

BASIX REQUIREMENTS

TO BE READ IN CONJUNCTION WITH THE BASIX CERTIFICATE No: 936038S_03
WATER COMMITMENTS

ROOF AREA TO TANK TO BE CONNECTED TO: ALL TOILETS, LAUNDRY & AT LEAST 1 OUTDOOR TAP	
ROOF AREA TO RAINWATER TANK (MINIMUM)	50 sq.m.
WATER STORAGE TANK CAPACITY	2,000 MIN. LITRES
NEW SHOWER HEAD MINIMUM RATING	3 STAR RATING
NEW TOILET MINIMUM RATING	3 STAR RATING
ALL NEW TAP FITTINGS MINIMUM RATING	3 STAR RATING
INDIGENOUS OR LOW WATER USE SPECIES OF VEGETATION	0.0 sq.m.

ENERGY COMMITMENTS

HOT WATER SERVICE TO BE GAS INSTANTANEOUS WITH A PERFORMANCE OF 4.5 STARS OR BETTER.
COOLING SYSTEM IN AT LEAST 1 LIVING AREA & 1 BEDROOM: CEILING FANS + 3-PHASE A/C; EER 3.0-3.5
HEATING SYSTEM IN AT LEAST 1 LIVING AREA & 1 BEDROOM: 3-PHASE A/C; EER 3.0-3.5
THE FOLLOWING EXHAUST SYSTEMS MUST BE INSTALLED:
AT LEAST 1 BATHROOM: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; OPERATION CONTROL: MANUAL SWITCH ON/OFF.
KITCHEN: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; OPERATION CONTROL: MANUAL SWITCH ON/OFF.
LAUNDRY: NATURAL VENTILATION ONLY.
THE FOLLOWING ROOMS REQUIRE "DEDICATED" LED LIGHTING: AT LEAST 5 BEDROOMS/STUDY,
AT LEAST 3 LIVING/DINING ROOMS, THE KITCHEN, ALL BATHROOMS/TOILETS, THE LAUNDRY, ALL HALLWAYS.
A WINDOW AND/OR SKYLIGHT MUST BE INSTALLED IN THE FOLLOWING ROOMS: THE KITCHEN & 4 BATHROOMS/TOILETS.
GAS COOKER WITH ELECTRIC OVEN TO BE INSTALLED.
FIXED OUTDOOR CLOTHES DRYING LINE TO BE INSTALLED.

ABSA THERMAL NOTES

TO BE READ IN CONJUNCTION WITH NaTHERS CERTIFICATE No: 0002873016-01

CONSTRUCTION:	WALLS TO BE FIBRO CAVITY PANEL ON BATTENS, ROOF TO BE CORRUGATED IRON, FLOOR TO BE SUSPENDED TIMBER FLOOR + CONCRETE SLAB ON GROUND
INSULATION:	R2.5 WALL INSULATION, R4.0 CEILING INSULATION, R3.0 FLOOR INSULATION
GLAZING:	ALM-001-03 A ALUMINIUM A SG HIGH SOLAR GAIN LOW-E & ALM-001-03 A ALUMINIUM B SG HIGH SOLAR GAIN LOW-E



SITE CRITERIA

No.66 ADAMS STREET, CURL CURL N.S.W. 2096
LOT 2 D.P. 35951

SITE AREA	639.7	sq. m.
EXISTING HARDSTAND	385.3	sq. m.
EXISTING SOFT OPEN SPACE	254.4	sq. m.
PROPOSED DRIVEWAY AREA	34.4	sq. m.

PROPOSED CONCRETE SLAB FLOOR AREA	47.8	sq. m.
PROPOSED FLAT ACCOMODATION AREA	60.0	sq. m.
PROPOSED TOTAL GROUND FLOOR AREA	192.7	sq. m.
PROPOSED GROUND FLOOR FRONT DECK AREA	25.4	sq. m.
PROPOSED GROUND FLOOR REAR DECK AREA	30.0	sq. m.

PROPOSED TOTAL FIRST FLOOR AREA	123.4	sq. m.
PROPOSED FIRST FLOOR FRONT DECK AREA	19.2	sq. m.

2 CAR PARKING SPACES PROVIDED IN GARAGE

POST DEVELOPMENT HARDSTAND	365.9	sq. m.
POST LANDSCAPED AREA > 2.0m WIDE (SEE LANDSCAPE PLAN)	258.5	sq. m. (40.4%)
DWELLING ROOF AREA	325.3	sq. m.
OTHER PAVED AREAS (SEE LANDSCAPE PLAN)	53.5	sq. m.
TOTAL PROPOSED O.S.D. IMPERVIOUS AREA	378.8	sq. m. (59.2%)

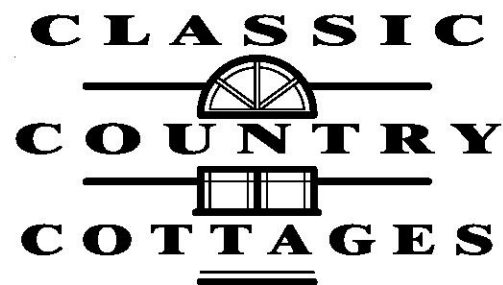
GENERAL NOTES AND BCA COMPLIANCE

- EARTHWORKS METHOD OF EXCAVATION AND FILL TO COMPLY WITH PART 3.1.1. B.C.A.
- TERMITE RISK MANAGEMENT TO COMPLY WITH PART 3.1.3 OF THE B.C.A. AND AS3660-1
- FOOTINGS AND SLABS TO COMPLY WITH PART 3.2 OF THE B.C.A. , AS2870 AND ENGINEERS DETAILS
- MASONARY CONSTRUCTION TO COMPLY WITH PART 3.3 OF THE B.C.A. AND AS3700
- TIMBER FRAMING TO COMPLY WITH PART 3.4 OF THE B.C.A. AND AS1684
- GLAZING TO COMPLY WITH PART 3.6 OF THE B.C.A. AND AS1288
- SMOKE ALARMS TO COMPLY WITH PART 3.7.2 OF THE B.C.A. AND AS3786
- STAIR CONSTRUCTION TO COMPLY WITH PART 3.9.1 OF THE B.C.A.
- BALUSTRADES AND OTHER BARRIERS TO COMPLY WITH PART 3.9.2 OF THE B.C.A.
- NATURAL LIGHT TO COMPLY WITH PART 3.8.4 OF THE B.C.A.
- VENTILATION TO COMPLY WITH PART 3.8.5 OF THE B.C.A.
- ALL DAMP AND WEATHERPROOFING TO COMPLY WITH PART 3.8 OF THE B.C.A.
- ROOFING TO COMPLY WITH PART 3.5.1 OF THE B.C.A. AND AS/NZ1562
- FLOOR SURFACES OF WATER CLOSETS, SHOWER COMPARTMENTS AND THE A LIKE TO BE OF MATERIALS IMPERVIOUS TO MOISTURE AND WALLS FINISHED WITH AN APPROVED IMPERVIOUS FINISH TO COMPLY WITH THE REQUIREMENTS OF PART 3.8 OF THE B.C.A. AND AS3740
- CLOTHS WASHING, DRYING AND COOKING FACILITIES TO BE PROVIDED TO COMPLY WITH PART 3.8.3 OF THE B.C.A.

