

MODIFICATION CONSTRUCTION CERTIFICATE

SAKELLARIS RESIDENCE

3 Summit Avenue DEE WHY NSW

ADDITIONS & ALTERATIONS

DRAWING REGISTER				
NO.	DRAWING	SCALE	REV	DATE
Mod-01	COVER SHEET	NTS	B	DEC 2024
Mod-02	SITE PLAN	1:200	B	DEC 2024
Mod-03	GROUND FLOOR PLAN	1:100	B	DEC 2024
Mod-04	FIRST FLOOR PLAN	1:100	B	DEC 2024
Mod-05	ELEVATIONS	1:100	B	DEC 2024
Mod-06	ELEVATIONS	1:100	B	DEC 2024
Mod-07	STREET ELEVATION	1:100	B	DEC 2024
Mod-08	SECTIONS	1:100	B	DEC 2024
Mod-09	SECTION C:C	1:100	B	DEC 2024
Mod-10	SECTION D:D	1:100	B	DEC 2024

SECTION 4.55 AMENDMENTS
SHOWN CLOUDED & BLUE

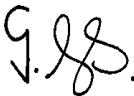
SECTION 4.55 AMENDMENT SCHEDULE

- Proposed New Security Gate, Pathway, North East.
- Part of the existing Front Awning removed.
- Extend Garage Roof 250mm to form eave overhang at Storage Area.
- Extend pathway from Laundry to Rear Yard at RL 53.50.
- Provide Metal Privacy Screen independent to existing masonry wall to 1.8m from proposed pathway RL 53.50.
- Timber Screen to be solid brick in Outdoor Terrace, West Elevation .
- W12 larger (1200x600)
- Existing Front Decks to be Tile Finish instead of Timber
- Stone Cladding to Front Facade as shown.
- Vertical Timber Slat Garage Door - Extend Slats on Front Wall as shown.
- Planters to existing front deck - western side to match eastern side.
- Rear Yard Low Landscape Wall to replace existing wall.

BUILDING DESIGN STATEMENT

In accordance with the provisions of Clause A2.2 of, The National Construction Code 2022 (NCC) Volume 2, I herby certify that the design of this project as documented on drawings, 1619 - Mod-01 through Mod-10, meets the requirements of the NCC. The design follows established building design principles and is in accordance with all relevant Australian Standards.

Regards



GRANT SEGHERS B.Arch(Hon) Assoc Dip Surv.
Building Designer - MBDA - 10791
GS DESIGN
ABN:93 370 632 963
0424 428 602

NOTES:

ALL CONSTRUCTION TO MEET THE COMMITMENTS
OUTLINED IN BASIX CERTIFICATE No. A307857_03.

REFER TO STAMPED PLANS & NOTICE OF
DETERMINATION DA2018/0383, DATED 24 MAY 2018.

NOTES	REV	DATE	AMENDMENT
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	B	DEC 2024	RESPONSE TO COUNCIL RFI - SECTION 4.55 MODIFICATION

CAD Ref: 3 Summit Ave_Sect4.55 Mod 3.pln
Grant Seghers Design

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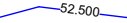
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PROJECT
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3 Summit Avenue
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DRAWING TITLE		
COVER SHEET		
SCALE	DRAWN BY	PLOT DATE
N.T.S.	GS	18/12/2024
PROJECT NO.	DRAWING NO.	REVISION
1619	Mod-01	B

LEGEND

 SEDIMENT CONTROL FENCE (REF DETAIL 2)

 52.500 CONTOUR (AHD)

NOTES

EROSION CONTROL TO CONSIST OF STAKED GEOTECH FABRIC FENCES AND SOCKS.

CONSTRUCTION FENCING AND ACCESS GATES TO FULLY SECURE THE CONSTRUCTION SITE BETWEEN THE EXISTING SIDE BOUNDARY FENCES

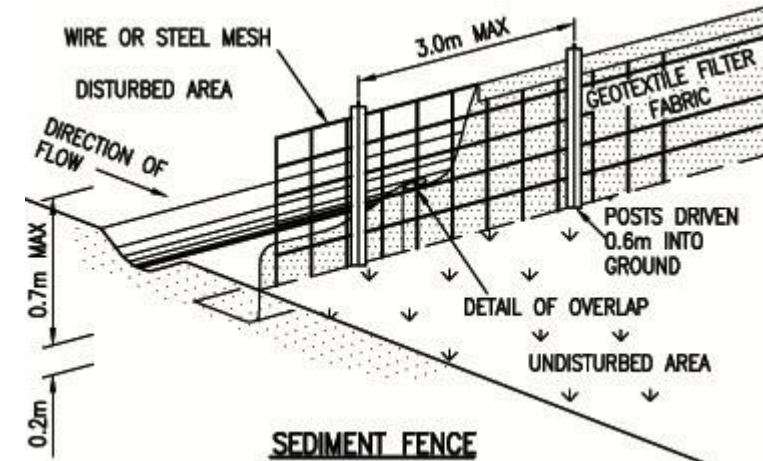
"WARNING CONSTRUCTION SITE- DO NOT ENTER" SIGNAGE TO BE FIXED TO SECURITY FENCING

