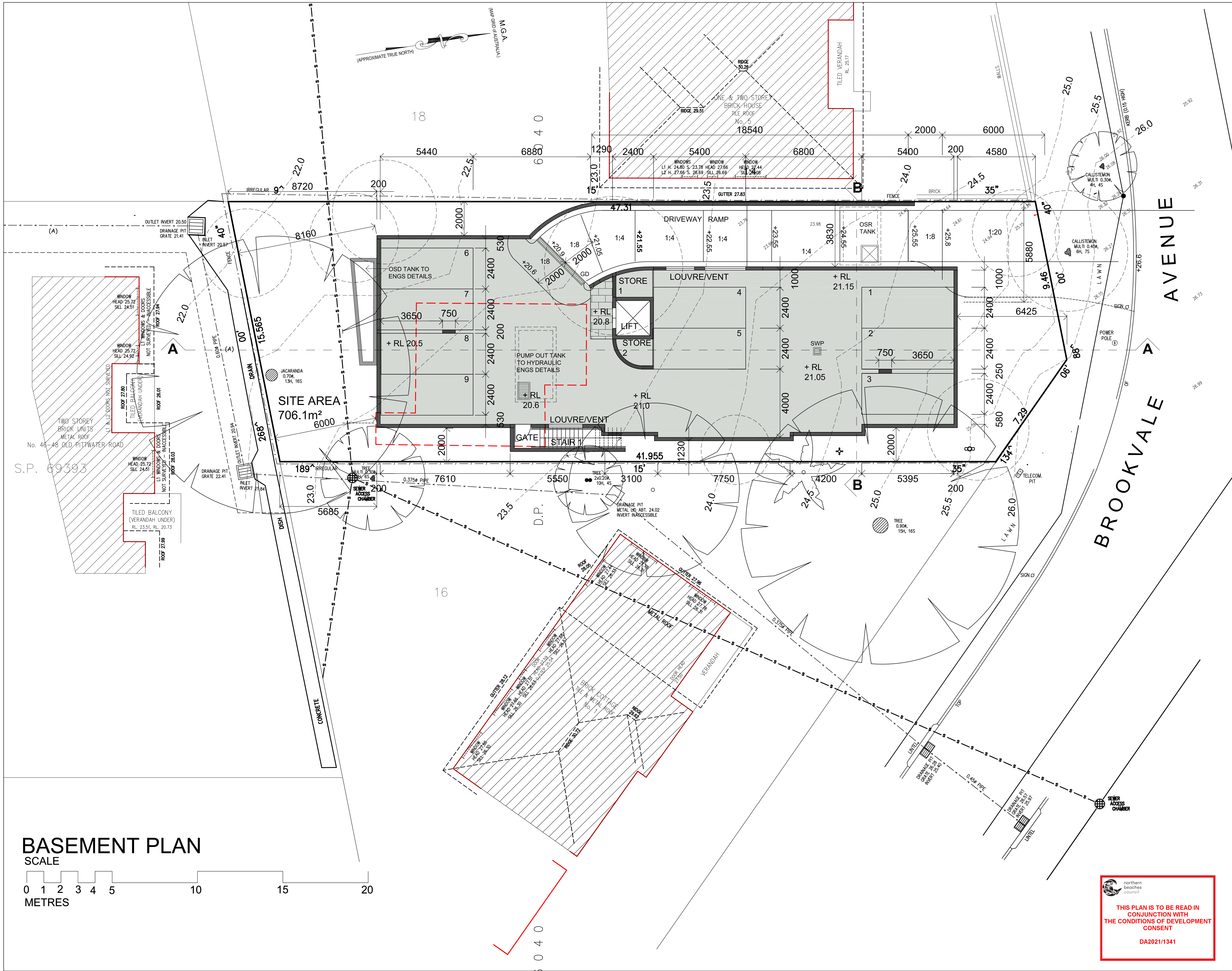




LEGEND

C

26/2/22

REVISIONS TO HEIGHTS

A

10/12/21

REVISIONS MIRRORING UNITS

ISSUE

DATE

AMENDMENTS

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Client

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Project

3 BROOKVALE AVE

BROOKVALE

Drawing

BASEMENT PLAN

Scale 1:100

Drawn BR

File DA1k BROOKVALE AVE

Plotted 26/02/2022 4:26 PM

Job No 2005

Version DA

