
















Certificate number: 1010665S

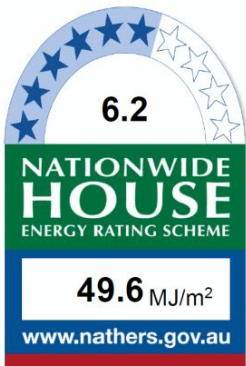
Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 8000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 208 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓

Floor and wall construction	Area
floor - concrete slab on ground	All or part of floor area square metres
floor - suspended floor above garage	All or part of floor area

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The heating system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
<ul style="list-style-type: none"> at least 5 of the bedrooms / study; 		✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<ul style="list-style-type: none"> • at least 3 of the living / dining rooms; • the kitchen; • all bathrooms/toilets; • the laundry; • all hallways; 		    	    
Natural lighting			
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.			
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.			
The applicant must install a fixed outdoor clothes drying line as part of the development.			

QUOTE	DATE	QUOTE NUMBER	REV				
KITCHEN			-				
ZURCORP ELECTRICAL			-				
TILES			-				
CARPET			-				
ZURCORP SECURITY			-				
EH1			-				
AIR CONDITIONING			-				
STAIRS			-	F	07.05.19	COORDINATE HYDRAULICS	MD
LANDSCAPE				E	29.04.19	EXTERNAL COLOURS	MD
HYDRAULICS				D	25.04.19	DA DRAWINGS	PG.
ENGINEER				C	12.04.19	PCV 1	PG.
PEG OUT				B	01.04.19	CONTRACT DRAWINGS	PG.
				A	14.03.19	TENDER DRAWINGS	BG/PG.
CLIENT'S SIGNATURE:				REV	DATE	AMENDMENTS	BY




Certificate no.: 0003790334
Assessor Name: Ian Fry
Accreditation no.: VIC/BDAY/12/1441
Certificate date: 18 Apr 2019
Dwelling Address:
19 Malbara Crescent
Frenchs Forest, NSW
2086

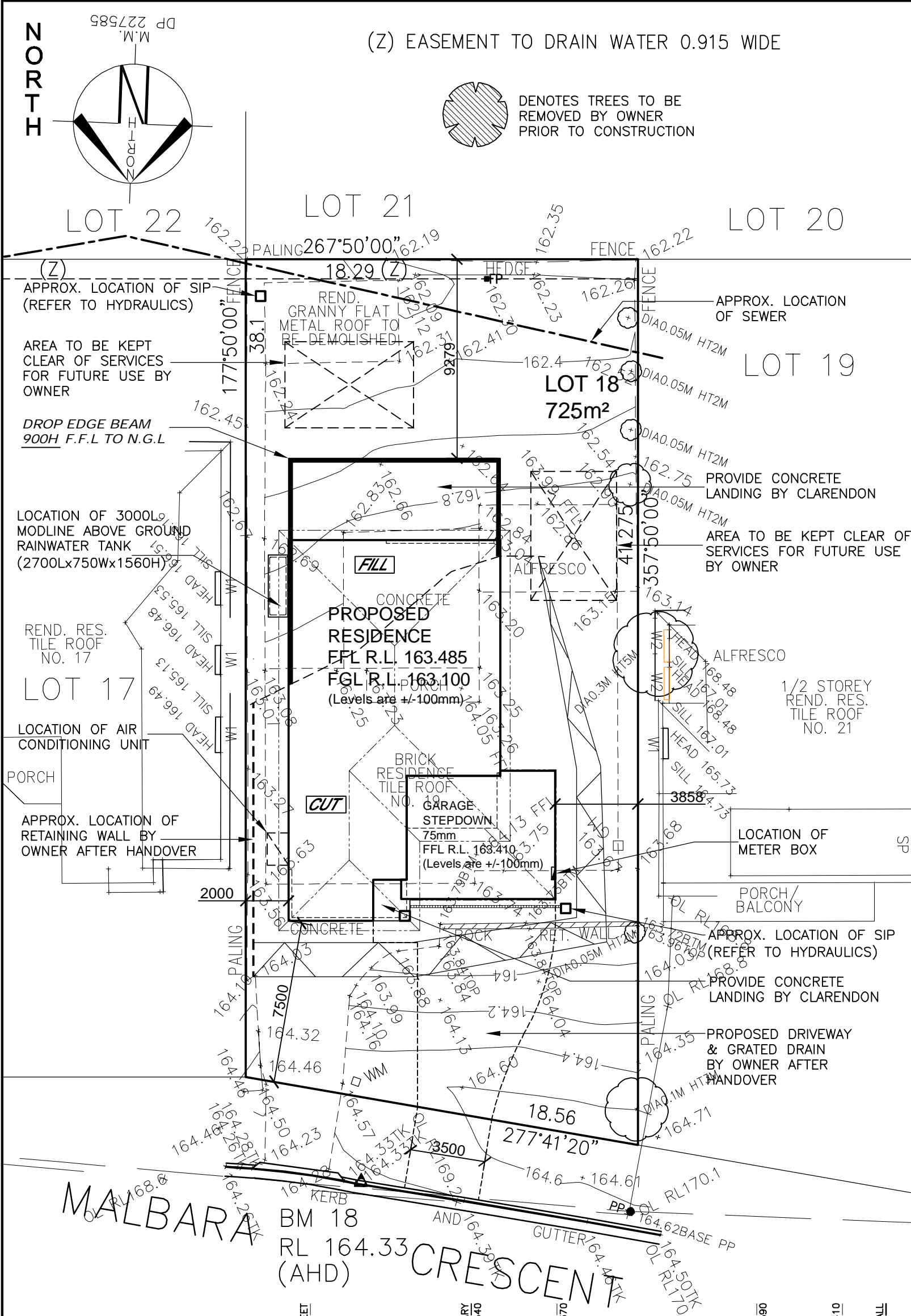


www.nathers.gov.au

<u>AREAS</u>	
SITE:	725.00 m ²
<hr/>	
GROUND FLOOR:	142.86 m ²
FIRST FLOOR:	154.81 m ²
GARAGE:	40.64 m ²
PORCH:	2.91 m ²
BALCONY:	m ²
CONCRETE SLAB:	37.54 m ²
	m ²
TOTAL:	378.76 m ²

2.6	LANDSCAPE PLAN
2.5	NEIGHBOUR NOTIFICATION PLAN
2.4	ELEVATION SHADOWS
2.3	SHADOW DIAGRAM
2.2	SITE ANALYSIS PLAN
2.1	CONSTRUCTION MANAGEMENT
10	WET AREA DETAILS
9	WET AREA DETAILS
8	ELECTRICAL LAYOUT
7	SECTION
6	ELEVATIONS
5	ELEVATIONS
4	FIRST FLOOR PLAN
3	GROUND FLOOR PLAN
2	SITE PLAN
1	COVER SHEET
SHEET	DESCRIPTION

 <p>BL No. 2298C ABN 18 003 892 706</p> <p>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8854 5000</p>	<p>© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L</p> <p># DIMENSIONS TO BE READ IN CONJUNCTION WITH SECTION 1</p>	<p>PRODUCT:</p> <p>BOSTON 36 Classic R/H Garage</p> <p>Sapphire Specification</p>	<p>CLIENT:</p> <p>Mr. COELHO DOS SANTOS Mrs. GARRICK</p>	<p>DA DRAWINGS</p>		
			<p>SITE ADDRESS:</p> <p>Lot 18 No.19, DP 227585 Malbara Crescent EPENCHS FOREST 2086</p>	<p>DRAWN:</p> <p>PG.</p>	<p>DATE:</p> <p>01.04.19</p>	<p>Rev:</p> <p>F</p>
			<p>RATIO @ A3:</p> <p>N/A</p>	<p>CHECKED:</p> <p>J.S</p>		
			<p>SHEET:</p> <p>1</p>	<p>JOB No:</p> <p>29913405</p>	<p>NSW</p>	



LOT 18
D.P: 227585
L.G.A: NORTHERN BEACHES

**SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011**

SITE AREA	725.00 m²
ROOF AREA	208.22 m²
LANDSCAPED AREA	
TOTAL LANDSCAPE AREA: (MIN. DIMENSION OF 2.0m)	449.30 m² 61.97 %
MIN. REQUIRED BY COUNCIL:	40 %
PRIVATE OPEN SPACE	
TOTAL OPEN SPACE AREA: (MIN. DIMENSION OF 5.0m)	175.20 m²
MIN. REQUIRED BY COUNCIL:	60 m²
HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT	8.5 m
MAXIMUM CEILING HEIGHT	7.2 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)	
BUILDING ENVELOPE	
BUILDING ENVELOPE TO BE PROJECTED AT 45° FROM A HEIGHT OF 4.0m AT BOUNDARY	

SITE COVERAGE STORMWATER CALCULATION	
ROOF FOOTPRINT:	208.22m²
DRIVEWAY/ PAVED AREAS:	55.53m²
TOTAL:	263.75m²
	36.37 %
MAX SITE COVERAGE FOR OSD:	40%

Maximum 1000mm CUT
DROP EDGE BEAM TO NATURAL GROUND
NO EXPOSED FILL PERMITTED OUTSIDE
BUILDING PERIMETER

WIND CLASSIFICATION: "H1"
SLAB CLASSIFICATION: "N2"

NOTE:
ALL GROUND LINES ARE APPROXIMATE.
EXTENT OF FILL & BATTER WILL BE
DETERMINED ON SITE. SEDIMENT BARRIERS
ARE TO BE CUSTOMISED SITE SPECIFIC

NOTE:
OWNER TO DEMOLISH & REMOVE FROM
SITE EXISTING HOUSE, INCLUDING
FOOTINGS & SERVICES ABOVE & BELOW
GROUND, PATHS, DRIVE, TREES &
FENCES ETC. PRIOR TO COMMENCEMENT
OF CONSTRUCTION.