ABOVE NOTES TO BE READ IN-CONJUNCTION WITH THE ARCHITECTURAL PLANS AND THE STRUCTURAL ENGINEERS DETAILS

NOTES:-

1. ALL GLAZING TO WINDOWS & DOORS SHALL BE IN ACCORDANCE WITH THE BASIX REPORT.
2. EXTERNAL WALL CLADDING SHALL BE SELECTED PLANK CLADDING WITH A SPECIFIED PAINTED COLOUR FINISH.
3. AN APPROVED RATED INSULATION TO ALL EXTERNAL TIMBER FRAMED WALLS IN ACCORDANCE WITH THE BASIX REPORT.
4. AN APPROVED RATED INSULATION MATERIAL TO BE PLACED IN THE CEILING SPACE WITHIN THE PERIMETER OF ALL EXTERNAL WALLS IN ACCORDANCE WITH THE BASIX REPORT.
5. AN APPROVED RATED CONDENSATION BLANKET PLACED UNDER ROOF SHEETING THRU-OUT IN ACCORDANCE WITH THE BASIX REPORT.
6. ROOF FINISHES TO BE IN ACCORDANCE WITH THE BASIX REPORT.
7. EXTERNAL WALL FINISHES TO BE IN ACCORDANCE WITH THE BASIX REPORT.
8. ALL WINDOWS AND DOORS TO HAVE WEATHER STRIPPING.
9. ALL WINDOWS & DOORS AS NOTED ON PLAN WITH SPECIFIED COLOUR FINISH.
10. ALL PAINTING TO OWNERS REQUIREMENTS.
11. ALL POWER OUTLETS & SWITCHES TO OWNERS REQUIREMENTS.
12. ALL GLAZING TO CODE AS1288
13. ALL PEST TREATMENT TO CODE AS3660.1-2000
14. SMOKE DETECTOR DENOTED SD ON PLAN TO BCA/39
15. ALL WATERPROOFING TO WET AREAS TO CODE AS3740
16. ALL TIMBER FRAMING TO CODE AS1684
17. ALL WORK CARRIED OUT TO BE IN ACCORDANCE WITH THE BCA.



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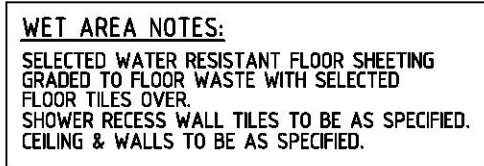
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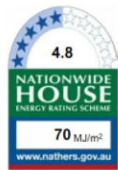
CLIENT:
MR. R. & MRS. M. LOWERY
SITE:
66 ADAMS STREET CURL CURL

PROPOSED NEW DWELLING:

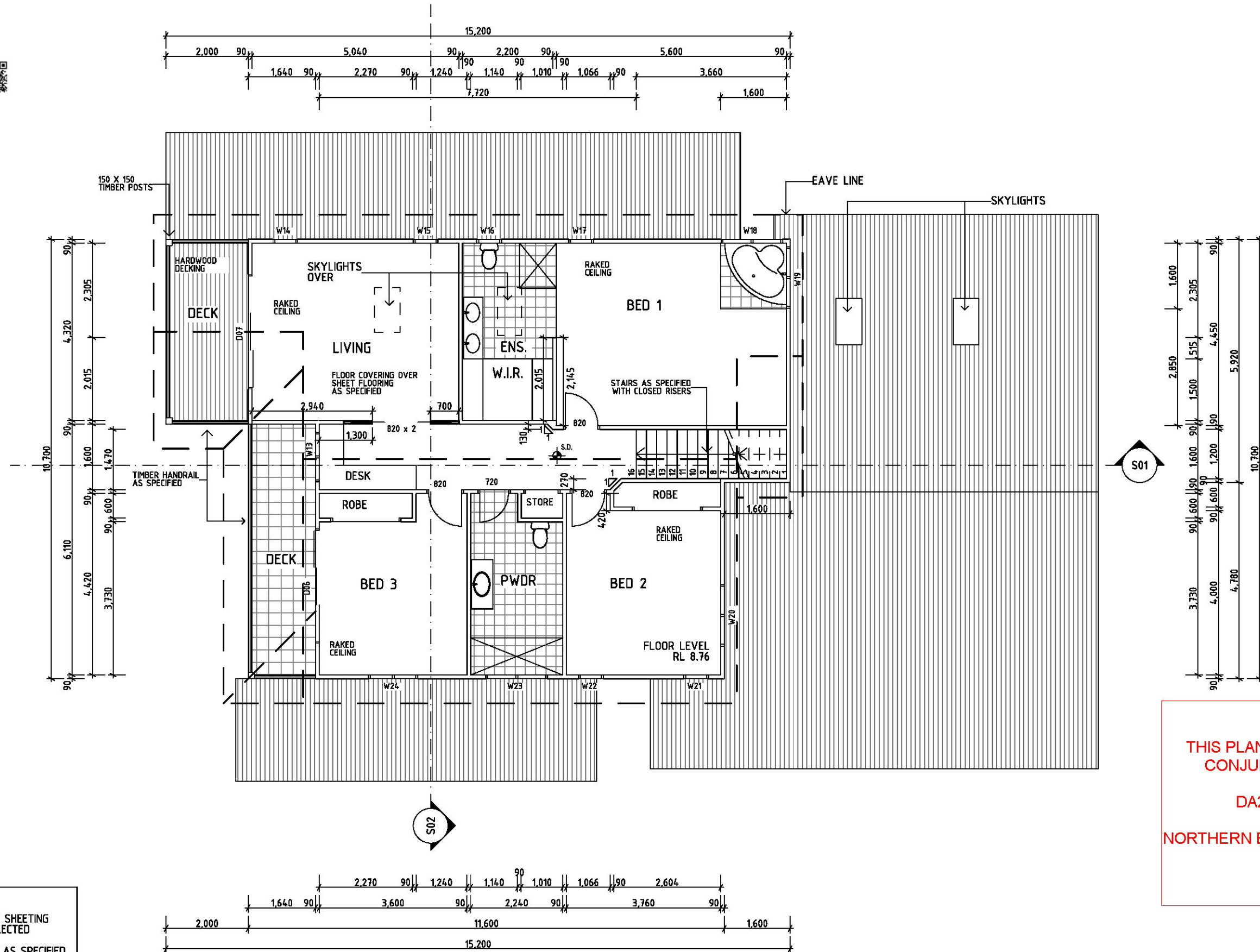
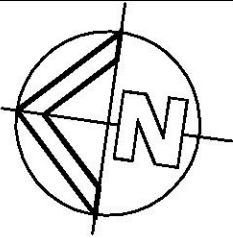
SITE PLAN

JOB No.	CC150	REV:	C	PAGE No.	01
DATE:	26/10/2018	SCALE:	1:200	DRAWN:	B. W.





Certificate no.: 0002873016-01
Assessor Name: Jamie Bonnefin
Accreditation no.: 100765
Certificate date: 25 Jun 2018
Dwelling Address: 66 Adams Street
Curl Curl, NSW
2096
www.nathers.gov.au

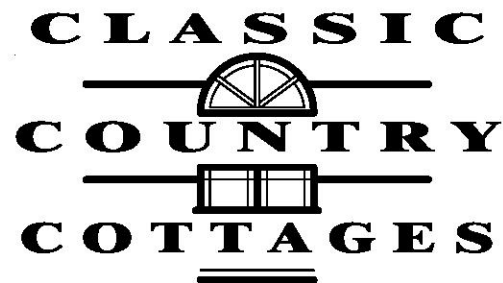


THIS PLAN TO BE READ IN
CONJUNCTION WITH

DA2018/1782

NORTHERN BEACHES COUNCIL

WET AREA NOTES:
SELECTED WATER RESISTANT FLOOR SHEETING
GRADED TO FLOOR WASTE WITH SELECTED
FLOOR TILES OVER.
SHOWER RECESS WALL TILES TO BE AS SPECIFIED.
CEILING & WALLS TO BE AS SPECIFIED.



