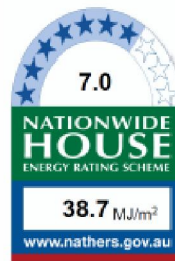


Certificate number: 1030528S_03

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 6400 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 247 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none"> all toilets in the development the cold water tap that supplies each clothes washer in the development at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) 		✓ ✓ ✓	✓ ✓ ✓
Thermal Comfort Commitments			
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓

Floor and wall construction	Area
floor - concrete slab on ground	All or part of floor area square metres

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.			
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5			
The cooling system must provide for day/night zoning between living areas and bedrooms.			
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5			
The heating system must provide for day/night zoning between living areas and bedrooms.			
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, not ducted; Operation control: manual switch on/off			
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off			
Laundry: natural ventilation only, or no laundry; Operation control: n/a			
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none"> at least 4 of the bedrooms / study; 			
<ul style="list-style-type: none"> at least 2 of the living / dining rooms; the kitchen; all bathrooms/toilets; the laundry; all hallways; 		 	
Natural lighting			
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.			
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.			
The applicant must install a fixed outdoor clothes drying line as part of the development.			




Certificate no.: 0004030680-01
 Assessor Name: Ian Fry
 Accreditation no.: VIC/BDIV/12/1441
 Certificate date: 27 Nov 2019
 Dwelling Address:
 5A Iragra Place
 Forestville, NSW
 2087

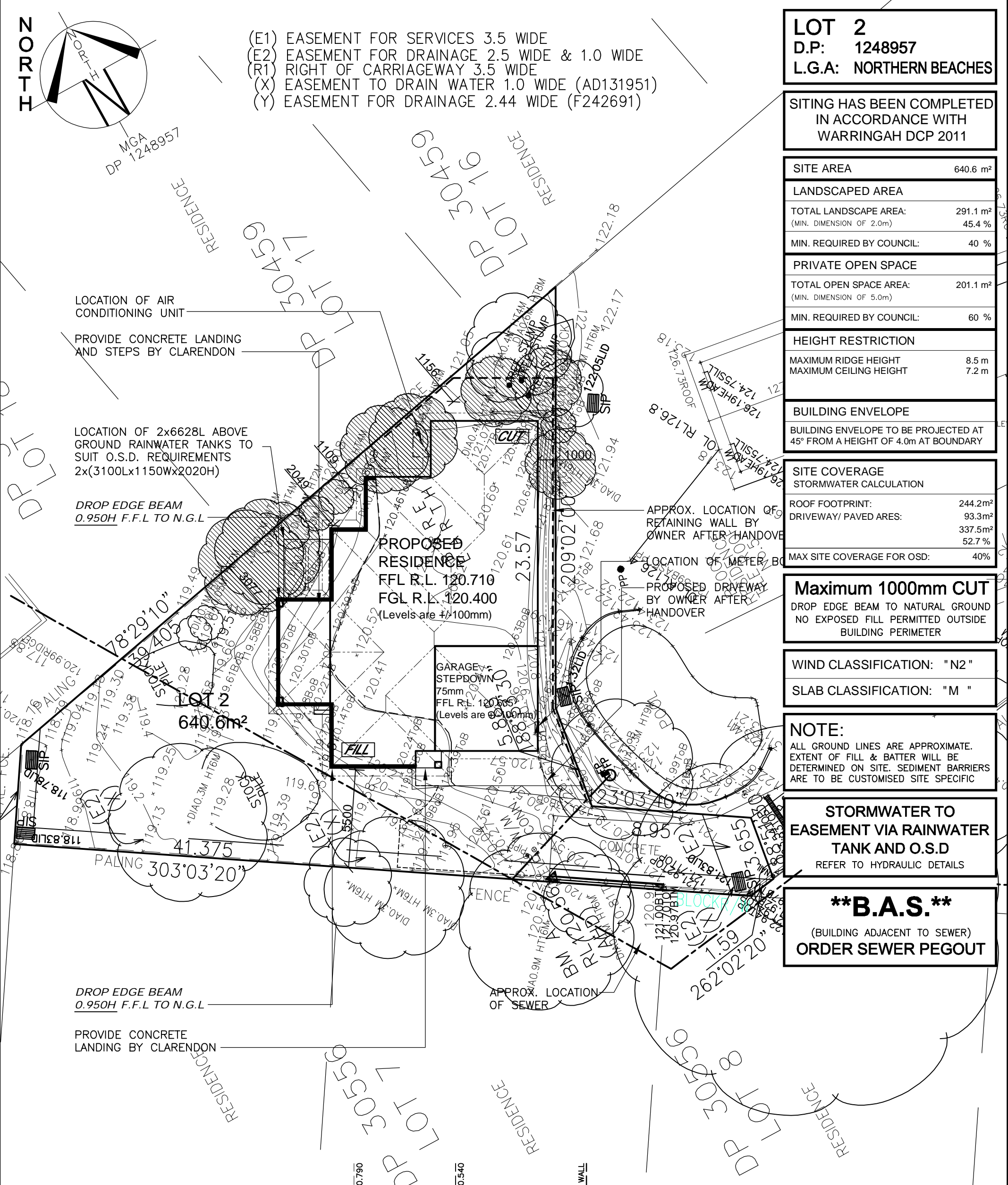


www.nathers.gov.au

<u>AREAS</u>	
SITE:	640.60 m ²
GROUND FLOOR:	162.47 m ²
GARAGE:	33.81 m ²
PORCH:	1.38 m ²
ALFRESCO	18.09 m ²
	m ²
	m ²
TOTAL:	215.75 m ²

