	JVA	2020.05.04	MR. MARC A. KRAMER & MRS. RENEE S. KRAMER			2	TIVOLI 27	H-		
COPYRIGHT:	8	AMENDMENTS AS PER PCV004	JOP	2020.05.18	ADDRESS:			DP No:	FACADE DESIGN:	FACADE CODE:		
© 2020	9	CONTRACT PLAN	PNG	2020.05.21	4 DIXON AVENUE (KNOCK DOWN REBUILD)			31074	MODERN	F-NMXTVLIMODNFA		
	10	AMENDMENTS AS PER PCV007	JOP	2020.06.15	SUBURB:	POSTCODE:	COUNCIL:	SECTION No:	SHEET TITLE:	SCALES:	SHEET No:	
	11	AMENDMENTS AS PER PCV008	JOP	2020.07.16	FRENCHS FOREST	2086	NORTHERN BEACHES	-	SHADOW DIAGRAMS - JUNE 21	1:200	28 / 28	651528

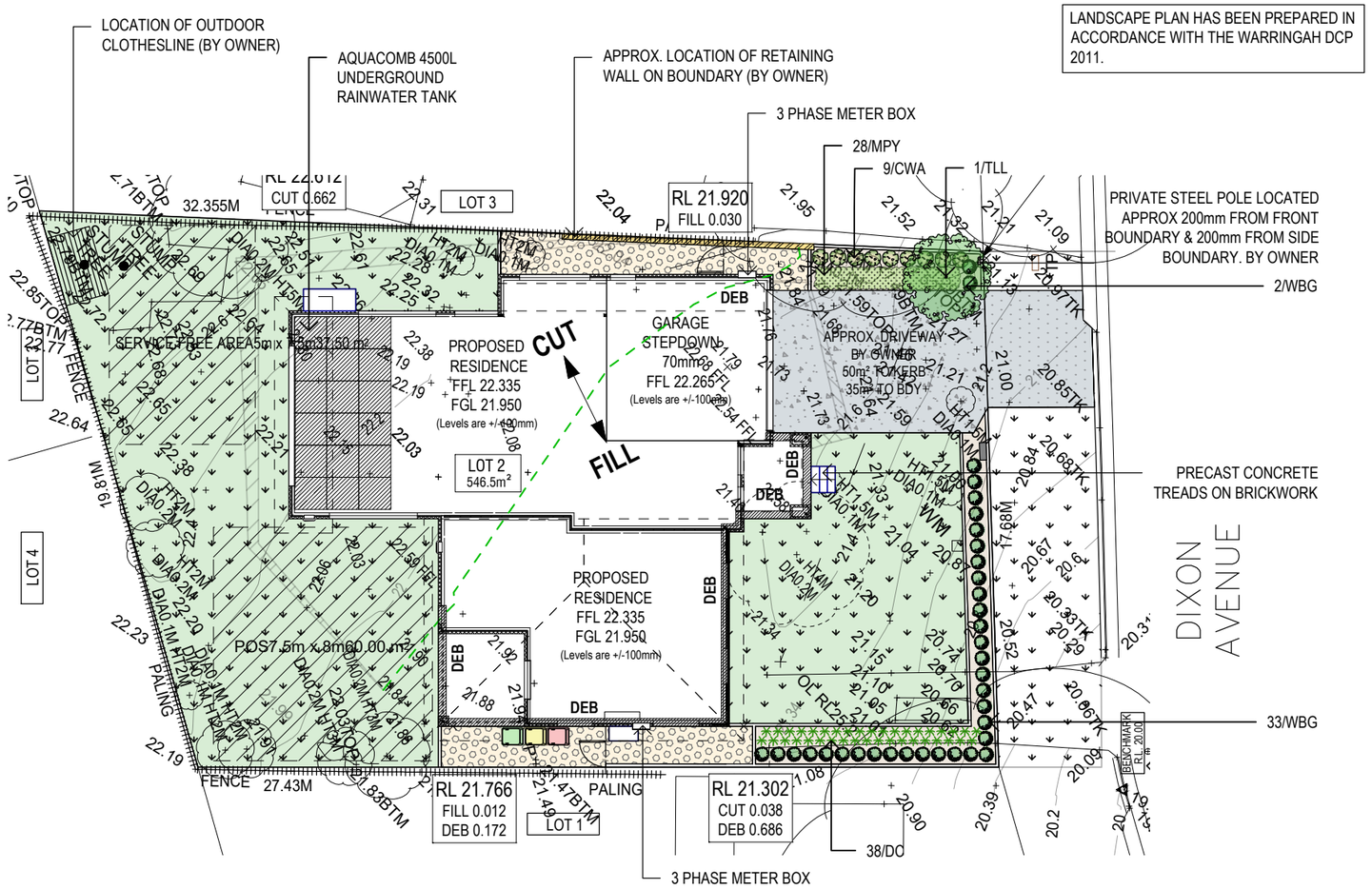
Template Version: 19.018

LEGEND:

