
Sent: 21/08/2019 9:16:53 AM
Subject: FW: 1165 Barrenjoey Road - Turn Path Assessment of Proposed Car Deck
Attachments: Oliver Model 1.pdf; Oliver Model 2.pdf; PT19058DA02 Model (1).pdf; PT19058DA02 Model (2).pdf;

From: dean@positivetraffic.com.au [mailto:dean@positivetraffic.com.au]
Sent: Tuesday, 20 August 2019 5:26 PM
To: pittmar@bigpond.com
Subject: 1165 Barrenjoey Road - Turn Path Assessment of Proposed Car Deck

Good afternoon John

As requested I have reviewed the proposed design of the car deck to provide parking at your property. This review has considered the potential safest access option for a parking space to serve your dwelling having regard to the recent removal of safety barriers near your dwelling as part of the footpath upgrade works undertaken by Council.

In my view the ability to allow a vehicle to enter and exit the site in a forward direction would resolve most of the concerns regarding available sight distance and the removal of the safety barrier to facilitate vehicle access to your property where there is currently no access.

I note the attached plans prepared by the structural engineer propose a barrier around the car deck which would effectively replace the safety barrier which would be removed to provide your vehicle access. That is, the barrier design proposed for the car deck is such that it would prevent a vehicle from colliding into the houses below and would be structurally sufficient to do so.

In my view the design allows for a wider than typical parallel parking space within the car deck which would in turn enable a vehicle to enter and exit the car space in a forward direction. Whilst the available aisle behind the space is less than would be required by the Australian Standard, as the design includes only a single car space so the vehicle would have full use of the deck to manoeuvre.

Please find attached the turn path analysis of an 85th percentile vehicle entering and exiting the car deck in a forward direction.

In my view the proposed car deck design in combination with a structural barrier fence to replace the safety barrier removed to provide vehicle access provides for the safest solution to provide vehicle parking to your dwelling.

Please contact me if you require any further information.

Regards

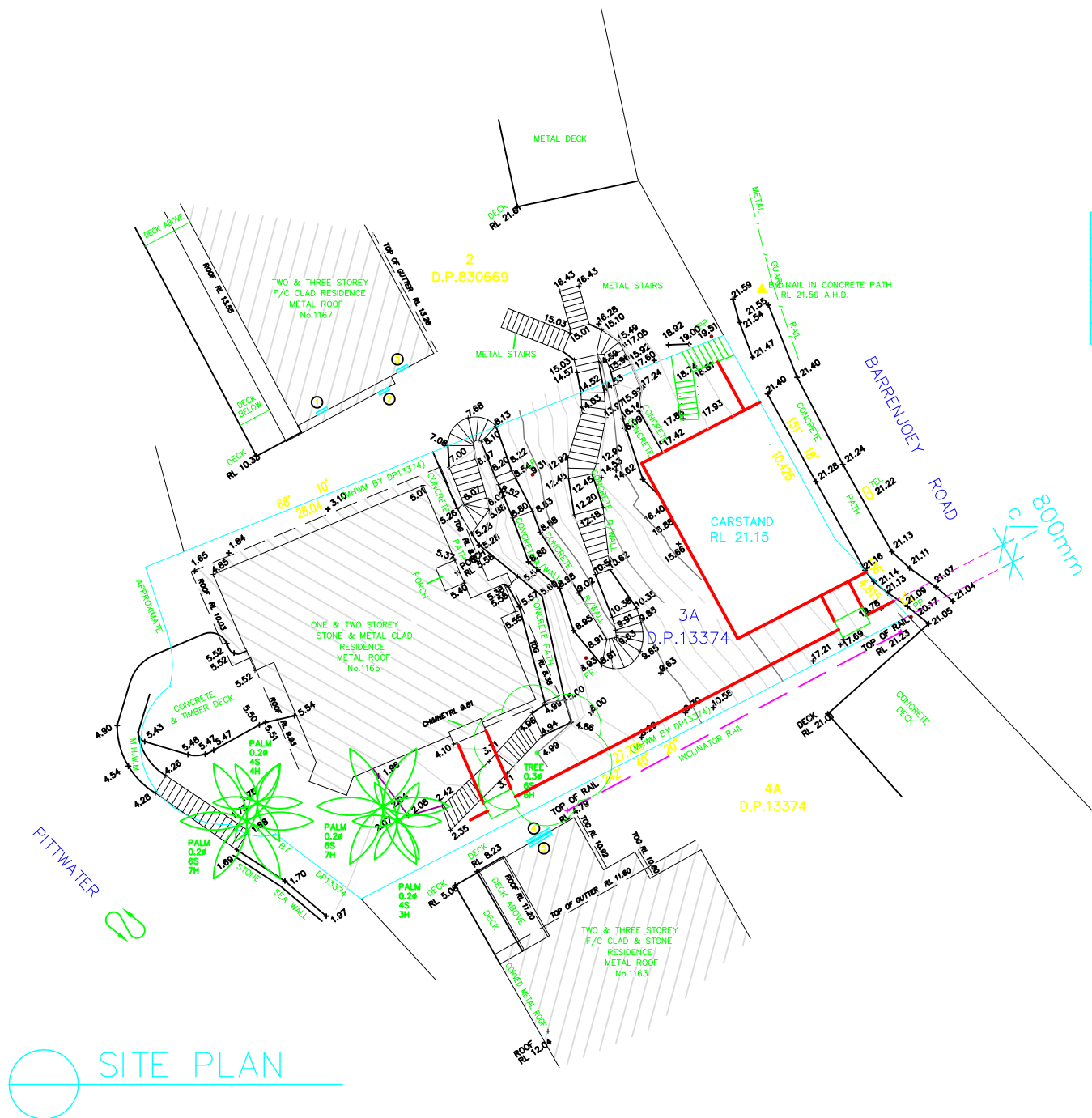
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SITE CALCULATIONS	
SITE AREA	480.60m ²
EXISTING BUILT UPON AREA	170.00m ²
PROPOSED BUILT UPON AREA	190.00m ²
EXISTING LANDSCAPED AREA	310.0m ² 65%
PROPOSED LANDSCAPED AREA	290.0m ² 61%