ALL DOWNPIPES AND STORMWATER TO BE DIRECTED INTO THE EXISTING SUMMIT AVE STORMWATER NETWORK VIA GRAVITY

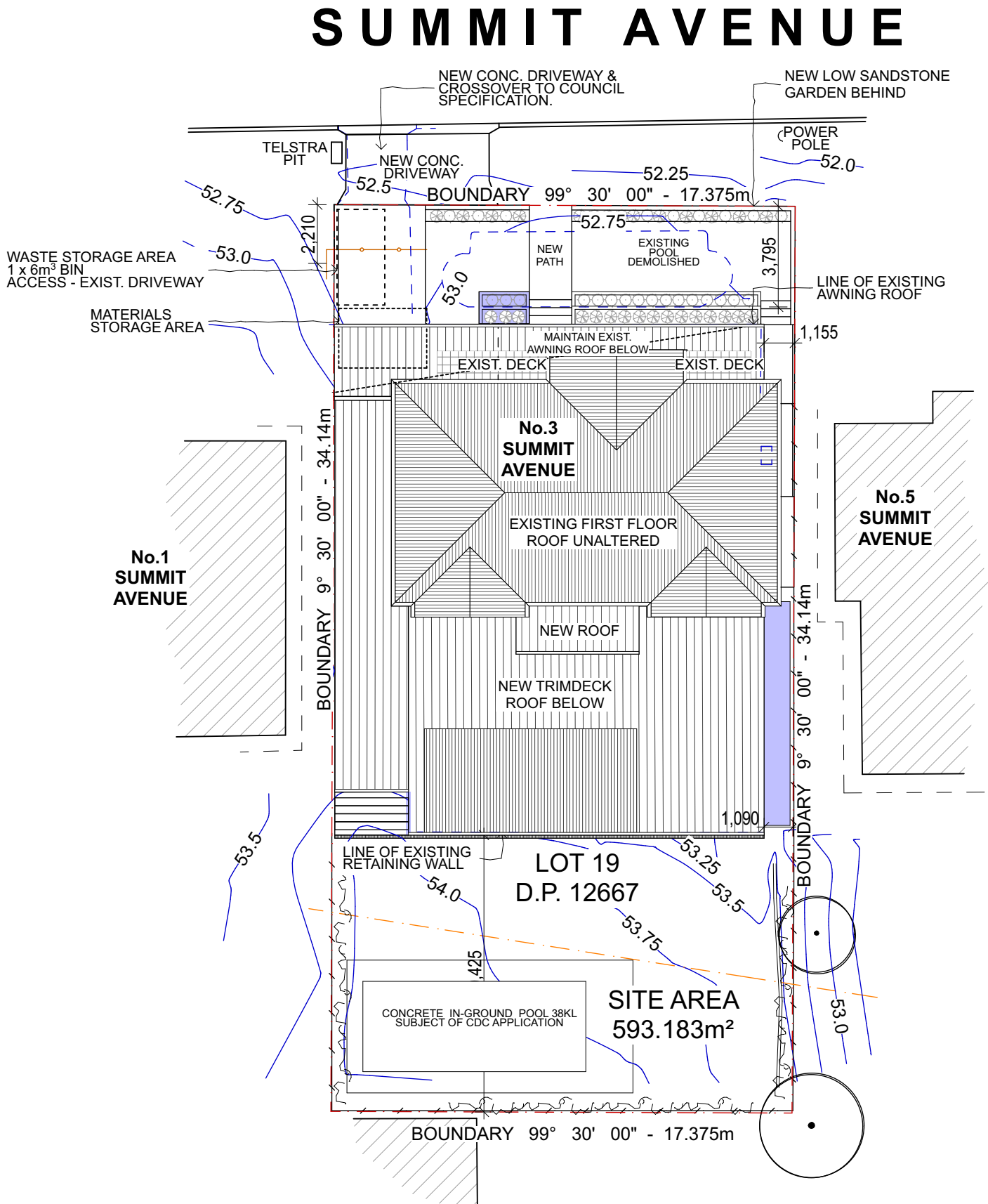
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www.dialbeforeyoudig.com.au