**STORMWATER TO
EASEMENT VIA
RAINWATER TANK**
REFER TO HYDRAULIC DETAILS

SITE PLAN

SCALE 1:200

GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8824 5200

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DIMENSIONS TO BE READ IN
CONJUNCTION WITH

PRODUCT:
BOSTON 36
Classic
R/H Garage

Sapphire Specification

CLIENT:
Mr. COELHO DOS SANTOS
Mrs. GARRICK

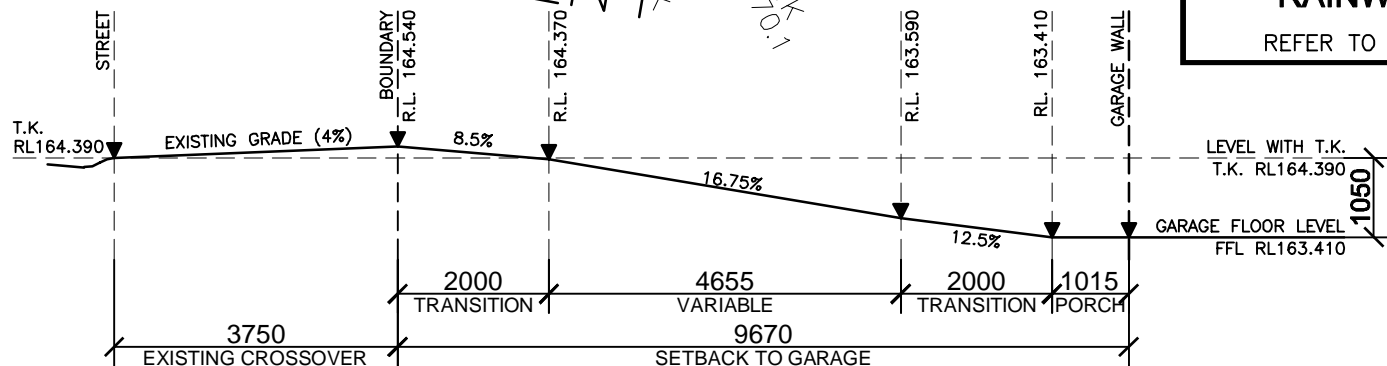
SITE ADDRESS:
Lot 18 No.19, DP 227585
Malbara Crescent
EDENHILLS FOREST 2086

DA DRAWINGS

DRAWN: BG	DATE: 12.03.19	Rev:
RATIO @ A3: 1:200	CHECKED: BG	F
SHEET: 2	JOB No: 29913405	NSW

DRIVEWAY GRADIENT PROFILE

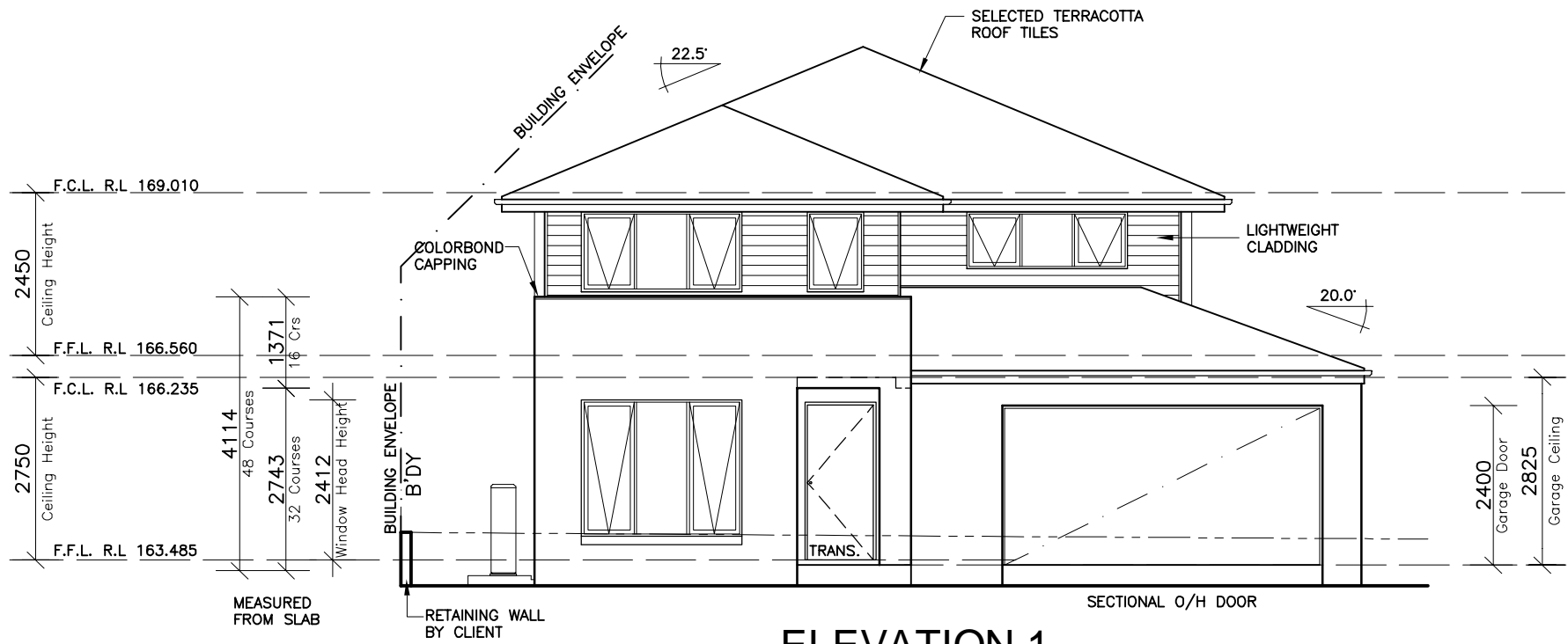
SCALE - 1:150



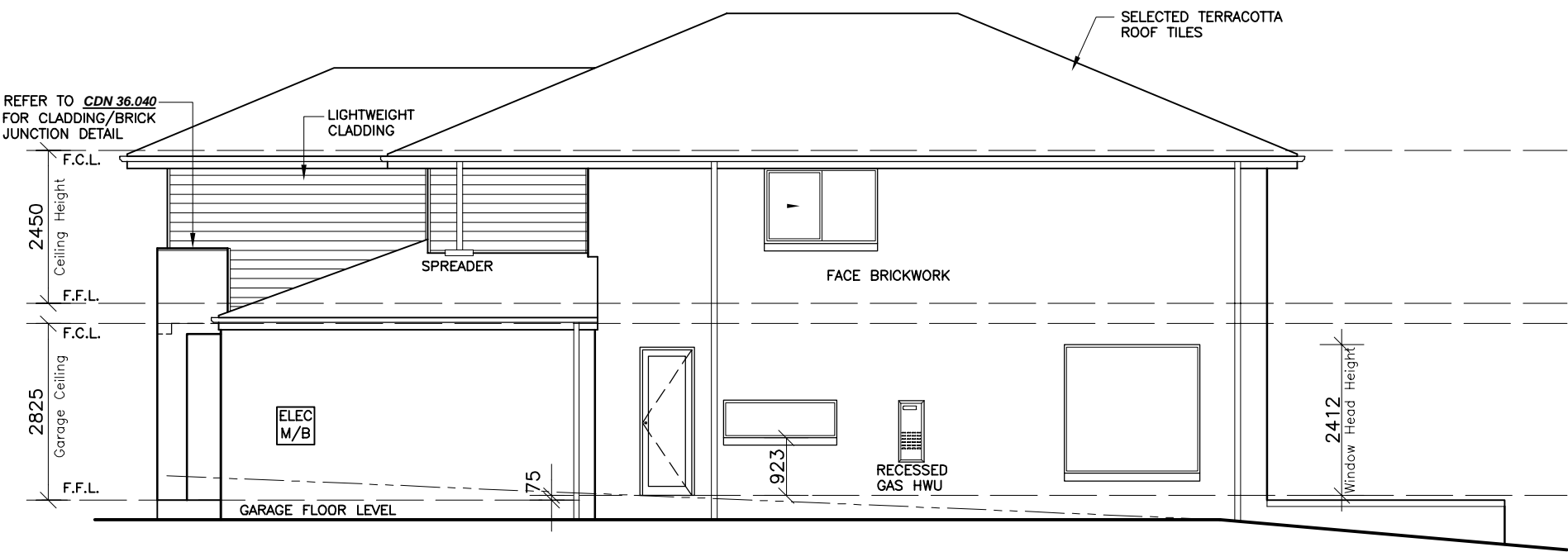
**GRATED DRAIN TO FRONT OF GARAGE
BY OWNER AFTER HANDOVER.**
OWNER TO SEEK ADVICE FROM A HYDRAULIC ENGINEER
FOR THE SIZE OF THE GRATE

DENOTES WINDOWS WITH
6.38MM TRANSLUCENT
GLAZING

NOTES:
FOR DROP-OFF's REFER
TO FRAMING DETAILS
CDN 21.010-21.080



ELEVATION 1
-NORTH-



ELEVATION 2
-WEST-

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
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DIMENSIONS TO BE READ IN
CONJUNCTION TO DRAWING

PRODUCT:
BOSTON 36
Classic
R/H Garage
Sapphire Specification

CLIENT:
Mr. COELHO DOS SANTOS
Mrs. GARRICK
SITE ADDRESS:
Lot 18 No.19, DP 227585
Malbara Crescent
FRANCIS FOREST 2086