- SELECTED FRONT SEMI ADVANCED TREE
- EXISTING TREES
- GATE TO MATCH FENCING
- LETTERBOX
- BIN STORE
- BRICK EDGING
- EXISTING FENCE
- SELECTED AUSTRALIAN NATIVE, DROUGHT TOLERANT PLANTS
- 1.8m PROPOSED FENCE TO MATCH EXISTING
- TURF (SIR WALTER BUFFAO)
- 20mm RIVER PEBBLE
- MULCH

LANDSCAPED AREA:	
TOTAL SITE AREA:	546.5m²
TOTAL LANDSCAPE AREA: (EXCLUDES HARD SURFACES)	262.10m² 47.95%
MIN. REQUIRED:	40%

LANDSCAPE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE WARRINGAH DCP 2011.



PLANT SCHEDULE:

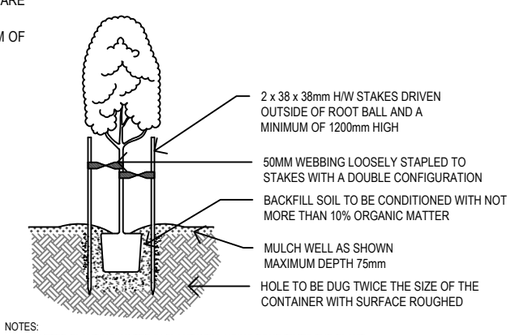
CODE	BOTANICAL NAME	COMMON NAME	NATIVE OR EXOTIC	No.	POT SIZE	MATURE HEIGHT
TREES						
TLL	*Tristaniopsis laurina*	Water Gum	NATIVE	1	75L	8m
SHURBS						
CWA	*Callistemon* 'White Anzac'	Callistemon White Anzac	NATIVE	9	300mm	1.0m
WBG	*Westringia* 'Blue Gem'	Coastal rosemary	NATIVE	35	250mm	0.9m
GROUND COVERS & GRASSES						
DC	*Dianella caerulea*	Dianella	NATIVE	38	150mm	0.7m
MPY	*Mypoporum parvifolium* 'Yareena'	Myoporum Yareena	NATIVE	28	150mm	0.2m
TURF						
	Stenotaphrum secundatum 'Sir Walter'	Sir Walter Buffalo Turf	EXOTIC		-	-

MAINTENANCE PROCEDURES

1) LAWN TO BE FERTILISED TWICE A YEAR IN THE WARM MONTHS, MOWING WEEKLY IN SUMMER MONTHS AND FORTNIGHTLY OR MONTHLY AS REQUIRED IN THE WINTER MONTHS.
2) PLANTS TO BE FERTILISLED A MINIMUM OF TWICE A YEAR AT THE SAME TIME OF PRUNING, TO DO THIS USE A COMPLETE FERTILISER. KEEP MULCH CLEAR OF TREE TRUNK AREA. AFTER PLANT/SHURBS AND TREES ARE PLANTED CONTINUE TO WATER WELL ONCE A WEEK.
3) PRUNE HEDGE PLANTS A MINIMUM OF 2 - 3 TIMES A YEAR, IN THE WARMER MONTHS. WAIT FOR AT LEAST 10MM OF NEW GROWTH BEFORE PRUNING AGAIN TO PROMOTE HEALTHY NEW GROWTH.