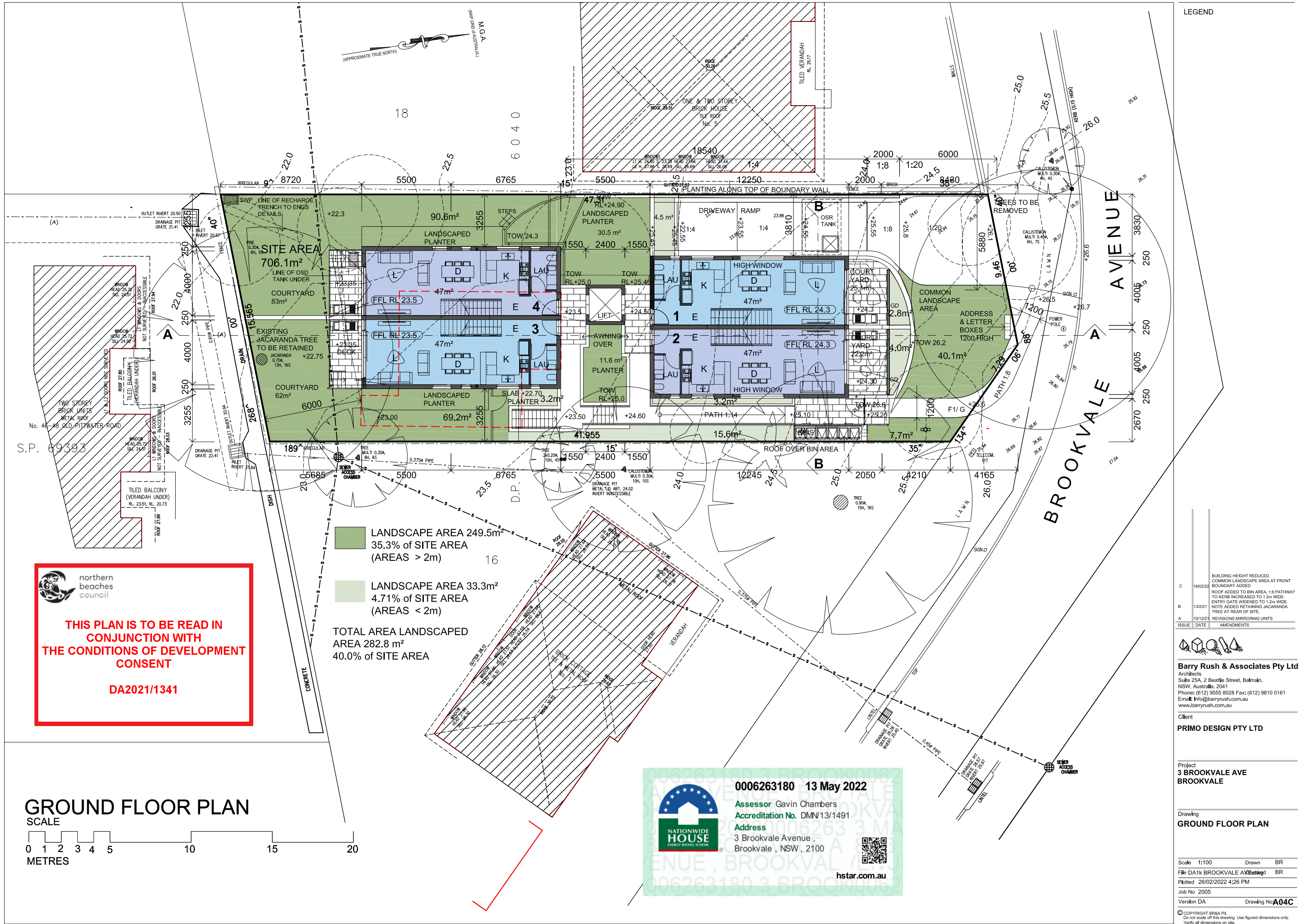
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CONSENT
DA2021/1341



LEGEND

C	18/02/22	BUILDING HEIGHT REDUCED COMMON LANDSCAPE AREA AT FRONT BOUNDARY ADDED
	13/2/21	ROOF ADDED TO BIN AREA, 1.8 PATHWAY TO KERB INCREASED TO 1.2m WIDE ENTRY GATE WIDENED TO 1.2m WIDE NOTE ADDED RETAINING JACARANDA TREE AT REAR OF SITE.
	10/12/21	REVISIONS MIRRORING UNITS
	ISSUE	DATE