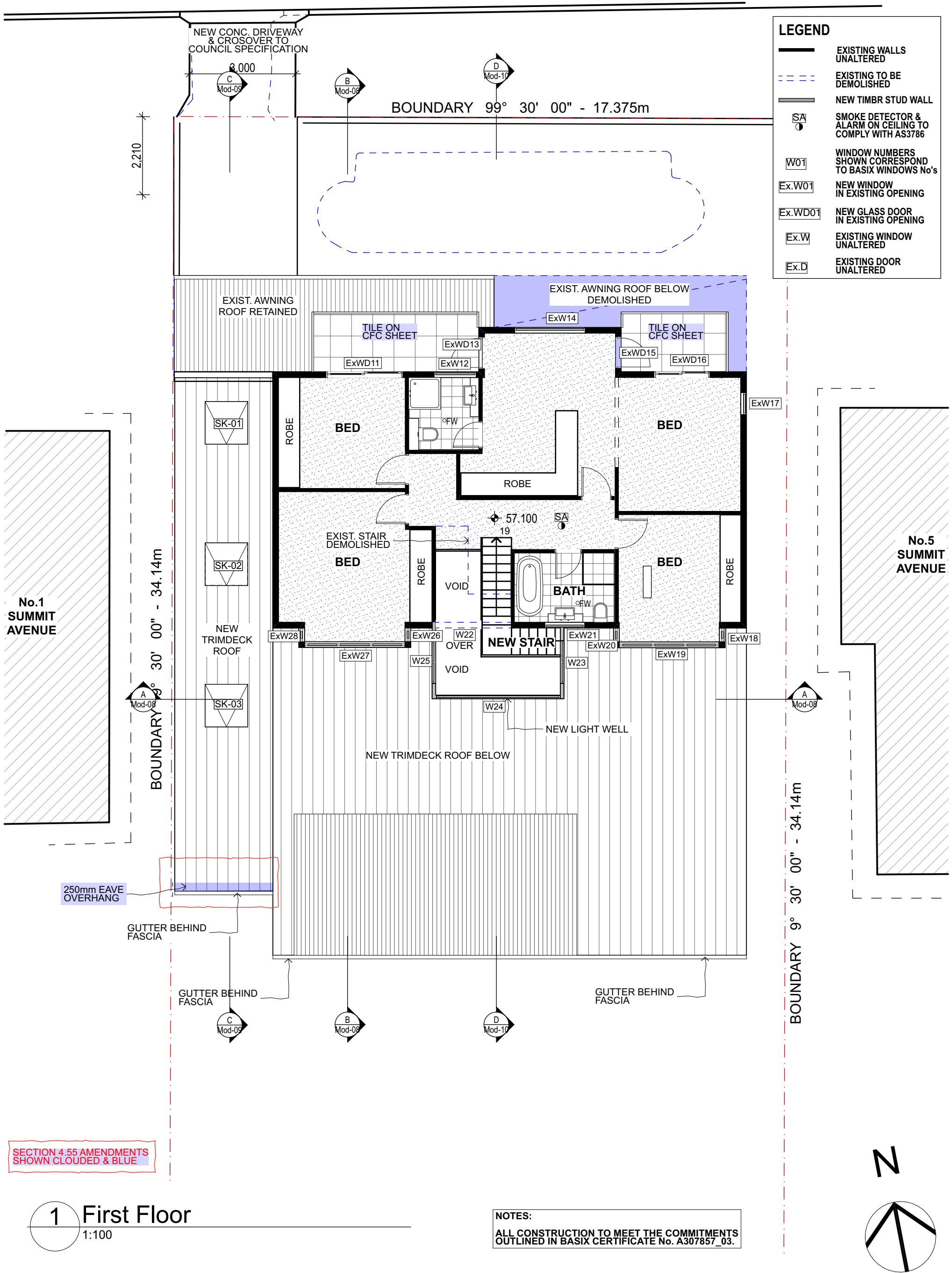
 **DIAL1100**
BEFORE YOU DIG



2 Sediment Control Fence



1 Site Plan 1:200



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Grant Seghers Design

REV DATE AMENDMENT

A DEC 2024 SECTION 4.55 MODIFICATION APPLICATION

B DEC 2024 RESPONSE TO COUNCIL RFI - SECTION 4.55 MODIFICATION

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DRAWING TITLE

FIRST FLOOR PLAN

SCALE

1:100@A3

PROJECT NO.

1619

DRAWN BY

GS

PLOT DATE

18/12/2024

DRAWING NO.