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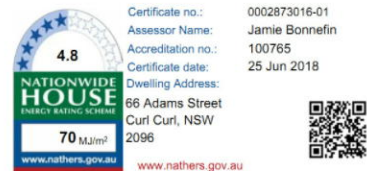
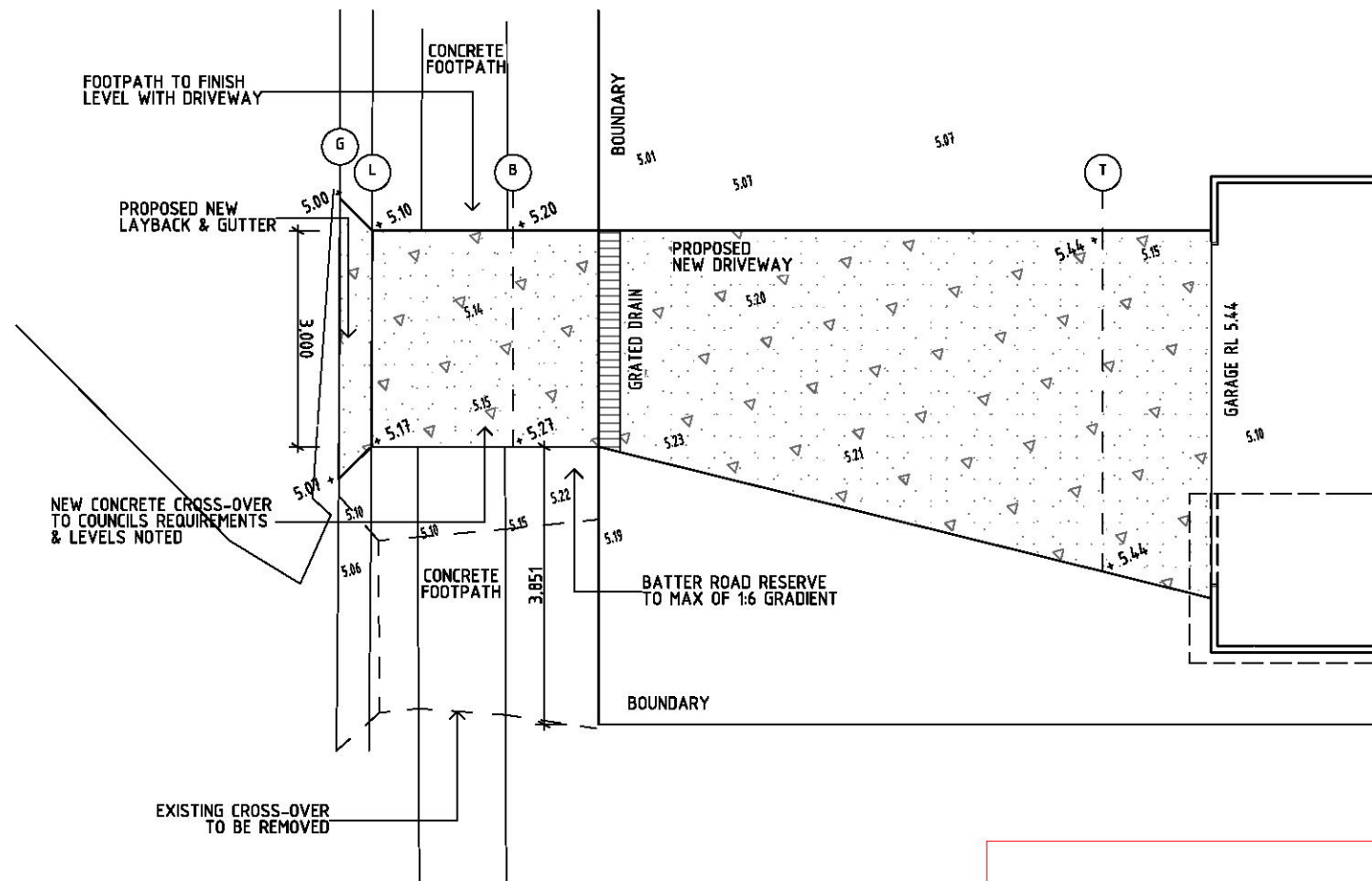
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PROPOSED NEW DWELLING:

FIRST FLOOR PLAN

JOB No.	CC150	REV:	C	PAGE No.	03
DATE:	26/10/2018	SCALE:	1:100	DRAWN:	B. W.



NOTE:-
DRIVEWAY & CROSS-OVER HAS BEEN DESIGNED TO BE IN ACCORDANCE WITH THE NORMAL STANDARD VEHICLE CROSSING PROFILE. FILL / CUT BATTERS ALONG NATURE STRIP TO CROSS-OVER TO NOT EXCEED 1:6 GRADIENT

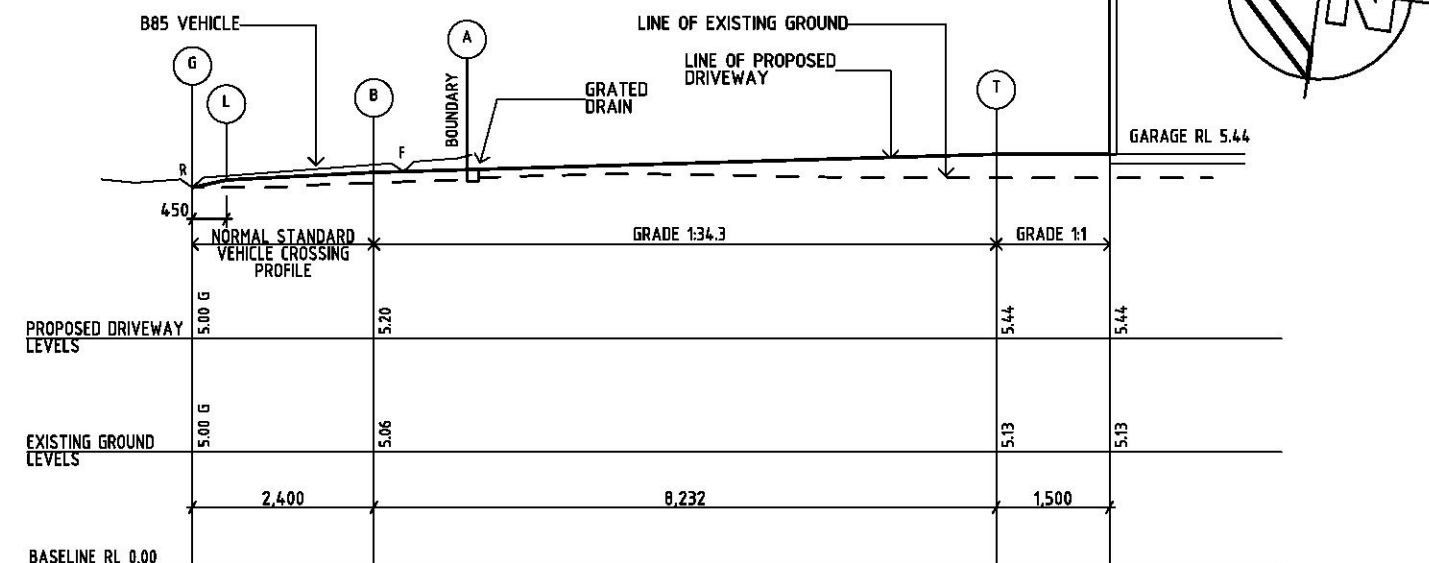
NOTE:-
DRIVEWAY CROSSOVER TO BE IN ACCORDANCE WITH THE COUNCIL'S CIVIL INFRASTRUCTURE WORKS, DEVELOPMENT & SUBDIVISION 2003 AND AUSTRALIAN STANDARD AS1428.1:2001-DESIGN FOR ACCESS AND MOBILITY & TO PROVIDE FOR FUTURE FOOTPATH

NOTE:-
INTERNAL DRIVEWAY FINISH IS TO BE STABLE SURFACE FOR ALL WEATHER CONDITIONS.

