

CONSTRUCTION CERTIFICATE No:

X2012-/01328

Signature:

Issued in accordance with the provisions of the Environmental & Assessment Act of 1979 under Sections 109C(1)(b) and 109F

Approval Date:

17/04/2012

Date Application Received:

09/03/2012

Council:

Pittwater Council

Development Consent No:

N0333/11

Name of Certifying Authority:

Accreditation No:

Corporate Accreditation No:

Accreditation Body:

Approval Date:

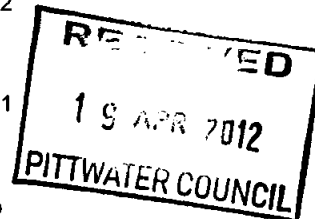
05/10/2011

Paul Fitzgerald

BPB-0119

ABC2

BUILDING PROFESSIONALS BOARD



Applicant:

Colin & Annika Roden C/- Watershed Design

Address:

Studio 8, 200 Pittwater Rd Manly NSW 2095

Contact Number:

9977 1076

Owner:

Colin & Annika Roden

Address:

55 Werona Ave Gordon NSW 2072

Contact Number:

0414 899 450

Site Address:

Lot 10 DP 17704 No - 26 Cabarita Rd Avalon 2107

Description of Development:

Alterations and Additions to existing dwelling.

Building Code of Australia Classification:

1a

Value of Work:

\$2290000.00

Builder Details

Name:

Ruhusu Pty Ltd

Licence / Permit

Number:

33892

Address:

Contact Number:

Approved Plans and Documents

Plans Prepared By	Drawing Nos.	Dated
Watershed Design	Job No. 11001, Dwg No. Cover page, A01 - A12 Issue C	01/09/2011
Watershed Design - BASIX Commitments	Job No. 11001, Dwg No. A36 Issue 1	23/03/2012
Paul Scrivner Landscape Architect	Job Ref. 11/1608/CC1, Sheets 1 - 2 Issue B	27/03/2012
BASIX Certificate	A121809	01/09/2011

Engineer Details	Drawing Nos.	Dated
Partridge Partners	Job No. 2011S1229, Dwg No. S1 - S4 Rev P5 & S5 - S8 Rev P7	07/03/2012

\$36 REC:320536 19/4/12

Council
Copy

1-3 Thornleigh St,
Thornleigh NSW 2120
P: 9980 2155
F: 9980 2166
E: admin@fbcc.com.au

SECTION 1: APPLICATION FORM
APPLICATION FOR CONSTRUCTION/COMPLYING DEVELOPMENT CERTIFICATE
Principle Certifying Authority Agreement
Issued under the Environmental Planning & Assessment Act 1979

Privacy policy - The information you provide in this application will enable your application to be assessed by the certifying authority under the Environmental Planning and Assessment Act 1979. If the information is not provided, your application may not be accepted. The application can potentially be viewed by members of the public. Please contact Fitzgerald Building Certifiers if the information you have provided in your application is incorrect or requires modification.

- ☒ Construction Certificate
☒ Complying Development Certificate
☒ Application for Occupation Certificate
☒ Engagement As PCA

Dev. Application No:
Approval Date:

N0333/11

5/10/11

APPLICANT (This Must Be The Owner/Authorised Agent)

Name/s:

Postal Address:

Ph:

Email:

Celia Roden + Anna Lu Roden
55 Wrona ave, Gordon NSW 2072
0414 899 450
c.rodan @ westpac com.au

Address:

Lot:

DP:

LAND TO BE DEVELOPED

26 Cabarrin Rd, Avalon 2072
10
17704

DETAILS OF DEVELOPMENT

Description of work:

Estimated cost of works:

Alts + Adds to Existing Dwelling.
\$2,290,000

DETAILS OF BUILDER

Name:

Licence / Permit No:

Address:

Phone No:

P.L.M. Best Constructions
33892
49/28 Barcoo St Chatswood

Section 4: Owners Declaration/Signatures**OWNERS DECLARATION**

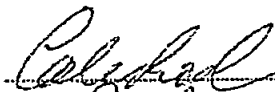
I, the aforementioned person or authorised representative of a legal entity as described as the Applicant in Section 1 of the Application Form hereby declare the following:

1. I, to the best of my knowledge, have completed all details in the Application Form in a correct and accurate manner and hereby indemnify Fitzgerald Building Certifiers against any damages, losses or suffering as a result of incorrect information provided under that section.
2. I have obtained consent from the owner/s of the property as indicated in the PARTICULARS section to apply and obtain a Construction Certificate. Such written consent will be provided with this application.
3. I have read, understood and hereby accept the terms and conditions outlined in Section 2 of this form.
4. I understand that the Application for a/the Construction Certificate is not complete until all required documentation has been received by Fitzgerald Building Certifiers.
5. I understand that the Application for and acquisition of a/the Construction Certificate does not authorise Commencement of Building Work. (Refer to appointment of PCA on Fitzgerald Building Certifiers PCA Form.)

As owners of the above mentioned property we consent to this application.

As owners of the above mentioned property I/we wish to appoint Paul Fitzgerald as PCA

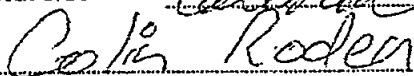
Owners Signature/s:



Owners Signature/s:



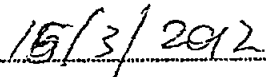
Name/s:



Name/s:



Date:



Long Service Levy Ref #
on following page.

Erin Hurley

From: mark/Korgul <markkorgul@gmail.com>
Sent: Tuesday, 17 April 2012 8:29 AM
To: Erin Hurley
Subject: Re: 26 Cabarita - Basix A36

Erin,

LSL amount paid \$8,015.00 based on the Home Owners Warranty sum of \$2,290,000.

Regards

Mark

On 17/04/12 7:53 AM, "Erin Hurley" <erin@fbcc.com.au> wrote:

Hi Mark,

Can you please tell me exactly how much Long Service Levy was paid so I can put the amount on the Construction Certificate and issue it today?

Regards,

Erin Hurley

Administration Officer/Team Leader

P (02) 9980 2155 | F (02) 9980 2166

1-3 Thornleigh St, Thornleigh NSW 2120 | www.fbcc.com.au <<http://www.fbcc.com.au/>>

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From: mark/Korgul [<mailto:markkorgul@gmail.com>]

Sent: Monday, 16 April 2012 3:48 PM

To: Erin Hurley

Cc: Peter James

Subject: Re: 26 Cabarita - Basix A36

Hi Erin,

The owner 26 Cabarita Rd Colin Roden has advised that he has paid the LSL online today but had an issue with getting the receipt. Can we confirm payment with the Long Service Boards?
Let me know what you think is best.

Regards

Mark

Colins email;

Mark

ok, i have paid it , but its impossible to get a receipt....we have all these security firewalls that stop certain things, and somehow this appears to be one of them....in fact teh whole screen has frozen when i asked to print the receipt.....and still is 15 minutes later.

I do have a payment reference number : 648523741

i note that in the usual customer friendly nature of the state government, there will be no further receipts issued, but i don't know what else i can do ?

maybe forward you a copy of my credit card statement tomorrow which will show the amount debited ?

regards

Colin

On 16/04/12 2:01 PM, "Erin Hurley" <erin@fbcc.com.au> wrote:
I can issue it today If the LSL get's paid.

Regards,
Erin Hurley
Administration Officer/Team Leader

P (02) 9980 2155 | F (02) 9980 2166
1-3 Thornleigh St, Thornleigh NSW 2120 | www.fbcc.com.au
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From:

List of Abbreviations

AFFL	Above Finished Floor Level	ST	Stone
AG	Agricultural Pipe	SA	Supply Air
AP	Access Panel	SD	Smoke Detector
AS	Adjustable Shelves	SDH	Sashless Double Hung Window
AW	Awning Window	SHR	Shower Head 2000 AFFL unless noted otherwise
		SKCT	Skirting ceramic tile
BFD	Bifolding Glazed Doors	SK	Skirting
BS	Bath Spout	SKL	Skylight
BSN	Basin	SKS	Square Hollow Steel Section
BWK	Brickwork	SLD	Sliding door
BWP	Brickwork painted	SLW	Sliding window
BWF	Brick face work	SLX	Sliding Louvre Screen
BWS	Brick work soldier course	SP	Set Plaster
		SPD	Spiner drain
CFC	Compressed Fibre Cement Wall Cladding	SB	Set Floor
CL	Centre Line	SPM	Set Plaster Moisture resistant
CB	Concrete block reinforced retaining wall	SRP	Set Plaster Reference Point
CBF	Concrete Broom Finish	SS	Steel Stainless
CST	Concrete Steel Trowel finish	SS	Steel
CJ	Control Joint	SF	Steel frame
COS	Check On Site	STD	Strip drain
CPT	Carpet	STP	Stormwater Pipe
CR	Cement Render	SW	Sandstone Wall
CRW	Cement Render Waterproof	SWP	Sewer Pipe
CT	Ceramic Tiling		
CW	Casement Window	TBD	Timber B-tolding Doors
CWS	Cold Water Service	TD	Timber Framed Doors
		TDB	Timber Decking Boards
DP	Downpipe	TW	Timber Framed Windows
DPC	Damp Proof Course	TB	Timber Floor Boards
DPM	Damp Proof Membrane	TF	Timber Flooring acoustic floating floor
		TH	Timber Handrail
EDB	Electrical Distribution Board	TL	Timber Lining boards
FGL	Existing Ground Level	TS	Timber Slats
X	Existing	TSS	Timber Sliding Screen
		TSF	Timber Slats fibre cement sheet
FC	Fibrous Cement	TSD	Timber Sliding Door
FCP	Fibre Cement Panel	TW	Timber wall cladding
FD	Fibre Cement - Vellboard	TPH	Toilet Paper Holder 500 AFFL
FEL	Fibre Reinforced Cast into concrete	TR	Towel Rail 850 AFFL unless noted otherwise
FGL	Finished Floor Level	UB	Universal Steel Beam
FG	Finished Ground Level	UC	Universal Steel Column
FMP	Fixed Glazing Panel	UG	Understore
FME	Folded Metal Flashing	VB	Vapour Barrier
FSS	Frameless Shower Screen	VP	Vent Pipe
FW	Floor Waste		
		WA	Window Awning
GB	Glass balustrade	WB	Window Boards
GD	Garage Door	WC	Window Cill
GL	Glazing	WM	Washing Machine
GLL	Glazing Laminated Glass	WPC	Wall Panel Cladding
GPO	General Purpose Outlet	WPM	Water Proof Membrane
GU	Gutter	WRC	Western Red Cedar
		WS	Window Sliding
HC	Hose Cock	WOV	Wall Oven
HSS	Handrail stainless steel 35mm dia		
HTR	Heated Towel Rail 850 AFFL		
		LS	Louvre Screen
LS		LV	Louvre Vent
LV			
M	Masonry wall		
MB	Metal Balustrade		
MD	Mixer Diverter		
MX	Mixer 850 AFFL		
MR	Metal Roofing		
MS	Mild Steel		
W	Metal Walling		
		OP	Opaque Glazing
OP		OPR	Opaque Roofing
OS	Overflow Spiller	OFC	Off Form Concrete
OFC			
		PB	Plasterboard
PB		PBL	Pebble Ballast
PBM	Plasterboard Moisture Resistant	PBF	Plasterboard or Fibre Cement Fire Rated Lining to BCA
PBF		PWC	Plywood Panel Wall Cladding
PD	Plywood Panel Wall Cladding	PD	Planter Drain
PL	Planted	PL	Planter
PR	Polycarbonate Roofing	PV	Paving
PV			
R	Roof		
RA	Return Air		
RH	Rangehood		
RWH	Rainwater Head		
RWO	Rainwater Outlet		
RWT	Rainwater Tank		
RS	Roller Shutter		
RTC	Roof Tile - Concrete		
RTT	Roof Tile - Terracotta		

Note- External glazing to have a maximum reflectivity index of 25% as per Condition 15.

Drawing list

A00	Cover Sheet	Issue
A01	Site Analysis Plan	0
A02	Site & Roof Plan	0
A03	Level 4 Upper Floor Plan	0
A04	Level 3 Ground Floor Plan	0
A05	Level 2 Lower Floor Plan	0
A06	Level 1 Basement Plan	0
A07	Section AA	0
A08	Section BB	0
A09	North Elevation	0
A10	East Elevation	0
A11	South Elevation	0
A12	West Cabarita Road Elevation	0
A13	Shadow Diagrams	0
A14	Materials & Finishes	0

MD01	Existing Level 4 Upper Floor Plan
MD02	Existing Level 3 Ground Floor Plan
MD03	Existing Level 2 Lower Floor Plan
MD04	Existing Level 1 Basement Floor Plan

Legend

	Existing walls
	Demolished walls
	Proposed masonry walls
	Proposed timber stud walls

Development Application
Issue C

1 September 2011

for

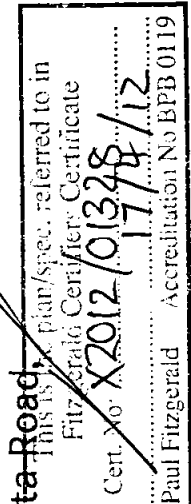
Alterations & Additions

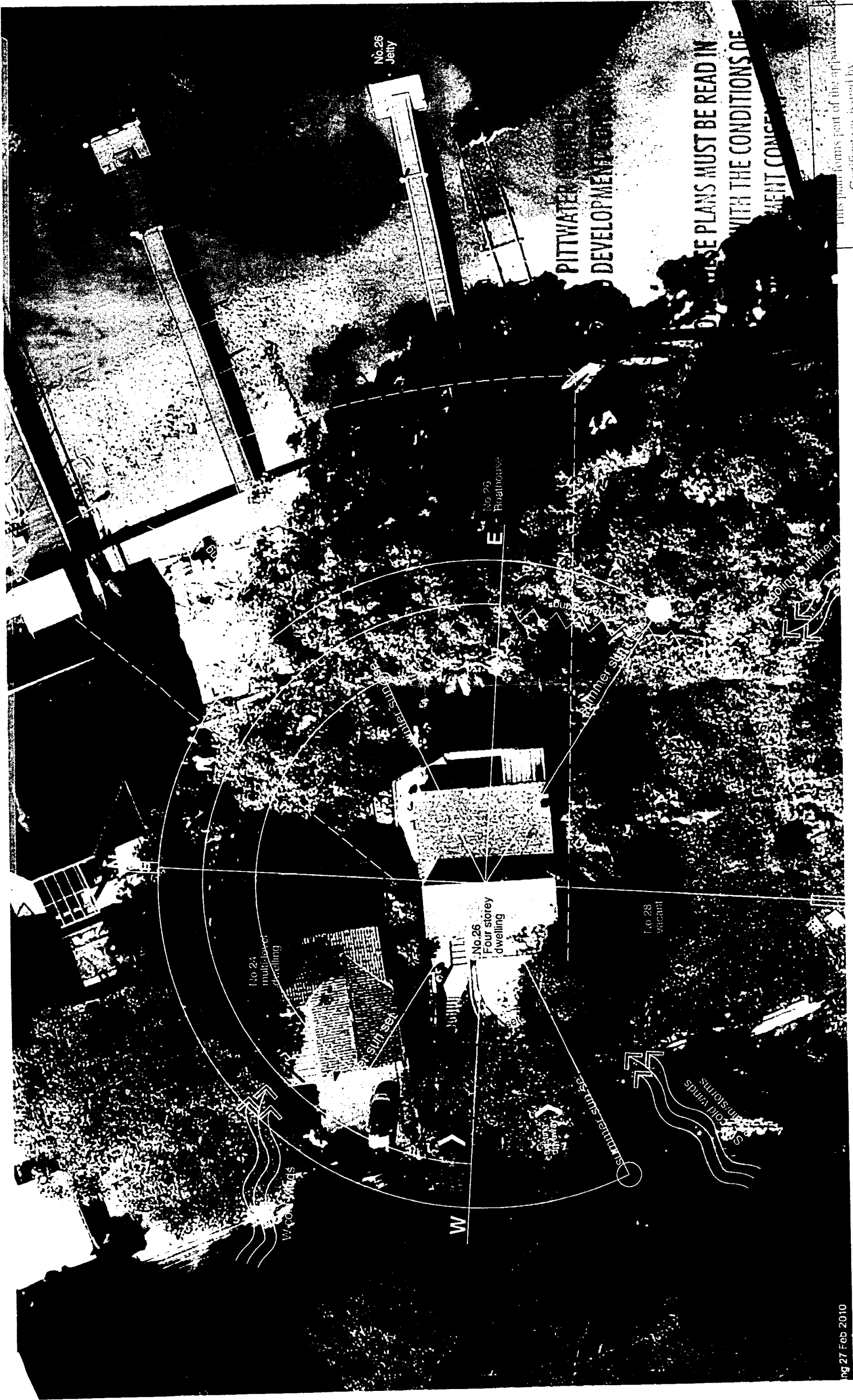
at

26 Cabarita Road,
Avalon

for

Colin & Leree Roden





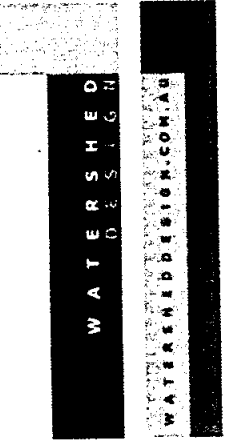
10/27 Feb 2010

NOTES

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REVISIONS

no	amendment	date
A	Preliminary DA	06/06/11
B	Preliminary DA	11/08/11
C	DA Issue	01/09/11