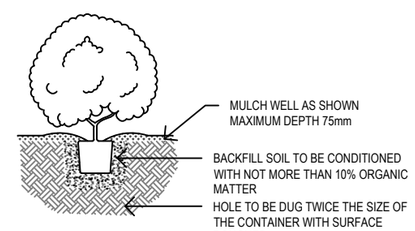
NOTES:

1) SIDE & REAR BOUNDARY FENCING SHOULD BE TREATED PINE TIMBER LAP AND CAP PALING FENCE. GATES TO MATCH FENCE MATERIALS.
2) ALL LANDSCAPED AREAS TO HAVE A MINIMUM 1:100 FALL TOWARDS STORM WATER DRAINS. OR AWAY FROM THE BUILDING FOR POSSIBLE OVERLAND WATER DRAINAGE.
3) A TREE PROTECTION ZONE (TPZ) SHALL BE ESTABLISHED FOR THE DURATION OF ANY WORKS NEAR ANY EXISTING TREES, AS PER THE METHOD OUTLINED IN THE CURRENT AS4970-2009. PERMISSION FROM THE COUNCIL ARBORIST IS REQUIRED FOR ACTIVITIES THAT DO NOT COMPLY WITH THE CURRENT AUSTRALIAN STANDARDS.
4) DRIVEWAY LAYOUT TO BE CONSTRUCTED FROM ARCHITECTURAL CONSTRUCTION DRAWINGS.
5) RETAINING WALLS ALONG SIDE BOUNDARIES BETWEEN LOTS TO BE FINALISED ON SITE AFTER BENCHING.
6) ALL RETAINING WALLS VISIBLE FROM THE STREET TO BE MASONRY WITH COLOURS MATCHING THOSE ON THE FRONT FACADE OF THE DWELLING.
7) ALL IMPORTED SOIL TO GARDEN AREAS TO BE OF PREMIUM GARDEN MIX STANDARD AT 300MM DEPTH .
8) TURF TO BE LAID ON A 150MM MINIMUM BASE OF 80% SAND 20% SOIL MIX. REFER TO DETAIL.
9) ALL GARDEN AREAS TO BE COVERED WITH A MINIMUM OF 75MM OF 14MM PINE BARK MULCH.
10) GARDEN EDGING IS TO BE INSTALLED BETWEEN ALL ADJOINING SOFT LANDSCAPE FINISHES. REFER TO DETAIL.



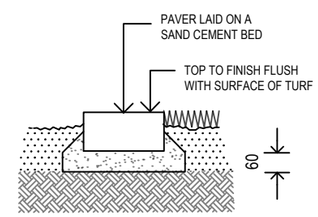
NOTES:
1) AFTER PLANTING WATER IN PLANT WELL USING FOUR TIMES THE PLANT CONTAINER CAPACITY OF WATER.
2) FOR TREES 50lt AND ABOVE INSERT A 60mm DIA AG PIPE UNDER PLANT IN BACKFILL TO PROMOTE GOOD AERATION IN SOIL.
3) TREES SHALL NOT BE TIED UNLESS SUPPORT IS ESSENTIAL.

TYPICAL TREE PLANTING DETAIL
SCALE: N.T.S.

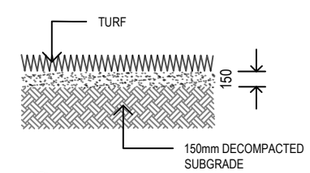


NOTES:
1) AFTER PLANTING WATER IN PLANT WELL USING FOUR TIMES THE PLANT CONTAINER CAPACITY OF WATER.
2) FOR TREES 50lt AND ABOVE INSERT A 60mm DIA AG PIPE UNDER PLANT IN BACKFILL TO PROMOTE GOOD AERATION IN SOIL.

TYPICAL SHRUB PLANTING DETAIL
SCALE: N.T.S. Tube, 150mm, 200mm, 250mm Pot Size



BRICK GARDEN EDGE DETAIL
SCALE: N.T.S.



TURF DETAIL
SCALE: N.T.S.

DIAL BEFORE YOU DIG www.1100.com.au

Issue	Description	Date
A	Initial design for DA	12.06.20

MYARD

Phone: 02 8801 1825
Building A Suite 9
24 Lexington Drive
Bella Vista NSW 2153
Structural Landscape
Licence: #239872C

General Notes:

All existing and proposed level to be checked on site and confirmed with building supervisor and landscape contractor prior to commencement of construction. All existing hardscape element locations to be checked on site and confirmed with builder or landscape architect prior to commencement of construction. Position of all services on site to be confirmed prior to commencement of construction.

PLAN DRAWINGS PREPARED FOR DEVELOPMENT APPLICATION ONLY. PLAN IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

Scale: 1:200@A3

Colour:
Drawing was created using colour and may appear incorrect if reproduced in greyscale or black and white.