Mod-04

REVISION

B

LEGEND

W01 NEW WINDOW
WINDOW NUMBERS
SHOWN CORRESPOND
TO BASIX WINDOWS No's

Ex.W01 NEW WINDOW
IN EXISTING OPENING

Ex.WD01 NEW GLASS DOOR
IN EXISTING OPENING

Ex.W EXISTING WINDOW
UNALTERED

Ex.D EXISTING DOOR
UNALTERED

COLOUR SCHEME LEGEND

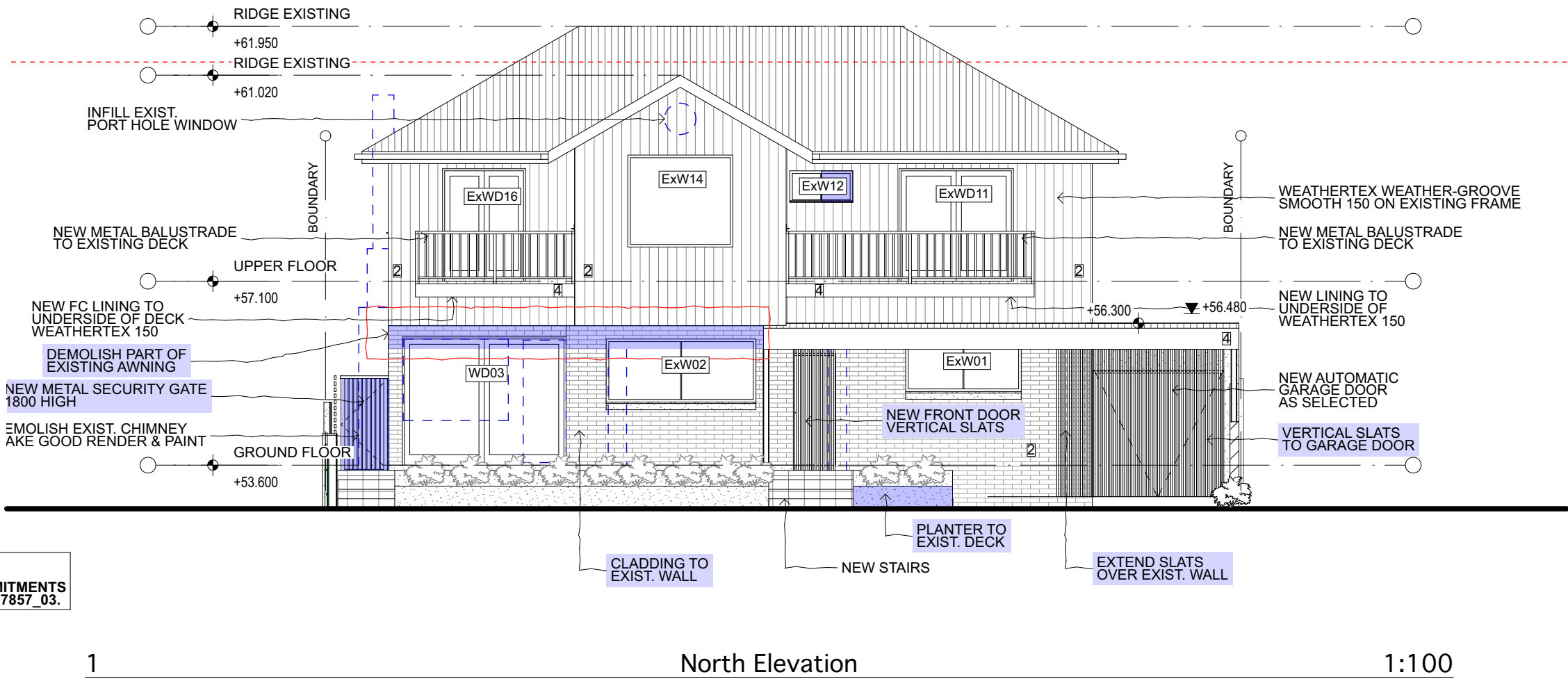
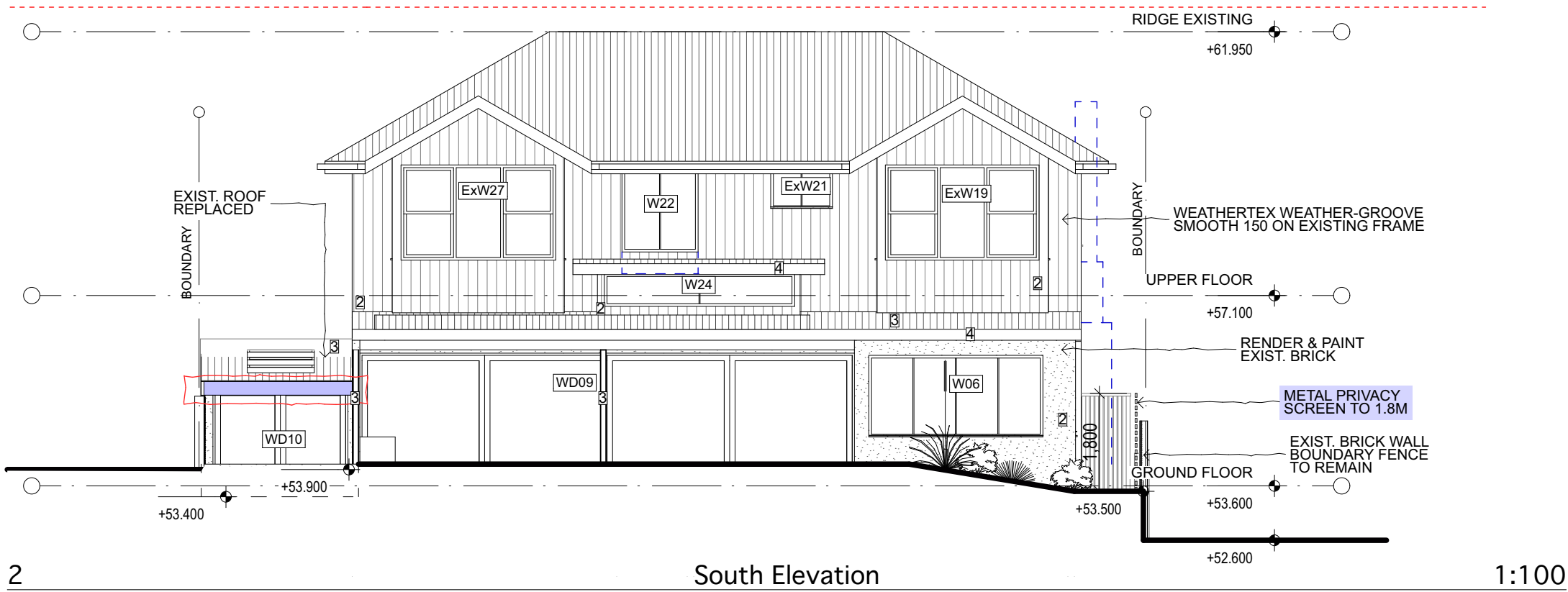
1 DELETED

2 DULUX - NATURAL WHITE - 15W

3 COLORBOND - SHALE GREY - C4

4 DULUX - LINDSEED

WINDOW FRAMES - BLACK



SECTION 4.55 AMENDMENTS
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DRAWING TITLE	
ELEVATIONS	
SCALE	DRAWN BY
1:100@A3	GS
PROJECT NO.	PLOT DATE
1619	18/12/2024
DRAWING NO.	REVISION
Mod-05	B