The applicant must install a fixed outdoor clothes drying line as part of the development.									
QUOTE	DATE	QUOTE NUMBER	REV						
KITCHEN			-						
ZURCORP ELECTRICAL			-	L	28.11.19	COUNCIL RE-LODGE		M.H.	2.3 NEIGHBOUR NOTIFICATION PLAN
TILES			-	K	06.11.19	UPDATED ELEVATIONS		JS	2.2 SITE ANALYSIS PLAN
CARPET			-	J	30.10.19	DINING WINDOW AMENDED		M.H.	2.1 CONSTRUCTION MANAGEMENT
ZURCORP SECURITY			-	I	24.10.19	RELOCATED ALFRESCO		PG.	
EH1			-	H	30.07.19	EXTERNAL COLOURS		SM	8 WET AREA DETAILS
AIR CONDITIONING			-	G	26.07.19	COORDINATE HYDRAULICS		MD	7 ELECTRICAL LAYOUT
STAIRS			-	F	25.07.19	DA DRAWINGS		PG.	6 SECTION
LANDSCAPE				E	23.07.19	COORDINATE SEWER PEGOUT		MD	5 ELEVATIONS
HYDRAULICS				D	16.07.19	REGISTERED CONTOUR ADDED		JS	4 ELEVATIONS
ENGINEER				C	19.06.19	PCV 1		PG.	3 FLOOR PLAN
PEG OUT				B	04.04.19	CONTRACT DRAWINGS		PG.	2 SITE PLAN
				A	12.03.19	TENDER/TENDER DRAWINGS		BG/PG	1 COVER SHEET
CLIENT'S SIGNATURE:				REV	DATE	AMENDMENTS		BY	SHEET DESCRIPTION

 <p>BL No. 2298C ABN 18 003 892 706</p> <p>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300</p>	<p>© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L</p> <p># DIMENSIONS TO BE READ IN PREFERENCE TO SCALING</p>	<p>PRODUCT:</p> <p>SIENNA 20 Classic R/H Garage</p> <p>Sapphire Specification</p> <p>Master Issued: 17.08.17 Revision: A</p>	<p>CLIENT:</p> <p>Mr. TIMM Ms. PLUESS</p>	<p>DA DRAWINGS</p>		
			<p>SITE ADDRESS:</p> <p>Lot 2 No.5A, DP 1248957</p>	<p>DRAWN:</p> <p>PG.</p>	<p>DATE:</p> <p>04.04.19</p>	<p>Rev:</p> <p>L</p>
			<p>Iruga Place</p>	<p>RATIO @ A3:</p> <p>N/A</p>	<p>CHECKED:</p> <p>J.S</p>	
			<p>FORESTVILLE 2087</p>	<p>SHEET:</p> <p>1</p>	<p>JOB No:</p> <p>29913477</p>	



LOT 2
D.P: 1248957
L.G.A: NORTHERN BEACHES

**SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011**

SITE AREA	640.6 m²
LANDSCAPED AREA	
TOTAL LANDSCAPE AREA:	291.1 m²
(MIN. DIMENSION OF 2.0m)	45.4 %
MIN. REQUIRED BY COUNCIL:	40 %
PRIVATE OPEN SPACE	
TOTAL OPEN SPACE AREA:	201.1 m²
(MIN. DIMENSION OF 5.0m)	
MIN. REQUIRED BY COUNCIL:	60 %
HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT	8.5 m
MAXIMUM CEILING HEIGHT	7.2 m
BUILDING ENVELOPE	
BUILDING ENVELOPE TO BE PROJECTED AT 45° FROM A HEIGHT OF 4.0m AT BOUNDARY	

SITE COVERAGE STORMWATER CALCULATION	
ROOF FOOTPRINT:	244.2m²
DRIVEWAY/ PAVED AREAS:	93.3m²
	337.5m²
	52.7 %
MAX SITE COVERAGE FOR OSD:	40%

Maximum 1000mm CUT
DROP EDGE BEAM TO NATURAL GROUND
NO EXPOSED FILL PERMITTED OUTSIDE
BUILDING PERIMETER

WIND CLASSIFICATION: "N2"
SLAB CLASSIFICATION: "M "

NOTE:
ALL GROUND LINES ARE APPROXIMATE.
EXTENT OF FILL & BATTER WILL BE
DETERMINED ON SITE. SEDIMENT BARRIERS
ARE TO BE CUSTOMISED SITE SPECIFIC

**STORMWATER TO
EASEMENT VIA RAINWATER
TANK AND O.S.D**
REFER TO HYDRAULIC DETAILS

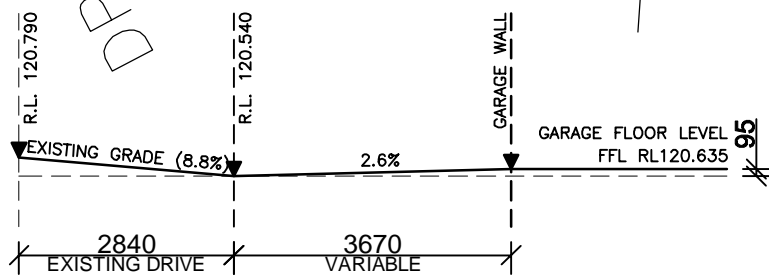
****B.A.S.****
(BUILDING ADJACENT TO SEWER)
ORDER SEWER PEGOUT

SITE PLAN

SCALE 1:200

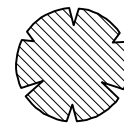
GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.