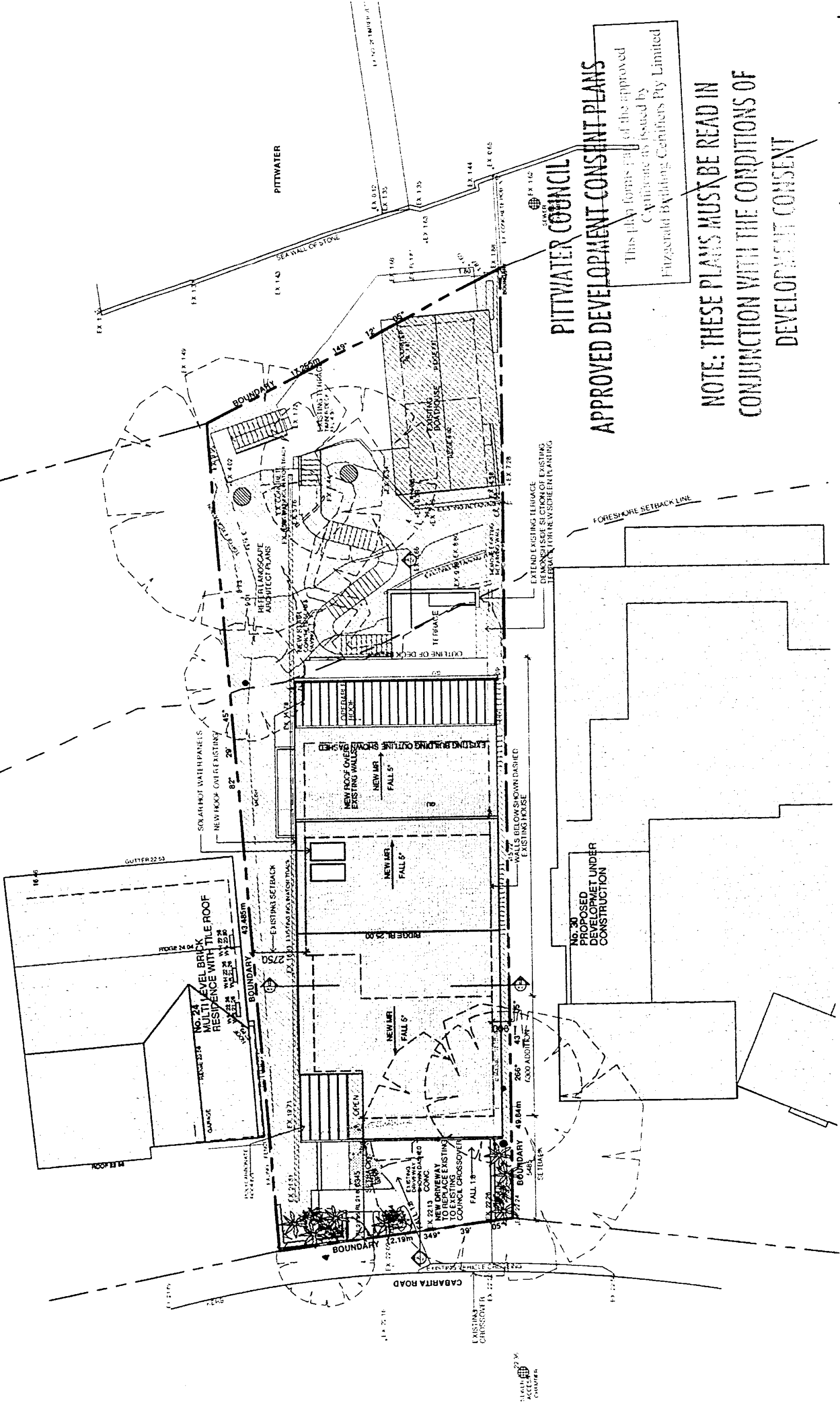
Studio 8, 200 Pittwater Road
Manly NSW 2095
PHONE 02 9977 1076
FAX 02 9976 0625
info@watersheddesign.com.au

CLIENT Colin & Lere Roden
PROJECT Alterations & Additions

ADDRESS 26 Cabrita Road,
Avalon
TITLE Site Analysis

This plan forms part of the application for a Certificate as issued by
Fitzgerald Building Certifications Pty Limited

JOB NO	11001	DRAWING NO	A01
DRAWN	OC	ISSUED	C
CHECKED	mk	SCALE	1:200



PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS
This plan forms part of the approved
Certificate as issued by
Fitzgerald Building Certifiers Pty Limited

**NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT**

- NOTES**
- Any discrepancies to be brought to the Architect's attention.
 - Use figure dimensions in preference to scaling.
 - Only scale under direction from Architect.
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REVISIONS

no amendment	date
A Preliminary DA	06.06.11
B Preliminary DA	11.08.11
C DA Issue	01.03.11

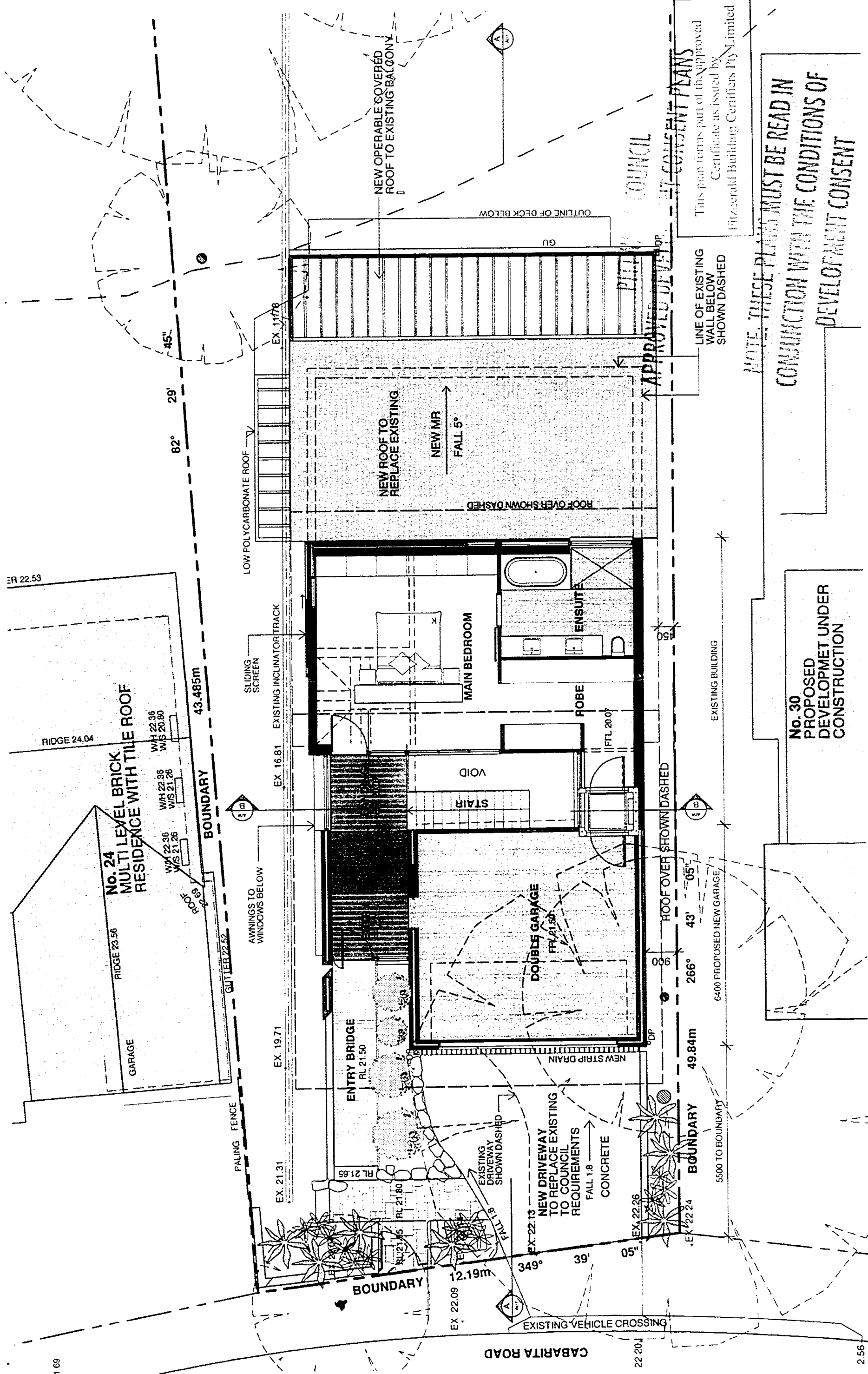
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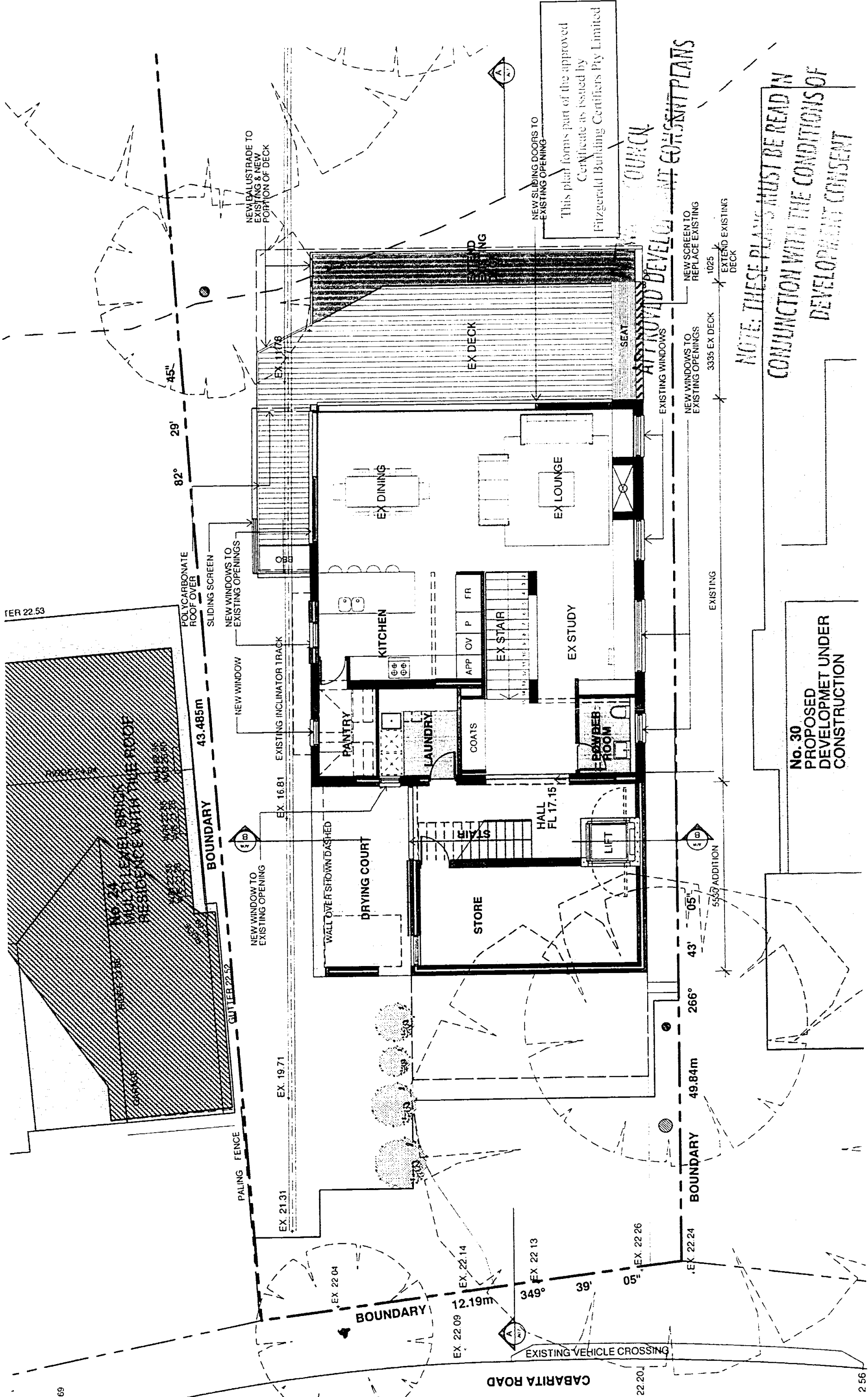
Studio 8 200 Pittwater Road
Manly NSW 2095
PHONE 02 9977 1076
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info@watersheddesign.com.au

CLIENT Colin & Lere Roden
PROJECT Alterations & Additions

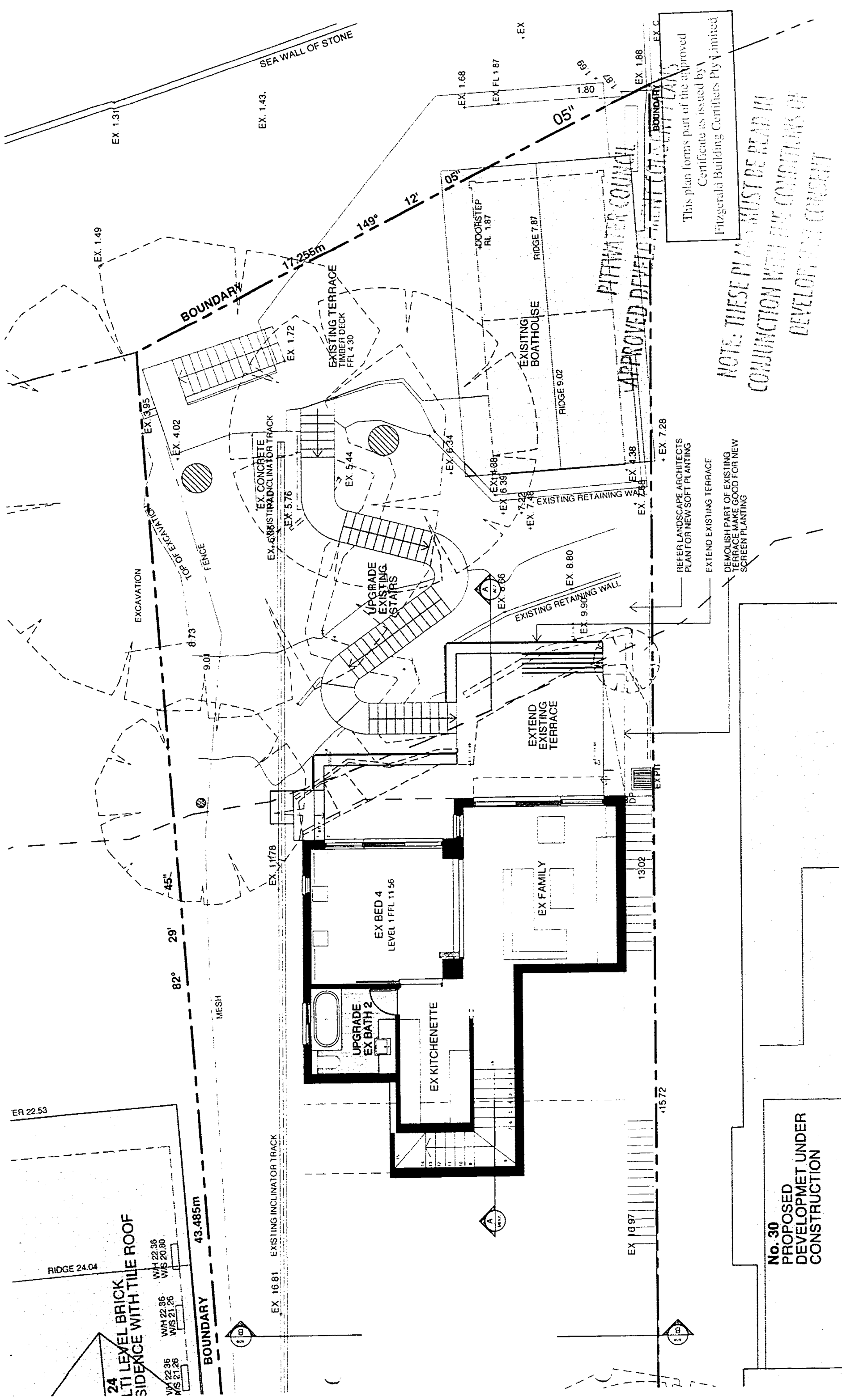
ADDRESS 26 Cabrita Road,
Avalon
TITLE Site & Roof Plan

JOB NO	11001	DRAWING NO	A02
DRAWN	OC	ISSUE	C
CHECKED	mk	SCALE	1:200





NOTES		REVISIONS		DATE	
Any discrepancies to be brought to the attention of the Architect as soon as possible.		no amendment		06 06 11	
Only work under the supervision of the Architect.		A Preliminary DA		11 08 11	
The drawing remains the property of the Architect.		B Preliminary DA		01 09 11	
Transfer of the drawing is prohibited.		C DA Issue			
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STUDIO 8 200 Pittwater Road Manly NSW 2095 PHONE 02 9977 1076 FAX 02 9976 0625 info@watersheddesign.com.au		WATERSHED DESIGN		WATERSHEDDESIGN.COM.AU	
CLIENT Colin & Lere Roden		ADDRESS 26 Cabrita Road, Avalon		JOB NO 11001	
PROJECT Alterations & Additions		TITILE Level 3		DRAWN oc	
		Ground Floor Plan		CHECKED mk	
				SCALE 1:100	
				DRAWING NO A04	
				ISSUE C	
				11/60/10	



NOTES

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REVISIONS

	date
no amendment	06/06/11
A Preliminary DA	11/08/11
B Preliminary DA	01/09/11
C DA Issue	

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MANLY NSW 2095
PHONE 02 9977 1076
FAX 02 9976 0625
info@watersheddesign.com.au