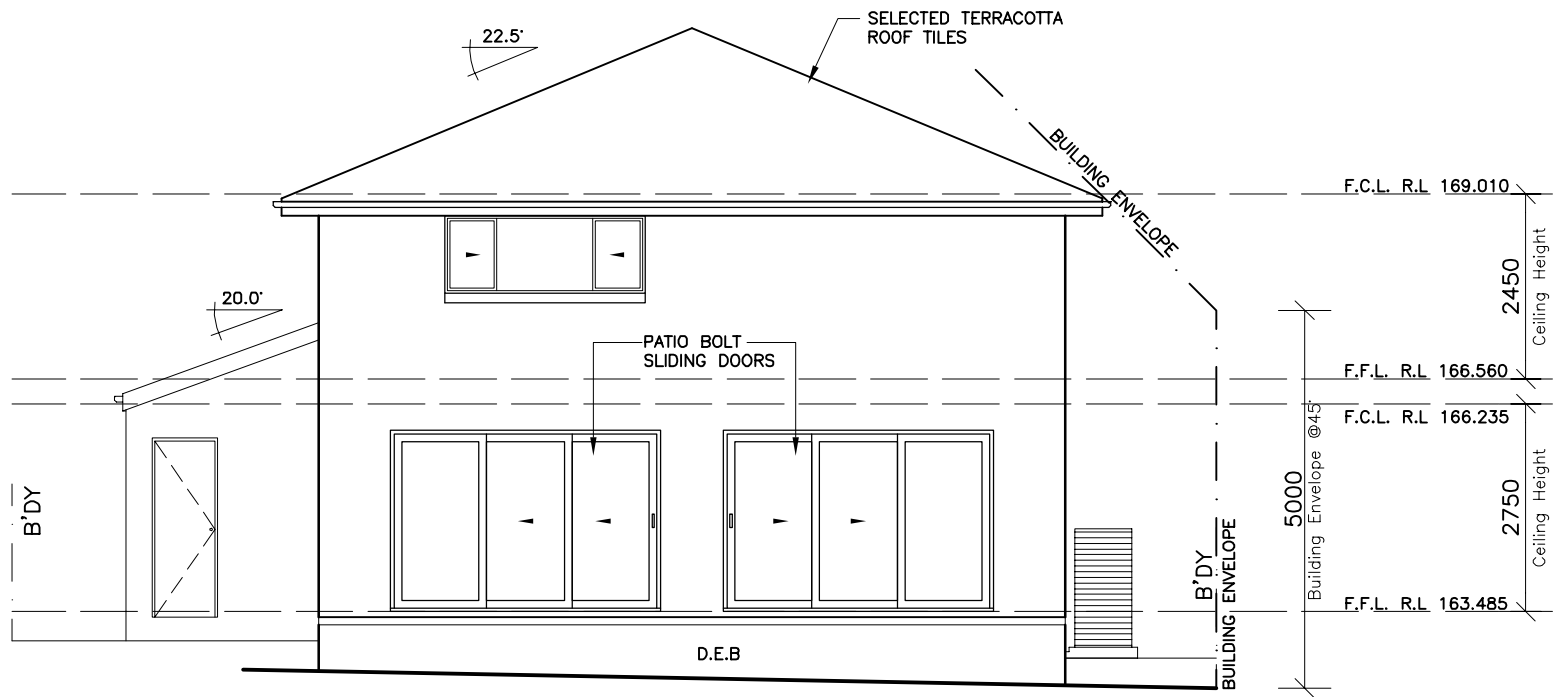
DA DRAWINGS

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SHEET: 5	JOB No: 20013405	NSW

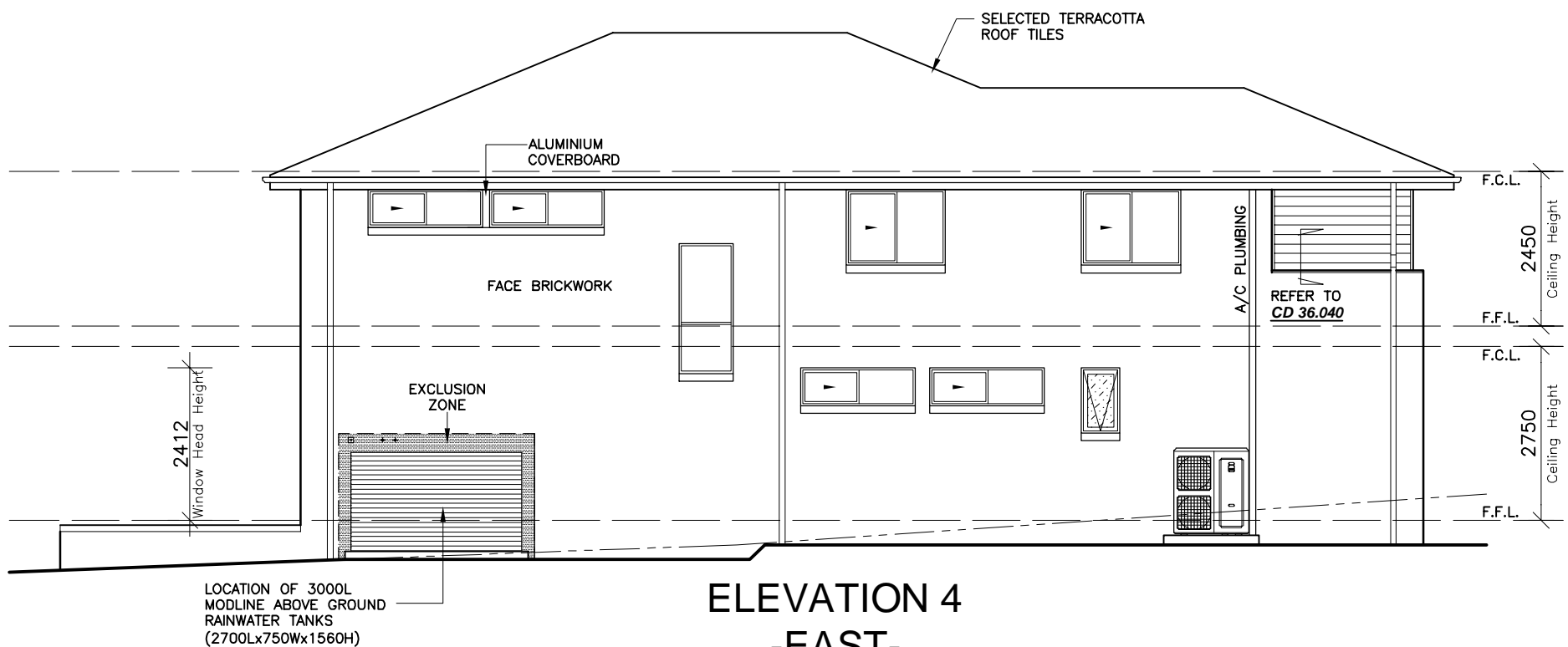
DENOTES WINDOWS WITH
6.38MM TRANSLUCENT
GLAZING

NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

NOTES:
FOR DROP-OFF'S REFER
TO FRAMING DETAILS
CDN 21.010-21.080



ELEVATION 3
-SOUTH-



ELEVATION 4
-EAST-

CLIENT'S SIGNATURE: _____ DATE: _____

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ABN 18 003 892 706

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DIMENSIONS TO BE READ IN
CONJUNCTION TO COATING

PRODUCT:
BOSTON 36
Classic
R/H Garage
Sapphire Specification

CLIENT:
Mr. COELHO DOS SANTOS
Mrs. GARRICK
SITE ADDRESS:
Lot 18 No.19, DP 227585
Malbara Crescent
FRENCH FOREST 2086

DA DRAWINGS

DRAWN: PG.	DATE: 01.04.19	Rev:
RATIO @ A3: 1:100	CHECKED: J.S	F
SHEET: 6	JOB No: 20012105	NSW

NORTH

DP 227585

(Z) EASEMENT TO DRAIN WATER 0.915 WIDE

LOT 18

D.P: 227585

L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011

LOT 22

LOT 21

LOT 20

LOT 19

LOT 18
725m²

APPROXIMATE LOCATION
OF SEDIMENT FENCE

REND. RES.
TILE ROOF
NO. 17

LOT 17

PORCH

SEDIMENT FENCE AROUND
WASTE MATERIALS

PORTABLE TOILET

ALL WEATHER
ACCESS POSITION

MALBARA

BM 18
RL 164.33
(AHD)

CRESCENT

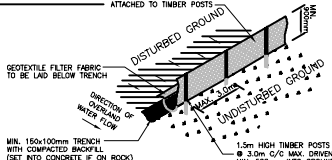
CONSTRUCTION MANAGEMENT PLAN EROSION AND SEDIMENT CONTROL PLAN

NOTE:
TEMPORARY SECURITY FENCING TO
THE PERIMETER OF THE BOUNDARY
WHERE REQUIRED TO PREVENT
PUBLIC ACCESS ONTO THE SITE

NOTE:
GROUND LINES ARE APPROXIMATE.
EXTENT OF CUT AND FILL BATTERS
WILL BE DETERMINED ON SITE.
SEDIMENT BARRIERS ARE
CUSTOMISED TO SITE CONDITIONS

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 80% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



SEDIMENT FENCE
NOT TO SCALE

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

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21 Solent Circuit, Baulkham Hills NSW 2153

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DIMENSIONS TO BE READ IN
CONJUNCTION WITH THE
SPECIFICATIONS

PRODUCT:
BOSTON 36
Classic
R/H Garage

Sapphire Specification

CLIENT:
Mr. COELHO DOS SANTOS
Mrs. GARRICK

SITE ADDRESS:
Lot 18 No.19, DP 227585
Malbara Crescent
ERENDUS FOREST 2086

DA DRAWINGS

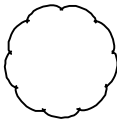
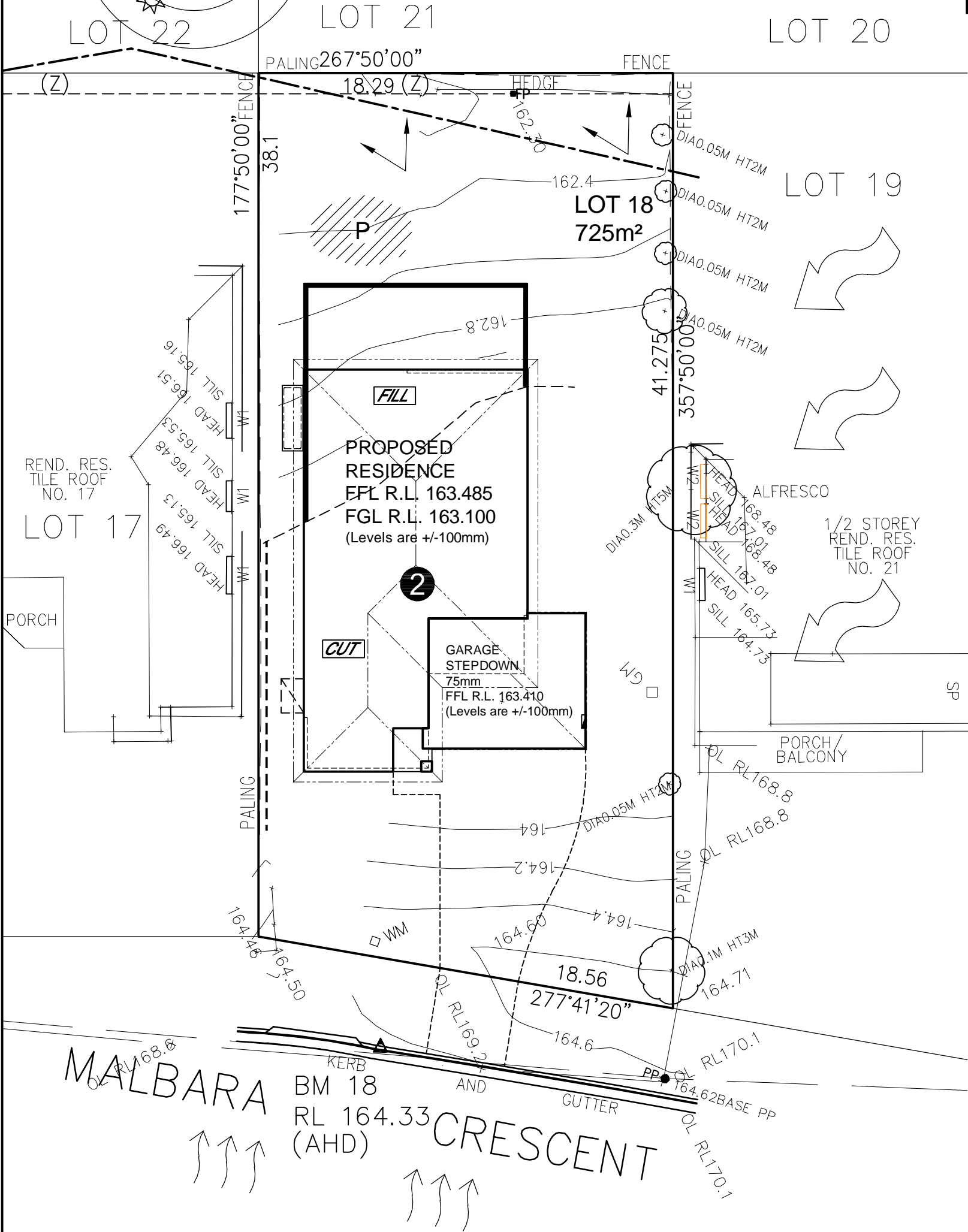
DRAWN: PG.	DATE: 01.04.19	Rev: F
RATIO @ A3: 1:200	CHECKED: J.S	
SHEET: 2 1	JOB No: 29913405	NSW