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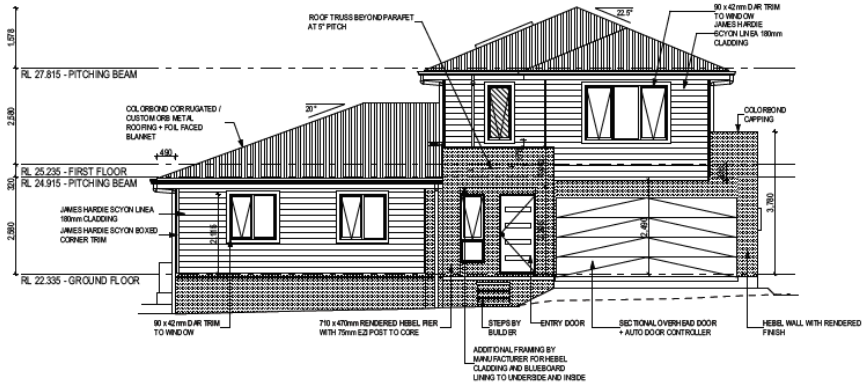
Drawing Title: DA - LANDSCAPE PLAN
Drawing No: DA-17312-1/1
Drawn: AVS
Approved: KER

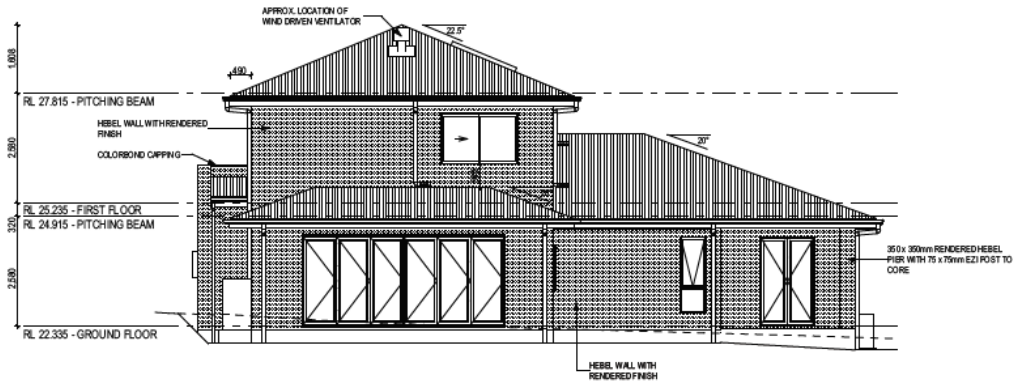
Client Name:	Client Job No:
KRAMER	651528
Builder: MOJO HOMES	Council: NORTHERN BEACHES

Project Address:
LOT 2, DP 31074, NO 4, DIXON AVENUE, FRENCHS FOREST, NSW 2086

EXTERNAL COLOUR PLAN



FRONT ELEVATION
Scale: 1:100



REAR ELEVATION
Scale: 1:100

MOJO homes	SPECIFICATION: MOJO MORE		DRAWING	DRAWN	CLIENT: MR. MARC A. KRAMER & MRS. RENEE S. KRAMER			LOT No: 2	HOUSE DESIGN: TIVOLI 27	HOUSE CODE: H-	DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.
	COPYRIGHT: © 2020	3	C'D	HNG							
		4	C'D PLAN CHECK	GBO	ADDRESS: 4 DIXON AVENUE (KNOCK DOWN REBUILD)			DP No: 31074	FACADE DESIGN: MODERN	FACADE CODE: F-NMXTVLIMODNFA	
		5	WORKING DRAWING PLAN	CLE							
		6	PCW03 - INCREASE LOUNGE	GBO	SUBURB: FRENCHS FOREST	POSTCODE: 2086	COUNCIL: NORTHERN BEACHES	SECTION No: -	SHEET TITLE: ELEVATIONS / SECTION	SCALES: 1:100	SHEET No: 10 / 27
		7	CONTRACT PLANS (PCV103)	AVA							651528