W A T E R S H E D
D E S I G N

W A T E R S H E D
D E S I G N . C O M . A U

CLIENT

Colin & Lereee Roden

PROJECT

Alterations & Additions

ADDRESS

26 Cabrita Road,
Avalon

TITLE

Level 1
Basement Floor Plan

JOB NO

11001

DRAWN

OC

CHECKED

mk

SCALE

1:100

DRAWING NO

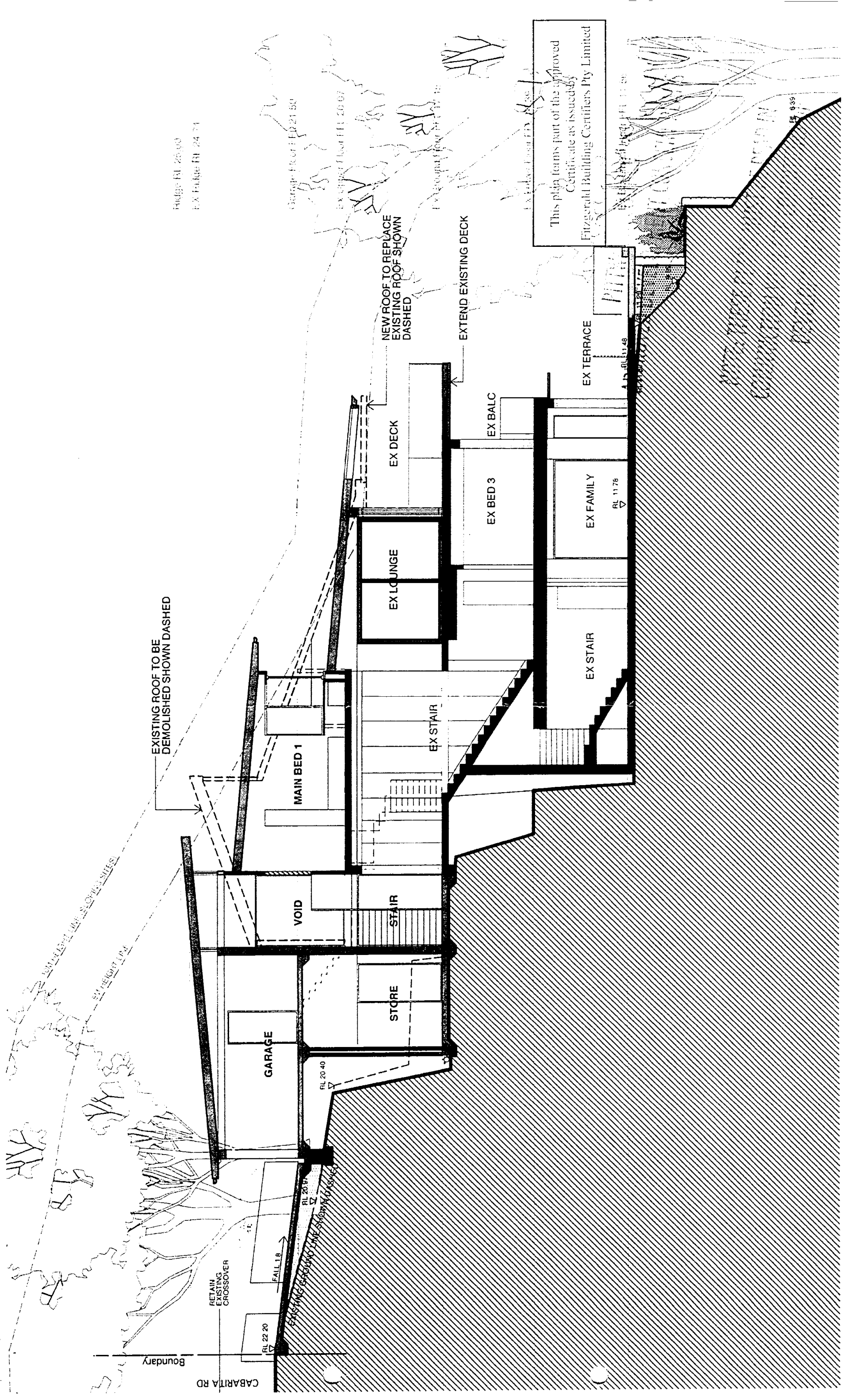
A06

ISSUE

C

DATE

11/60/10



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REVISIONS	
no amendment	date
A Preliminary DA	06 06 11
B Preliminary DA	11 08 11
C DA Issue	01 09 11

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Manly NSW 2095
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info@watersheddesign.com.au

CLIENT Colin & Leree Roden
PROJECT Alterations & Additions

ADDRESS 26 Cabrita Road,
Avalon
TITLE Section AA

JOB NO	11001	DRAWING NO	A07
DRAWN	oc	ISSUE	C
CHECKED	mk		
SCALE	1:100		

11/60/10

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, Definitions' refer to the BASIX Alterations and Additions. This document is available at www.basix.nsw.gov.au.

Fixtures and systems

Hot water

The applicant must install the following hot water system in the development: solar (gas-booster) system that is eligible to create Renewable Energy Certificates under the (Commonwealth) Renewable Energy (Electricity) Regulations 2001 (incorporating Amendment Regulations 2005 (No. 2)).

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)	
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)	
floor above existing dwelling or building.	nil	
external wall: cavity brick	nil	
external wall: reverse brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
internal wall shared with garage: single skin masonry (R0.18)	nil	
raked ceiling, pitched/skillion roof: framed (55 mm)	ceiling: R2.24 (up), roof: foil backed blanket (dark (solar absorptance > 0.70)	

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

- Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.
- For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
- For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.
- Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.
- External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.
- Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated when fully drawn or closed. shades a perpendicular window. The spacing between battens must not be more than 50 mm.

NOTES

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1. Only state minor corrections to the certificate.
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3. The drawing is the property of the Authority.
4. The drawing is the property of the Authority.
5. The drawing is the property of the Authority.
6. The drawing is the property of the Authority.
7. The drawing is the property of the Authority.
8. The drawing is the property of the Authority.
9. The drawing is the property of the Authority.
10. The drawing is the property of the Authority.

REVISIONS

no	amendment	date	no	amendment	date
A	PRELIM TO BUILDERS	25.11.11			
B	PRELIM ISSUE	20.12.11			
C	PRELIM ISSUE	15.02.12			
D	PRELIM ISSUE	01.03.12			
E	CONTRACT ISSUE	06.03.12			
F	FOR CONSTRUCTION	23.03.12			

WATER SHED

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Studio 8 200 Pittwater Road
Manly NSW 2095
PHONE 02 9977 1076
FAX 02 9976 0625
info@watersheddesign.com.au



CLIENT

COLIN AND LEREE RODEN

ADDRESS

25 CABARITA ROAD
AVALON

JOB NO

11001

DRAWING NO

PROJECT

ALTERATIONS & ADDITIONS

BASIX COMMITMENTS

CHECKED

SCALE

1:50@A2

ISSUE

MK

OC/ PJ

A36

[illegible]

Conditions: B4, B6, B11, B12, C2, D4, D5, D10 & D12.

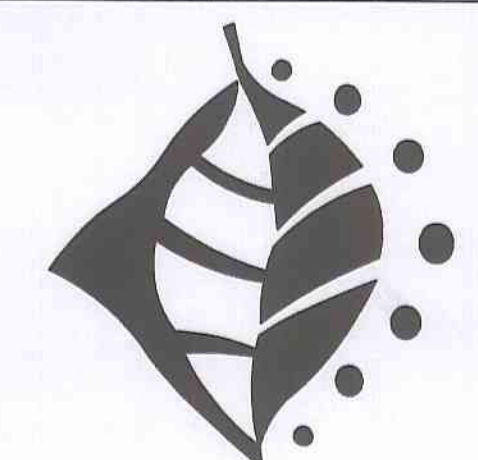
precise design detail & specific planting selection (see drawing schedule listed on bottom right hand column on this sheet).

Spotlight Gaze		
Shy Pity Design		
Stacked lumber wall		
Stacked dimension stone wall		
Vertical bridge		
Vertical bridge walkway		

	Existing trees to be removed
	Existing trees
	Proposed trees
	Palms / succulents
	Tree Ferns
	Shrubs
	Steps up
	Tiles/pavers on concrete slab
	Concrete stepping stones in garden bed
	Groundcovers
	Lawn areas
	Timber decking
	Balustrading/fence
	Strip drainage grate
	Drainage pit
	Stone walls
	Proposed levels
	Existing contours /

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 ABN 56 070 598 882
 PHONE: 02 9907 8011
 FAX: 02 9948 9527
 MOBILE: 0417 258 629
 www.scrivener-design.com
 EMAIL: paul@scrivener-design.com

DWG: LANDSCAPE PLAN

DATE: 27.03.12	SCALE: AS SHOWN@A1
JOB REF: 11/1608/CC1	SHEET No: 1 OF 2

BUILDER MUST VERIFY ALL DIMENSIONS OF THE SITE BEFORE WORK COMMENCES.
FIGURED DIMENSIONS SHOULD BE USED IN PREFERENCE TO THOSE SCALED OFF.

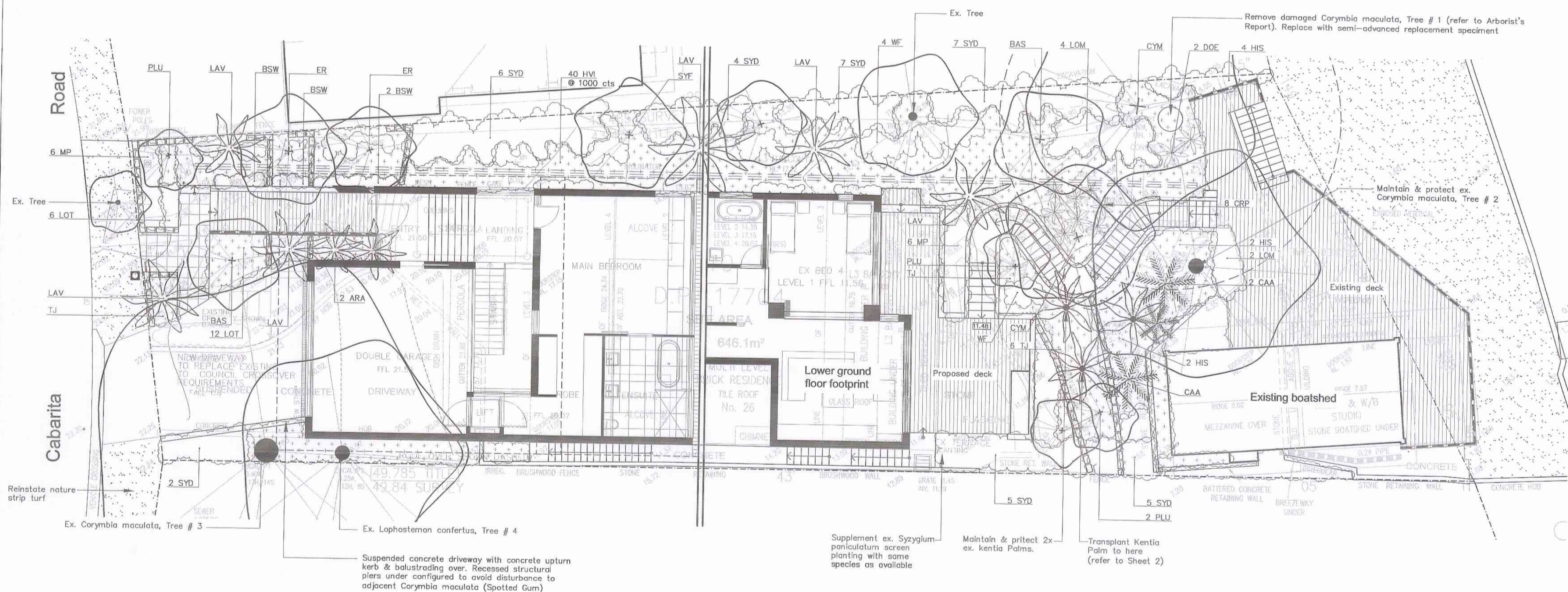
©Copyright is the property of Paul Schreener Landscape Architects Pty Ltd A.C.N. 670 598 882. The concepts, design, details and information described in the drawing are copyright. Other than for the purpose prescribed under the Copyright Act, no part of it may in any form or by any means be used or reproduced without prior written permission.

AMENDMENTS	NORTH
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B: CC ISSUE

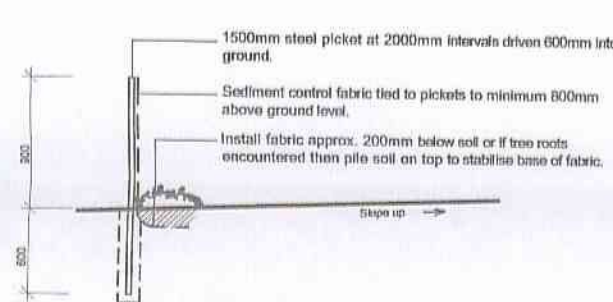
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Planting plan 1:100



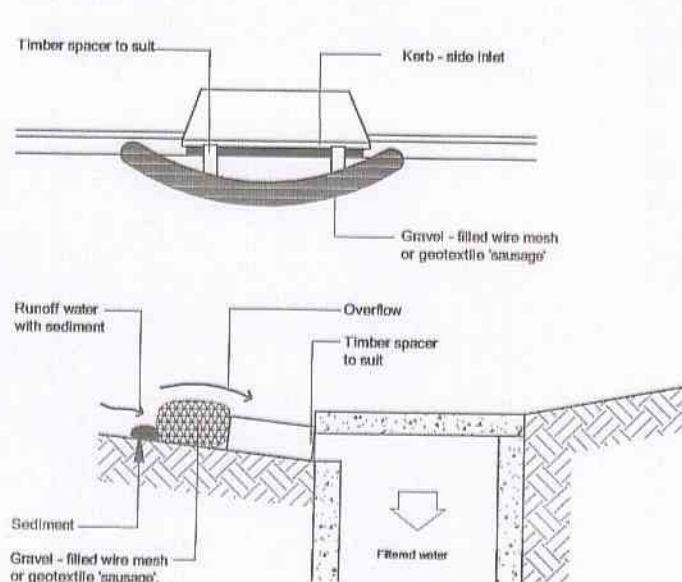
Detail A

Sedimentation control fence

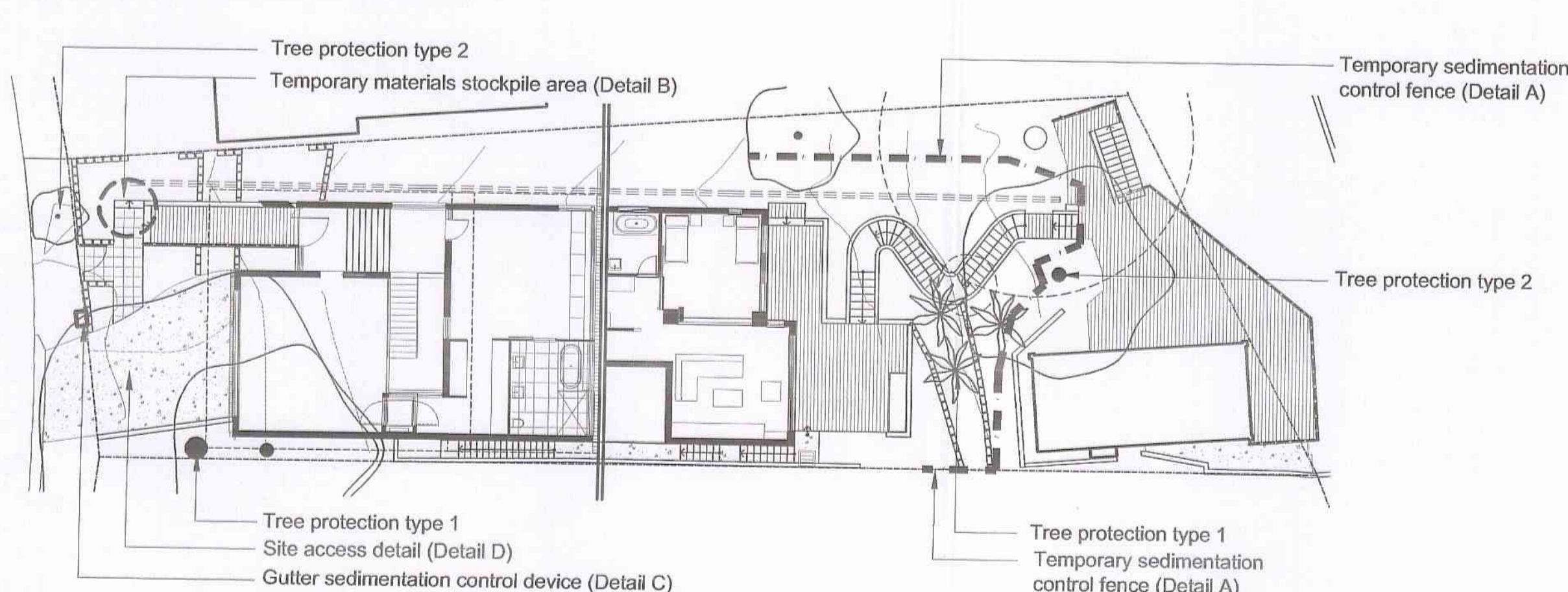


Detail C

Mesh & gravel inlet filter

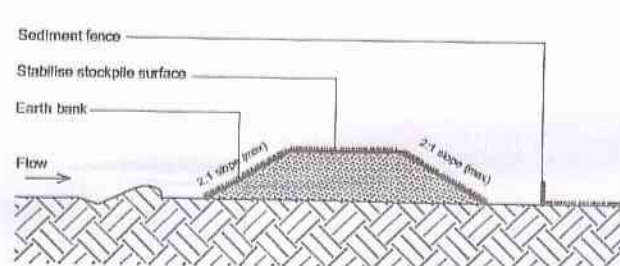


Sedimentation control plan 1:200



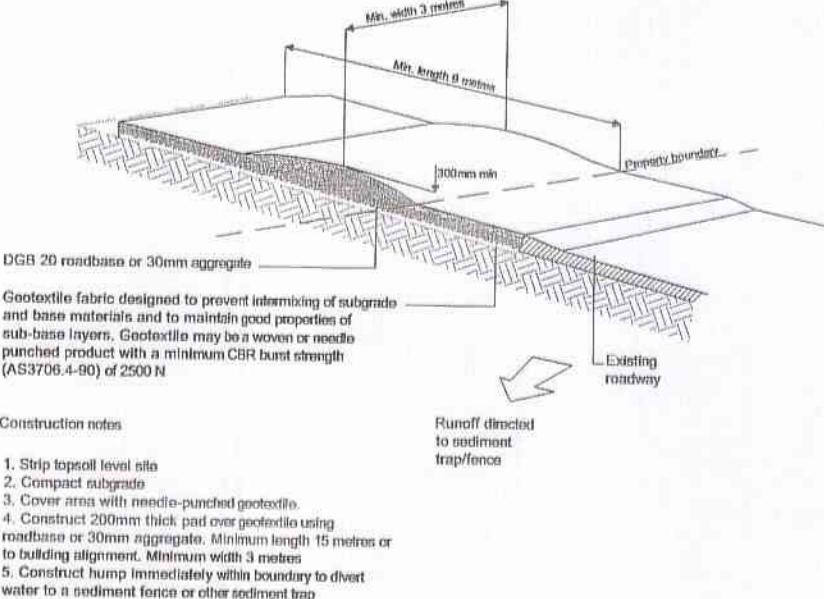
Detail B

Soil stockpile detail n.t.s.