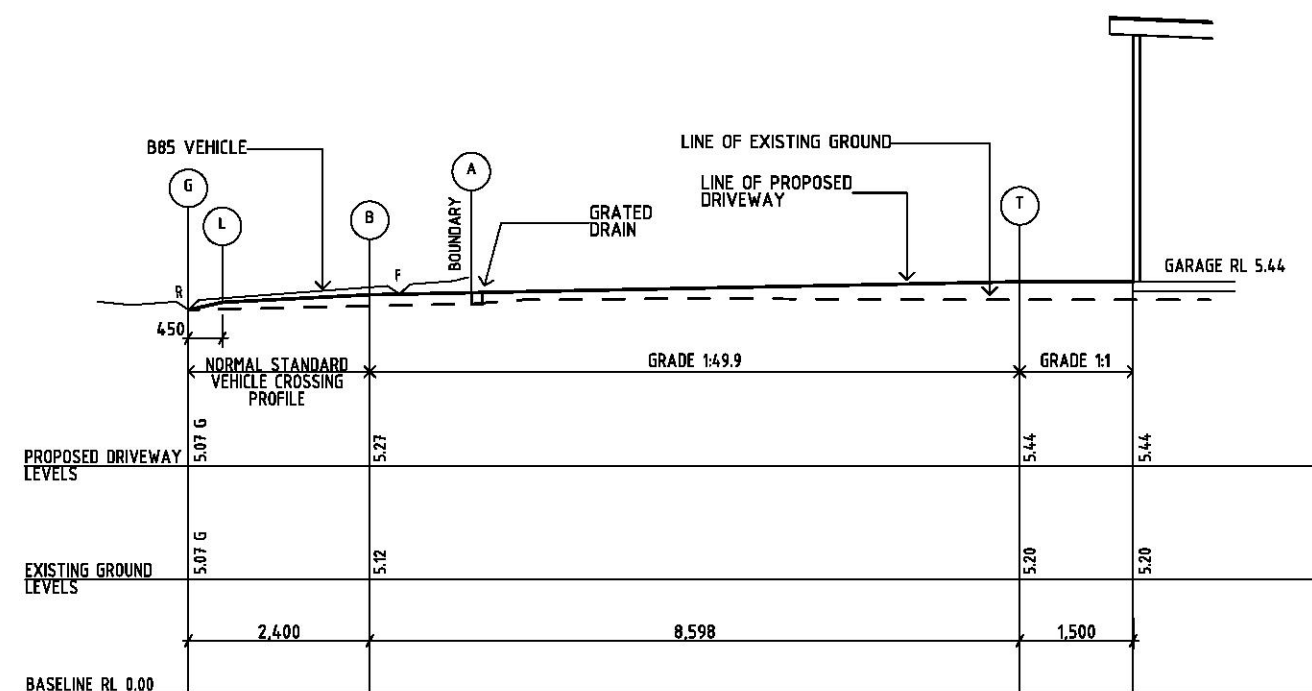
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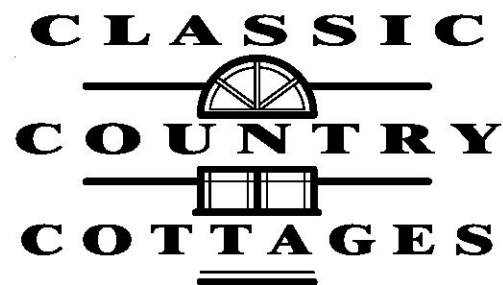
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LONGITUDINAL SECTION ON
EASTERN EDGE OF DRIVEWAY



LONGITUDINAL SECTION ON
WESTERN EDGE OF DRIVEWAY



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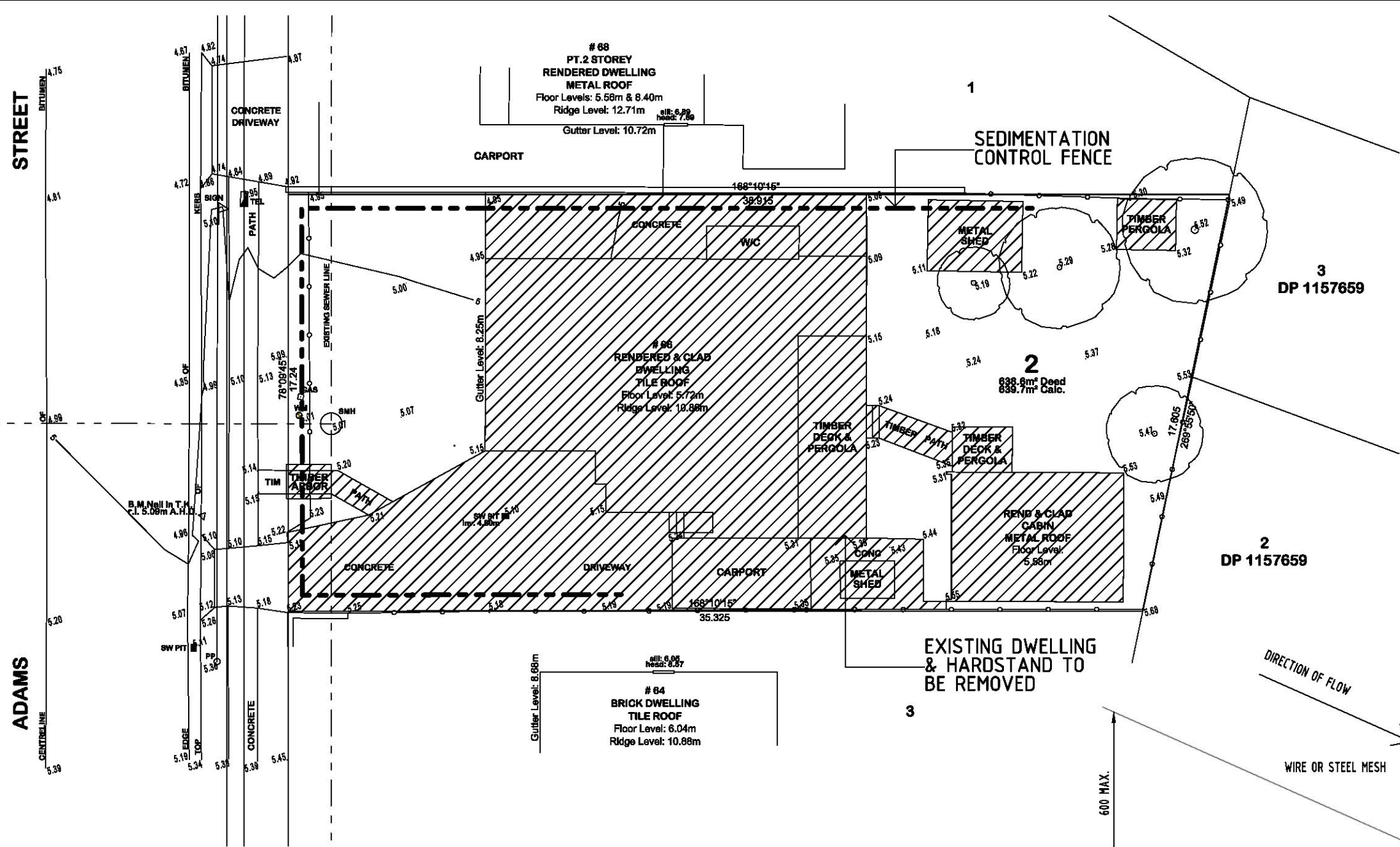
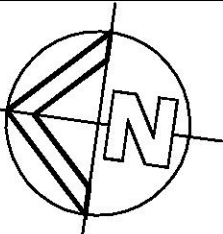
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SITE:
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PROPOSED NEW DWELLING:

DRIVEWAY SET-OUT PLAN

JOB No.	CC150	REV:	C	PAGE No.	07
DATE:	26/10/2018	SCALE:	1:100	DRAWN:	B. W.