LEGEND

PROPOSED NEW WORK

W01

NEW WINDOW
WINDOW NUMBERS
SHOWN CORRESPOND
TO BASIX WINDOWS No's

Ex.W01

NEW WINDOW
IN EXISTING OPENING

Ex.WD01

NEW GLASS DOOR
IN EXISTING OPENING

Ex.W

EXISTING WINDOW
UNALTERED

Ex.D

EXISTING DOOR
UNALTERED

COLOUR SCHEME LEGEND

1

DELETED

2

DULUX - NATURAL WHITE - 15W

3

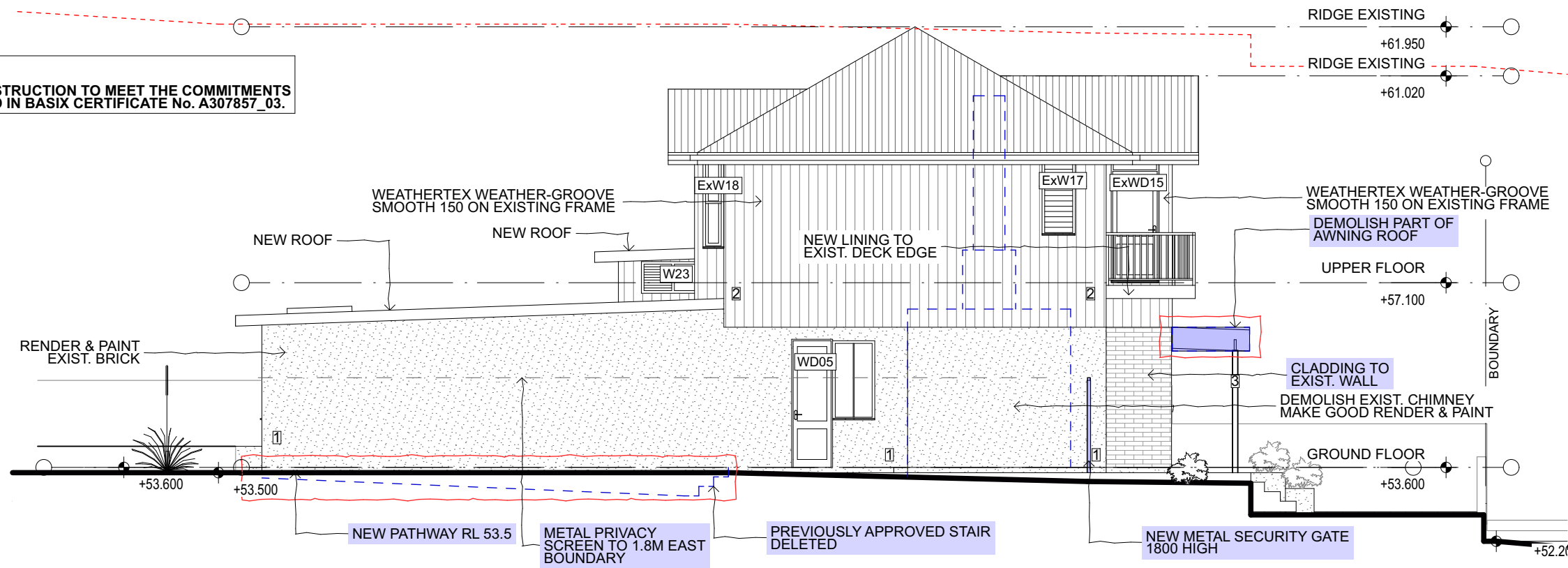
COLORBOND - SHALE GREY - C4

4