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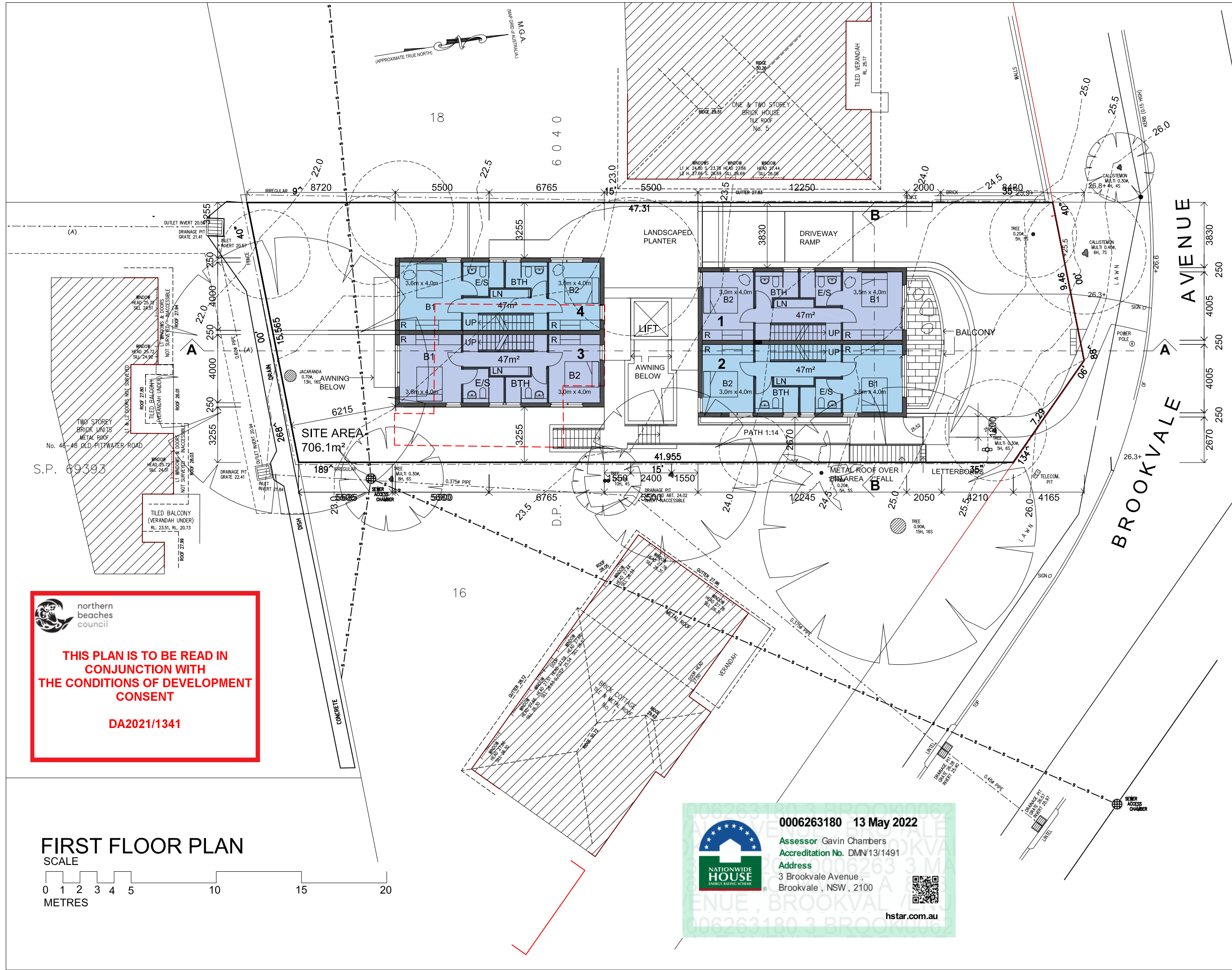
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Project
**3 BROOKVALE AVE
BROOKVALE**

Drawing
GROUND FLOOR PLAN

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Job No	2005		
Version	DA	Drawing No	A04C