DRIVEWAY GRADIENT PROFILE

SCALE-1:100



DENOTES TREES TO BE
REMOVED BY OWNER
PRIOR TO CONSTRUCTION

**GRATED DRAIN TO FRONT OF GARAGE
BY OWNER AFTER HANDOVER.**

OWNER TO SEEK ADVICE FROM A HYDRAULIC ENGINEER
FOR THE SIZE OF THE GRATE

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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DIMENSIONS TO BE READ IN
PREFERENCE TO SCALING

PRODUCT:
SIENNA 20
Classic
R/H Garage

Sapphire Specification

CLIENT:
Mr. TIMM
Ms. PLUESS
SITE ADDRESS:
Lot 2 No.5A, DP 1248957
Iraga Place
FORESTVILLE 2087

DA DRAWINGS

DRAWN: PG.	DATE: 12.03.19	Rev:
RATIO @ A3: 1:200	CHECKED: J.S	L
SHEET: 2	JOB No: 29913477	NSW

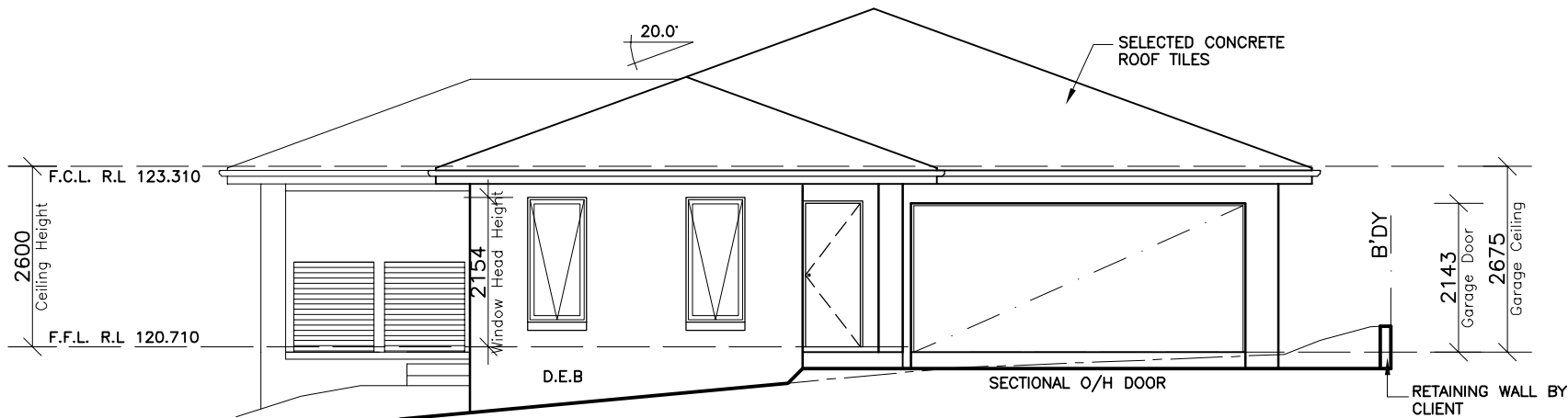
NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