NORTH

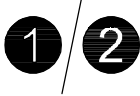
(Z) EASEMENT TO DRAIN WATER 0.915 WIDE

LOT 18
D.P: 227585
L.G.A: NORTHERN BEACHES

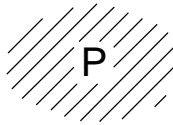
SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011



DENOTES EXISTING
TREES TO BE RETAINED



NUMBER OF STOREYS



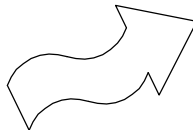
PRINCIPAL PRIVATE
OPEN SPACE



MAIN VIEWS



NOISE IMPACT



PREVAILING WINDS

SITE ANALYSIS PLAN

CLIENT'S SIGNATURE: _____ DATE: _____		PRODUCT: BOSTON 36 Classic R/H Garage Sapphire Specification		CLIENT: Mr. COELHO DOS SANTOS Mrs. GARRICK SITE ADDRESS: Lot 18 No.19, DP 227585 Malbara Crescent BRENCHES FOREST 2086		DA DRAWINGS		
ClarendonHomes <small>BL No. 2298C ABN 18 003 892 706</small> Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8854 5500		© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # DIMENSIONS TO BE READ IN METRES UNLESS OTHERWISE STATED		DRAWN: PG. RATIO @ A3: 1:200 SHEET: 22		DATE: 01.04.19		Rev: F
						CHECKED: J.S.		
						JOB No: 29913405		NSW

NORTH

DP 227585

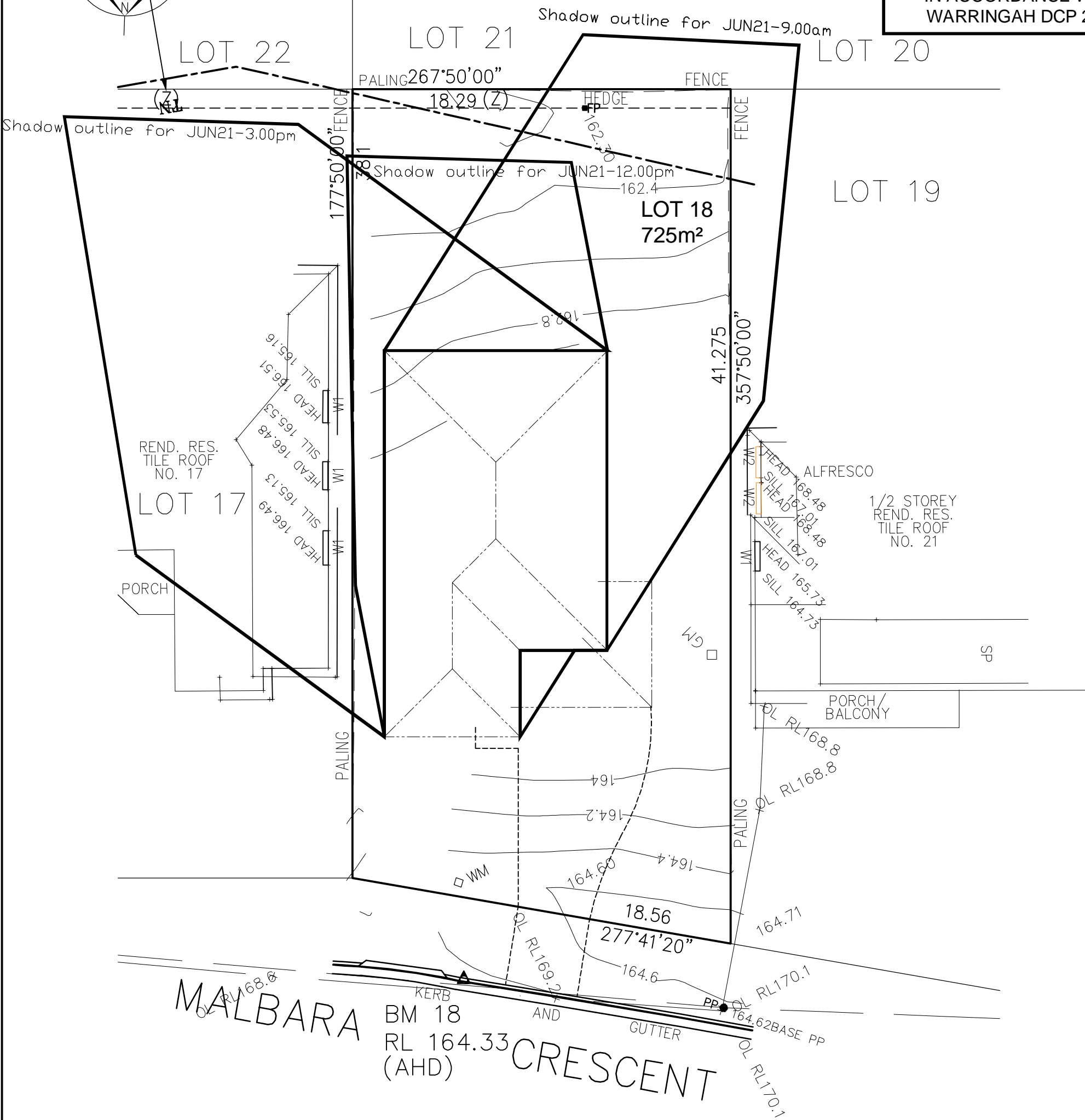
(Z) EASEMENT TO DRAIN WATER 0.915 WIDE

LOT 18

D.P: 227585

L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
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WARRINGAH DCP 2011



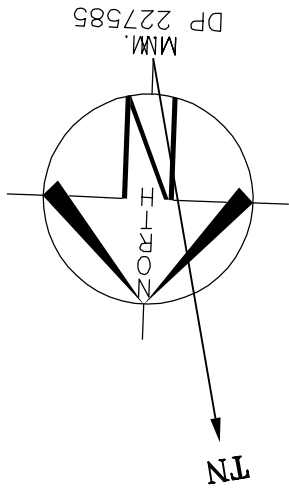
SHADOW DIAGRAM @ 21st JUNE

- ☐
- SHADOW CAST AT 9.00am
-
- ON JUNE 21st

☐☐

CLIENT'S SIGNATURE: _____ DATE: _____		PRODUCT: BOSTON 36 Classic R/H Garage Sapphire Specification		CLIENT: Mr. COELHO DOS SANTOS Mrs. GARRICK SITE ADDRESS: Lot 18 No.19, DP 227585 Malbara Crescent EDENHURST FOREST 2086		DA DRAWINGS		
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						CHECKED: J.S		
						JOB No: 29913405		NSW

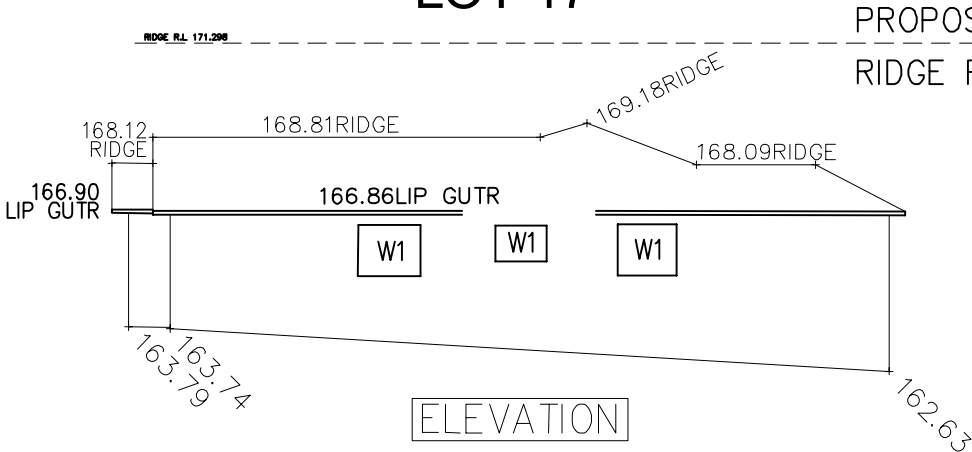
NORTH



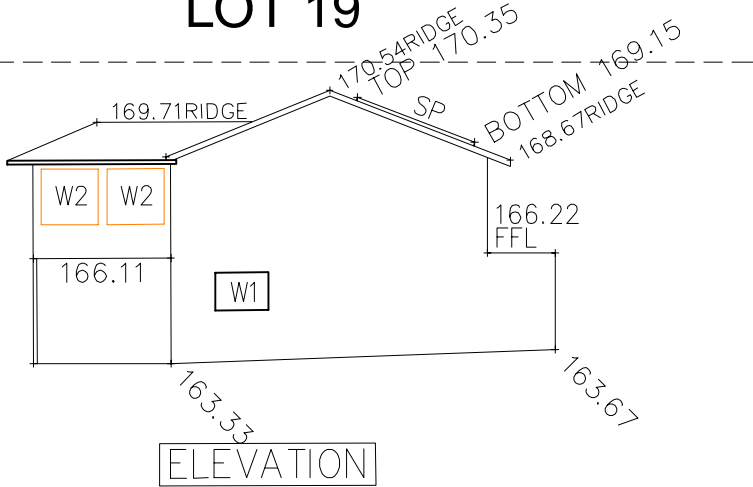
LOT 18
D.P: 227585
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011