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LEGEND

C	18/02/22	BUILDING HEIGHT REDUCED
A	10/12/21	REVISIONS MIRRORING UNITS
ISSUE	DATE	AMENDMENTS

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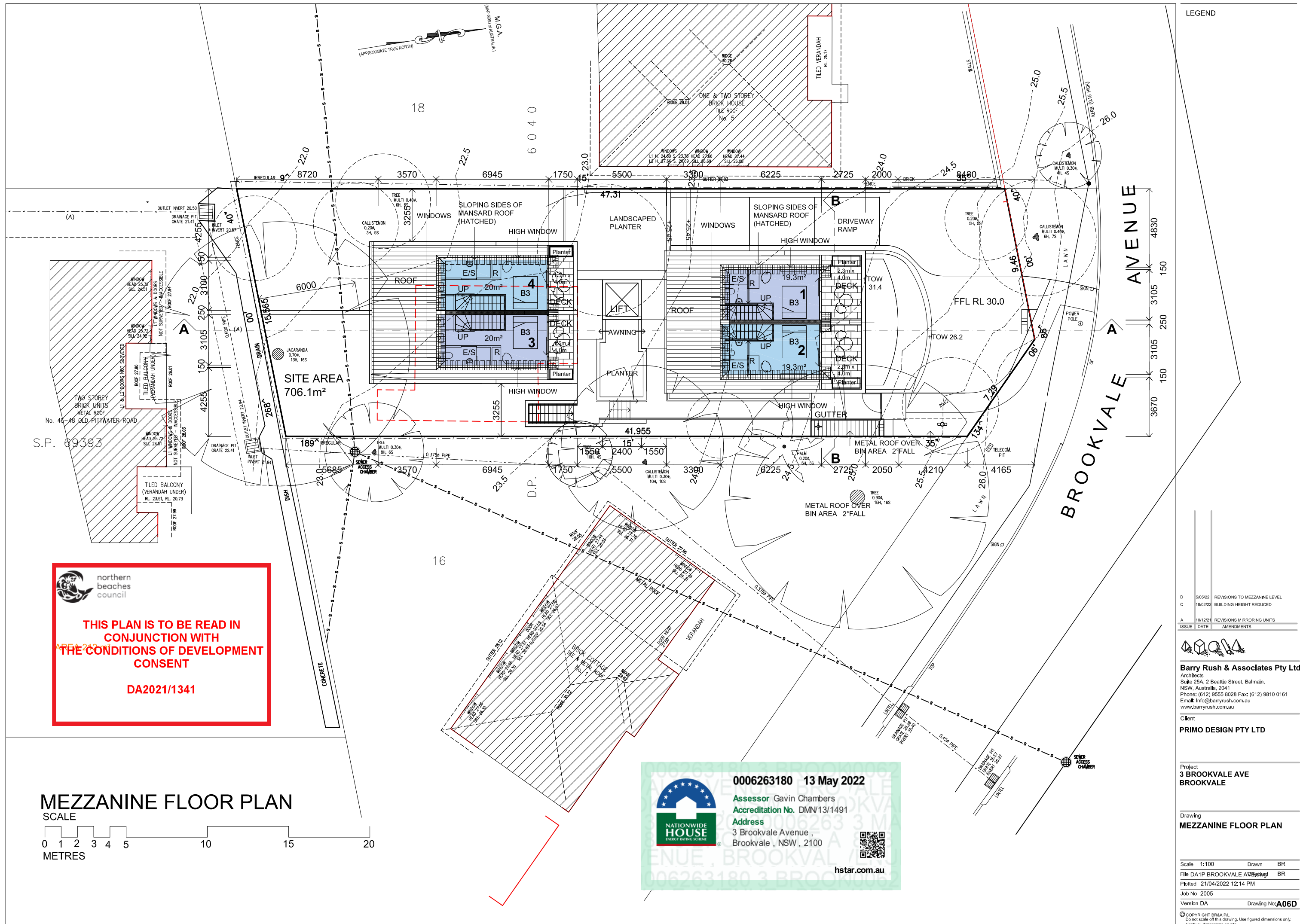
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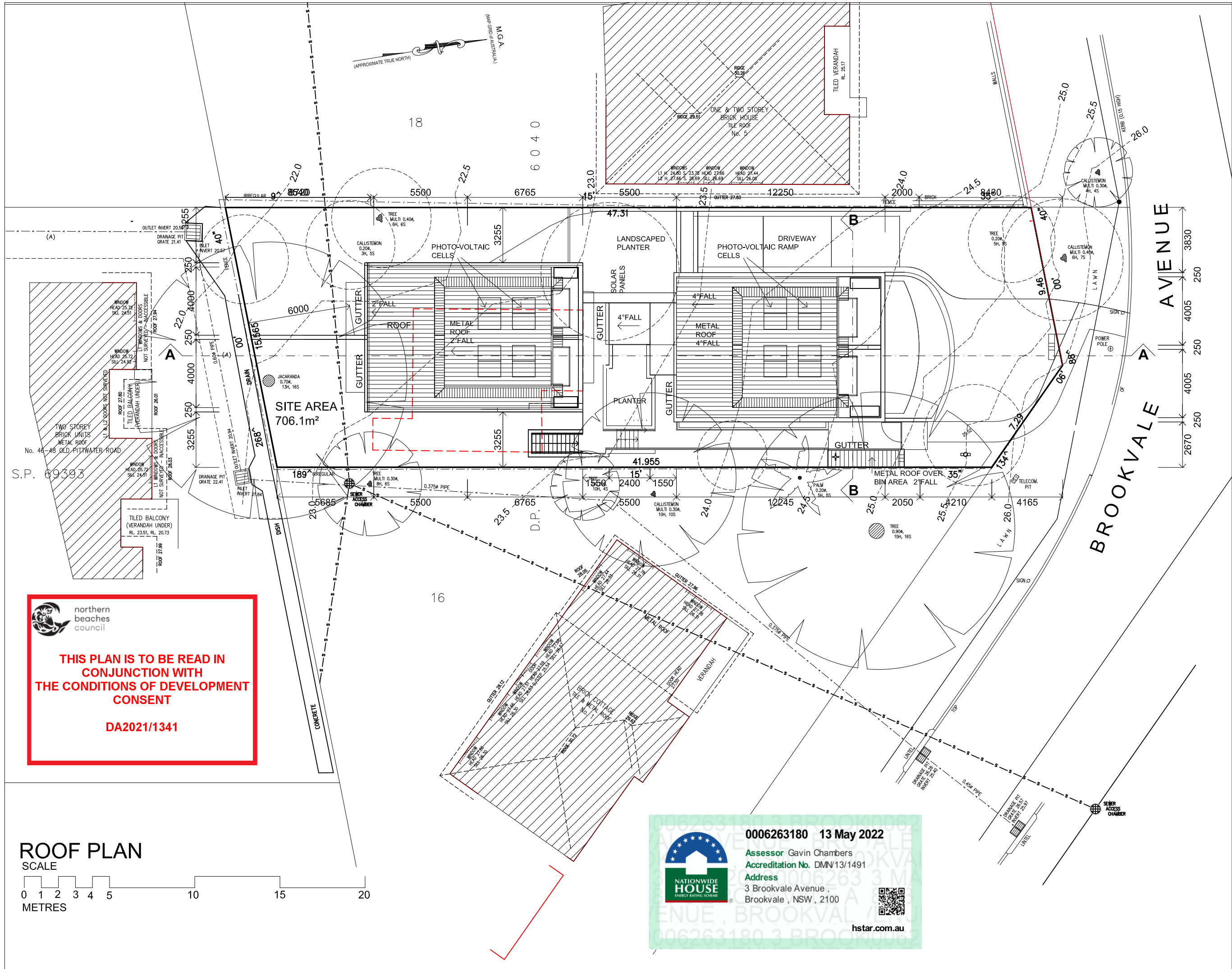
Project
**3 BROOKVALE AVE
BROOKVALE**