DULUX - LINDSEED

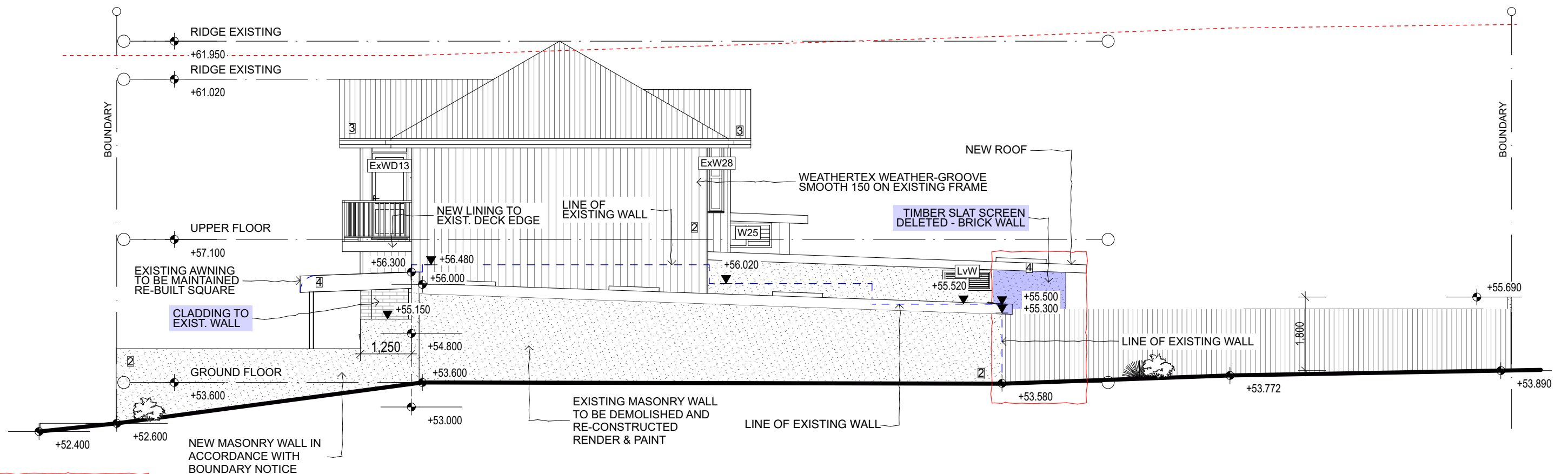
WINDOW FRAMES - BLACK

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East Elevation

1:100



West Elevation

1:100

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DRAWING TITLE
ELEVATIONS

SCALE 1:100@A3
PROJECT NO. 1619
DRAWN BY GS
PLOT DATE 18/12/2024
DRAWING NO. Mod-06
REVISION B

LEGEND

W01

NEW WINDOW
WINDOW NUMBERS