TAUBMANS, SHALE GREY
Render to Entire Home Including Cladding & Downpipes

METAL ROOFING
Custom Orb, Colorbond Monument

TAUBMANS, SURFMIST
External Garage Door & Jamb Including Mouldings & Eaves

COLORBOND, SURFMIST
Gutter, Fascia & Parapet Capping

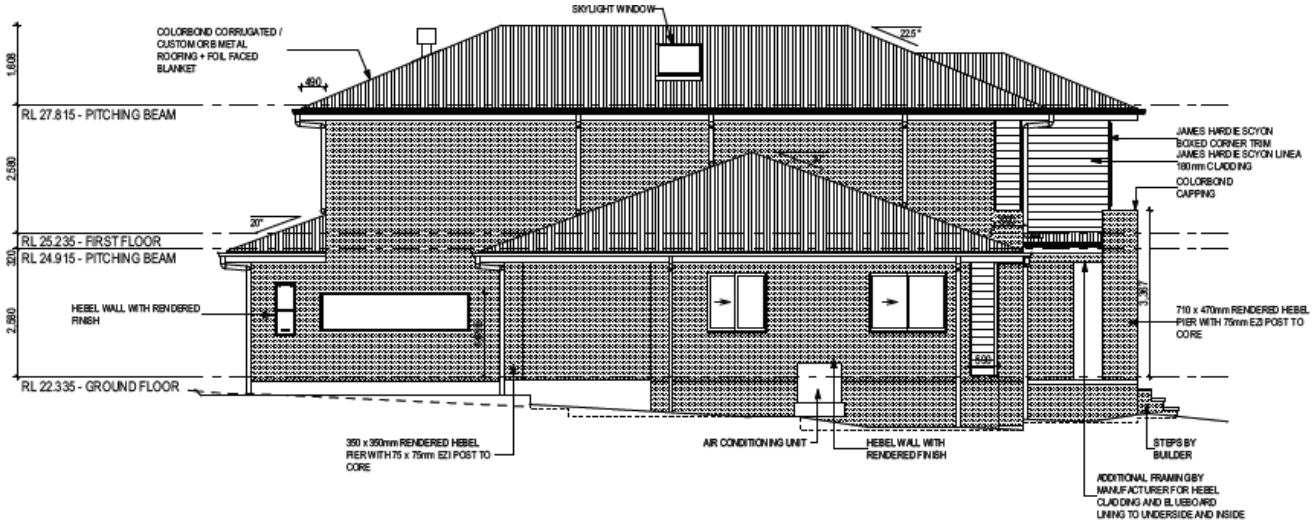
WINDOWS
Bradnams, Surfmist Matt

COLORBOND, MONUMENT
Whirlybird

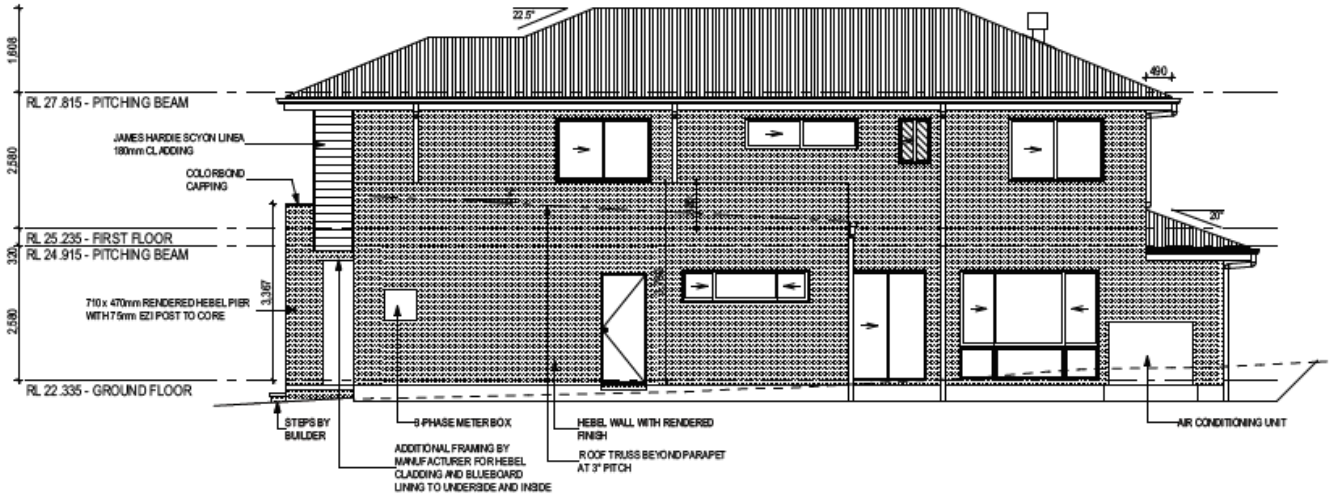
TAUBMANS, MONUMENT
Front Door & Jamb

GARAGE DOOR
Flatline, Surfmist

BRICKWORKS
BUILDING PRODUCTS



LEFT ELEVATION
Scale: 1:100



RIGHT ELEVATION
Scale: 1:100

BRICKWORKS
BUILDING PRODUCTS