Drawing
FIRST FLOOR PLAN

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Version	DA	Drawing No:	A05C

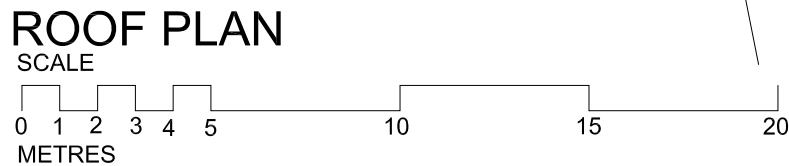
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DA2021/1341



0006263180 13 May 2022

Assessor Gavin Chambers
Accreditation No. DMN/13/1491
Address
3 Brookvale Avenue,
Brookvale, NSW, 2100

NATIONWIDE HOUSE ENERGY RATING SCHEME

hstar.com.au

LEGEND

ISSUE	DATE	AMENDMENTS
D	5/5/22	REVISIONS TO MEZZANINE
C	24/2/22	REVISIONS TO HEIGHT
A	10/1/22	REVISIONS MIRRORING UNITS



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Client

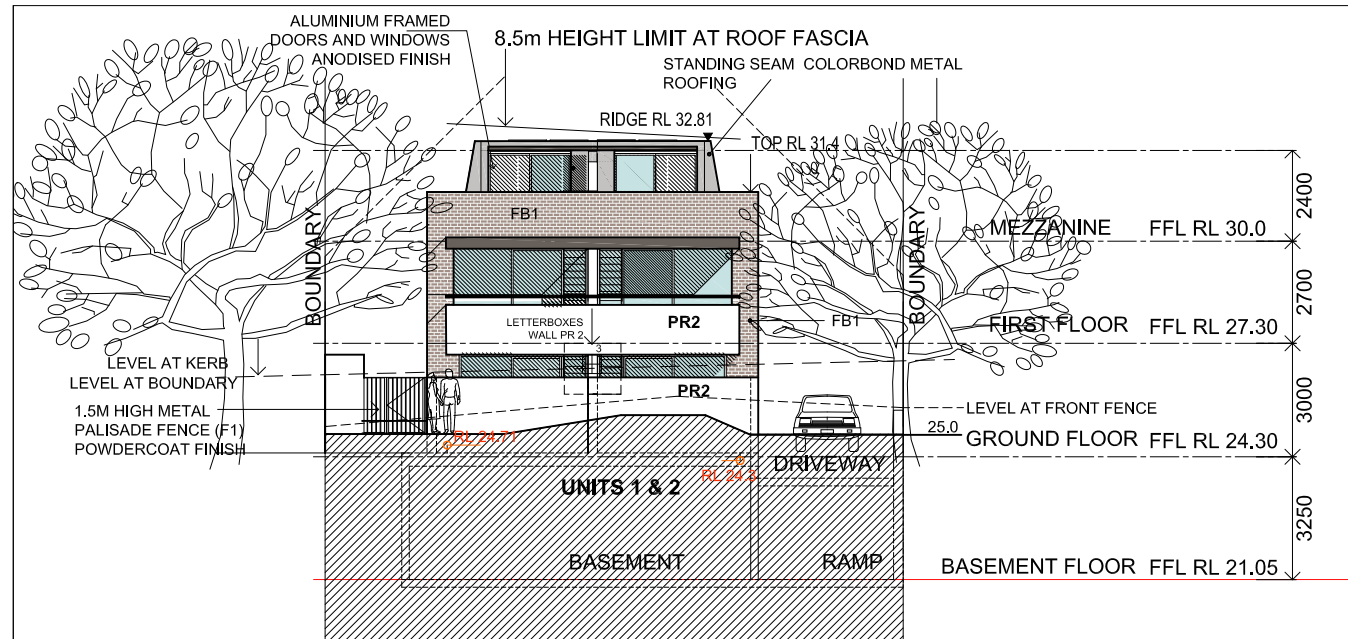
PRIMO DESIGN PTY LTD

Project
**3 BROOKVALE AVE
BROOKVALE**

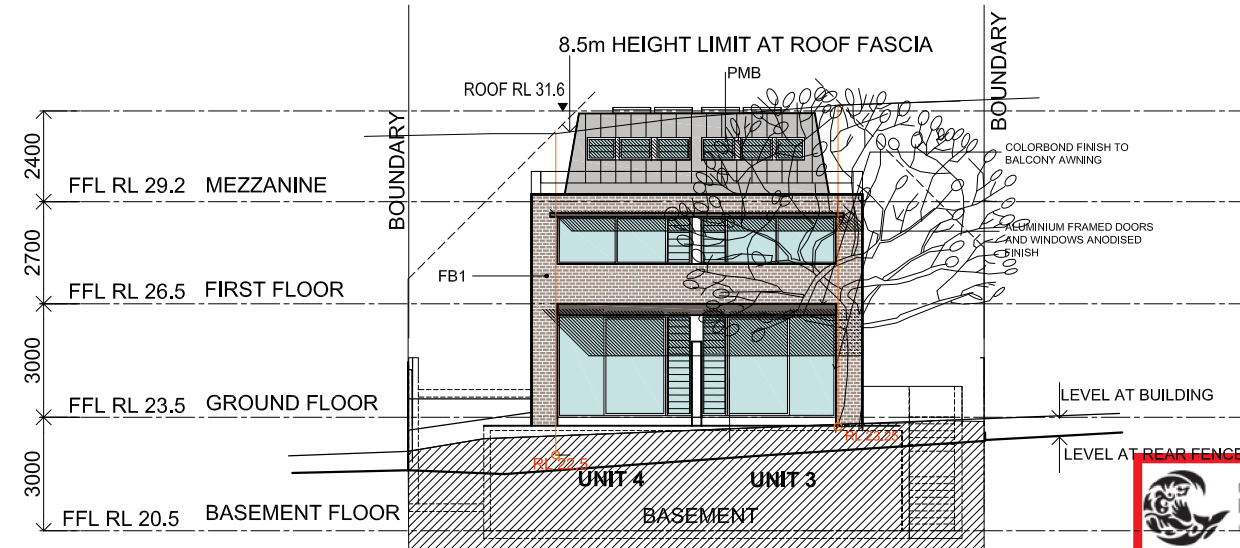
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ROOF PLAN