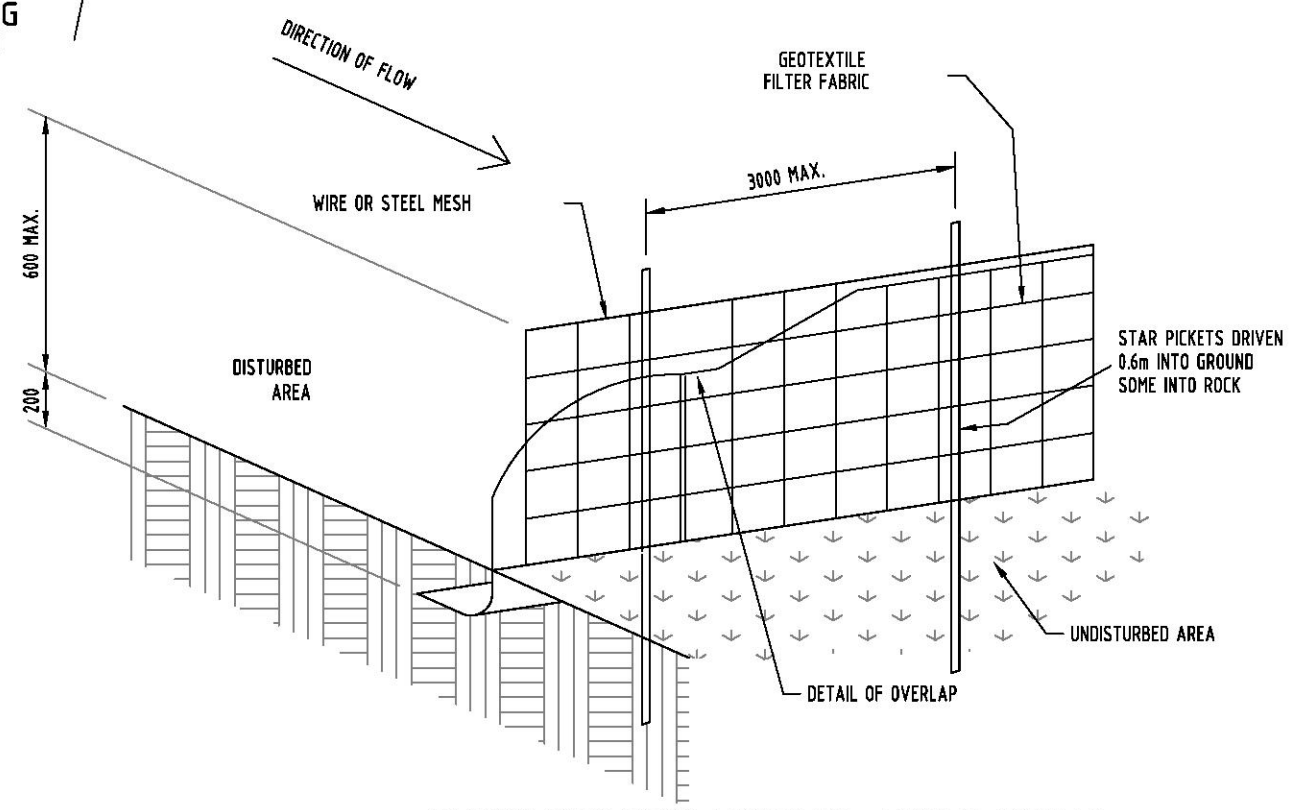
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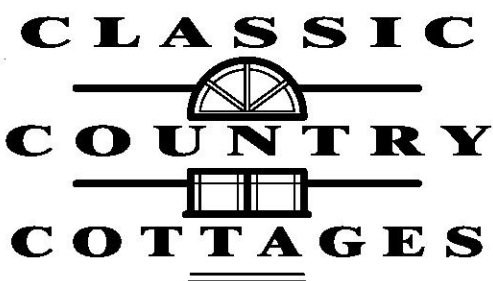
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SEDIMENT CONTROL:

1. INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATIONS INDICATED ON DRAWINGS AND AS OTHERWISE REQUIRED TO CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHILST AREAS OF THE SITE ARE EXPOSED TO EROSION.
2. CONTROL STRUCTURES TO BE AS DETAILED OR AS OTHERWISE REQUIRED.
3. REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING CONSTRUCTION.
4. IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION CONTROL OR BY COUNCIL REQUIREMENTS REFER TO "URBAN EROSION AND SEDIMENT CONTROL" GUIDELINES PREPARED BY THE DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT.



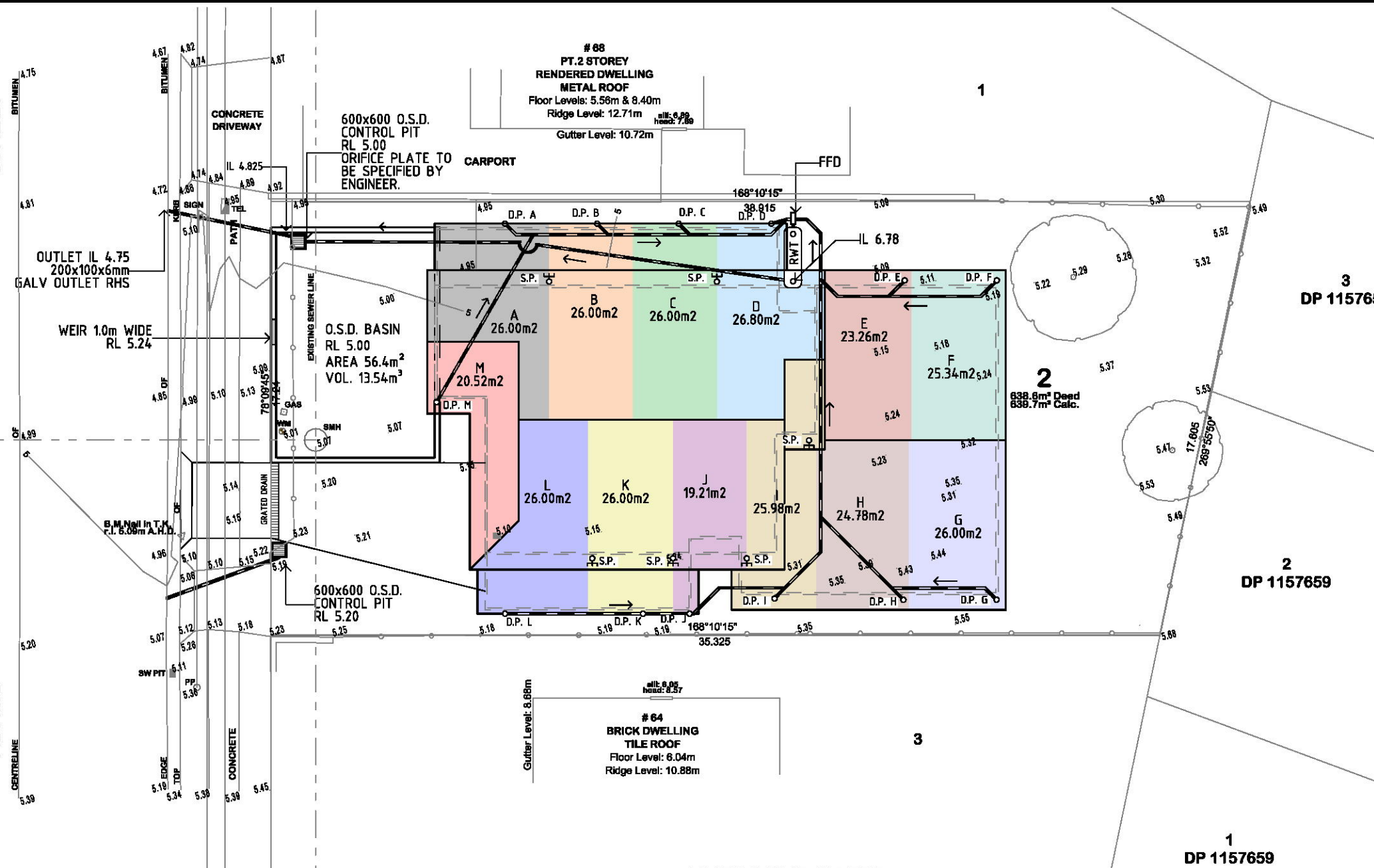
SEDIMENTATION CONTROL FENCE DETAIL
SCALE = N.T.S.