NOTE:
NUMBER OF STEPS REQUIRED MAY
VARY DEPENDING ON SITE
CONDITIONS

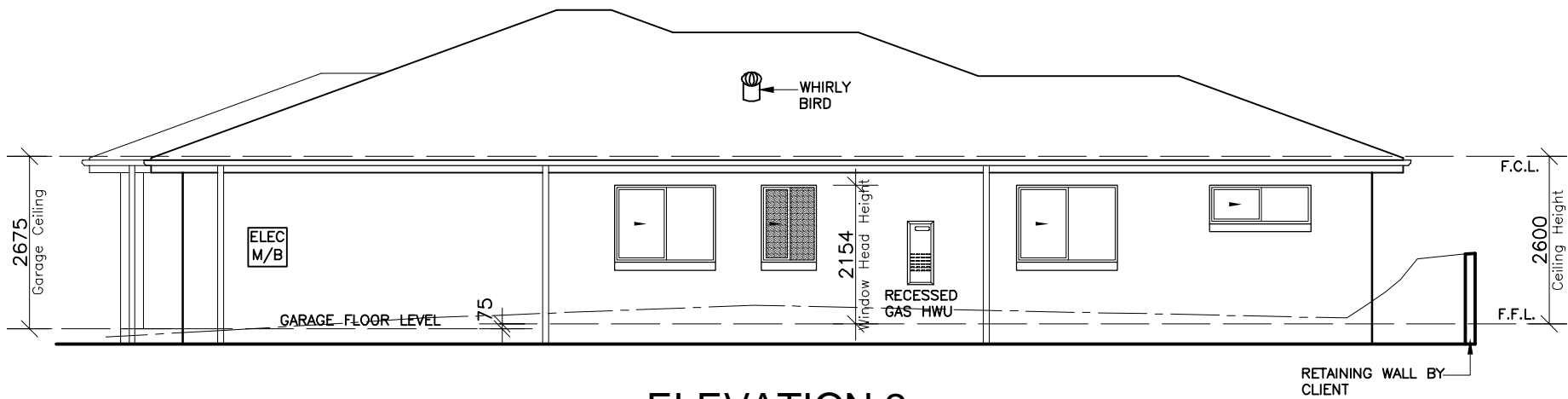
NOTES:
FOR DROP-OFF'S REFER
TO FRAMING DETAILS
CDN 21.010-21.080



DENOTES WINDOWS WITH
6.38mm OBSCURE
GLAZING



ELEVATION 1
-SOUTH-



ELEVATION 2
-EAST-

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

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DIMENSIONS TO BE READ IN
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SIENNA 20
Classic
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Sapphire Specification

CLIENT:
Mr. TIMM
Ms. PLUESS
SITE ADDRESS:
Lot 2 No.5A, DP 1248957
Iragra Place
FORESTVILLE 2087

DA DRAWINGS

DRAWN: PG.	DATE: 04.04.19	Rev: L
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 4	JOB No: 29913477	NSW

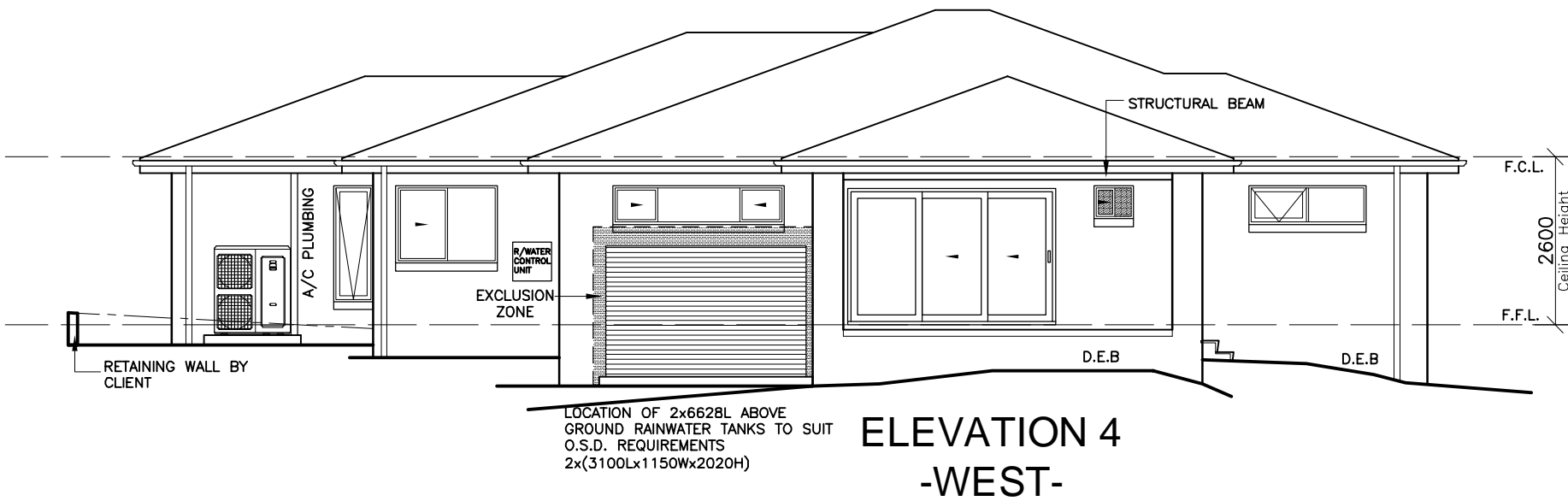
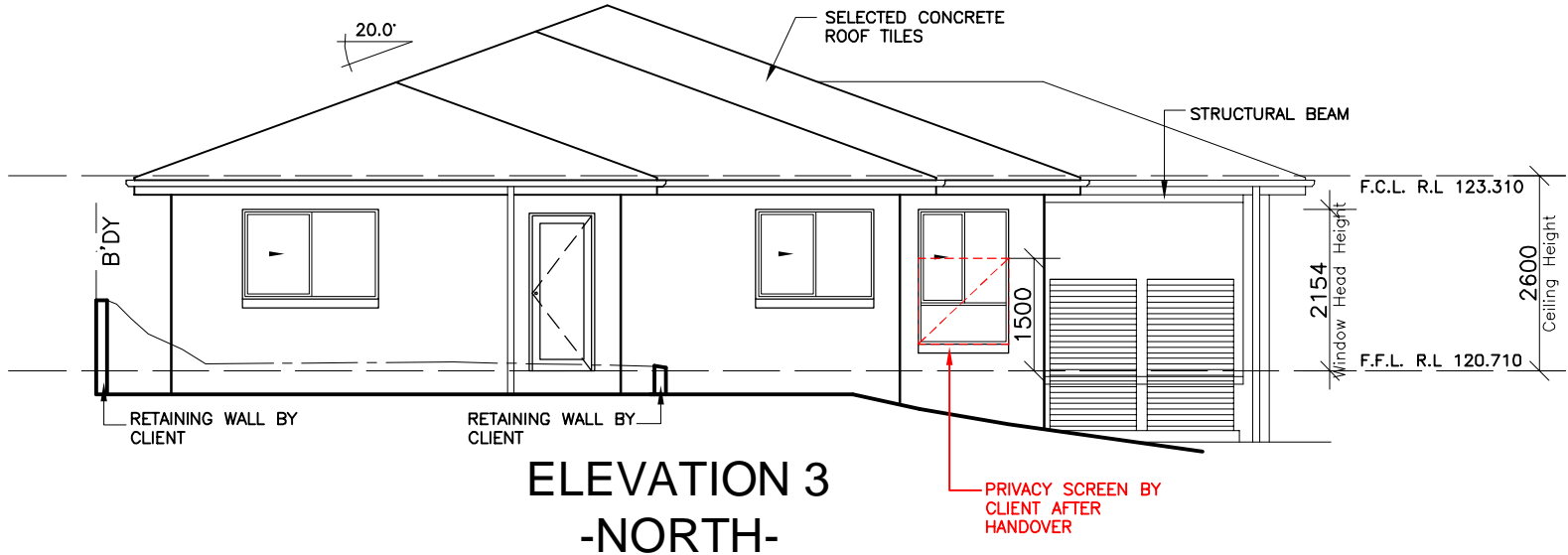
NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