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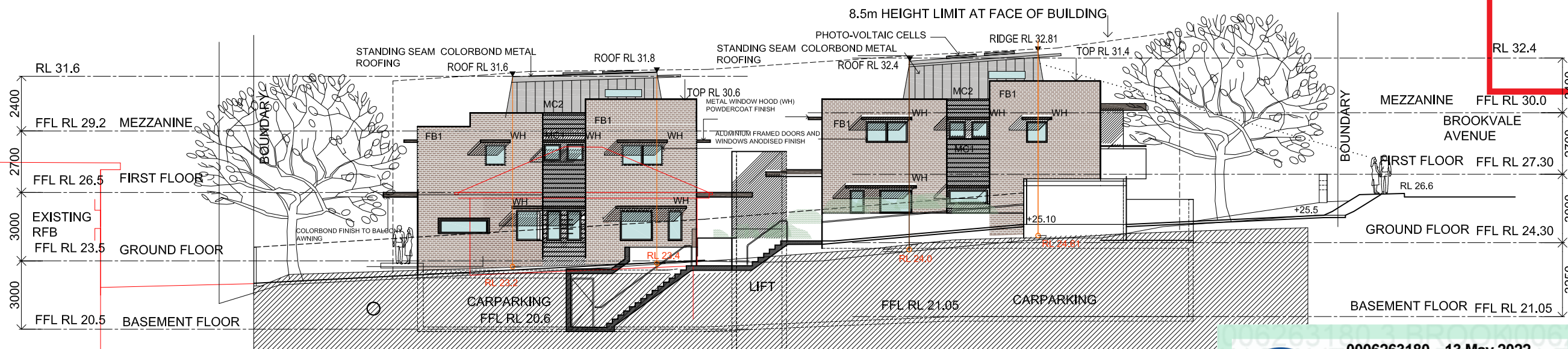
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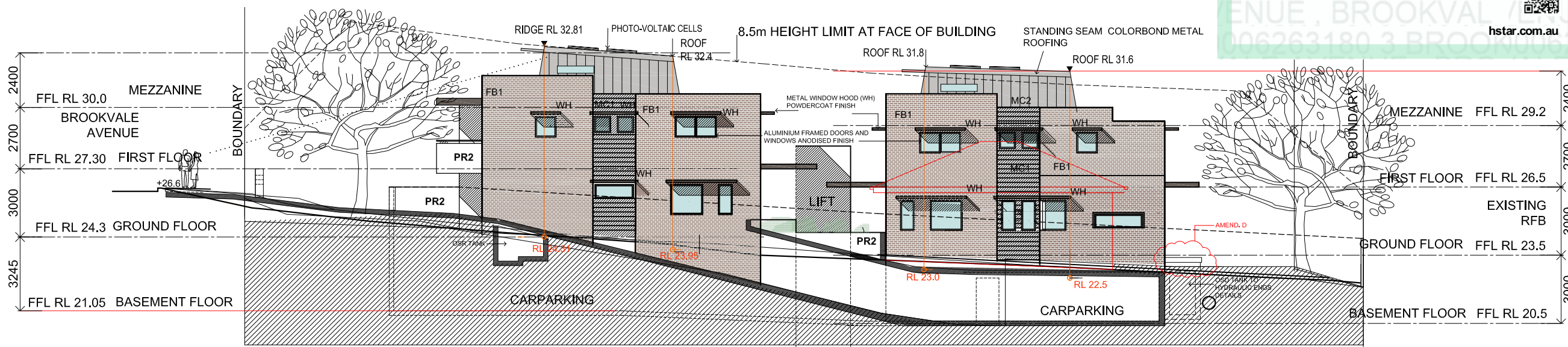
NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



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DA2021/1341



0006263180 13 May 2022

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LEGEND

D	5/5/22	AMENDMENT TO MEZZANINE LEVEL
D	28/03/22	AMENDMENT TO WEST ELEVATION
C	18/02/22	BUILDING HEIGHT REDUCED
B	7/02/22	DIMENSIONS ADDED TO ELEVATIONS
A	10/12/21	REVISIONS MIRRORING UNITS
ISSUE	DATE	AMENDMENTS



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Client

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Project
3 BROOKVALE AVE
BROOKVALE