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STREET

ADAMS



RAINWATER TANK NOTES

1. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS. 3500.3.2.
2. THIS PLAN TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE 936038S_03
3. A TOTAL RAINWATER TANK STORAGE CAPACITY OF 2,000 LITRES IS PROVIDED VIA ONE SLIMLINE TANK CONSISTING OF AN APPROX SIZE 2,400mm LONG X 680mm WIDE X 1875mm HIGH WATER TANK CONNECTED TO THE FOLLOWING:
 - ALL TOILETS IN THE DEVELOPMENT.
 - THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHER IN THE DEVELOPMENT.
 - AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT (NOTED: NSW HEALTH DOES NOT RECOMMEND THAT RAINWATER BE USED FOR HUMAN CONSUMPTION.)
4. ALL PIPE AND DOWN PIPES TO BE PRESURE GRADE PIPES TO 500mm ABOVE MAXIMUM WATER LEVEL OF RAIN WATERTANKS.

NOTE: GUTTERS TO HAVE A MINIMUM CROSS SECTION OF 6,600mm²

THIS PLAN TO BE READ IN CONJUNCTION WITH
DA2018/1782
NORTHERN BEACHES COUNCIL



O.S.D. CALCULATIONS

RAIN WATER TANK STORAGE (MINIMUM)	=	2,000	LITRES
SITE AREA	=	639.7	sq. m.
ROOF CATCHMENT AREA	=	325.3	sq. m.
OTHER IMPERVIOUS AREAS (SEE LANDSCAPE PLAN)	=	53.5	sq. m.
TOTAL PROPOSED IMPERVIOUS AREA	=	378.8	sq. m. (59.2%)

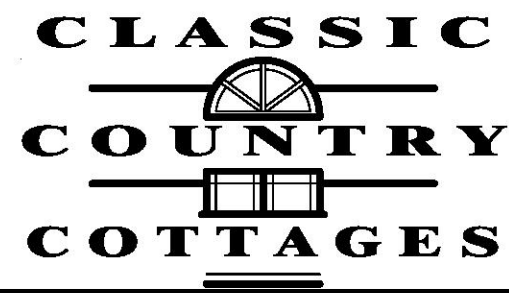
O.S.D. REQUIRED WHEN IMPERVIOUS AREA EXCEEDS 40% OF SITE AREA
SITE AREA 639.7 sq m. x 0.40 = 255.9 sq. m.

O.S.D. IS REQUIRED AS 378.8 sq m. > 255.9 sq m.

HYDRAULIC NOTES

1. THE CONTRACTOR SHALL GIVE NOTICE TO COUNCIL'S ENGINEER IN ACCORDANCE WITH COUNCIL'S SPECIFICATIONS WHEN INSPECTIONS ARE REQUIRED.
2. WHERE DEPTH OF STORMWATER DRAINAGE PITS EXCEEDS 1.2m, HOT DIPPED GALVANISED STEEL STEP IRONS SHALL BE PROVIDED.
3. ALL PITS SHALL BE PRECAST CONCRETE WITH GRATE OR APPROVED EQUIVALENT UNLESS NOTED OTHERWISE.
4. STORMWATER CONNECTION TO COUNCIL'S DRAINAGE SYSTEM SHALL BE DONE UNDER THE SUPERVISION OF COUNCIL'S ENGINEER.
5. ALL STORMWATER PIPES BELOW AND INCLUDING 225 SHALL BE UPVC OR APPROVED EQUIVALENT UNLESS NOTED OTHERWISE.
6. ALL PIPES ABOVE 225 SHALL BE REINFORCED CONCRETE WITH RUBBER RING JOINTS UNLESS NOTED OTHERWISE.
7. MINIMUM PIPE COVER TO BE 700mm UNLESS NOTED OTHERWISE.
8. ALL PIPES TO BE LAID AND COVERED WITH SAND TO A MINIMUM DEPTH EQUAL TO THE PIPE DIAMETER BUT NOT LESS THAN 300mm.
9. IN SANDY SOILS THE EXCAVATED SOIL MAY BE REUSED.
10. ALL 1000 SUBSOIL DRAINAGE TO BE PLACED A MINIMUM OF 650mm BELOW FINISHED SURFACE LEVELS AND COVERED WITH A MINIMUM OF 500mm GRAVEL.
11. PIPE BEDDING SUPPORT SHALL BE H1 UNLESS OTHERWISE NOTED.
12. STORMWATER GRATES AND MANHOLE CLASSES SHALL BE IN ACCORDANCE WITH AS 3996.
13. WHERE PIPE GRADES ARE NOT SHOWN ON DRAWINGS, MINIMUM PIPE GRADES SHALL BE 1% UNO.
14. PIPE GRADES INDICATED ON DRAWINGS ARE MINIMUM GRADES. IF MINIMUM GRADES CANNOT BE ACHIEVED CONTACT THE DESIGN ENGINEER PRIOR TO PLACEMENT.

KEY		
D.P. ○	-----	DOWN PIPE 90mm
S.P. ○	-----	SPREADER PIPE
□	-----	FIRST FLUSH DIVERTER
—	-----	100mm DIA STORM WATER PIPE TO STORAGE TANK
—	-----	100mm DIA STORM WATER DISCARD PIPE
□	-----	DRAINAGE GRATE
□	-----	GRADED PIT
RWT	-----	RAINWATER TANK