Detail D

Construction site



Planting schedule

Symbol	Botanical Name	Common Name	No.	Cont. Size	Staking	Mature Height
Trees						
BAS	Banksia serrata	Old Man Banksia	2	35L	2x38x38x1800	5-10.0M
CYM	Corymbia maculata	Spotted Gum	2	45L	2x38x38x1800	25M
ER	Elaeocarpus reticulatus	Blueberry Ash	2	25L	2x38x38x1800	7.0M
PLU	Plumeria rubra var. acutifolia	Frangipani	4	45L	2x25x15x1500	4-6.0M
SYF	Waterhousea floribundum	Weeping Lilly Pilly	1	35L	2x38x38x1800	6-8.0M
Shrubs						
LOM	Lomandra longifolia	Spiny Mat Rush	6	200mm	nil	1.0M
MP	Muraya paniculata	Orange Jessamine	12	200mm	nil	3.0M
SYD	Syzygium paniculatum 'Dwarf'	Dwarf Lilly Pilly	36	45L	nil	2-3.0M
WF	Westringia fruticosa	Coastal Rosemary	5	25L	nil	1.5M
Ferns / Palms / Succulents						
ARA	Archontophoenix alexandrae	Alexandra	2	Advanced	nil	8-12.0M
CAA	Cyathea australis	Tree fern	3	25L	nil	2-4.0M
CRP	Crinum pedunculatum	Swamp Lilly	8	200mm	nil	1.0M
DOE	Doryanthes excelsa	Gymea Lilly	2	25L	nil	1.5M
LAV	Livistona australis	Cabbage Tree Palm	6	25L	nil	6.0M
Groundcovers/Climbers						
HIS	Hibbertia scandens	Guinea Flower	8	150mm	nil	4.0M
HVI	Hardenbergia violacea	Native Sarsaparilla	40	150mm	nil	0.2M
TJ	Trachelospermum jasminoides	Star jasmine	8	150mm	nil	0.6M
Ornamental Grasses						
LOT	Lomandra longifolia cv 'Tanika'	Fine Leaf Dwarf Lomandra	18	150mm	nil	0.5M
Ornamental Bamboos						
BSW	Bambusa Textilis gracilis	Slender Weavers	4	255mm	nil	4-6.0M

Issue B drawings, dated 5th October 2011 complies with Consent No: N 0333/11 Environmental planning & Assessment Act, 1979 (as amended) Notice to applicant of determination of a development application.

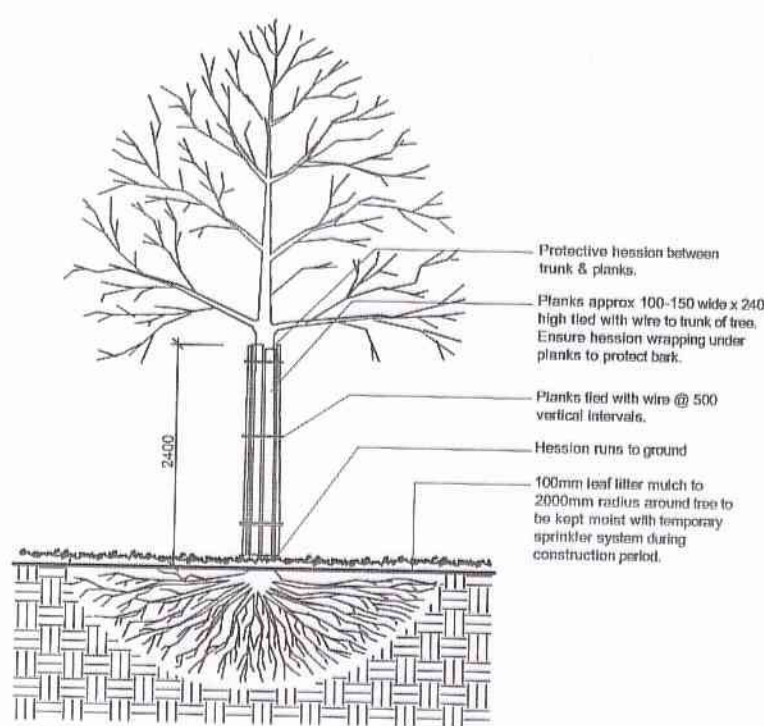
Alterations and additions to existing dwelling at: 26 Cabarita Road, Avalon (Lot 10 DP 17704)

Conditions: B4, B6, B11, B12, C2, D4, D5, D10 & D12.

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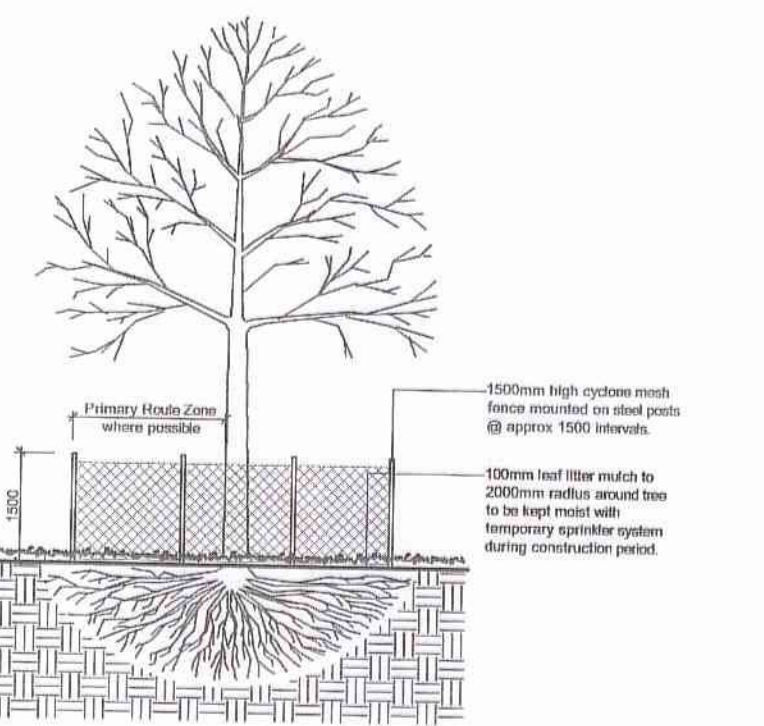
Detail 1

Tree protection measure Type 1 n.t.s.



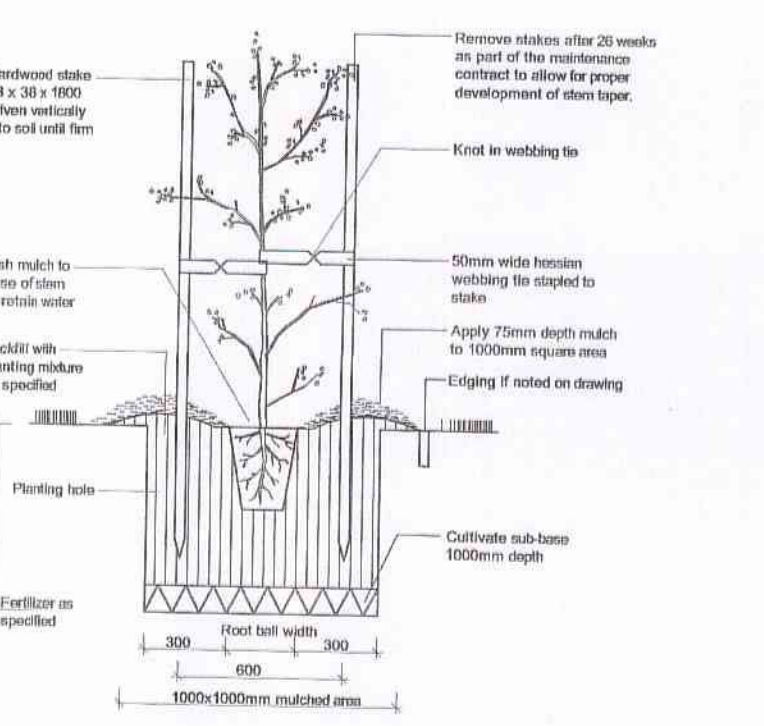
Detail 2

Tree protection measure Type 2 n.t.s.



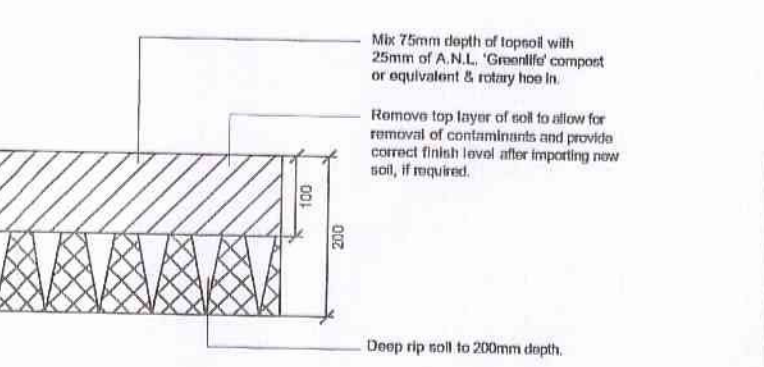
Detail 3.

Tree planting detail n.t.s.



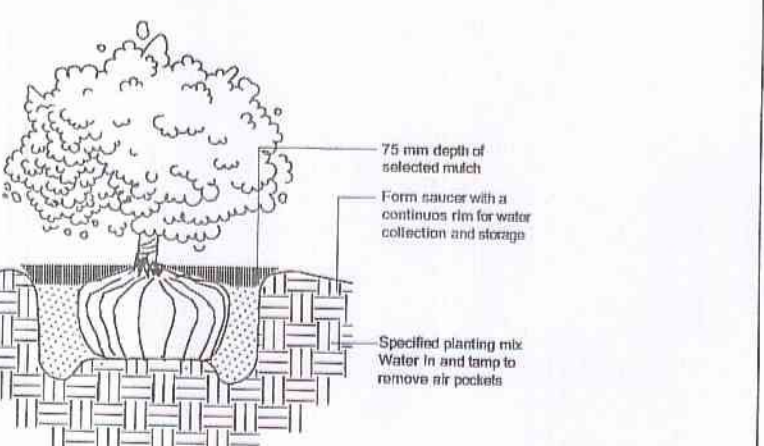
Detail 4.

Soil preparation detail n.t.s.



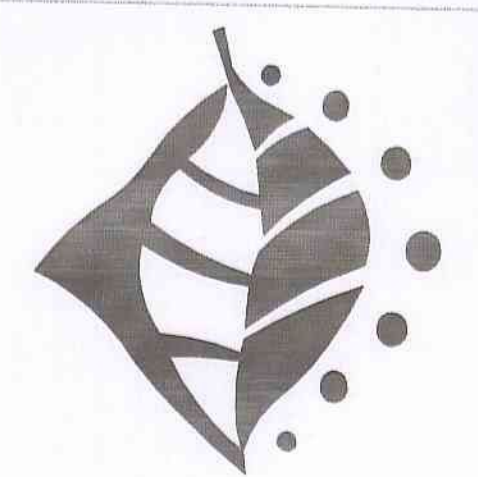
Detail 5.

Shrub planting detail n.t.s.



Notes

- Site preparation**
Any existing trees and vegetation to be retained shall be preserved and protected from damage of any sort during the construction of landscape work (see detail 1). In particular, root systems of existing plants must not be disturbed if possible. Any nearby site works should be carried out carefully using hand tools. To ensure the survival and growth of existing trees during landscaping works, protect by fencing or arming where necessary. Trees shall not be removed or topped unless specific written approval to do so is given or is indicated on plans. Storage of materials, siting of materials, vehicle parking, disposal of liquids, machinery repairs and refuelling, site office and sheds, and the lighting of fires shall not occur within (3) metres of any existing trees. Do not stockpile soil, rubble or other debris cleared from the site, or building materials, within the drip line of existing trees. Vehicular access shall not be permitted within three (3) metres of any tree.
- Soil preparation**
All proposed planting areas to be deep ripped to 300mm and clay soils to be treated with clay breaker. Harvested existing top soil from site and store on site. Mix with 25% A.N.L. Gromit compost or approved equivalent. Apply at least 300mm soil depth to planting areas. Additional soil to be 300mm depth (average assumed depth over all garden and to be installed as per site conditions) of good quality planting mix. To be worked in with rotary hoe. Care taken to hand cultivate in any areas where existing tree roots exist to preserve health of trees.
- New plantings**
Newly planted trees and large shrubs should be secured to stakes with hessian ties to prevent rodding by wind. Planting holes for plant material should be large enough in size to take root ball with additional space to take back filling of good quality planting mix (see detail 1). Mature heights of planting as shown on planting schedule show the greatest height possible in ideal conditions. These heights are subject to particular site conditions, possible container environments and intended hedging or pruning for functional requirements such as available planting width, intended access under branches and solar access.
- Planter boxes & waterproofing**
Pool planter box to be waterproofed and 'Atlantis' drainage cell installed with geotextile fabric. Refer Engineer's details for structural details for planter box construction. Ensure 50mm cavity between planter box and building wherever planter joins building. Containers to be at height on architect's drawings. Planter box to have the following:
 - Water proof detailing as per Architect's details.
 - Imperious waterproof membrane along base and up to top of soil level of container.
 - 'Atlantis' drainage cell at base to be connected to drainage system of development.
 - A.N.L. planter box soil mix or equivalent.
 - Contractor to install all planter box finishes after other site works are completed to ensure no deterioration of waterproof membranes. Contractor to be responsible for the integrity of the waterproofing of the planter boxes.
 - All planter boxes are to have automatic drip line irrigation system. Connecting pipes to installed in slab structures prior to slab pour.
- Mulching**
All planting areas to be mulched with a minimum 100mm thick cover of Forest Fines mulch and then all plant areas to be thoroughly soaked with water.
- Fertiliser**
All planting areas to be treated with 9 month NPK slow release fertiliser.
- Staking**
To those plants indicated on the planting schedules provide: hardwood stakes as nominated and driven into ground to a depth able to achieve right support.
- Structural**
All structural details whatsoever to Engineer's details.
- Maintenance**
The Landscape Contractor shall maintain the contract areas by accepted horticultural practices as well as rectifying any defects that become apparent in the works under normal use. The Landscape Contractor shall maintain the works and make good all defects for a period of twelve (12) weeks after the date of practical completion. Practical completion of the landscape works shall include but not be limited to the replacement of plants which have failed or been damaged or stolen during work under the contract. Landscape maintenance shall include but not be limited to the following: watering, rubbish removal, spraying and weeding, leaf surfaces, replacing failed plants, maintaining mulch, pruning, insect and disease control, clearing of surrounding areas. Mow the lawn when it is established at regular intervals to maintain an average height of 50mm.



PAUL SCRIVENER

LANDSCAPE ARCHITECT

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Phone: 02 9907 8011

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www.scrivenerdesign.com

Email: paul@scrivenerdesign.com

PROJECT: ALTERATIONS AND ADDITIONS TO 26 CABARITA ROAD, AVALON

DWG: PLANTING PLAN

DATE: 27.03.12 SCALE: AS SHOWN@A1

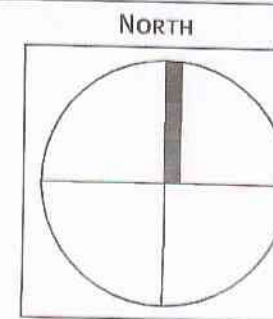
JOB REF: 11/1608/CC1 SHEET No: 2 of 2

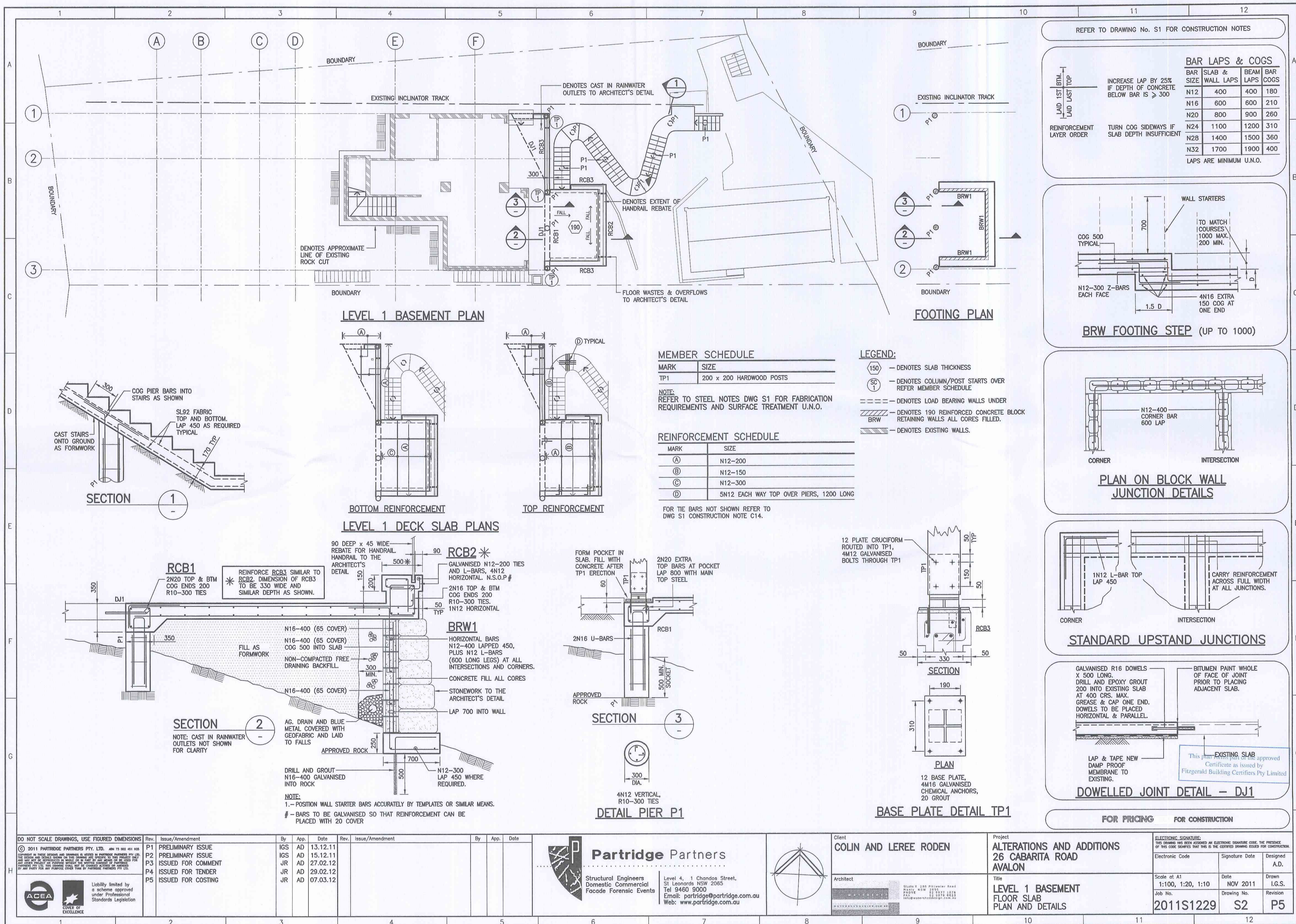
ISSUE: B

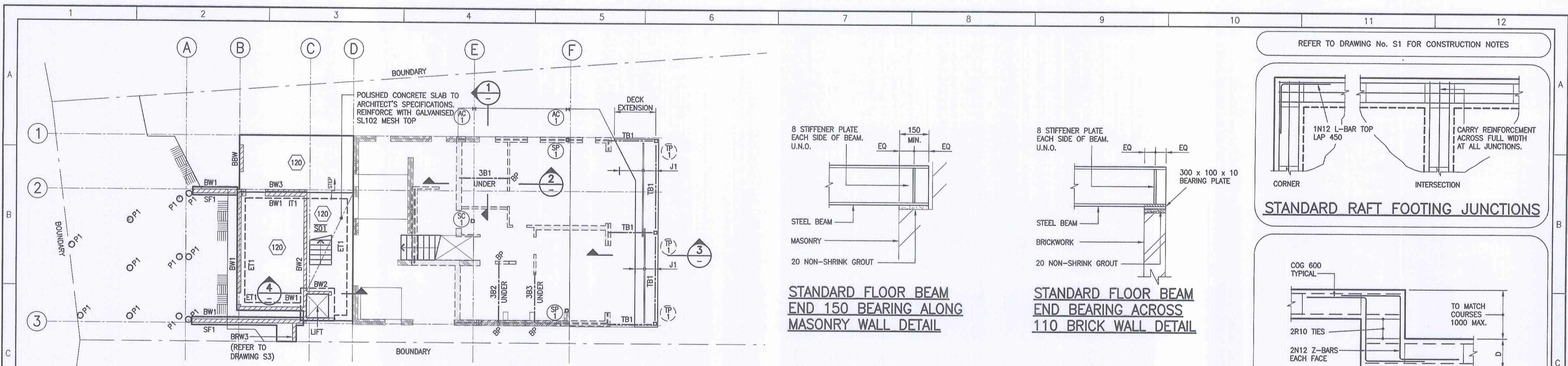
REVISIONS: ALL AMENDMENTS OF THE SITE AND/OR WORKS COORDINATES. THE INTERPRETATION, DESIGN AND CONSTRUCTION OF THE DRAWING ARE THE RESPONSIBILITY OF THE LANDSCAPE ARCHITECT. ANY AMENDMENTS TO THE DRAWING MUST BE MADE BY THE LANDSCAPE ARCHITECT. ANY AMENDMENTS TO THE DRAWING MUST BE MADE BY THE LANDSCAPE ARCHITECT. ANY AMENDMENTS TO THE DRAWING MUST BE MADE BY THE LANDSCAPE ARCHITECT.