LOT 17

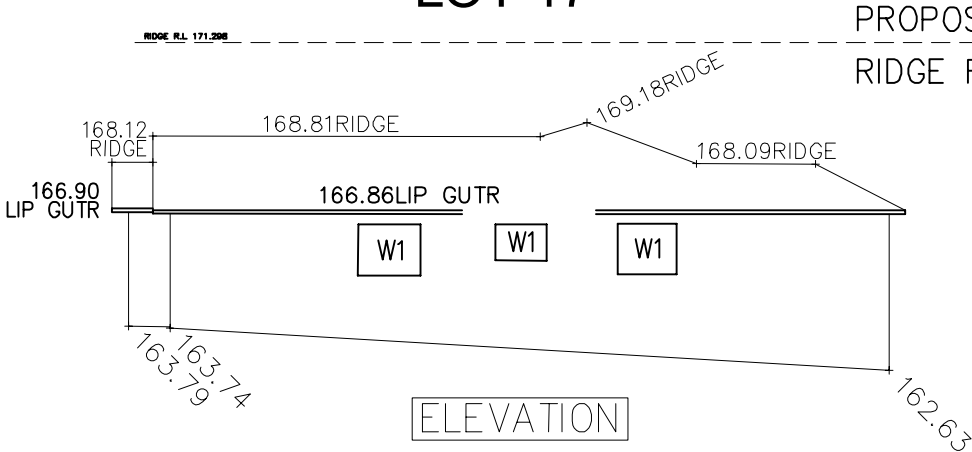


LOT 19

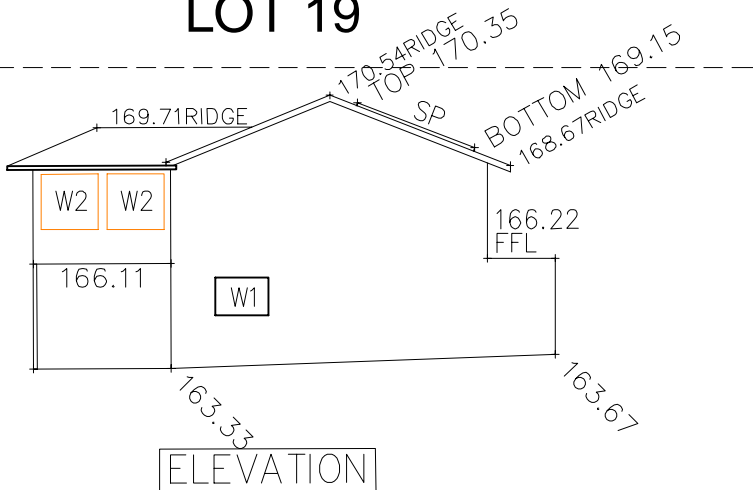


Shadow outline for JUN21-9.00am

LOT 17

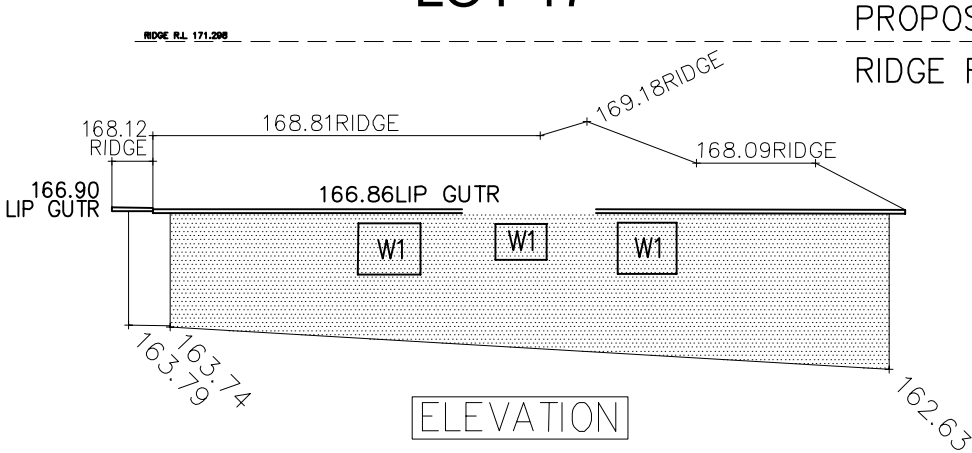


LOT 19

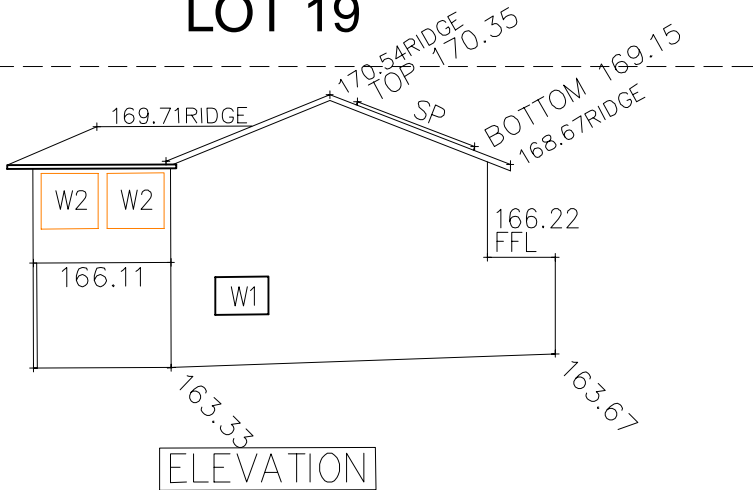


Shadow outline for JUN21-12.00pm

LOT 17



LOT 19



Shadow outline for JUN21-3.00pm

ELEVATIONAL SHADOWS @ 21st JUNE

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8854 5333

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DIMENSIONS TO BE READ IN
CONJUNCTION WITH SPECIFICATIONS

PRODUCT:
BOSTON 36
Classic
R/H Garage

Sapphire Specification

CLIENT:
Mr. COELHO DOS SANTOS
Mrs. GARRICK

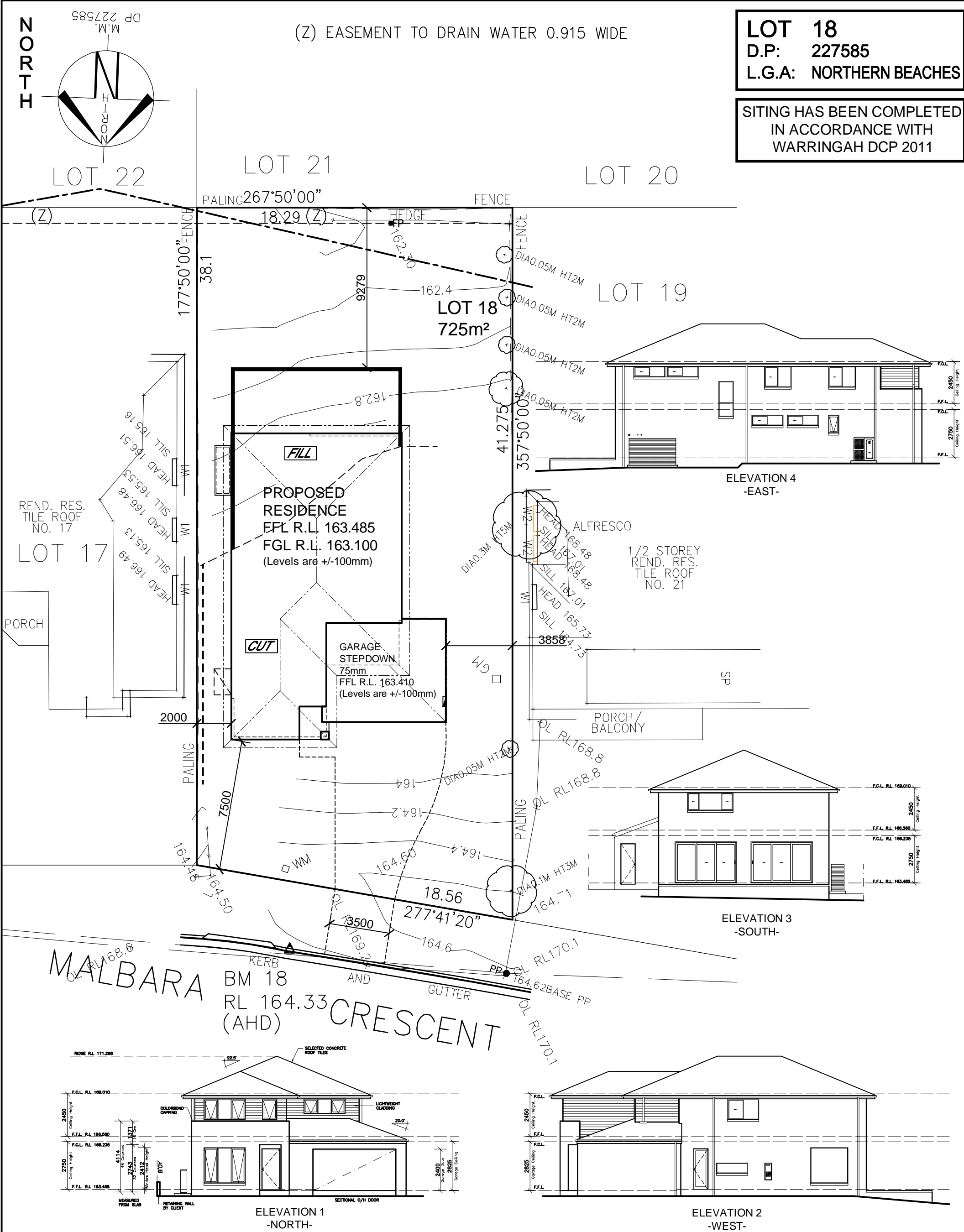
SITE ADDRESS:
Lot 18 No.19, DP 227585
Malbara Crescent
EDENHILLS FOREST 2086