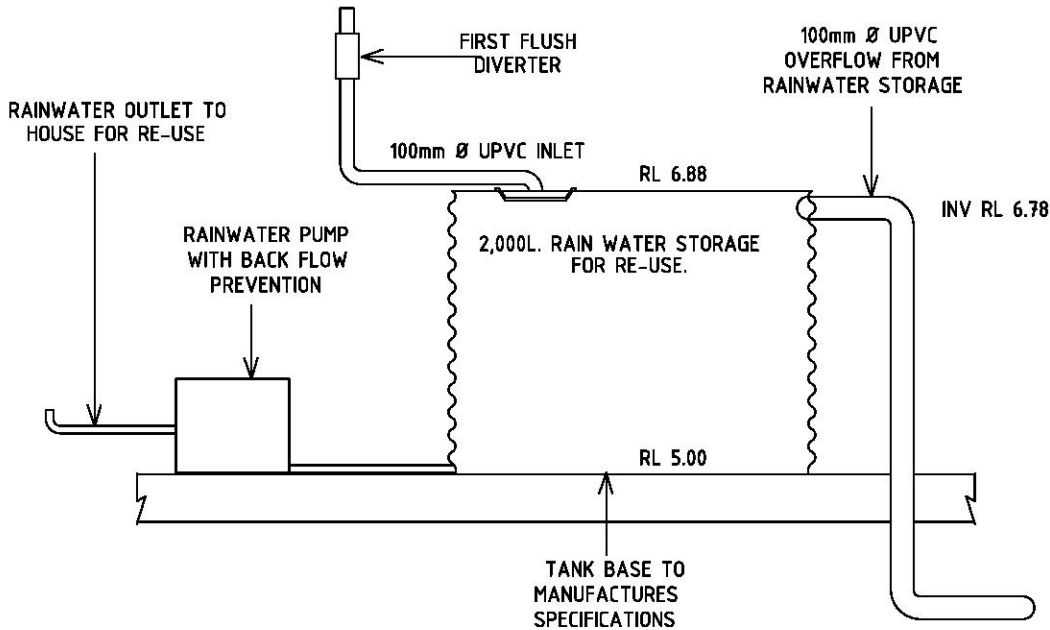
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JOB No.	CC150	REV:	C	PAGE No.	13	DATE:	26/10/2018
SCALE:	1:200	DRAWN:	B. W.				

RAINWATER TANK NOTES

- 1. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS. 3500.3.2.
- 2. THIS PLAN TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE 936038S_03
- 3. A TOTAL RAINWATER TANK STORAGE CAPACITY OF 2,000 LITRES IS PROVIDED VIA ONE SLIMLINE TANK CONSISTING OF AN APPROX SIZE 2,400mm LONG X 680mm WIDE X 1875mm HIGH WATER TANK CONNECTED TO THE FOLLOWING:
 - ALL TOILETS IN THE DEVELOPMENT.
 - THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHER IN THE DEVELOPMENT.
 - AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT (NOTED: NSW HEALTH DOES NOT RECOMMEND THAT RAINWATER BE USED FOR HUMAN CONSUMPTION.)
- 4. ALL PIPE AND DOWN PIPES TO BE PRESURE GRADE PIPES TO 500mm ABOVE MAXIMUM WATER LEVEL OF RAIN WATERTANKS.

NOTE: GUTTERS TO HAVE A MINIMUM CROSS SECTION OF 6,600mm²

THIS PLAN TO BE READ IN CONJUNCTION WITH
DA2018/1782
NORTHERN BEACHES COUNCIL

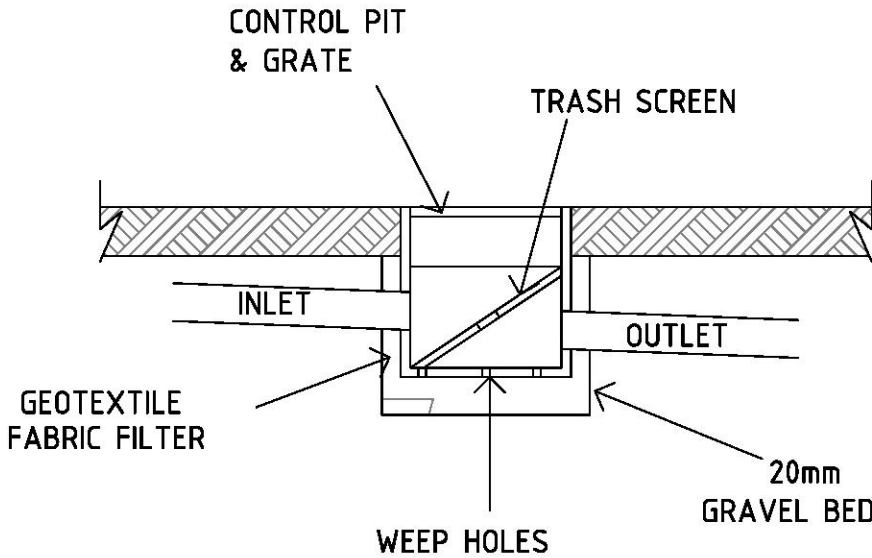


SECTION 1
WATER TANK
SCALE 1:50

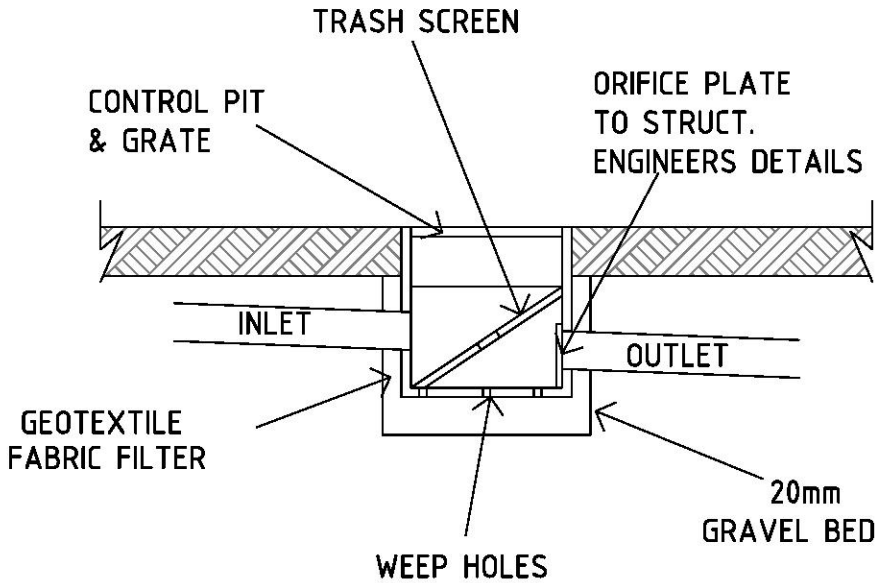


HYDRAULIC NOTES

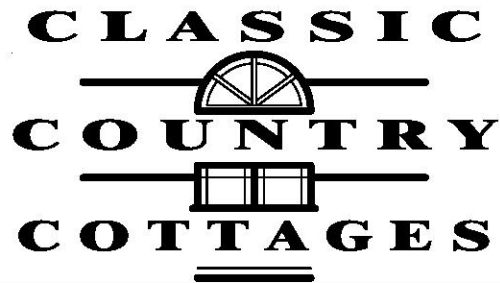
- 1. THE CONTRACTOR SHALL GIVE NOTICE TO COUNCIL'S ENGINEER IN ACCORDANCE WITH COUNCIL'S SPECIFICATIONS WHEN INSPECTIONS ARE REQUIRED.
- 2. WHERE DEPTH OF STORMWATER DRAINAGE PITS EXCEEDS 1.2m, HOT DIPPED GALVANISED STEEL STEP IRONS SHALL BE PROVIDED.
- 3. ALL PITS SHALL BE PRECAST CONCRETE WITH GRATE OR APPROVED EQUIVALENT UNLESS NOTED OTHERWISE.
- 4. STORMWATER CONNECTION TO COUNCIL'S DRAINAGE SYSTEM SHALL BE DONE UNDER THE SUPERVISION OF COUNCIL'S ENGINEER.
- 5. ALL STORMWATER PIPES BELOW AND INCLUDING 225 SHALL BE UPVC OR APPROVED EQUIVALENT UNLESS NOTED OTHERWISE.
- 6. ALL PIPES ABOVE 225Ø SHALL BE REINFORCED CONCRETE WITH RUBBER RING JOINTS UNLESS NOTED OTHERWISE.
- 7. MINIMUM PIPE COVER TO BE 700mm UNLESS NOTED OTHERWISE.
- 8. ALL PIPES TO BE LAID AND COVERED WITH SAND TO A MINIMUM DEPTH EQUAL TO THE PIPE DIAMETER BUT NOT LESS THAN 300mm.
- 9. IN SANDY SOILS THE EXCAVATED SOIL MAY BE REUSED.
- 10. ALL 100Ø SUBSOIL DRAINAGE TO BE PLACED A MINIMUM OF 650mm BELOW FINISHED SURFACE LEVELS AND COVERED WITH A MINIMUM OF 500mm GRAVEL.
- 11. PIPE BEDDING SUPPORT SHALL BE H1 UNLESS OTHERWISE NOTED.
- 12. STORMWATER GRATES AND MANHOLE CLASSES SHALL BE IN ACCORDANCE WITH AS 3996.
- 13. WHERE PIPE GRADES ARE NOT SHOWN ON DRAWINGS, MINIMUM PIPE GRADES SHALL BE 1% UNO.
- 14. PIPE GRADES INDICATED ON DRAWINGS ARE MINIMUM GRADES. IF MINIMUM GRADES CANNOT BE ACHIEVED CONTACT THE DESIGN ENGINEER PRIOR TO PLACEMENT.