AMENDMENTS

B: CC ISSUE







LEVEL 3 GROUND FLOOR PLAN

REINFORCE ALL SLABS WITH SL92 IN TOP THROUGHOUT, UNLESS NOTED OTHERWISE, WITH EXTRA REINFORCEMENT TRIMMERS AS NOTED ON PLAN.
THESE SLABS AND FOOTINGS HAVE BEEN DESIGNED TO CLASS A SITE CLASSIFICATION IN ACCORDANCE WITH AS2870 - RESIDENTIAL SLABS AND FOOTINGS CODE FOR FULL MASONRY CONSTRUCTION. SITE CLASSIFICATION TO BE CONFIRMED BY THE BUILDER'S GEOTECHNICAL ENGINEER.

THESE SLABS HAVE NOT BEEN DESIGNED (EXCEPT AS NOTED) OR DETAILED FOR AN IN-SLAB HYDRONIC HEATING SYSTEM OR FOR A POLISHED CONCRETE FINISH. CONTACT THE ENGINEER FOR REDESIGN AND INSTRUCTION IF EITHER IS TO BE FEATURED IN THESE SLABS.

MEMBER SCHEDULE

MARK	SIZE
TP1	200 x 200 HARDWOOD POSTS
TB1	200 x 200 HARDWOOD BEAMS
SP1	STEEL PORTAL FRAME, REFER DRAWING S7
SC1	89 x 89 x 6 SHS
AC1	100 UC 15
3B1	180 PFC
3B2	200 PFC
3B3	200 PFC
BP	300 x 100 x 12 BEARING PLATE
J1	240 x 63 "SMARTFRAME" LVL AT 300 CTRS

NOTE:
REFER TO STEEL NOTES DWG S1 FOR FABRICATION REQUIREMENTS AND SURFACE TREATMENT U.N.O.
HOT DIP GALVANISE AC1.

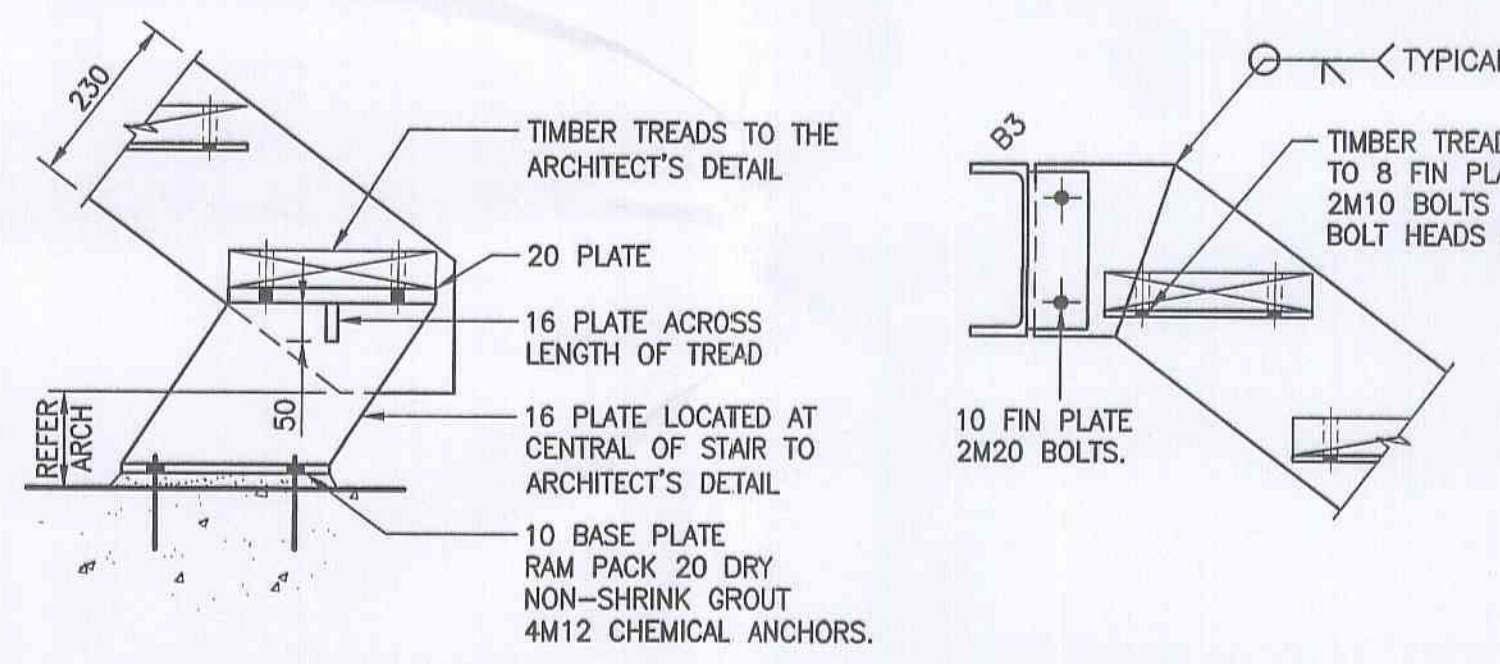
LEGEND:

- (150) - DENOTES SLAB THICKNESS
- SC 1 - DENOTES COLUMN/POST STARTS OVER REFER MEMBER SCHEDULE
- SC 1 - DENOTES COLUMN/POST TERMINATES UNDER REFER MEMBER SCHEDULE
- DENOTES LOAD BEARING WALLS UNDER
- DENOTES BRICK WALLS OVER
- DENOTES 190 REINFORCED CONCRETE BLOCK RETAINING WALLS ALL CORES FILLED.
- DENOTES REINFORCED CONCRETE BLOCK WALLS ALL CORES FILLED. REFER SCHEDULE
- DENOTES EXISTING WALLS.
- SO1 - DENOTES STEEL STAIR.
- LVL - DENOTES LAMINATED VENEER LUMBER GRADE 14
- "SMARTFRAME" - DENOTES PRODUCT OF TILLING TIMBER PTY LTD

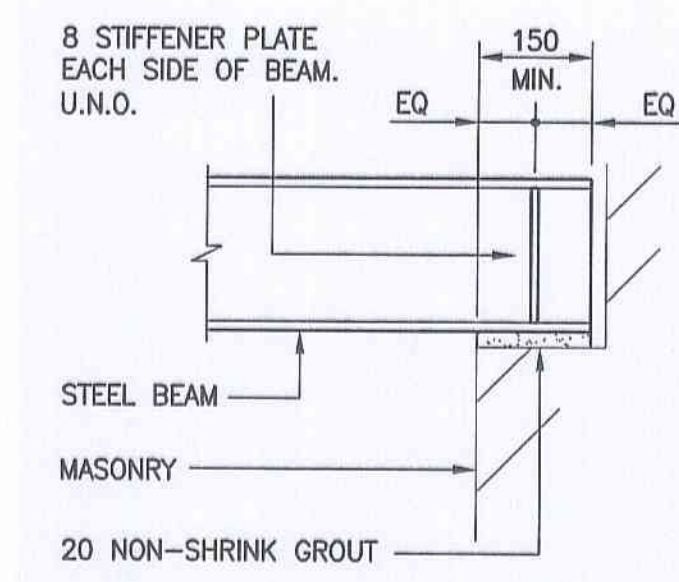
BLOCK WALL REINFORCEMENT SCHEDULE

MARK	TYPE	HORIZONTAL REO	VERTICAL REO	COG (TOP OF SLAB)	COG (BTM OF SLAB)
BW1	190 BLOCK	N12- 400 CENTRAL	N16- 400 CENTRAL	300 COG	300 COG
BW2	140 BLOCK	N12- 400 CENTRAL	N12- 400 CENTRAL	300 COG	300 COG
BW3	90 BLOCK	N/A	N/A	N/A	N/A

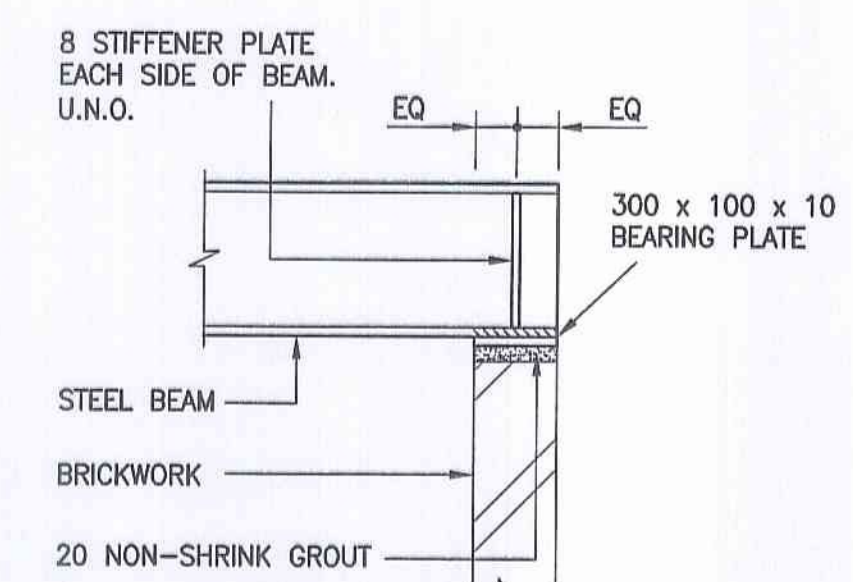
NOTE: ALL BARS TO LAP 700 TYPICAL UNLESS NOTED OTHERWISE.



BASE DETAIL
TOP DETAIL
TYPICAL STEEL STAIR BASE DETAIL (S01)

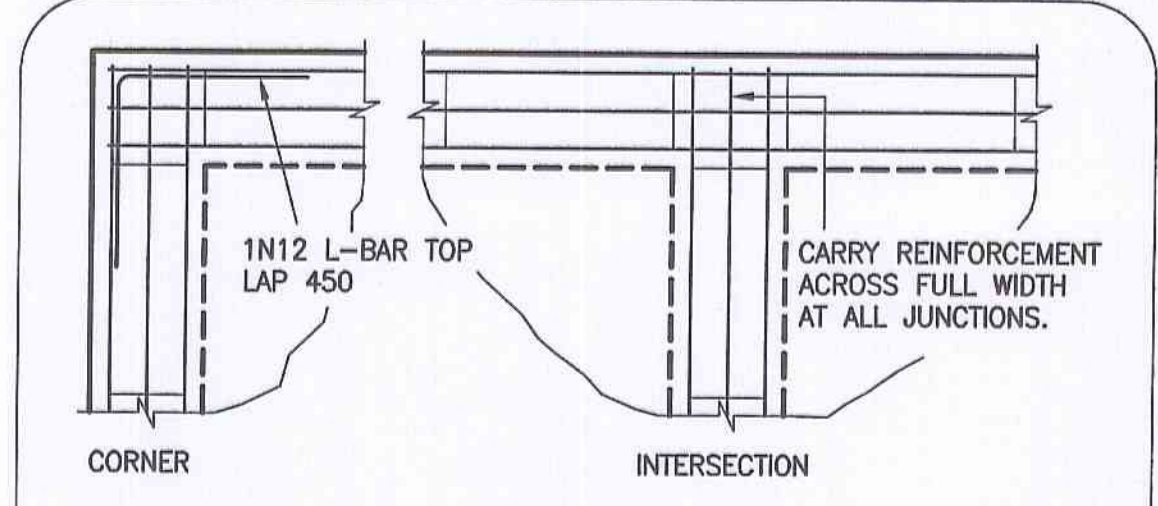


STANDARD FLOOR BEAM
END 150 BEARING ALONG
MASONRY WALL DETAIL

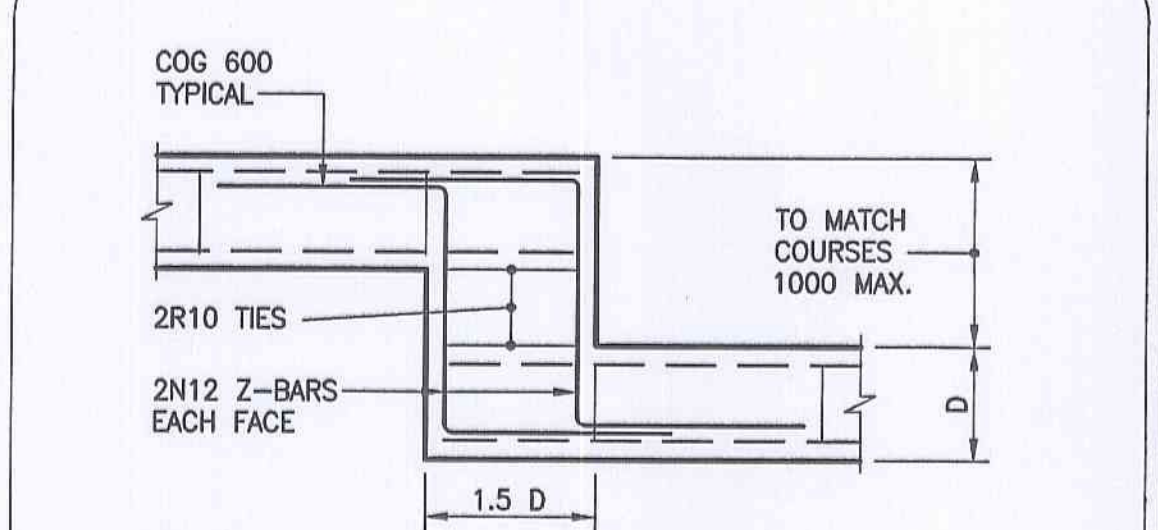


STANDARD FLOOR BEAM
END BEARING ACROSS
110 BRICK WALL DETAIL

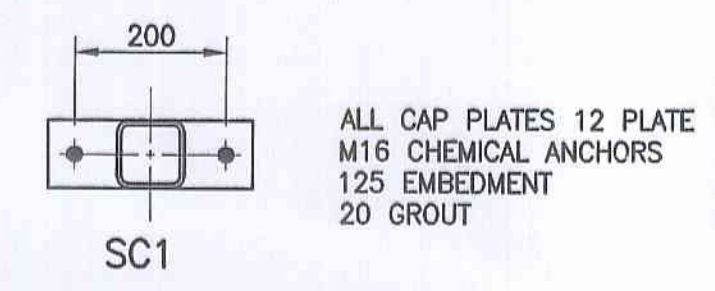
REFER TO DRAWING No. S1 FOR CONSTRUCTION NOTES



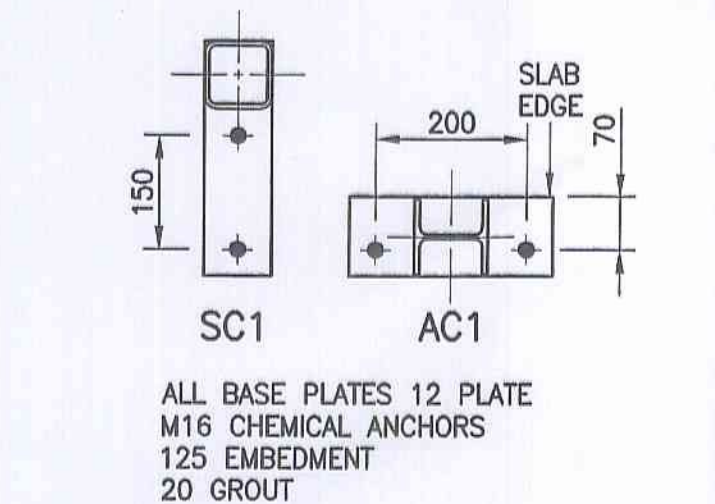
STANDARD RAFT FOOTING JUNCTIONS



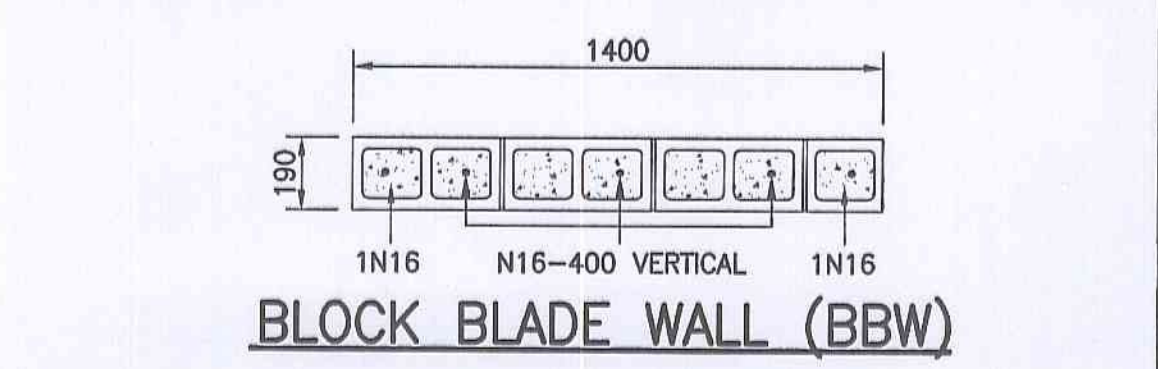
STANDARD FOOTING STEP (UP TO 1000)