DA DRAWINGS


DRAWN: PG.	DATE: 01.04.19	Rev: F
RATIO @ A3: 1:200	CHECKED: J.S	
SHEET: 24	JOB No: 29913405	NSW

LOT 18
D.P: 227585
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011



NEIGHBOUR NOTIFICATION PLAN

CLIENT'S SIGNATURE:		DATE:											
 <p>BL No. 2298C ABN 18 003 892 706</p> <p>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 Tel: (02) 8854 5000</p>	<p>© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L</p> <p># DIMENSIONS TO BE READ IN CONJUNCTION TO PLAN</p>	<p>PRODUCT:</p> <p>BOSTON 36 Classic R/H Garage</p> <p>Sapphire Specification</p>	<p>CLIENT:</p> <p>Mr. COELHO DOS SANTOS Mrs. GARRICK</p> <p>SITE ADDRESS:</p> <p>Lot 18 No.19, DP 227585 Malbara Crescent FRANCIS FOREST 2086</p>	<p>DA DRAWINGS</p> <table border="1"> <tr> <td>DRAWN: PG.</td> <td>DATE: 01.04.19</td> <td rowspan="3">Rev: F</td> </tr> <tr> <td>RATIO @ A3: 1:200</td> <td>CHECKED: J.S</td> </tr> <tr> <td>SHEET: 2 5</td> <td>JOB No: 29913405</td> </tr> </table>			DRAWN: PG.	DATE: 01.04.19	Rev: F	RATIO @ A3: 1:200	CHECKED: J.S	SHEET: 2 5	JOB No: 29913405
	DRAWN: PG.	DATE: 01.04.19	Rev: F										
	RATIO @ A3: 1:200	CHECKED: J.S											
	SHEET: 2 5	JOB No: 29913405											
			NSW										

NORTH

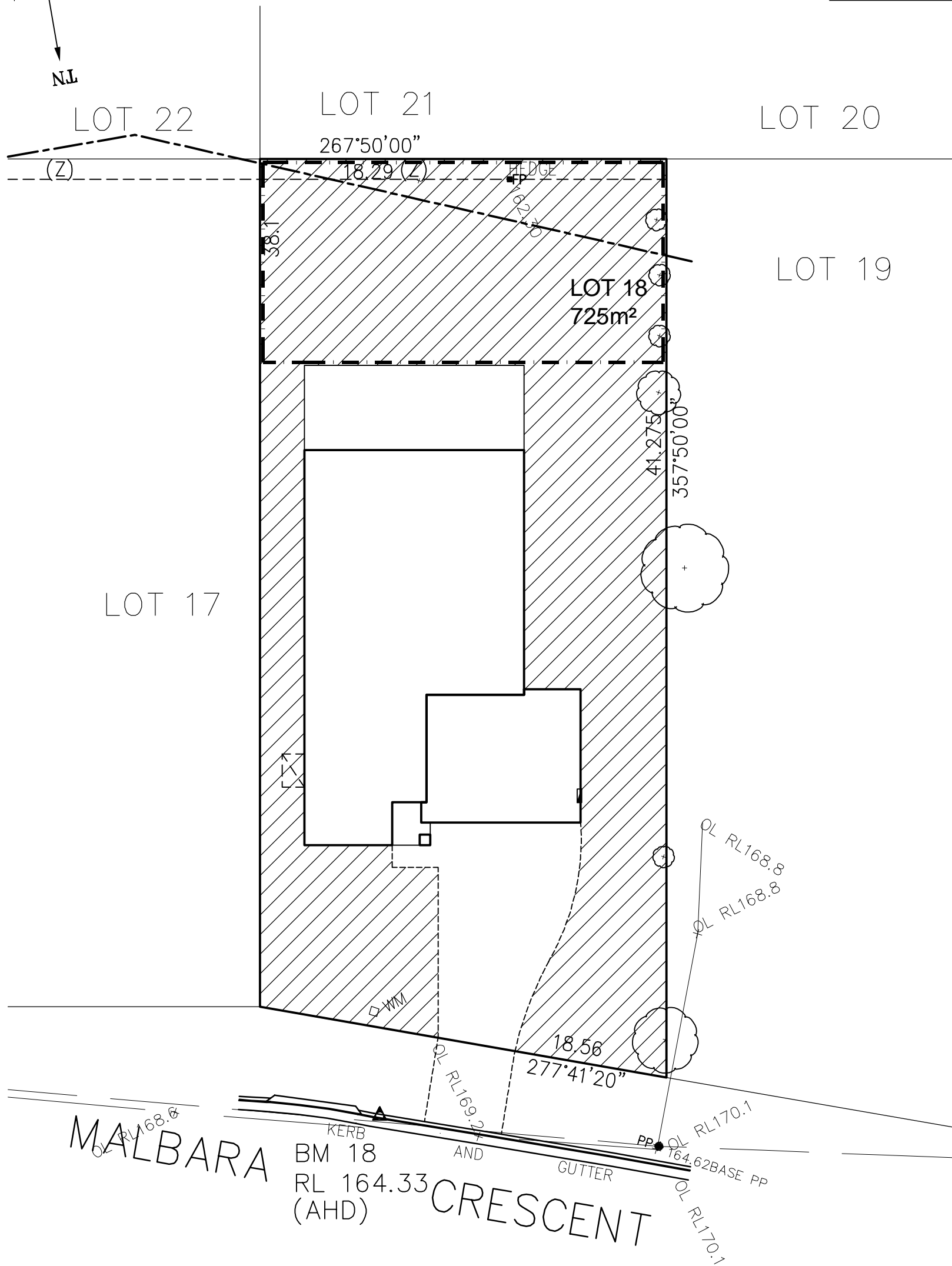
DP 227585

LOT 18

D.P: 227585

L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011



PRIVATE OPEN SPACE AREA = 169.69m²



LANDSCAPE AREA = 446.33m²

LANDSCAPE PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
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DIMENSIONS TO BE READ IN
CONJUNCTION WITH SPECIFICATIONS

PRODUCT:
BOSTON 36
Classic
R/H Garage

Sapphire Specification

CLIENT:
Mr. COELHO DOS SANTOS
Mrs. GARRICK

SITE ADDRESS:
Lot 18 No.19, DP 227585
Malbara Crescent
EDENHILLS FOREST 2086

DA DRAWINGS

DRAWN: PG.	DATE: 01.04.19	Rev:
RATIO @ A3: 1:200	CHECKED: J.S	F
SHEET: 26	JOB No: 29913405	NSW


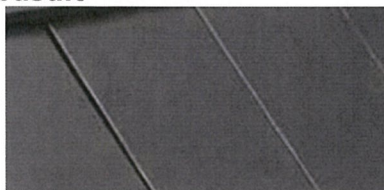
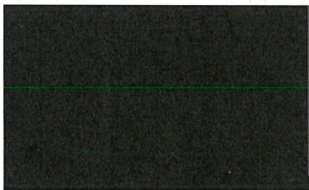

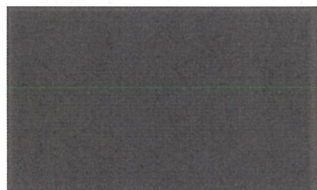

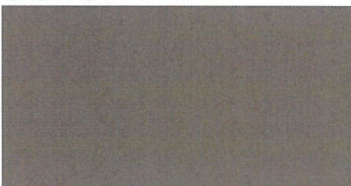
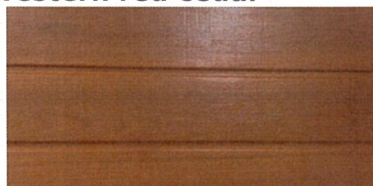
LIFESTYLE

- STUDIO -

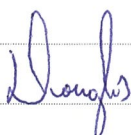

BY CLARENDON HOMES

Client:	Mr Douglas Dos Santos and Ms Lucinda Garrick		
Site Address:	Lot 18 Malbara Crescent, Frenchs Forest		
Job Number:	29913405	House Type:	Boston 36
Date Issued:	24/4/19	Developer:	n/a

Roof BASIX Rating:	dark	Wall BASIX Rating:	medium
---------------------------	------	---------------------------	--------

Main Brick: austral Whitsunday, Brampton 	Applied Render Finish: Not applicable	Roof Type/Style/Colour: Terracotta shingle tile, basalt 
Window Frame Colour: Custom black 	Gutter: monument Fascia: monument 	Downpipes: monument Watertank: monument 
Front Entry Door Colour: Stained, light 	Lightweight Cladding: Taubmans dowager grey t15 32 6 	Garage Door Type/Colour: Slimline, decowood, western red cedar 
Other:	Driveway Colour: grey *By client after handover	Letterbox: *By client after handover

NOTE: Colours are indicative only and should not be used as a true representation of the product.

Signature 	Date  24/04/19
---	---

N
O
R
T
H

DP 227585
M.M.

LOT 22

LOT 21

LOT 20

LOT 19

**DROP EDGE BEAM
900H F.F.L TO N.G.L**

REND. RES.
TILE ROOF
NO. 17

LOT 17

**PROPOSED
RESIDENCE
F.F.L R.L. 163.485**

**GARAGE
STEPDOWN
75mm
F.F.L R.L. 163.410
(Levels are +/-100mm)**

ALFRESCO

**PORCH/
BALCONY**

MALBARA CRESCENT

BM 18
RL 164.13
(AHD)

(Z) EASEMENT TO DRAIN WATER 0.915 WIDE

Legend

- Colour / Stencil Concrete
- Mulched Paths
- Planting Areas
- Lawn Areas
- 1800mm High Boundary Fencing
- Existing Trees To Be Retained

Revision Schedule

Issue:	Description:	By:	Date:
A	Submission Plan	JST	17/04/19
B	Client: Mulch	JST	18/04/19

Drafted: JS	Scale: 1:200 0 0 1 2 3 M
Sheet: 1 of 4	Reference: LP 01

Designed by:
Julian Saw
Diploma of Horticulture
(Landscape Design)

General Notes:
1. See Architects drawings for site levels, setbacks and extent of cut and fill.
2. This plan shall be read in conjunction with the Hydraulic Engineers drawings.
3. All relevant Australian standards are to be adhered to.
4. Any structural items are to be installed as per the manufacturer/engineers specifications.
5. This plan is indicative only and not for construction purposes

SITE CALCULATIONS		
LOT AREA	725 sq m	
LANDSCAPED AREA TOTAL	449.3 sq m	61.971%

[Click Here to View Our Plant Profiles!](#)

Client: **Mr Coelho Dos Santos & Mrs Garrick**

Client Signatures:
1.
2.

Job No. **190146**

Drawing: **Landscape Plan**

Address: **Lot 18, No. 19 Malbara Cres Frenchs Forest**

Council: **Northern Beaches**

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Ph: 0437 043 112
www.dappledesigns.com.au

Any existing trees are to be protected in accordance with councils Tree Protection Detail

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LANDSCAPE SPECIFICATION

SITE ESTABLISHMENT

ALL RUBBISH, DEBRIS, FALLEN BRANCHES SHALL BE CLEARED FROM LANDSCAPED AREAS AND DISPOSED OF USING SKIP BINS ONSITE OR BY TRANSPORTING TO THE LOCAL WASTE MANANAGEMENT FACILITY. ANY UNUSED BRICKS, CONCRETE BLOCKS OR TIMBER SHOULD BE EITHER RE-USED ONSITE WHERE POSSIBLE OR RECYCLED AT THE LOCAL WASTE MANANAGEMENT FACILITY.