NOTE:
NUMBER OF STEPS REQUIRED MAY
VARY DEPENDING ON SITE
CONDITIONS

NOTES:
FOR DROP-OFF'S REFER
TO FRAMING DETAILS
CDN 21.010-21.080



DENOTES WINDOWS WITH
6.38mm OBSCURE
GLAZING



CLIENT'S SIGNATURE: _____ DATE: _____

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DIMENSIONS TO BE READ IN
PREFERENCE TO SCALING

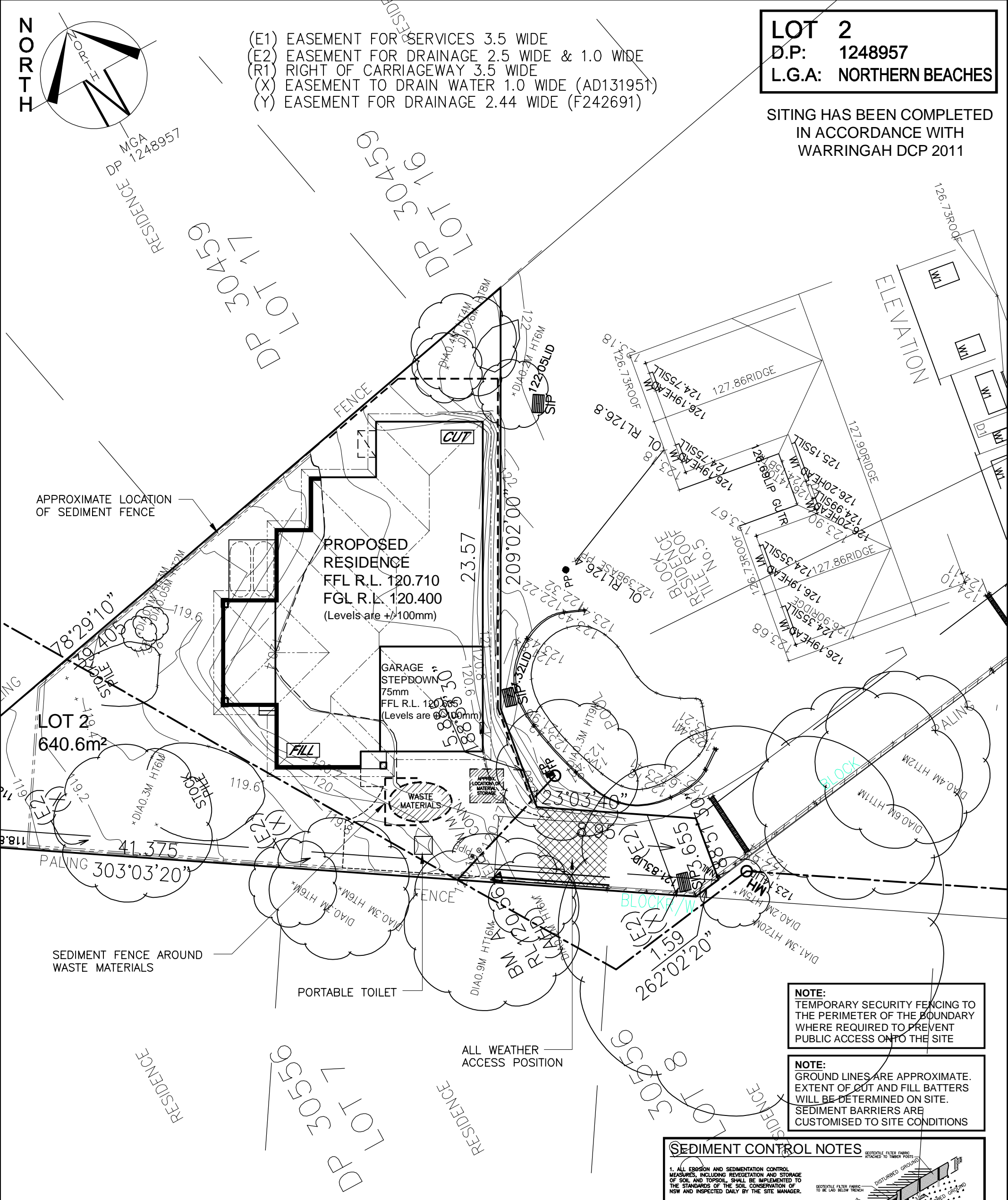
PRODUCT:
SIENNA 20
Classic
R/H Garage

Sapphire Specification

CLIENT:
Mr. TIMM
Ms. PLUESS
SITE ADDRESS:
Lot 2 No.5A, DP 1248957
Iraga Place
FORESTVILLE 2087