Drawing
ELEVATIONS

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File	DA1P BROOKVALE AVE	Drawn	BR
Plotted	5/05/2022 3:31 PM		
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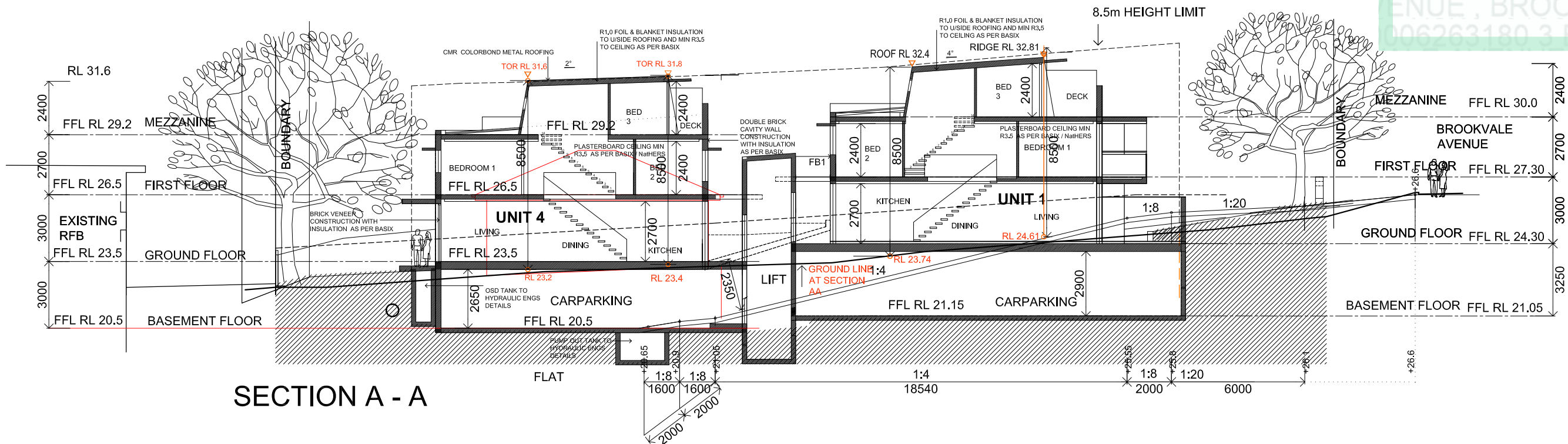


0006263180 13 May 2022

Assessor Gavin Chambers
Accreditation No. DMV13/1491
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Brookvale, NSW, 2100

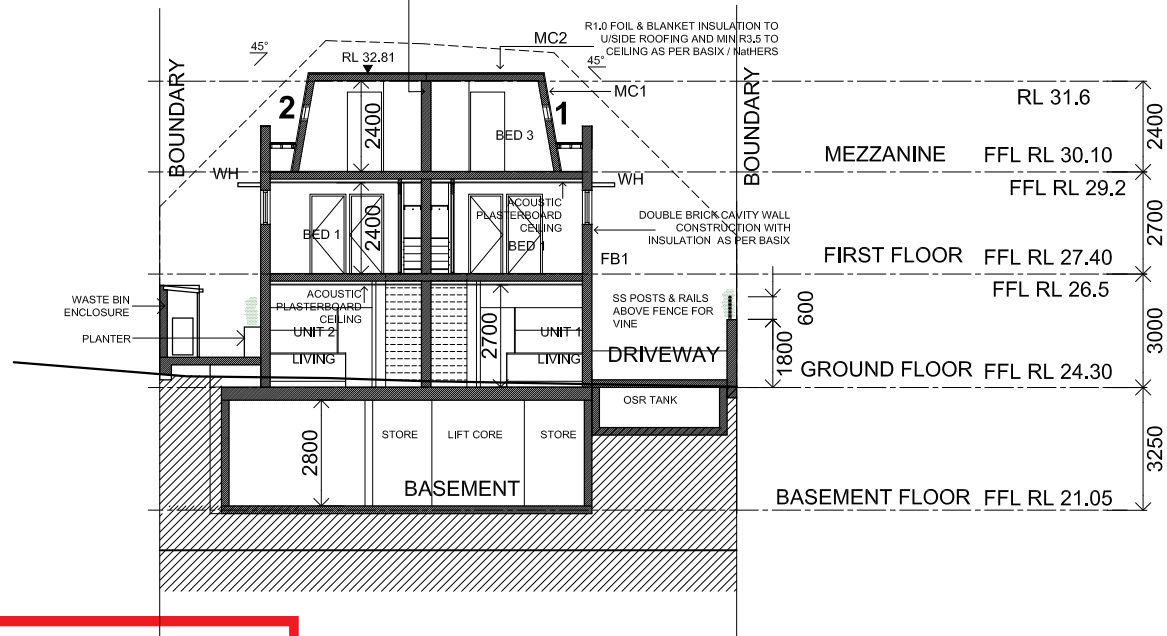


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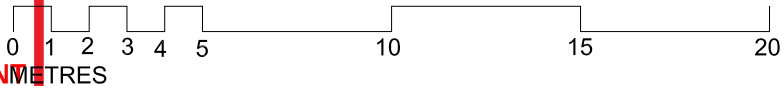
SECTION A - A

NOTE: CONTINUE PARTY WALLS UP TO UNDERSIDE OF ROOFING IN ACCORDANCE WITH BCA REQUIREMENTS.