SECTION 2
CONTROL PIT
SCALE N.T.S.



SECTION 3
O.S.D. PIT
SCALE N.T.S.



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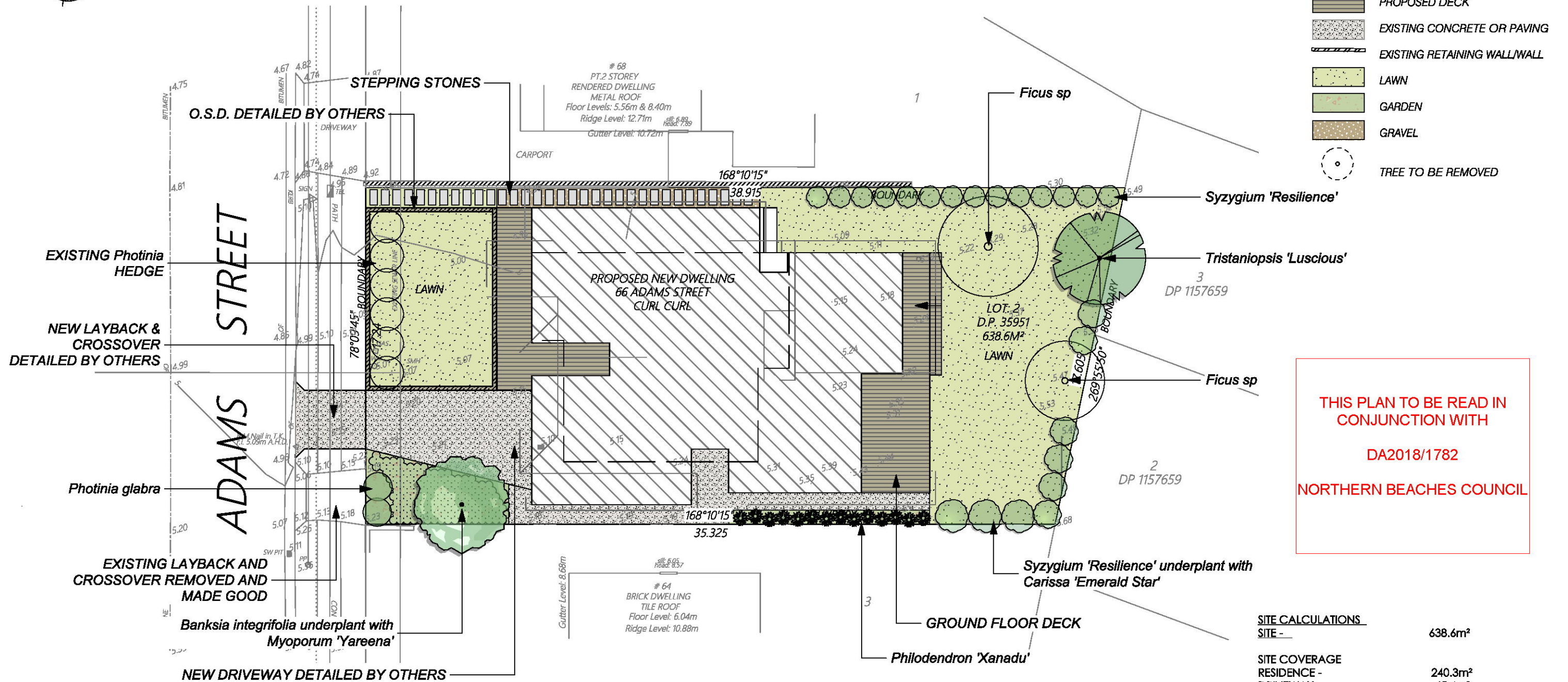
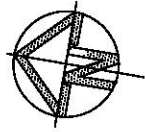
DA ISSUE PLANS

CLIENT:
MR. R. & MRS. M. LOWERY
SITE:
66 ADAMS STREET CURL CURL

PROPOSED NEW DWELLING:

STORMWATER DETAIL

JOB No.	CC150	REV:	C	PAGE No.	14
DATE:	26/10/2018	SCALE:	1:50	DRAWN:	B. W.



PROPOSED PLANTING SCHEDULE

BOTANIC NAME	COMMON NAME	No	Min POT SIZE	DIMENSIONS (H x S)
<i>Banksia integrifolia</i>	Coast Banksia	1	300mm	1.5 x 6 m
<i>Carissa 'Emerald Star'</i>	Natal Plumb	7	240mm	0.5 - 1 x 1m
<i>Myoporum 'Yareena'</i>	Creeping Boobialla	14	240mm	
<i>Photinia glabra</i>	Japanese Photinia	2	300mm	Hedged to 2.5m
<i>Philodendron 'Xanadu'</i>	Xanadu	15	240mm	
<i>Syzygium 'Resilience'</i>	Lilly Pilly	23	300mm	Hedged to 2.5m
<i>Tristaniopsis 'Luscious'</i>	Kanooka Gum	1	300mm	7 - 12 x 5 m

SITE CALCULATIONS	
SITE -	638.6m ²
SITE COVERAGE	
RESIDENCE -	240.3m ²
DRIVEWAY -	45.4m ²
PAVED AREAS -	51.3m ²
OPEN SPACE - TOTAL	389.2m ² (60.9% OF SITE)
SOFT LANDSCAPED AREA - TOTAL	
(Required - 40% of site)	
258.5m ² (40.4% OF SITE)	
OPEN SPACE IN FRONT OF BUILDING LINE	
146.4m ² (22.9%)	
SOFT LANDSCAPED AREA IN FRONT OF BUILDING LINE	
91m ² (62.1%)	

DRAWN BY
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NOTES TO THE PLAN
THIS PLAN IS TO BE READ AS PART OF A COMPLETE SET OF DRAWINGS RELATING TO THE PROPOSED DEVELOPMENT

THIS PLAN RELATES TO A SPECIFIC DEVELOPMENT INFORMATION RELATING TO THE DEVELOPMENT NEEDS TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION

ALL MEASUREMENTS ARE IN MILLIMETRES UNLESS OTHERWISE INDICATED

ISSUE
A 14/07/18 FOR CLIENT
B 14/07/18 FOR DA
C 02/08/18
D 24/10/18 TREE DETAILS UPDATED

CLIENT
MR AND MRS LOWERY

SITE
66 ADAMS STREET
CURL CURL

DRAWING
LANDSCAPE CONCEPT PLAN

PROJECT
PROPOSED NEW DWELLING BY
CLASSIC COUNTRY COTTAGES

JOB No
18-18

ISSUE
D

DWG No
1