DA DRAWINGS

DRAWN: PG.	DATE: 04.04.19	Rev: L
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 5	JOB No: 29913477	NSW



LOT 2
D.P: 1248957
L.G.A: NORTHERN BEACHES

**SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011**

**CONSTRUCTION MANAGEMENT PLAN
EROSION AND SEDIMENT CONTROL PLAN**

NOTE:
TEMPORARY SECURITY FENCING TO THE PERIMETER OF THE BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO THE SITE

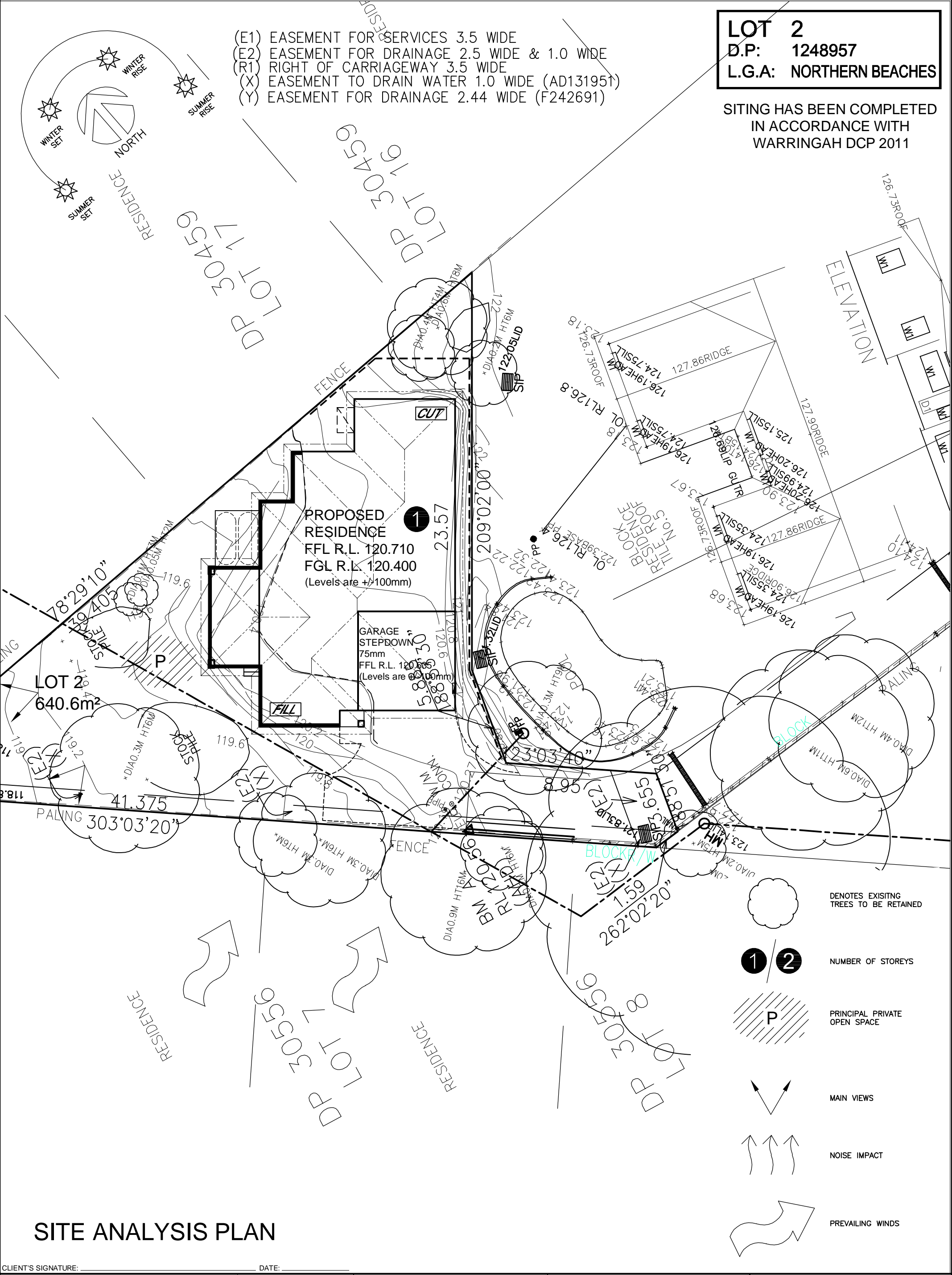
NOTE:
GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE CUSTOMISED TO SITE CONDITIONS

SEDIMENT CONTROL NOTES

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
- ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.