SHOWN CORRESPOND
TO BASIX WINDOWS No's

Ex.W01

NEW WINDOW
IN EXISTING OPENING

Ex.WD01

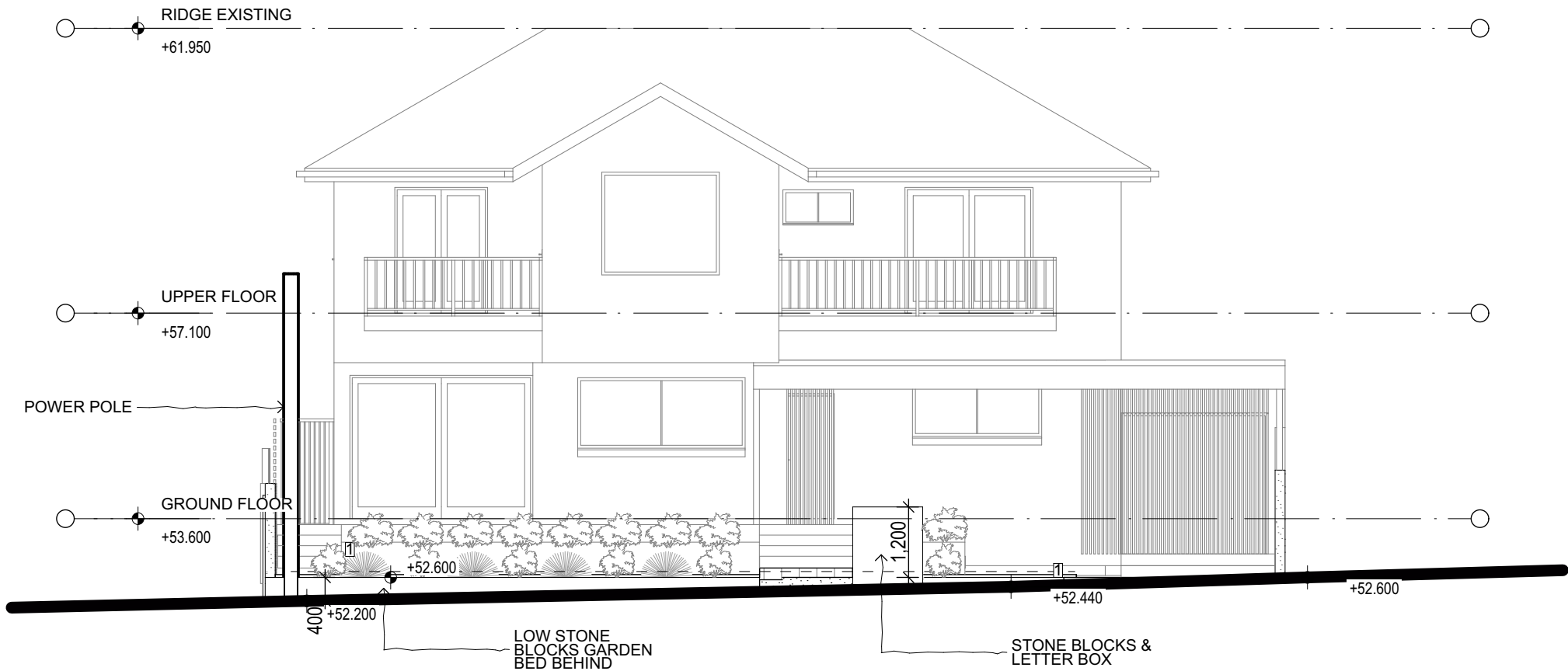
NEW GLASS DOOR
IN EXISTING OPENING

Ex.W

EXISTING WINDOW
UNALTERED

Ex.D

EXISTING DOOR
UNALTERED

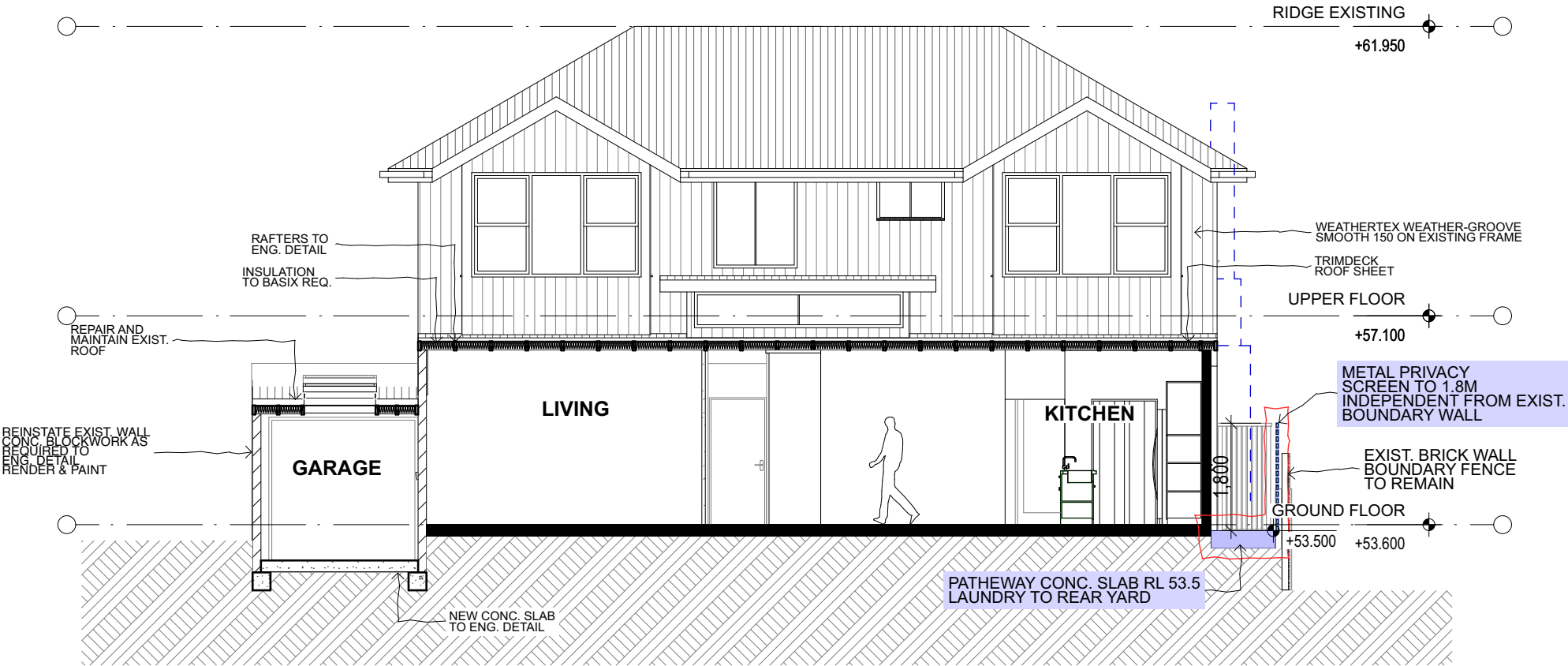


1

Summit Street Elevation

1:100

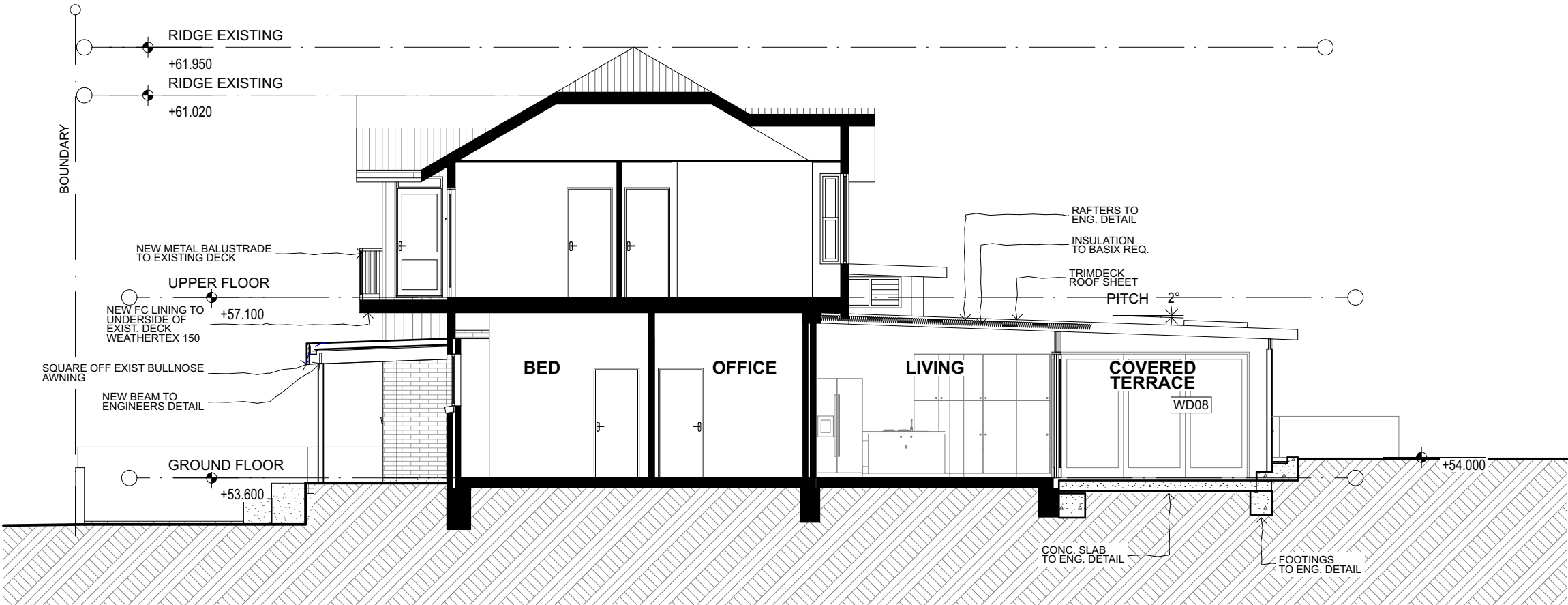
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1