TREE PROTECTION

TREES TO BE RETAINED SHALL BE PROTECTED DURING SITE WORKS AND TREE PROTECTION BARRIERS INSTALLED ACCORDING TO TREE PROTECTION DETAILS. NO EXCAVATION OR CHANGE IN SOIL LEVEL SHOULD TAKE PLACE AROUND THE BASE OF SUCH TREES. ANY ARBORIST REPORT MUST BE ADHERED TO AND TREE PROTECTION ZONES MAINTAINEDWHERE APPLICABLE.

WEED ERADICATION

AREAS TO BE LANDSCAPED ARE TO BE SPRAYED WITH GLYPHOSATE AT THE RECOMMENDED RATE AT LEAST 1 WEEK PRIOR TO ANY LANDSCAPE WORKS TAKING PLACE IN ORDER TO ALLOW WEEDS TO DIE OFF. CARE IS TO BE TAKEN TO PROTECT REMAINING VEGETATION FROM THE HERBICIDE APPLICATION AND SHOULD ONLY BE UNDERTAKEN IN STILL WEATHER. ALL WEEDS ARE THEN TO BE DISPOSED OF APPROPRIATELY AT THE LOCAL WASTE MANANAGEMENT FACILITY.

GARDEN BED PREPERATION

ENSURE ALL GARDEN BEDS HAVE BEEN EXCAVATED TO 250MM BELOW FINISHED LEVELS. RIP THE SUBGRADE A FURTHER 100MM IN DEPTH. INSTALL PREMIUM GARDEN SOIL OR MIX NATURAL TOP SOIL WITH IMPORTED SOIL TO A DEPTH OF 250MM. INSTALL 75MM DEPTH OF LEAF LITTER MULCH FROM ANL LANDSCAPE SUPPLIES OR EQUIVALENT.

LAWN AREA PREPERATION

EXCAVATE LAWN AREAS TO A DEPTH OF 100MM BELOW REQUIRED FINISHED LEVELS. DO NOT EXCAVATE WITHIN WITHIN TREE PROTECTION ZONES WHERE APPLICABLE OR WITHIN 1500MM OF THE TRUNK OF ANY EXISTING TREES TO BE RETAINED. ENSURE THAT ALL SURFACE WATER IS DIRECTED TOWARD ANY DRAINAGE PITS, KERBS AND AWAY FROM ANY BUILDINGS. SUBGRADE IS TO BE RIPPED TO A DEPTH OF 150MM AND A 50MM DEEP LAYER OF TURF UNDERLAY INSTALLED ON TOP. LAWNS SHOULD HAVE AN EVEN GRADE SO THAT NO PONDING OR POOLING OCCURS. 'SIR LAUNCHER' FERTILISER OR EQUIVELANT SHOULD BE SPREAD OVER LAWN AREAS PRIOR TO LAYING TURF. LAY 'SIR WALTER BUFFALO' TURF ROLLS CLOSELY BUTTED ENSURING NO GAPS BETWEEN ARE PRESENT. ROLL AND WATER THOROUGHLY AFTER LAYING.

PLANTING

PLANTS ARE TO BE HEALTHY, FREE OF PEST/DISEASES AND TRUE TO TYPE & SPECIES. REFER TO LANDSCAPE PLAN FOR LOCATION AND SPACING. ALL PLANTS SHOULD BE PLACED IN A HOLE DUG TWICE THE SIZE OF THE POT. GENTLY TEESE THE ROOTS OF ANY POT BOUND PLANTS. THE BASE OF THE TRUNK SHOULD BE INSTALLED LEVEL WITH THE SURFACE OF THE GROUND AND DISH CREATED AROUND THE BASE OF EACH PLANT TO AID WITH WATER RETENTION. WATER THOROUGHLY AFTER PLANTING.

PLANT LIST

TYPE	SYMBOL	BOTANIC NAME	COMMON NAME	MATURE HEIGHT X WIDTH	NATIVE?	QTY	POT SIZE
SHRUBS							
	AcI	ACACIA 'LIMELIGHT'	LIMELIGHT	1M X 1M	YES	10	200MM
	Lbr	LEUCOPHYTA BROWNII	CUSHION PLANT	1M X 1M	YES	7	200MM
	Po	PROSTANTHERA OVALIFOLIA	OVAL-LEAF MINT BUSH	2.5M X 1.5M	YES	9	200MM
	Wf	WESTRINGIA FRUITICOSA	COASTAL ROSEMARY	UP TO 1.5M TRIMMED	YES	21	200MM
GRASSES & STRAP LEAF PLANTS							
	Dtr	DIANELLA TASMANICA 'TAS RED'	TAS RED DIANELLA	0.45M X 0.45M	YES	26	150MM
	Llk	LOMANDRA LONGIFOLIA 'KATRINUS'	KATRINUS	0.75M X 0.75M	YES	24	150MM

STAKING

ALL TREES AND TOP HEAVY SCREENING SHRUBS SHOULD BE STAKED WITH 2 X 25MM X 25MM LONG TIMBER STAKES PER PLANT. LENGTH OF STAKES IS DEPENDENT ON THE HEIGHT AND STABILITY OF THE TREE/SHRUB. STAKES SHOULD BE FIRMLY POSITIONED. HESSIAN TAPE IS TO BE PLACED AROUND THE TREE AND STAKES ALLOWING SOME MOVEMENT IN ORDER TO ALLOW THE TRUNK TO DEVELOP STRENGTH OVERTIME.

GARDEN EDGING

USE EITHER '**HAVEN' BRICK EDGING** OR SIMILAR LAID ON A 50MM THICK BED OF MORTAR, OR '**TREATED TIMBER EDGING** SECURED WITH INGROUND TIMBER STAKES. ALL GARDENS ARE TO HAVE EDGING INSTALLED AND BE INSTALLED AS PER PLAN.

RETAINING WALLS

REFER TO MANUFACTURERS INSTRUCTIONS FOR CONSTRUCTION OF RETAINING WALLS. DETAILS ON THIS PLAN ARE A GUIDE ONLY.

COMPLETION

SITE IS TO BE CLEARED OF ANY SURPLUS MATERIALS AND DEBRIS PRIOR TO PRACTICAL COMPLETION. WORK IS TO BE COMPLETED TO THE SATISFACTION OF COUNCILS GUIDELINES AND ANY DA CONDITIONS

MAINTENANCE PERIOD

A 12 MONTH MAINTENANCE PERIOD FROM THE DATE OF PRACTICAL COMPLETION WILL APPLY. DURING THIS TIME THE OWNER IS RESPONSIBLE FOR RECTIFYING ANY DEFECTIVE WORK. DURING THE MAINTENACE PERIOD THE FOLLOWING ACTIVITIES ARE TO BE UNDERTAKEN.

a) REPLACEMENTS: ANY PLANTS/TREES THAT HAVE DIED SHALL BE REPLACED WITH THE SAME SPECIES AND SIZE AS INDICATED ON THIS PLAN. THE SPECIMENS MUST BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES.

b) WATERING: REGULAR WATERING OF PLANTS IS REQUIRED. PLANTS SHOULD BE WATERED TWICE A WEEK WITHIN THE FIRST

2 MONTHS OF PLANTING AND AND DURING DRY PERIODS. LESS FREQUENT WATERING IS REQUIRED ONCE PLANTS ARE ESTABLISHED AND DURING PERIODS OF RAIN. THE CONTRACTOR/OWNER SHOULD USE THEIR DISCRETION.

c) GARDEN BEDS: GARDEN AREAS SHOULD BE REGULARLY WEEDED AND MULCH TOPPED UP IF REQUIRED. NO BARE SOIL IS TO BE PRESENT AND SPECIFIED DEPTHS MAINTAINED.

d) LAWN AREAS: LAWN AREAS SHALL BE MOWN REGULARLY (AT LEAST ONCE A WEEK IN GROWING SEASON) IN ORDER TO PROMOTE A THICK LAWN THAT OUTCOMPETES ANY WEEDS. LAWN CLIPPINGS ARE NOT TO BE SPREAD OVER GARDEN AREAS. ANY DEAD AREAS OF LAWN OCCURING THE MAINTENANCE PERIOD, ARE TO BE REPLACE WITH THE TURF VARIETY SPECIFED IN THE PLAN.

e) PRUNING: ADEQUATE HORTICULTURAL PRUNING METHODS SHOULD BE USED ON PLANTS AS BECOMES NECESSARY. ANY HEDGES ARE TO BE TRIMMED REGULARLY, DEAD AND DANGEROUS TREE BRANCHES PRUNED AND LIGHT PRUNING OF SHRUBS TO PROMOTE THICK FOLIAGE COVER.

f) FERTILISING: 'ORGANIC LIFE' FERTILISER OR EQUIVELANT SHALL BE APPLIED AS PER MANUFACTURERS INSTRUCTIONS TO ALL GARDEN BEDS ONCE PER MONTH. DYNAMIC LIFTER OR SIMILAR SHOULD BE APPLIED TO ALL LAWN AREAS TWICE A YEAR, ONCE IN MID SPRING AND ONCE IN EARLY SUMMER. WATER THOROUGHLY AFTER EACH APPLICATION OF FERTILISER.

Revision Schedule			
Issue:	Description:	By:	Date:
A	Submission Plan	JST	17/04/19
B	Client: Mulch	JST	18/04/19

Drafted: JS	Scale: 1:200 <div><div>00123M</div></div>
Sheet: 2 of 4	Reference: LP 01

Designed by:
Julian Saw
Diploma of Horticulture
(Landscape Design)

General Notes:
1. See Architects drawings for site levels, setbacks and extent of cut and fill.
2. This plan shall be read in conjunction with the Hydraulic Engineers drawings.
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SITE CALCULATIONS		
LOT AREA	725 sq m	
LANDSCAPED AREA TOTAL	449.3 sq m	61.971%

[Click Here to View Our Plant Profiles!](#)

Client: **Mr Coelho Dos Santos & Mrs Garrick**

Client Signatures:
1.
2.