All Dimensions are in millimetres
Written Dimensions preferred to scale
All measurements to be checked on site
All work to BCA and AS
NOT FOR CONSTRUCTION

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Client
MR. JOHN OLIVER
1165 BARRENJOEY ROAD
PALM BEACH NSW 2108

Project
CAR STAND AND INCLINATOR
1165 BARRENJOEY ROAD
PALM BEACH NSW 2108

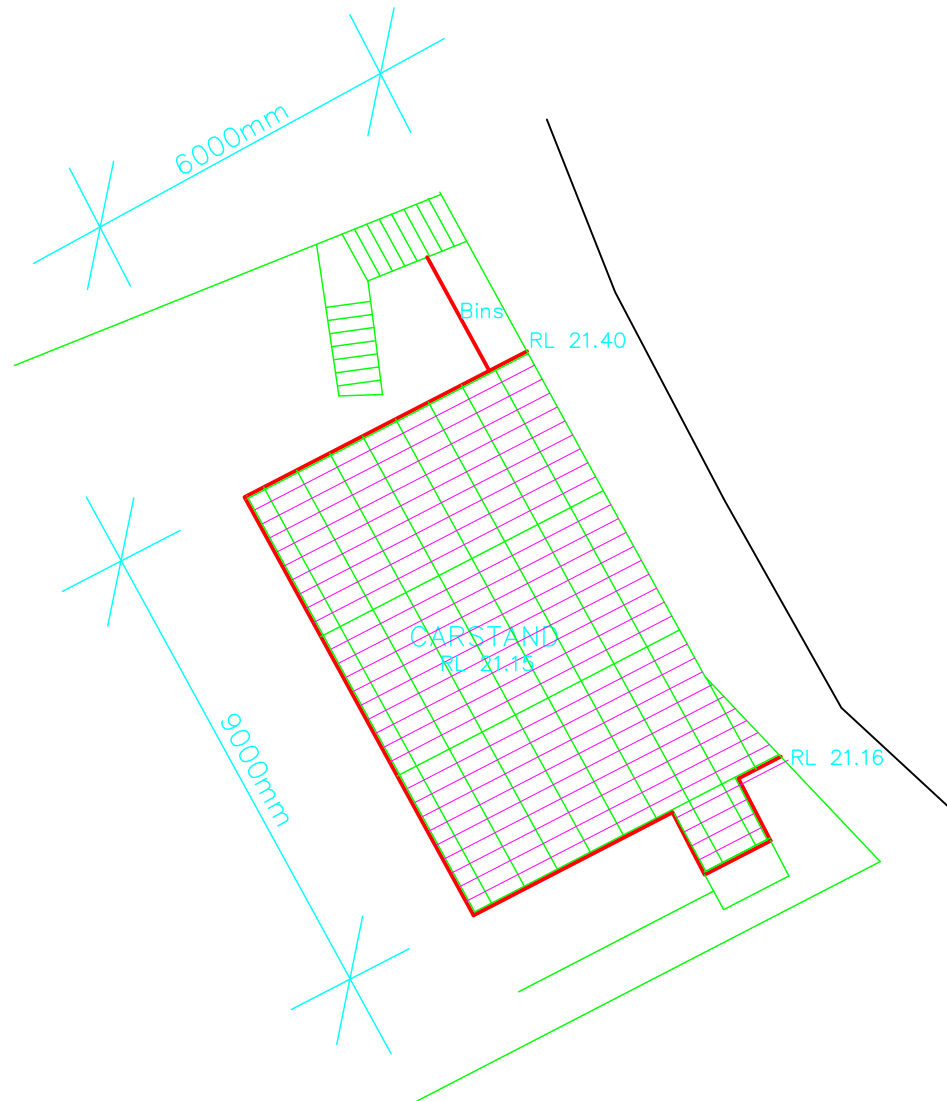
Drawing
SITE PLAN

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Mobile: 0415 166 002

Drawn
PP
Checked
PP
Scale
1:200

Job No.
Date
Aug '18
Issue
A

Drawing No.
DA01



PLAN – CARSTAND



All Dimensions are in millimetres
Written Dimensions preferred to scale
All measurements to be checked on site
All work to BCA and AS
NOT FOR CONSTRUCTION

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Project
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1165 BARRENJOEY ROAD
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Drawing
SITE PLAN

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Drawn PP	Job No.	Drawing No. DA02
Checked PP	Date Aug '18	
Scale 1:100	Issue A	