Section A:A

1:100



SECTION 4.55 AMENDMENTS
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2

Section B:B

1:100

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DRAWING TITLE
SECTIONS

SCALE
1:100@A3

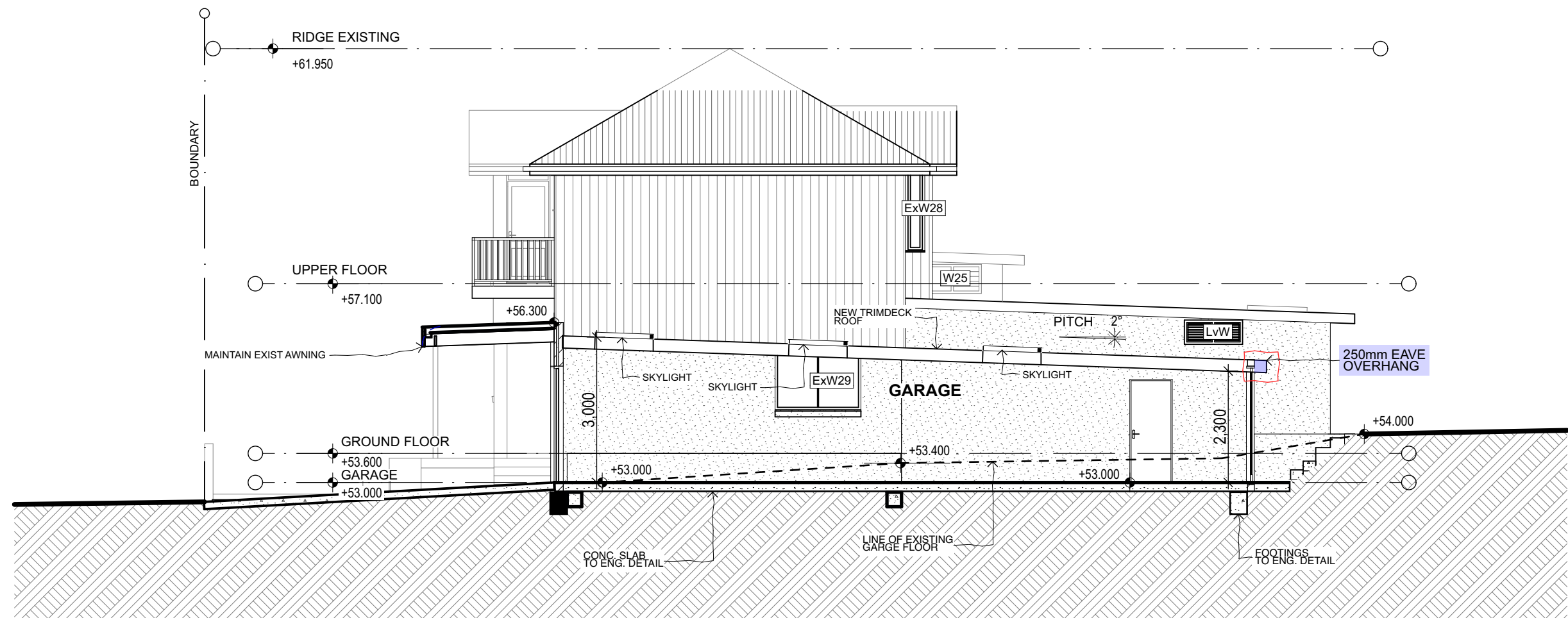
PROJECT NO.
1619

DRAWN BY
GS

PLOT DATE
18/12/2024

DRAWING NO.
Mod-08

REVISION
B



1

Section C:C

1:100

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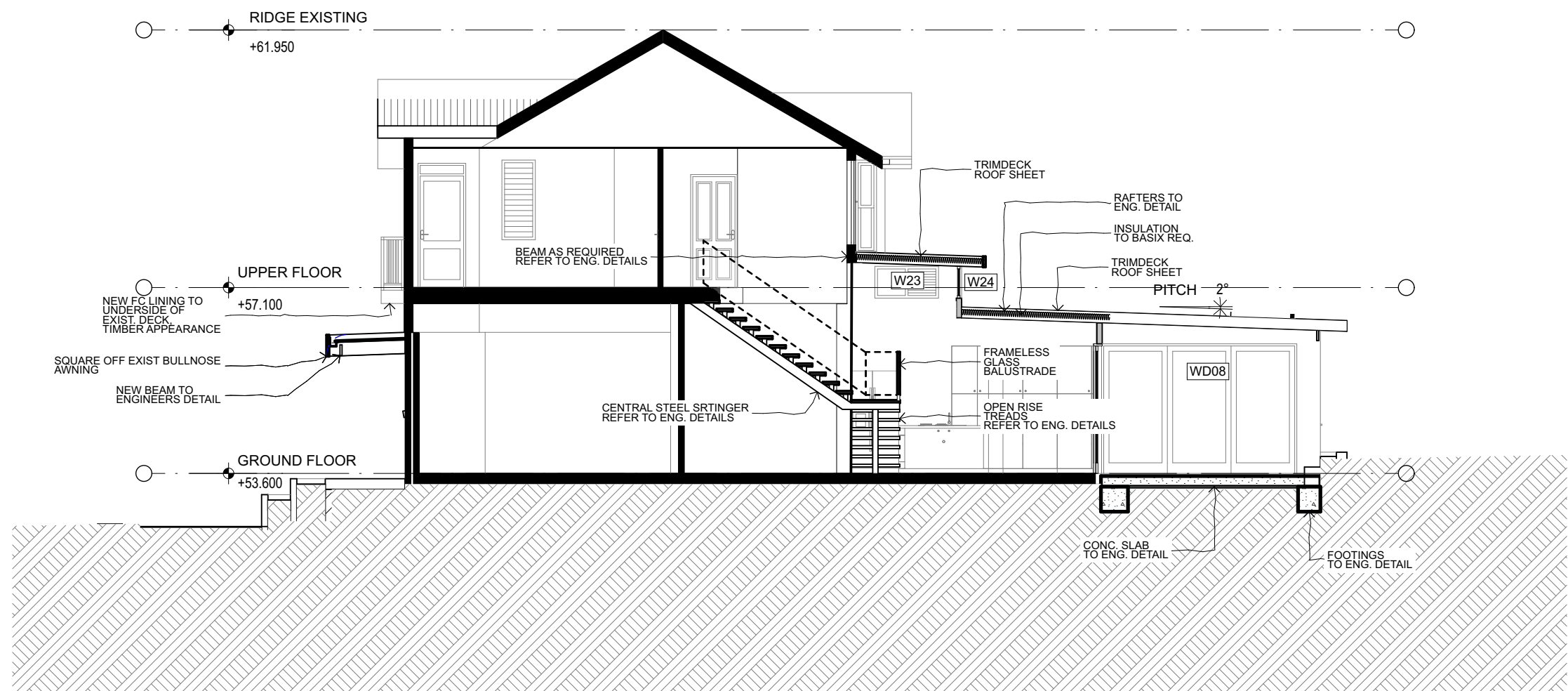
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DRAWING TITLE
SECTION C:C

SCALE	DRAWN BY	PLOT DATE
1:100@A3	GS	18/12/2024
PROJECT NO.	DRAWING NO.	REVISION
1619	Mod-09	B



1 Section D:D 1:100

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SECTION D:D

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1619	DRAWING NO.	REVISION
	Mod-10	B