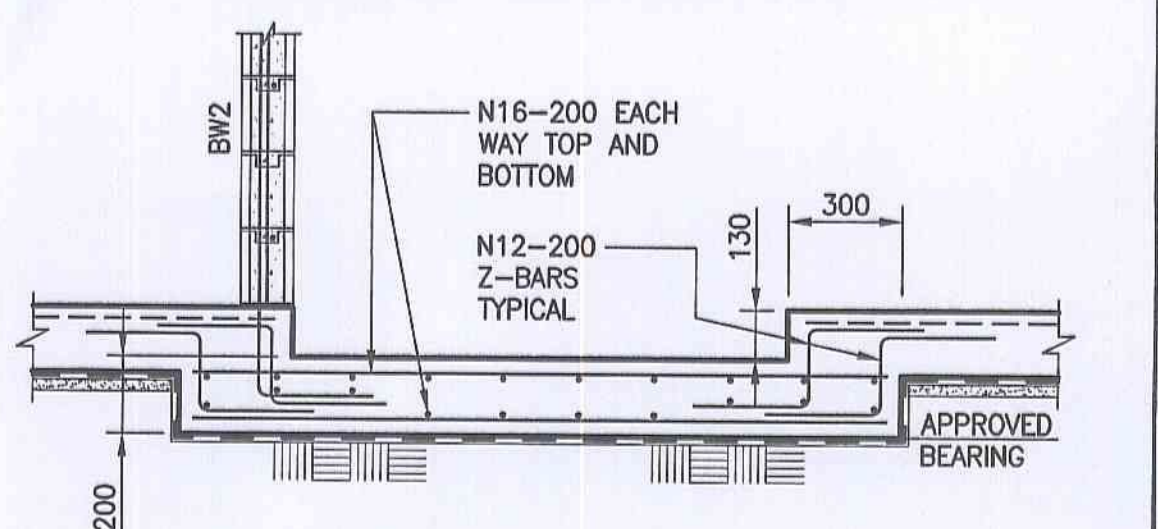
COLUMN CAP PLATE DETAILS



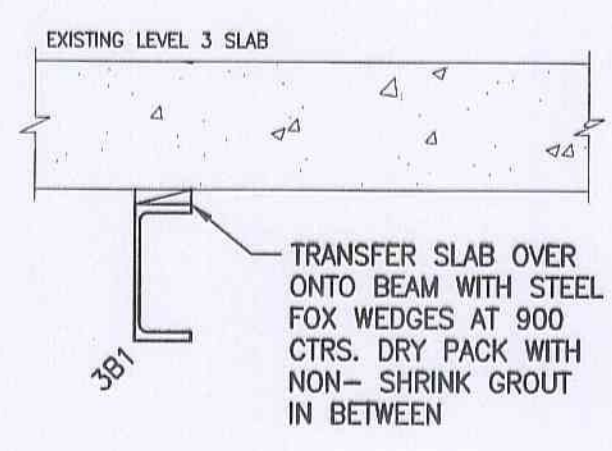
COLUMN BASE PLATE DETAILS



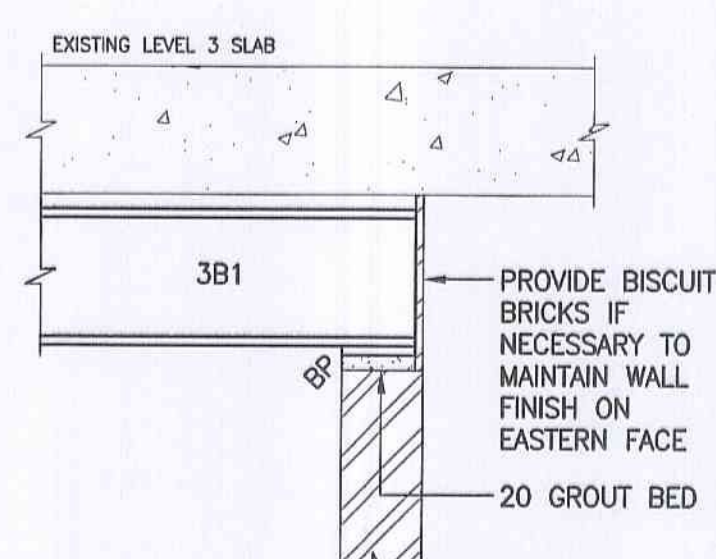
BLOCK BLADE WALL (BBW)