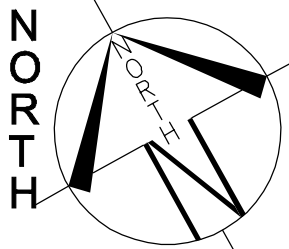
SEDIMENT FENCE
NOT TO SCALE

CLIENT'S SIGNATURE: _____		DATE: _____				DA DRAWINGS		
<div>ClarendonHomes</div> <div>BL No. 2298C ABN 18 003 892 706</div> <div>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300</div>		<div>© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # DIMENSIONS TO BE READ IN PREFERENCE TO SCALING</div>		<div>PRODUCT:</div> <div>SIENNA 20 Classic R/H Garage</div> <div>Sapphire Specification</div>		CLIENT:		L
						Mr. TIMM Ms. PLUESS		
						SITE ADDRESS:		
						Lot 2 No.5A, DP 1248957 Iraga Place FORESTVILLE 2087		
						DRAWN:	DATE:	
						PG.	04.04.19	
						RATIO @ A3:	CHECKED:	NSW
						1:200	J.S	
						SHEET:	JOB No:	
						2.1	29913477	



CLIENT'S SIGNATURE: _____ DATE: _____

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				DRAWN: PG.	DATE: 04.04.19	Rev: L
				RATIO @ A3: 1:200	CHECKED: J.S	
				SHEET: 2.2	JOB No: 29913477	NSW

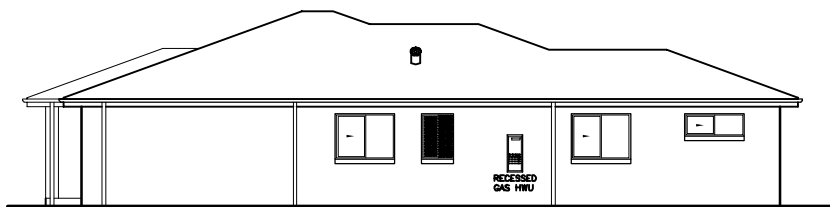


MGA
DP 1248957
RESIDENCE DP

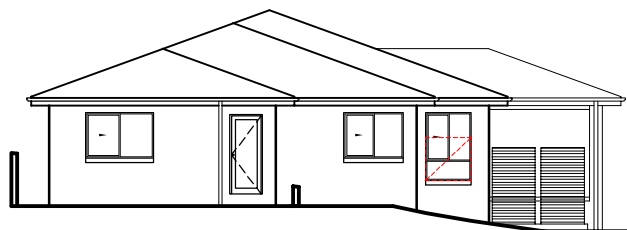
- (E1) EASEMENT FOR SERVICES 3.5 WIDE
(E2) EASEMENT FOR DRAINAGE 2.5 WIDE & 1.0 WIDE
(R1) RIGHT OF CARRIAGEWAY 3.5 WIDE
(X) EASEMENT TO DRAIN WATER 1.0 WIDE (AD131951)
(Y) EASEMENT FOR DRAINAGE 2.44 WIDE (F242691)

LOT 2
D.P: 1248957
L.G.A: NORTHERN BEACHES

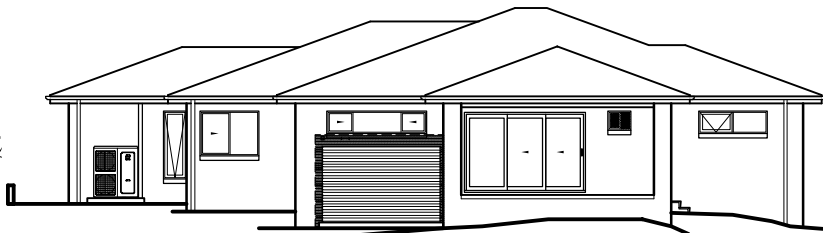
SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011



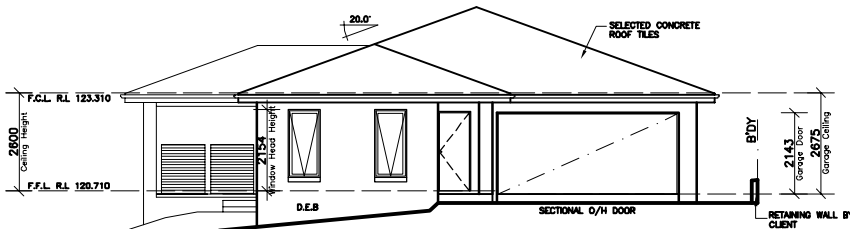
ELEVATION 2
-EAST-



ELEVATION 3
-NORTH-



ELEVATION 4
-WEST-



ELEVATION 1
-SOUTH-

NEIGHBOUR NOTIFICATION PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

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DIMENSIONS TO BE READ IN
PREFERENCE TO SCALING

PRODUCT:
SIENNA 20
Classic
R/H Garage

Sapphire Specification

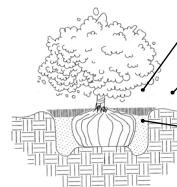
CLIENT:
Mr. TIMM
Ms. PLUESS
SITE ADDRESS:
Lot 2 No.5A, DP 1248957
Iraga Place
FORESTVILLE 2087