Job No. **190146**

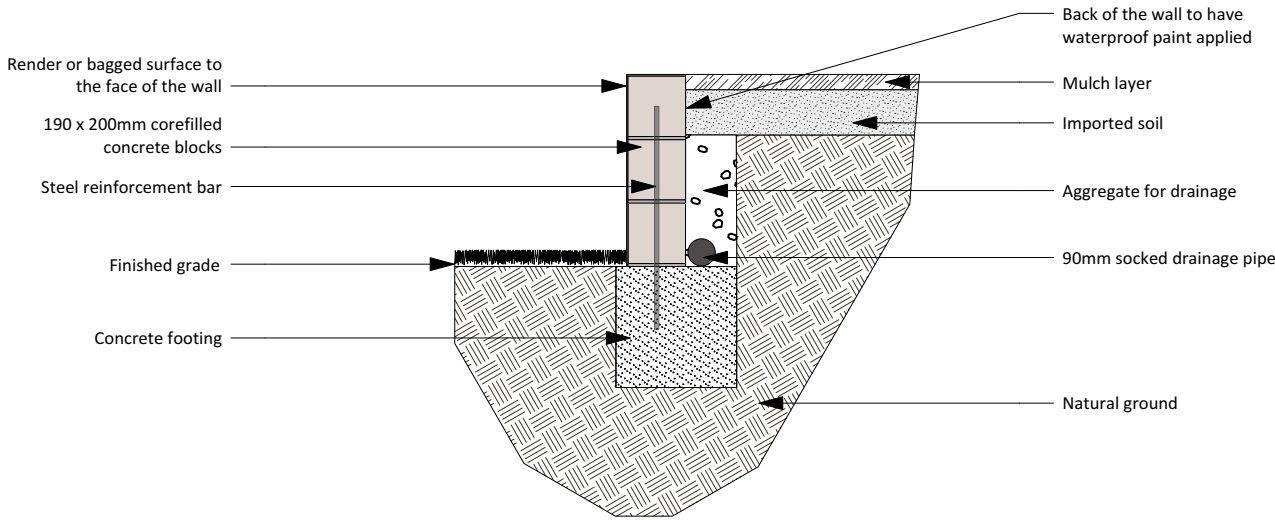
Drawing: **Plant List/Specification**

Address: **Lot 18, No. 19 Malbara Cres Frenchs Forest**

Council: **Northern Beaches**

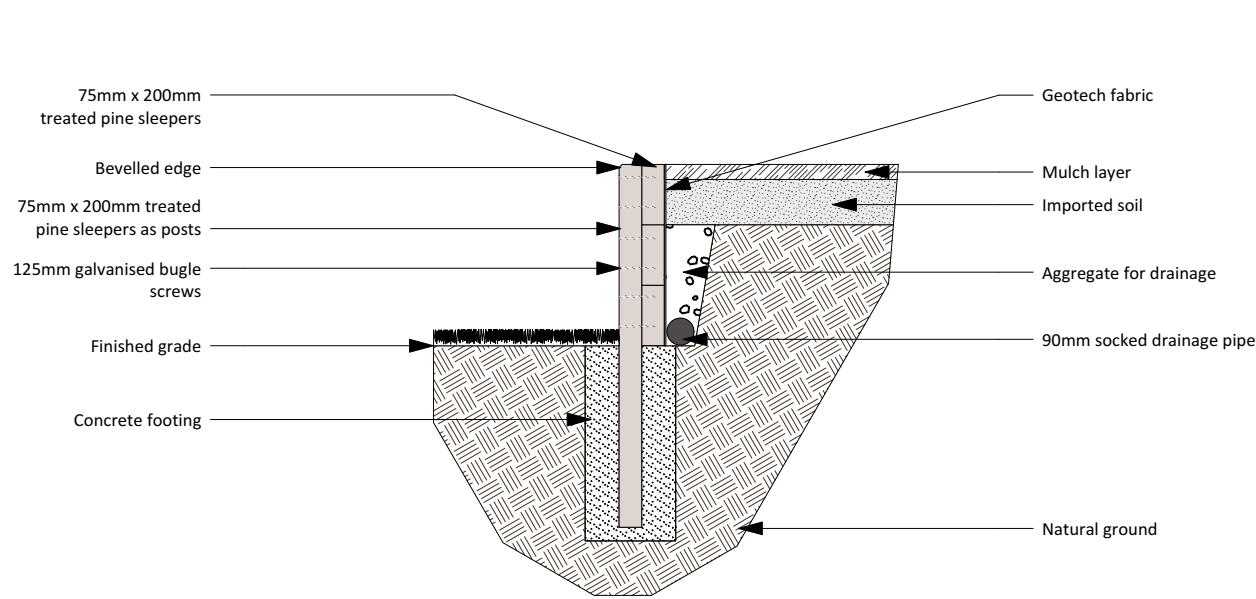
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DETAILS

1. ENSURE THAT THERE IS ADEQUATE DRAINAGE BEHIND THE WALL
2. WALL IS TO BE STAIGHT
3. REFER TO PLAN FOR HEIGHTS
4. REFER TO ENGINEERS PLANS FOR WALLS OVER EXEMPT & COMPLYING DEVELOPMENT HEIGHTS



DETAILS

1. ENSURE THAT THERE IS ADEQUATE DRAINAGE BEHIND THE WALL
2. WALL IS TO BE STAIGHT OR SLIGHTLY SLANTED TOWARDS THE SOIL BEING RETAINED
3. TIMBER IS TO BE FREE OF CRACKS AND KNOTS
4. REFER TO PLAN FOR HEIGHTS
5. REFER TO ENGINEERS PLANS FOR WALLS OVER EXEMPT & COMPLYING DEVELOPMENT HEIGHTS



RENDERED/BAGGED RETAINING WALL DETAIL

SCALE 1:25

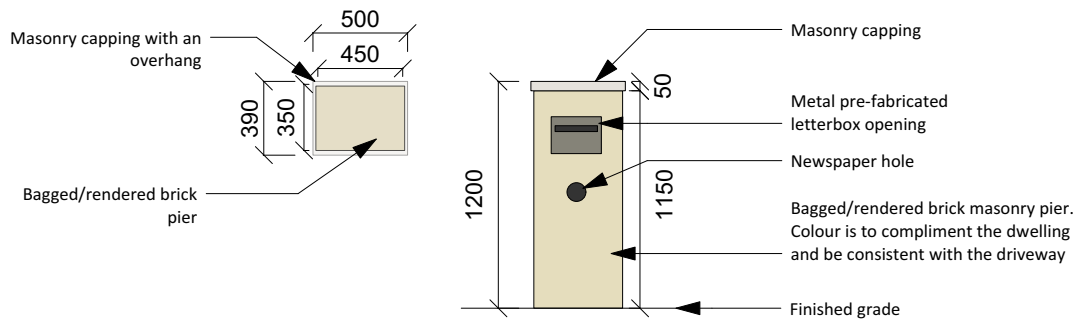


TREATED TIMBER RETAINING WALL DETAIL

SCALE 1:25

TOP VIEW

FRONT VIEW



DETAILS

1. COLOUR CHOSEN IS TO COMPLIMENT THE DWELLING
2. ENSURE THAT NO CEMENT OR RENDER IS LEFT ON THE BRICKWORK OR LETTERBOX OPENING
3. BRICK PIER IS TO LEVEL AND STRAIGHT



LETTERBOX DETAIL

SCALE 1:40

Revision Schedule

Issue:	Description:	By:	Date:
A	Submission Plan	JST	17/04/19
B	Client: Mulch	JST	18/04/19

Drafted: JS	Scale: 1:200 0 0 1 2 3 M
Sheet: 3 of 4	Reference: LP 01

Designed by:

Julian Saw
Diploma of Horticulture
(Landscape Design)

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Client: **Mr Coelho Dos Santos & Mrs Garrick**

Client Signatures:

- 1.
- 2.

Job No. **190146**

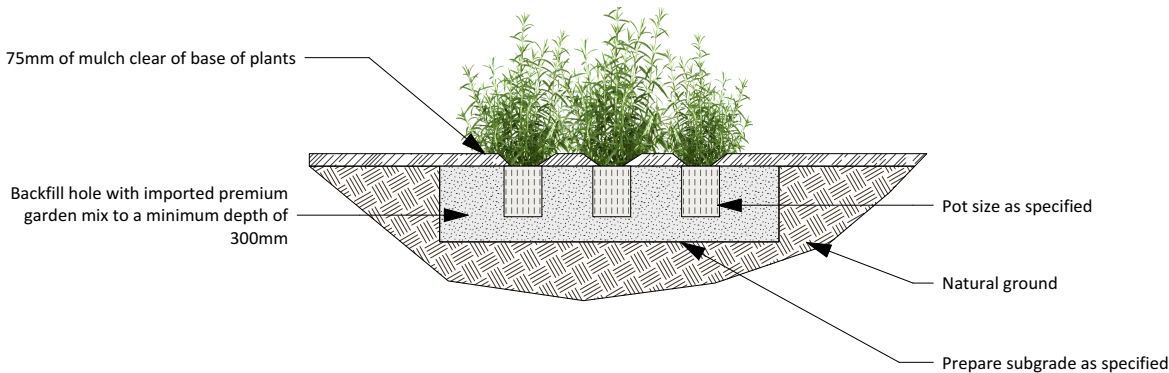
Drawing: **Construction Details**

Address: **Lot 18, No. 19 Malbara Cres Frenchs Forest**

Council: **Northern Beaches**


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
- DETAILS
- 1. TURF ROLLS ARE TO BE IN GOOD HEALTH, FREE FROM PESTS AND DISEASES AND WITHOUT HOLES
 - 2. APPLY WATER SAVING CRYSTALS TO THE GROUND PRIOR TO LAYING
 - 3. BUT ROLLS CLOSELY TOGETHER TO AVOID GAPS AND DIEBACK
 - 4. WATER THOROUGHLY AFTER PLANTING AND REGULARLY UNTIL ESTABLISHED

- DETAILS
- 1. SPECIMENS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES
 - 2. GENTLY LOOSEN ROOTS IF REQUIRED, PRIOR TO PLANTING
 - 3. WATER THOROUGHLY AFTER PLANTING
 - 4. REFER TO PLAN FOR QUANTITIES AND SPACING



TURF LAYING DETAIL

SCALE 1:20




SHRUB & GROUNDCOVER PLANTING DETAIL

SCALE 1:30

Revision Schedule

Issue:	Description:	By:	Date:
A	Submission Plan	JST	17/04/19
B	Client: Mulch	JST	18/04/19

Drafted:
JS

Scale: 1:200


Sheet:
4 of 4

Reference:
LP 01

Designed by:
Julian Saw
Diploma of Horticulture
(Landscape Design)

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Client:

Mr Coelho Dos Santos & Mrs Garrick

Client Signatures:

1.

2.

Job No.

190146

Drawing:


Planting Details

Address:

**Lot 18, No. 19 Malbara Cres
Frenchs Forest**

Council:

Northern Beaches



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