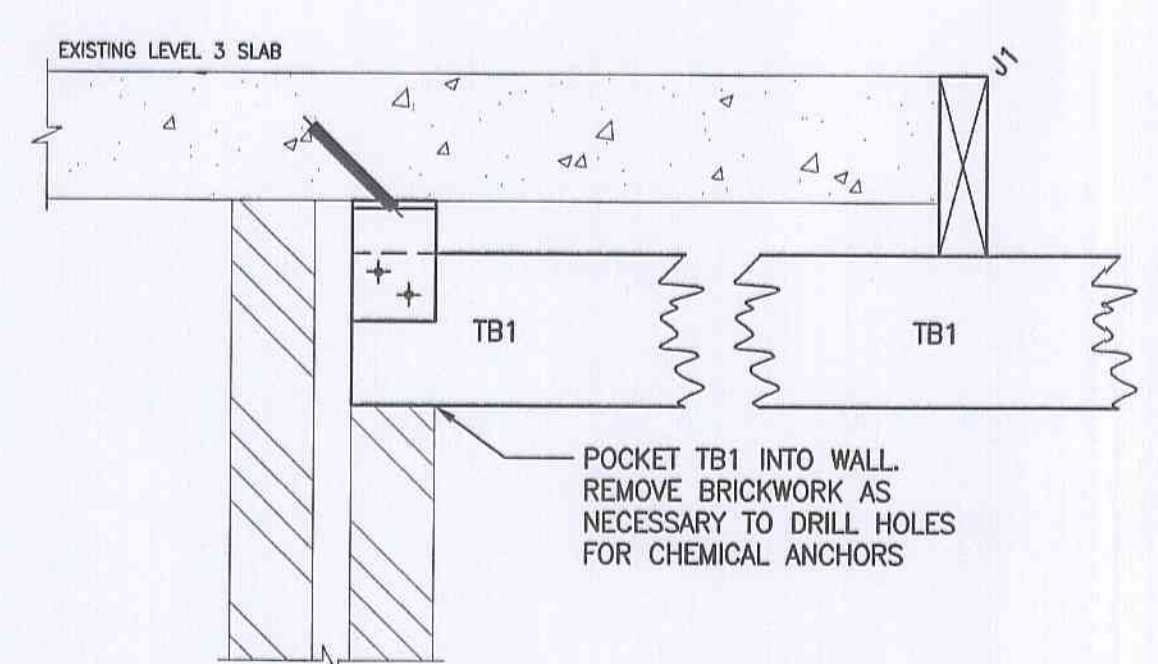
SECTION 4



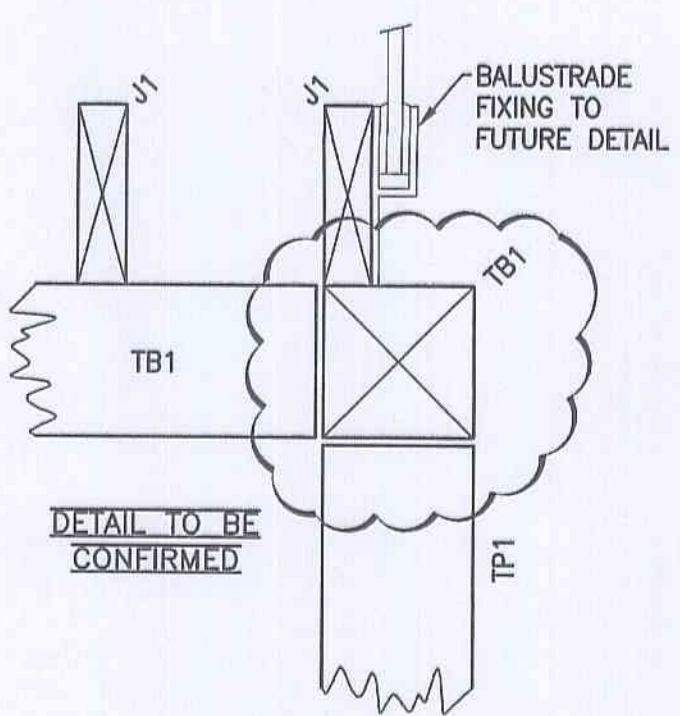
SECTION 1



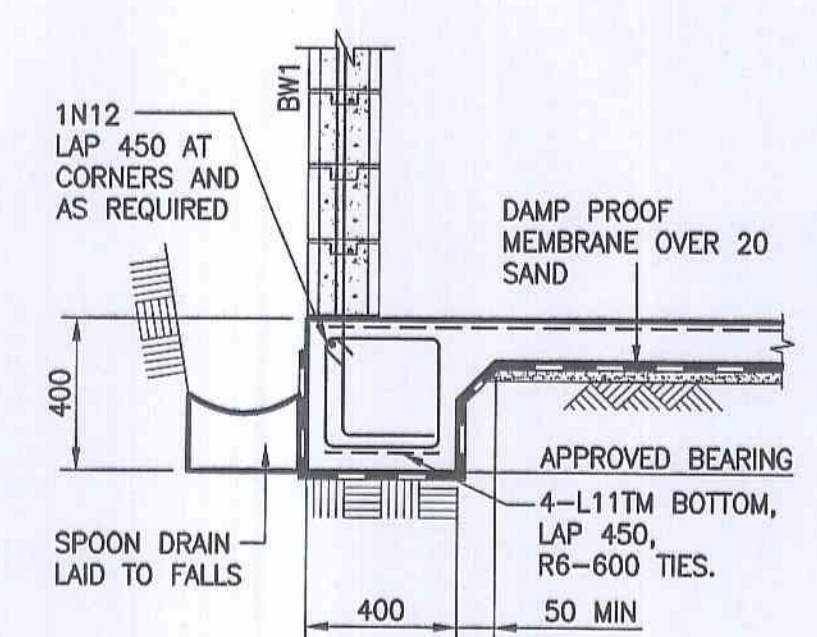
SECTION 2



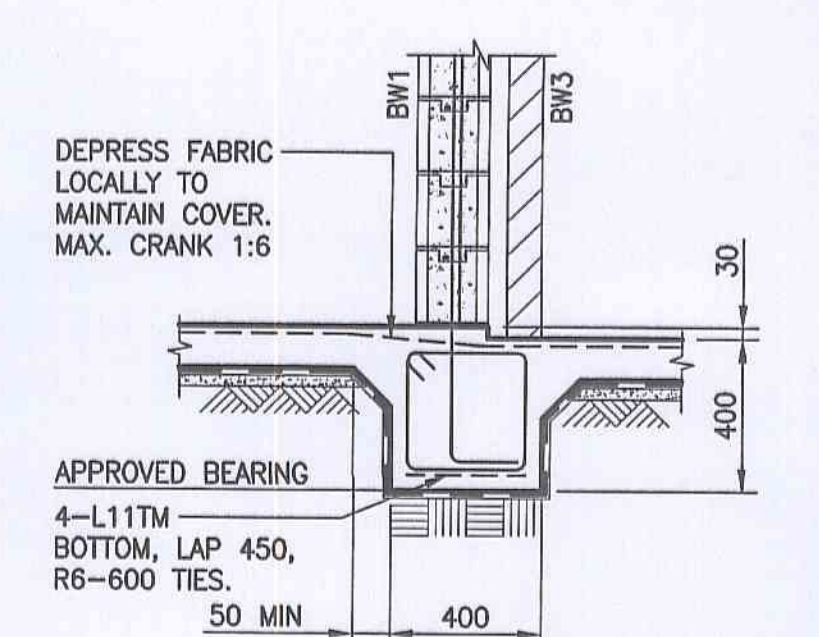
SECTION 3



DETAIL SF1



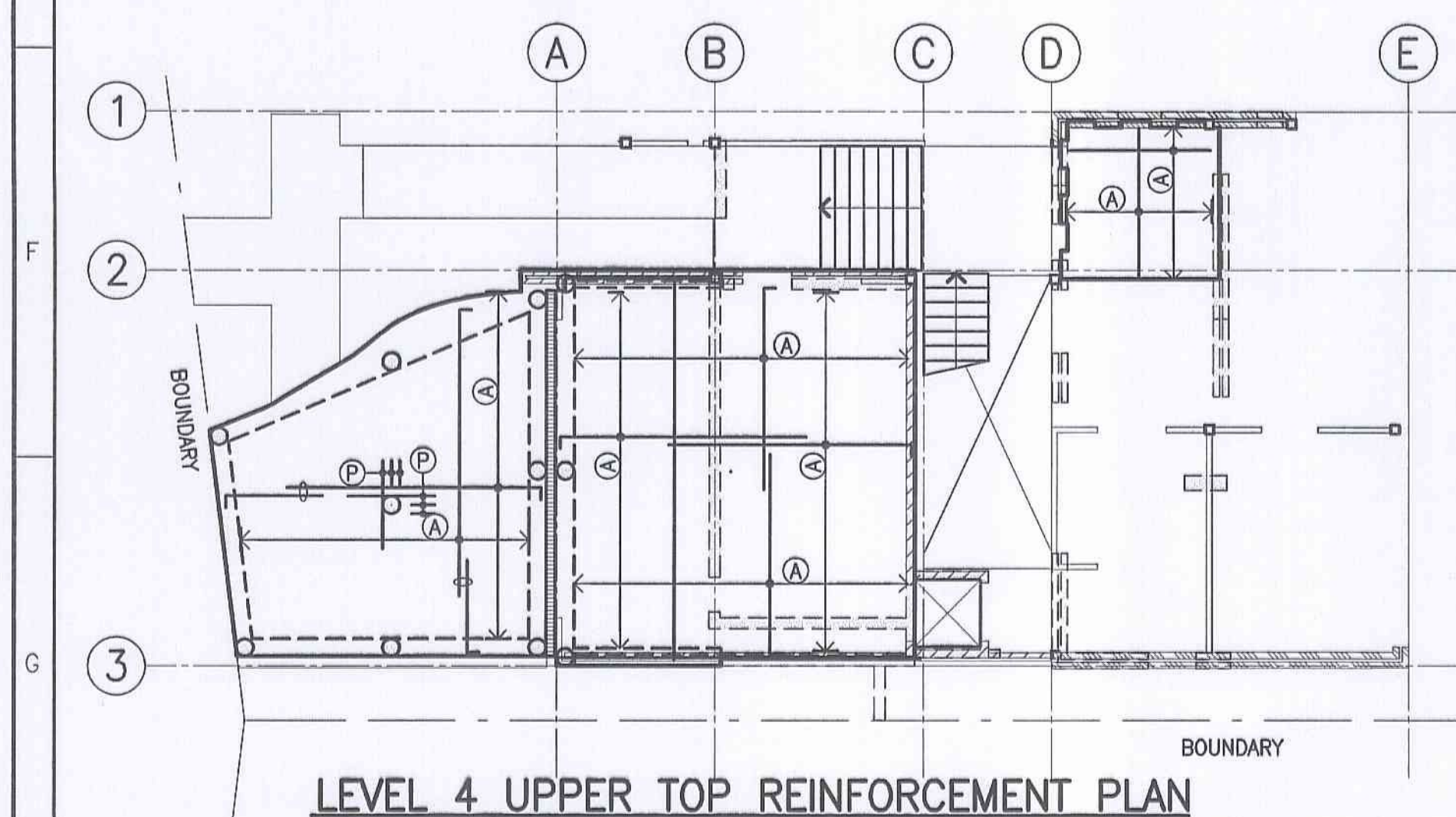
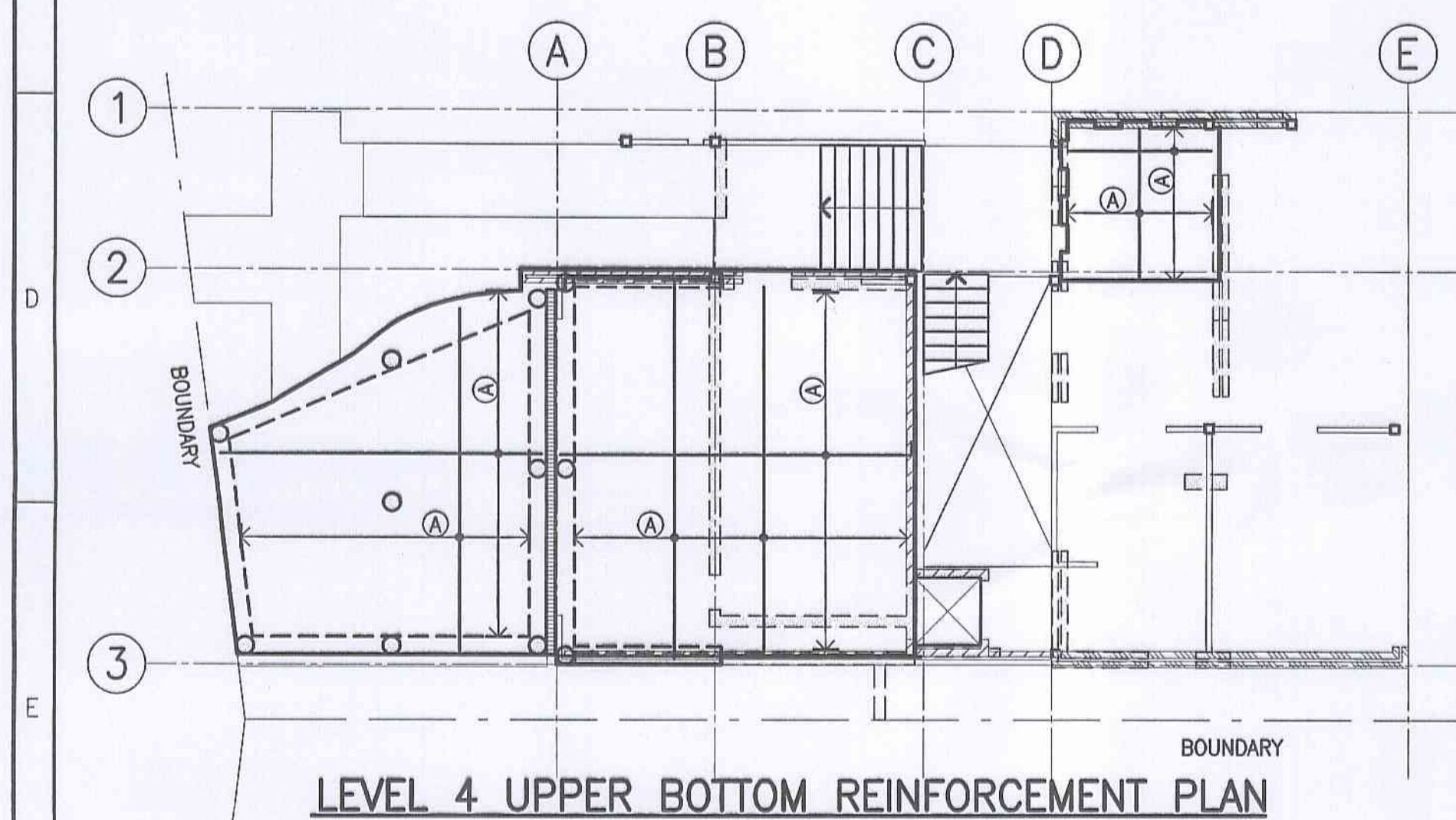
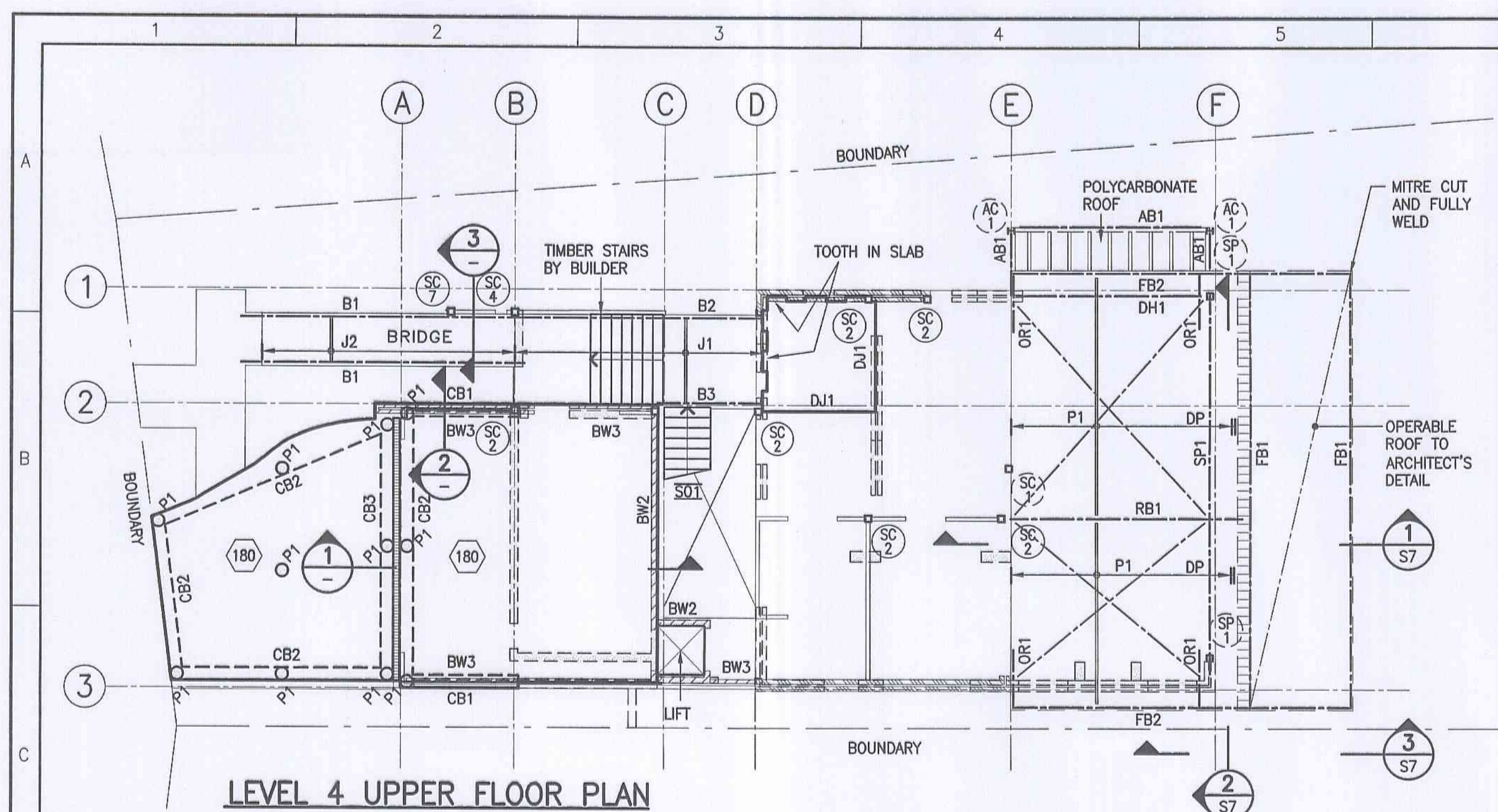
DETAIL ET1



DETAIL IT1

This plan forms part of the approved Certificate as issued by Fitzgerald Building Certifiers Pty Limited

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REINFORCEMENT SCHEDULE

MARK	SIZE
(A)	N16-200
(P)	3N12-100 EXTRA 1500 LONG

FOR THE BARS NOT SHOWN REFER TO DWG S1 CONSTRUCTION NOTE C14.
FOR SLABS ON GROUND, FIX ALL TOP BARS TO UNDERSIDE OF FABRIC

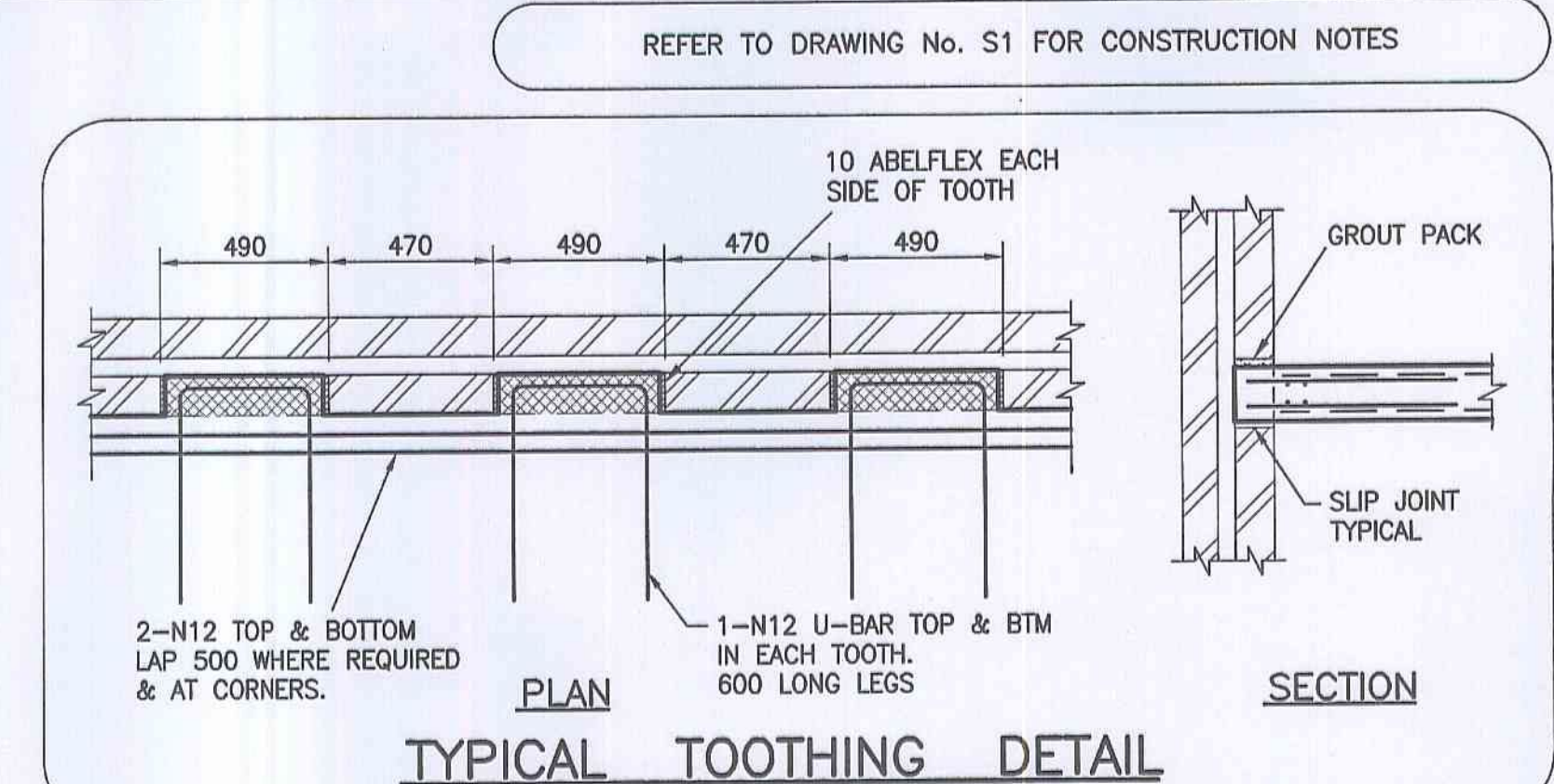
MEMBER SCHEDULE

MARK	SIZE
SP1	STEEL PORTAL FRAME. REFER DRAWING S7
SC1	89 x 89 x 6 SHS
SC2	75 x 75 x 6 SHS
SC4	89 x 89 x 6 SHS
SC7	89 x 89 x 6 SHS + 20 THICK x 75 WIDE PLATE
AC1	100 UC 15 SHOP WELDED TO AB1 FRAME
AB1	100 UC 15 SHOP WELDED FRAME
B1	250 PFC
B2	250 PFC
B3	230 PFC
DH1	2 / 200 x 45 "SMARTFRAME" LVL
J1	200 x 45 "SMARTFRAME" LVL AT 450 CTRS
J2	140 x 45 F14 SEASONED HARDWOOD AT 400 CTRS
RB1	200 UB 25
FB1	250 PFC
FB2	250 UC 73
OR1	250 PFC
P1	C20019 AT 600 CRS
DP	DOUBLE PURLIN

NOTE:
REFER TO STEEL NOTES DWG S1 FOR FABRICATION REQUIREMENTS AND SURFACE TREATMENT U.N.O.
HOT DIP GALVANISE AC1, AB1, SC4, FB1, FB2, OR1, B1.

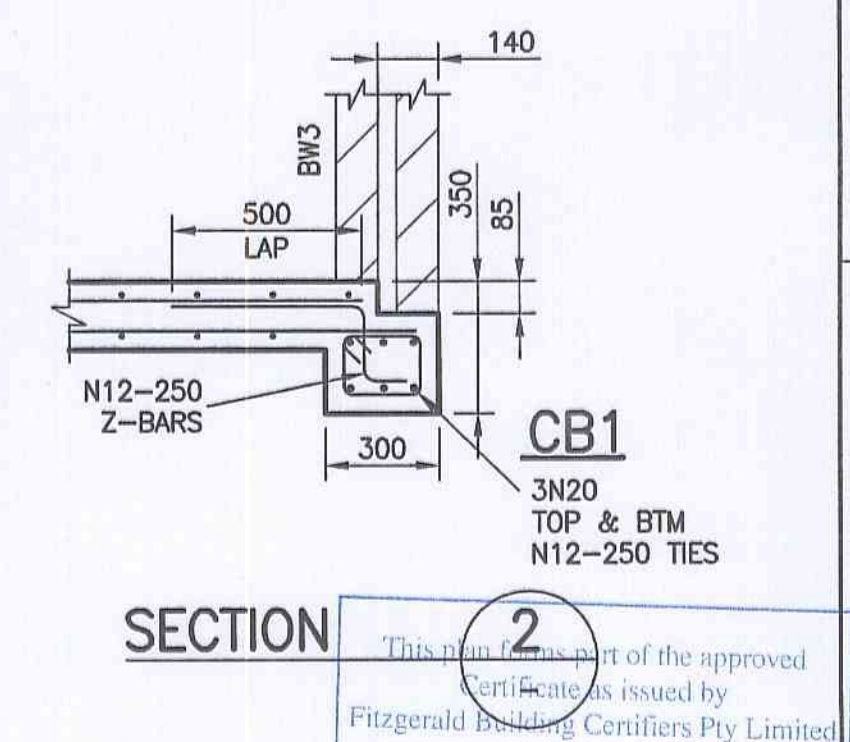
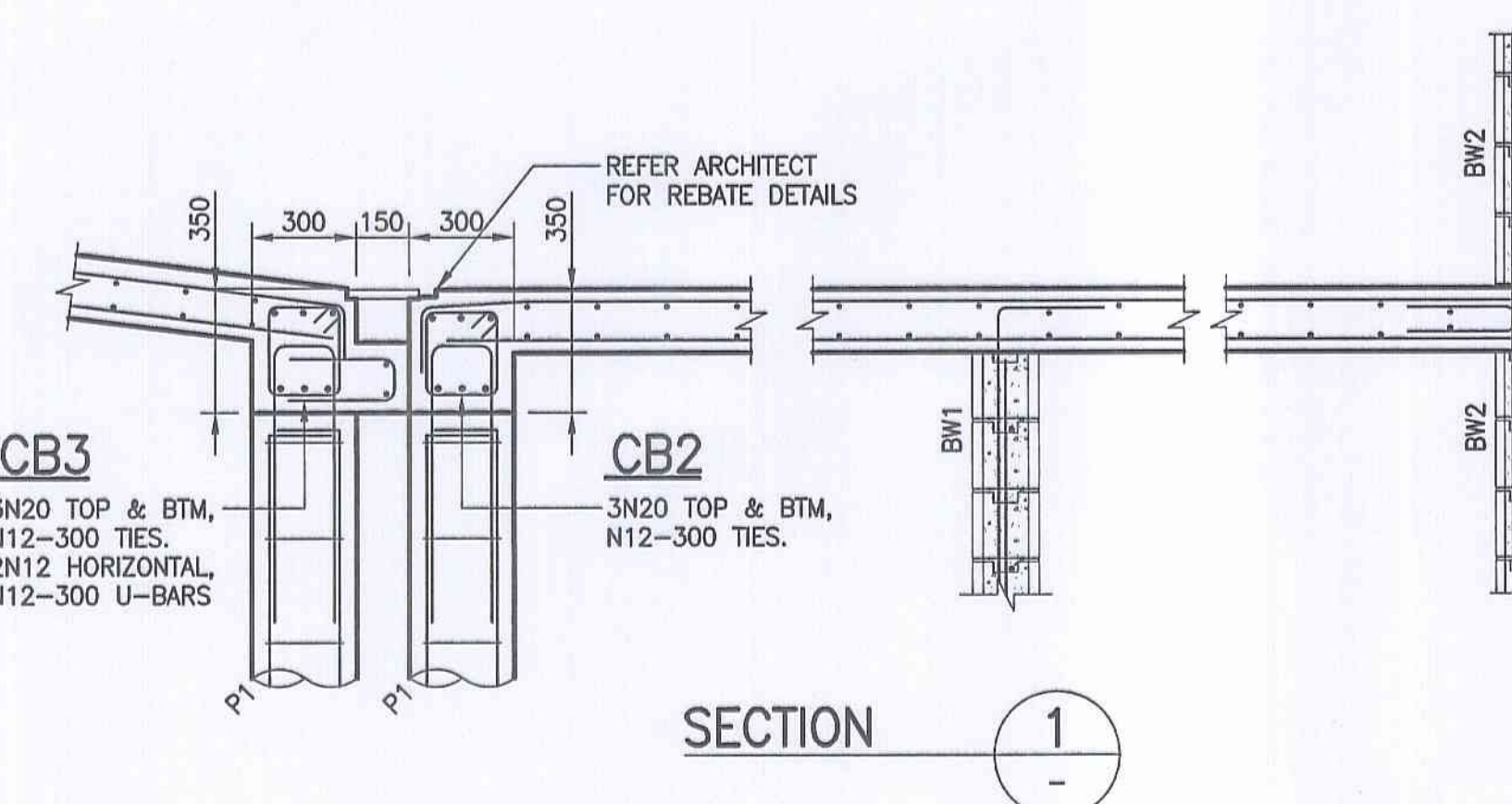
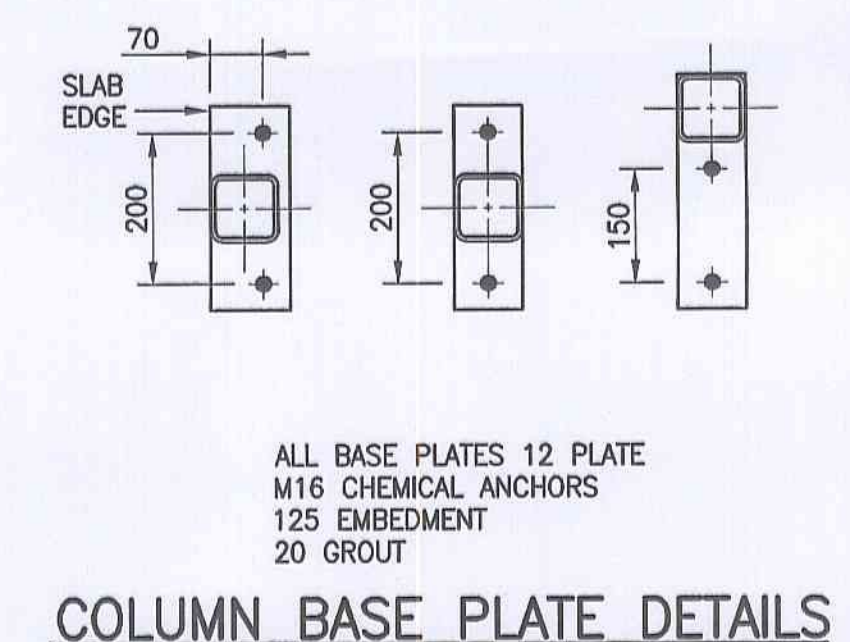
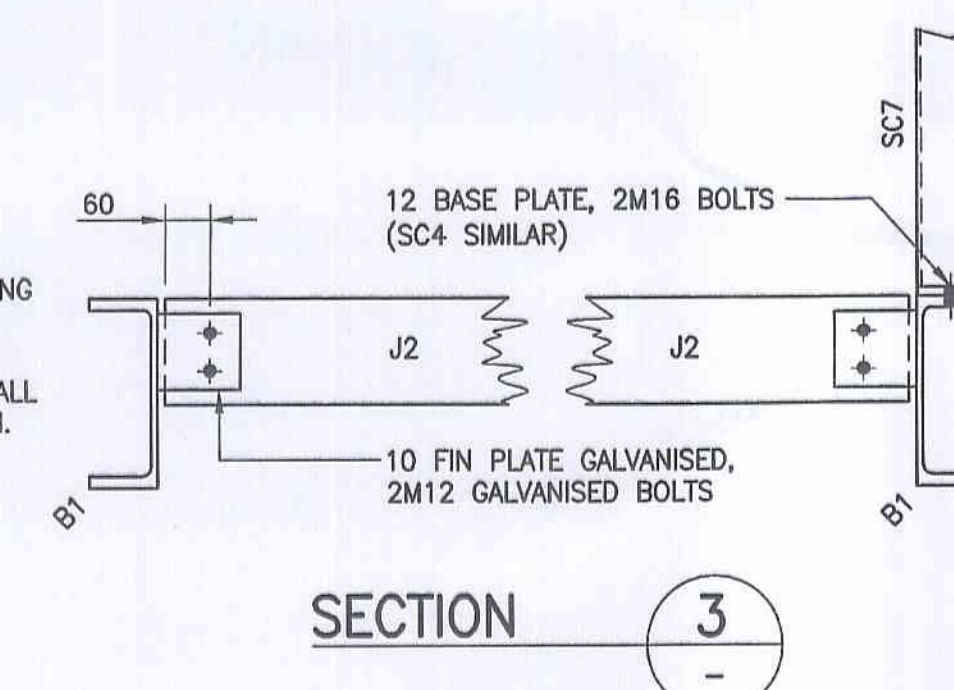
LEGEND:

- (150) - DENOTES SLAB THICKNESS
- (SC 1) - DENOTES COLUMN/POST STARTS OVER REFER MEMBER SCHEDULE
- (SC 2) - DENOTES COLUMN/POST TERMINATES UNDER REFER MEMBER SCHEDULE
- - DENOTES LOAD BEARING WALLS UNDER
- - DENOTES BRICK WALLS OVER
- - DENOTES STUD/LIGHTWEIGHT WALLS OVER
- - DENOTES REINFORCED CONCRETE BLOCK WALLS ALL CORES FILLED.
- - DENOTES EXISTING WALLS.
- X - PROVIDE 30 x 0.8 GALVANISED HOOP IRON BRACING EQUAL TO PRYDA S8063/30. WRAP AROUND END PURLINS & FIX EACH END WITH 3 "TEX" SCREWS TYPICAL. PROVIDE STRAP TENSIONER TO REMOVE ALL SLACK. THEN FIX STRAP TO TOP OF EACH PURLIN.



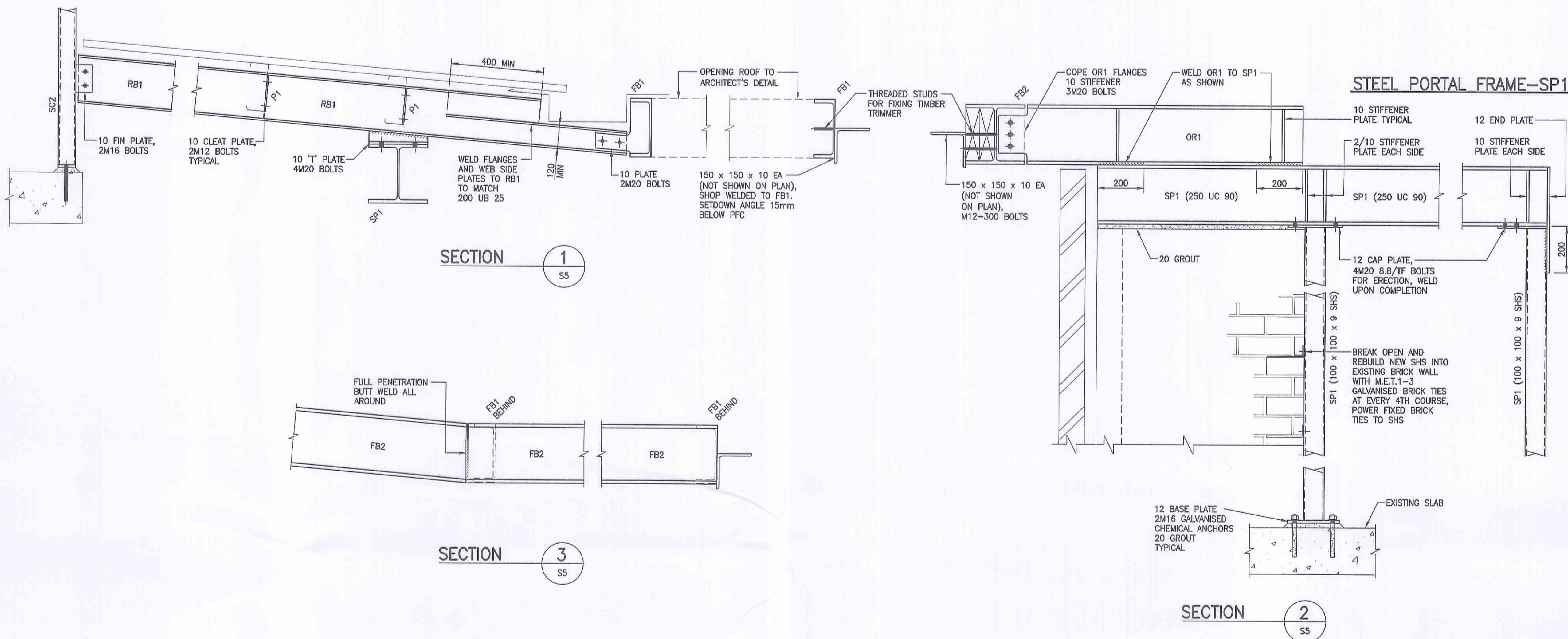
BAR SIZE	SLAB & WALL LAPS	BEAM LAPS	BAR COGS
N12	400	400	180
N16	600	600	210
N20	800	900	260
N24	1100	1200	310
N28	1400	1500	360
N32	1700	1900	400

LAPS ARE MINIMUM U.N.O.



DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS										Rev. Issue/Amendment										By App. Date										Rev. Issue/Amendment										By App. Date										Client										Project										ELECTRONIC SIGNATURE																																																	
© 2011 PARTRIDGE PARTNERS PTY. LTD. ABN 73 503 451 005 Covered by these drawings and drawings is issued as Partridge Partners Pty Ltd. and drawings and drawings are not to be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the written permission of Partridge Partners Pty Ltd. Any unauthorized reproduction or transmission of these drawings or any parts thereof is a breach of the Copyright Act 1969 and may be prosecuted.										P1 PRELIMINARY ISSUE										IGS AD 06.12.11																														COLIN AND LEREE RODEN										ALTERATIONS AND ADDITIONS										ELECTRONIC SIGNATURE																																																	
										P2 PRELIMINARY ISSUE										IGS AD 13.12.11																																								26 CABARITA ROAD										Signature Date																																																	
										P3 PRELIMINARY ISSUE										IGS AD 15.12.11																																								AVALON										Designed A.D.																																																	
										P4 PRELIMINARY ISSUE										LA AD 14.02.12																																																		Title																																																	
										P5 ISSUED FOR COMMENT										JR AD 27.02.12																																																		LEVEL 4 UPPER FLOOR										Scale at A1																																							
										P6 ISSUED FOR TENDER										JR AD 29.02.12																																																		SLAB & LOWER ROOF FRAMING										1:100, 1:20, 1:10																																							
										P7 ISSUED FOR COSTING										JR AD 07.03.12																																																		PLANS AND DETAILS										Job No.																																							
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REFER TO DRAWING No. S1 FOR CONSTRUCTION NOTES



This plan forms part of the approved Certificate as issued by Fitzgerald Building Certifiers Pty Limited

FOR PRICING FOR CONSTRUCTION

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS

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This drawing and details shown on this drawing are intended to be used as a guide only. The client is responsible for ensuring that the drawing is used in accordance with the relevant standards and specifications. The client is responsible for ensuring that the drawing is used in accordance with the relevant standards and specifications. The client is responsible for ensuring that the drawing is used in accordance with the relevant standards and specifications.

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Rev.	Issue/Amendment	By	App.	Date	Rev.	Issue/Amendment	By	App.	Date
P1	PRELIMINARY ISSUE	IGS	AD	06.12.11					
P2	PRELIMINARY ISSUE	IGS	AD	13.12.11					
P3	PRELIMINARY ISSUE	IGS	AD	15.12.11					
P4	PRELIMINARY ISSUE	LA	AD	14.02.12					
P5	ISSUED FOR COMMENT	JR	AD	27.02.12					
P6	ISSUED FOR TENDER	JR	AD	29.02.12					
P7	ISSUED FOR COSTING	JR	AD	07.03.12					



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Email: partridge@partridge.com.au
Web: www.partridge.com.au

Client
COLIN AND LEREE RODEN

Architect

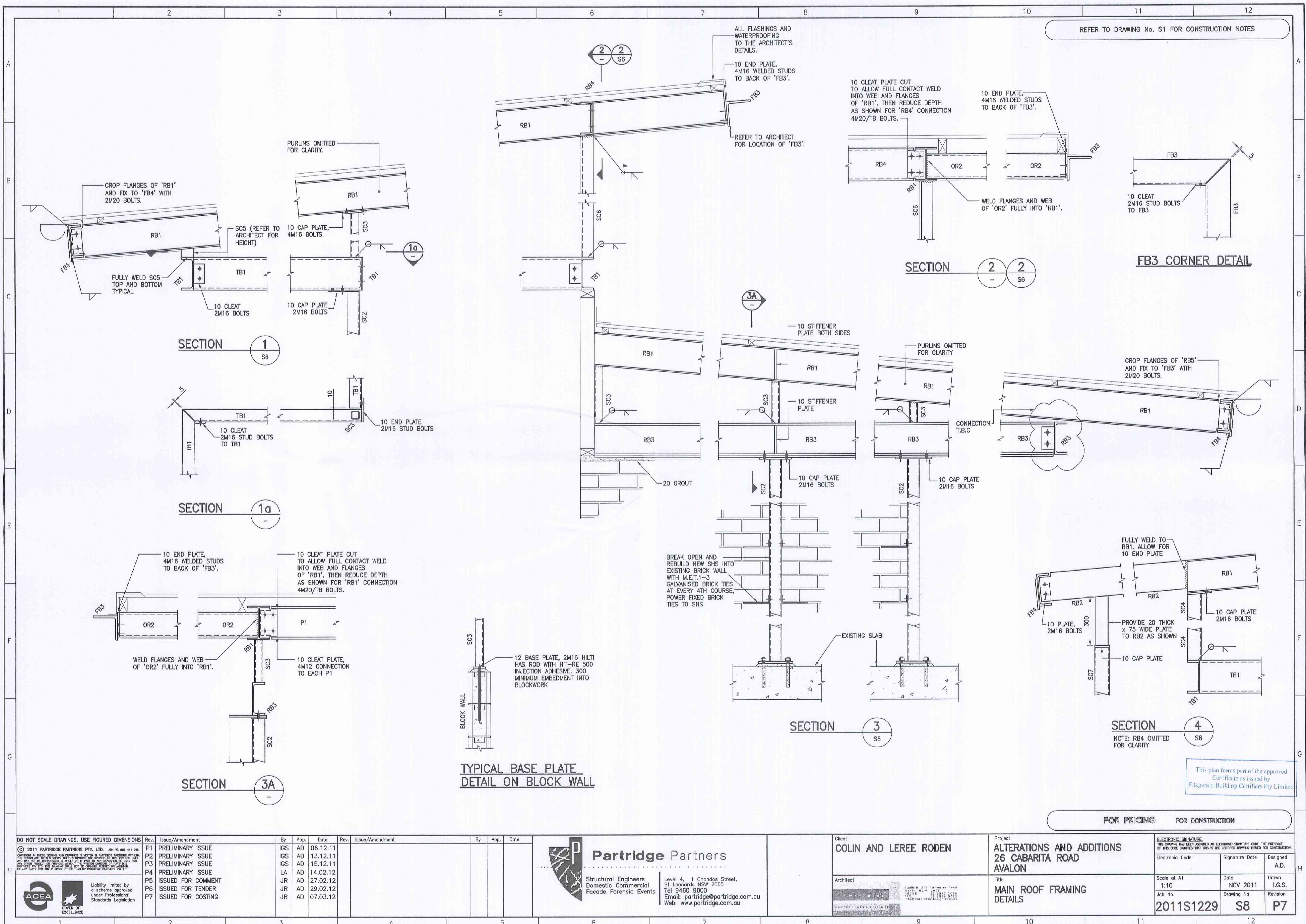
Studio B 288 Pittwater Road
Pittwater NSW 2264
Phone 02 9371 1016
Fax 02 9371 0821
info@studio-b.com.au

Project
**ALTERATIONS AND ADDITIONS
26 CABARITA ROAD
AVALON**

Title
**ROOF FRAMING AT LEVEL 4
DETAILS**

ELECTRONIC SIGNATURE
THIS DRAWING HAS BEEN ASSIGNED AN ELECTRONIC SIGNATURE CODE. THE PRESENCE OF THIS CODE SIGNIFIES THAT THIS IS THE CERTIFIED DRAWING ISSUED FOR CONSTRUCTION.

Electronic Code	Signature Date	Designed A.D.
2011S1229	NOV 2011	IGS
Job No.	Drawing No.	Revision
2011S1229	S7	P7



BASI® Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A121809

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 29/9/2006 published by Department of Planning. This document is available at www.basix.nsw.gov.au

Director-General
Date of issue: Thursday, 01, September 2011



Project address	
Project name	26 Cabarita Rd
Street address	26 Cabarita Road Avalon 2107
Local Government Area	Pittwater Council
Plan type and number	Deposited Plan 17704
Lot number	10
Section number	0
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).
This plan forms part of the approved Certificate as issued by Gerald Building Certifiers Pty Limited	
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	
ABN (if applicable):	

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Hot water			
The applicant must install the following hot water system in the development: solar (gas-boosted) system that is eligible to create Renewable Energy Certificates under the (Commonwealth) Renewable Energy (Electricity) Regulations 2001 (incorporating Amendment Regulations 2005 (No. 2)).	✓	✓	✓
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction			
concrete slab on ground floor.	nil		
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)		
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)		
floor above existing dwelling or building.	nil		
external wall: cavity brick	nil		
external wall: reverse brick veneer	R1.16 (or R1.70 including construction)		
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
internal wall shared with garage: single skin masonry (R0.18)	nil		
raked ceiling, pitched/skillion roof: framed	ceiling: R2.24 (up), roof: foil backed blanket (55 mm)	dark (solar absorptance > 0.70)	

Glazing requirements

Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
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Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
W1.01	N	0.999	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W1.03	E	8.211	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
W1.04	N	1.713	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W1.05	E	9.06	0	0	eave/verandah/pergola/balcony	timber or uPVC, single clear, (or U-value: 7.63, SHGC: 0.75)			

Glazing requirements

Glazing requirements					Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type	
			Height (m)	Distance (m)			
W2.01	N	2.189	0	0	>=750 mm eave/verandah/pergola/balcony >=900 mm	5.71, SHGC: 0.66) standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W2.02	N	1.04	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W2.03	N	1.04	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W2.04	E	8.258	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)	
W2.05	E	8.093	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)	
W2.06	S	1.864	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W2.07	N	1.654	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)	
W3.01	N	1.238	0	0	projection/height above sill ratio >=0.36	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W3.02	N	1.238	0	0	projection/height above sill ratio >=0.36	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W3.03	N	9.226	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)	
W3.04	E	20.72	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)	
W3.05	S	1.68	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W3.06	S	1.56	0	0	none	standard aluminium, single clear, (or	

Glazing requirements

Glazing requirements					Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type	
W3.07	W	1.238	0	0	eave/verandah/pergola/balcony ≥900 mm	U-value: 7.63, SHGC: 0.75) standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W3.08	N	5.237	0	0	eave/verandah/pergola/balcony ≥900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)	
W3.09	N	1.432	0	0	eave/verandah/pergola/balcony ≥900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W4.01	W	3.281	0	0	eave/verandah/pergola/balcony ≥900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W4.02	N	2.042	0	0	projection/height above sill ratio ≥0.36	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)	
W4.03	N	2.76	0	0	eave/verandah/pergola/balcony ≥750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W4.04	N	6.01	0	0	projection/height above sill ratio ≥0.36	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)	
W4.05	N	2.8	0	0	external louvre/blind (adjustable)	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)	
W4.06	E	8.2	0	0	eave/verandah/pergola/balcony ≥900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)	
W4.07	E	3.2	0	0	eave/verandah/pergola/balcony ≥900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)	
W4.08	E	1.495	0	0	eave/verandah/pergola/balcony ≥900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)	
W4.09	E	5.647	0	0	eave/verandah/pergola/balcony ≥900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W4.10	S	2.978	0	0	eave/verandah/pergola/balcony	standard aluminium, single clear, (or	

Glazing requirements

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type		
			Height (m)	Distance (m)				
					>=450 mm	U-value: 7.63, SHGC: 0.75		

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.