DA DRAWINGS

DRAWN: PG.	DATE: 04.04.19	Rev: L
RATIO @ A3: 1:200	CHECKED: J.S	
SHEET: 2.3	JOB No: 29913477	NSW

	Botanical Name	Common Name	Quantity	Pot Size	Mature Height
Trees:	Acer palmatum 'Atropurpureum'	Japanese Maple	1	45 L	6 m
	Corymbia citriodora	Lemon Scented Gum	1	75 L	30 m
	Corymbia ficifolia 'Summer Beauty'	Flowering Gum	1	45 L	8 m
	Waterhousia floribunda	Weeping Lillypilly	14	300 mm	10 m
Shrubs:	Alternanthera 'Little Ruby'	Little Ruby	13	140mm	0.4 m
	Angiozanthos 'Big Red'	Kangaroo Paw	15	200mm	0.3 m
	Asplenium nidus	Birds Nest Fern	7	200mm	0.3 m
	Crinum pedunculatum	Spider lily	5	200mm	1.0m
	Cordylone 'Red Sensation'	Red Sensation	9	200mm	1.5 m
	Doryanthes excelsa	Gymea Lily	3	45L	3.0 m
	Festuca glauca	Blue fescue	26	200mm	0.3 m
	Lomandra hystrix 'Lucky Stripe'	Matt rush	30	200mm	0.5 m
	Lomandra 'Lime Tuff'	Lime Tuff	10	200mm	1.0 m
	Phormium tenax	New Zealand Flax	3	300mm	2.0 m
	Phormium 'Maori Chief'	Maori Chief	8	200mm	0.4 m
	Protea nerifolia 'Special Pink Ice'	Special Pink Ice	5	200mm	2.0 m
	Syzgium australe 'Pinnacle'	Pinnacle lilylily	4	300mm	3.0 m
	Syzgium australe 'Resilience'	Resilience lilylily	27	300mm	4.0 m

Shrub Planting Diagram



50mm of organic mulch.

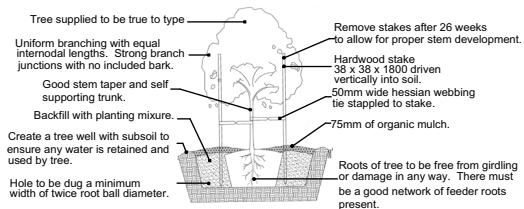
Create a tree well with subsoil to ensure any water is retained and used by tree.

Backfill with planting mixture.

Planting Notes

- Planting of shrubs as needed to repair builders damage or thicken garden bed plantings
- All plants to be watered in at time of planting.
- All plants to have slow release fertiliser added at time of planting, suitable for natives and exotics.
- All finished surface levels of garden bed to be 20mm below paving levels to drain away from building.
- Weeds to be manually removed or sprayed with Glyphosphate herbicide and removed when dead.

Tree Planting Diagram



AREA STATEMENT:

Site Area = 610 m²

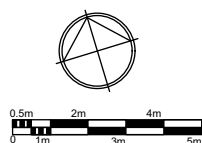
Soft landscaped area = 311 m²

Hard landscaping = 85.5 m²

Total landscaping = 396.5 m²

Total landscape as a percentage of site area = 65%

TOTAL permeable surface as a percentage of site area = 51%



DWELLING BY CLARENDON
DP 30907

Concrete landing by builder

NEW DRIVEWAY

EXISTING DRIVE
FENCE

ISSUE	DATE	REVISION	PROJECT #
PROJECT	5A Iruga Place, Forestville NSW		EZ40
CLIENT	Steven Timm & Kim Pluess	DATE# 15/07/19	DWG#
DWG	Landscape Plan	SCALE 1:200	LP01
		DRAWN SS	
		CHKD	REVISION A

EziGrow Landscapes and Trees
10 Walter Road, Ingleside NSW 2101

0402 246 910

www.ezigrow.com.au
stuart@ezigrow.com.au







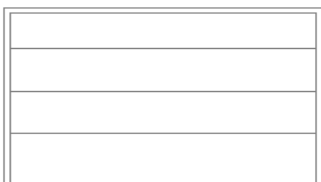
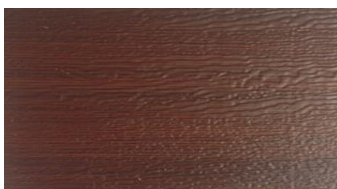
LIFESTYLE

- STUDIO -

BY CLARENDON HOMES

Client:	Mr. Stephen Clifford Timm & Ms. Kim Theresa Pluess		
Site Address:	Lot 2 , 5a Iraga Place FORESTVILLE New South 2087		
Job Number:	29913477	House Type:	Sienna 20
Date Issued:	26/07/2019	Developer:	Clarendon Homes

Roof BASIX Rating:	Dark	Wall BASIX Rating:	Medium
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Main Body Brick: PGH Foundations 'Stone' 	Window Frame Colour: Notre Dame Gloss 	Roof Type/Style: Boral Concrete / Contour Colour: Gunmetal 
Front Entry Door Colour: Clarendon Medium Stain 	Gutter: Basalt Fascia: Surfmist 	Downpipes: Basalt Watertank: Basalt 
Garage Door Type: Flatline 	Garage Door Colour: Caoba Dawn 	Applied Feature: Not Applicable Colour: Not Applicable
Lightweight Cladding: Not Applicable	Other: Not Applicable	Driveway/Letterbox: To compliment façade *By client after handover

NOTE: Colours are indicative only and should not be used as a true representation of the product.

Signature 	Date 29/7/2019 9:17 PM AEST
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