SECTION B - B

SCALE



May 2022 BSA Reference: 16843
Building Sustainability Assessments Ph: (02) 4962 3439
enquiries@buildingsustainability.net.au www.buildingsustainability.net.au

Important Note

The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If the proposed construction varies to those detailed below then the Assessor and NatHERS certificates will no longer be valid. Assessments assume that the BCA provisions for building sealing & ventilation are complied with at construction. In NSW both BASIX & the BCA variations must be complied with, in particular the following:
- Thermal construction in accordance with Vol 1 Section J1.2 or Vol 2 Part 3.12.1.1
- Thermal breaks for Class 1 dwellings in accordance with Part 3.12.1.2(c) & 3.12.1.4(d)
- Floor insulation for Class 1 dwellings as per Part 3.12.1.5(a)(i), (ii) & (e) or (c), (d) & (e)
- Building sealing in accordance with Section J3 or Part 3.12.3.1 to 3.12.3.6.

Thermal Performance Specifications (does not apply to garage)

External Wall Construction		Added Insulation
Brick Veneer & Lightweight (Mezzanine level)		R2.0
Cavity Brick		R1.0
Internal Wall Construction		Added Insulation
Plasterboard on studs (internal to units)		None
Cavity Brick (party walls)		None
Ceiling Construction		Added Insulation
Plasterboard		R3.5 to ceilings adjacent to roof space and decks above
Roof Construction		Colour (Solar Absorptance)
Metal		Any
Concrete		Any
Floor Construction		Covering
Concrete		As drawn (if not noted default values used)
		R1.0 to floors adjacent to carpark

Windows	Glass and frame type	U value	SHGC Range	Area sq m	
Performance glazing Type A		5.40	0.44 - 0.54	Unit 3 & 4	
Performance glazing Type B		5.40	0.52 - 0.64	Unit 3 & 4	
ALM-001-01 A Aluminium Type A Single clear		6.70	0.51 - 0.63	Unit 1 & 2	
ALM-002-01 A Aluminium Type B Single clear		6.70	0.63 - 0.77	Unit 1 & 2	
Type A windows are awning windows, bifolds, casements, tilt 'n' turn windows, entry doors, french doors					
Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvres					
Skylights	Glass and frame type	U	SHGC	Area sq m	Detail

U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower & the SHGC is within the range specified

Shade elements (eaves, verandahs, awnings etc)
All shade elements modelled as drawn

Ceiling Penetrations (downlights, exhaust fans, flues etc)
Modelled as drawn and/or to comply with the ventilation and sealing requirements of the BCA

Ducting is modelled at 150mm. No insulation losses from downlighting have been modelled.

Additional Notes

Nil

3 Brookvale Avenue Brookvale			
SUMMARY OF BASIX COMMITMENTS FOR EACH UNIT			
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details. For definitions refer to basix.nsw.gov.au			
WATER COMMITMENTS			
Fixtures			
4 Star Shower Heads	Yes (> 4.5 but <= 6 L/min)		
5 Star Kitchen / Basin Taps	Yes	4 Star Toilet	Yes
Alternative Water (common tank)			
Minimum Tank Size (L)	5000	Collected from Roof Area (m2)	100
Tank Connected To:			
Irrigation of 95m2 of common landscape			
THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans			
ENERGY COMMITMENTS			
Hot Water	Gas Instantaneous	6 Star	
Cooling System	Living	3 Phase A/C Zoned	EER 3.0 - 3.5
	Bedrooms	3 Phase A/C Zoned	EER 3.0 - 3.5
Heating System	Living	3 Phase A/C Zoned	EER 3.0 - 3.5
	Bedrooms	3 Phase A/C Zoned	EER 3.0 - 3.5
Ventilation	1 x Bathroom	Fan ducted to exterior	Manual on/off
	Kitchen	Fan ducted to exterior	Manual on/off
	Laundry	Natural ventilation	N/A
	Window/Skylight in Kitchen	Yes	
Natural Lighting	Window/Skylight in Bathrooms/Toilets	Yes to	4
	Number of bedrooms	All	Dedicated
Artificial Lighting (rooms to be primarily lit by fluorescent or LED lights)	Number of Living/Dining rooms	All	Dedicated
	Kitchen	Yes	Dedicated
	All Bathrms/Toilets	Yes	Dedicated
	Laundry	Yes	Dedicated
OTHER COMMITMENTS			
Outdoor clothes line	No	Ventilated refrigerator space	Yes
Stove/Oven	Gas cooktop & electric oven		
Alternative Energy	Photovoltaic System: 0.7 Kw to U3 & U4		

D	5/05/22	REVISED MEZZANINE LEVEL
C	18/02/22	BUILDING HEIGHT REDUCED
B	7/02/22	DIMENSIONS ADDED TO SECTION AA
A	10/12/21	REVISIONS MIRRORING UNITS
ISSUE	DATE	AMENDMENTS



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Project
3 BROOKVALE AVE
BROOKVALE

Drawing
SECTIONS

Scale 1:100 Drawn BR

File DA1P BROOKVALE AVE.dwg

Plotted 5/05/2022 3:31 PM

Job No 2005

Version DA Drawing No: A09D

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DA2021/1341

ISSUE	DATE	AMENDMENTS
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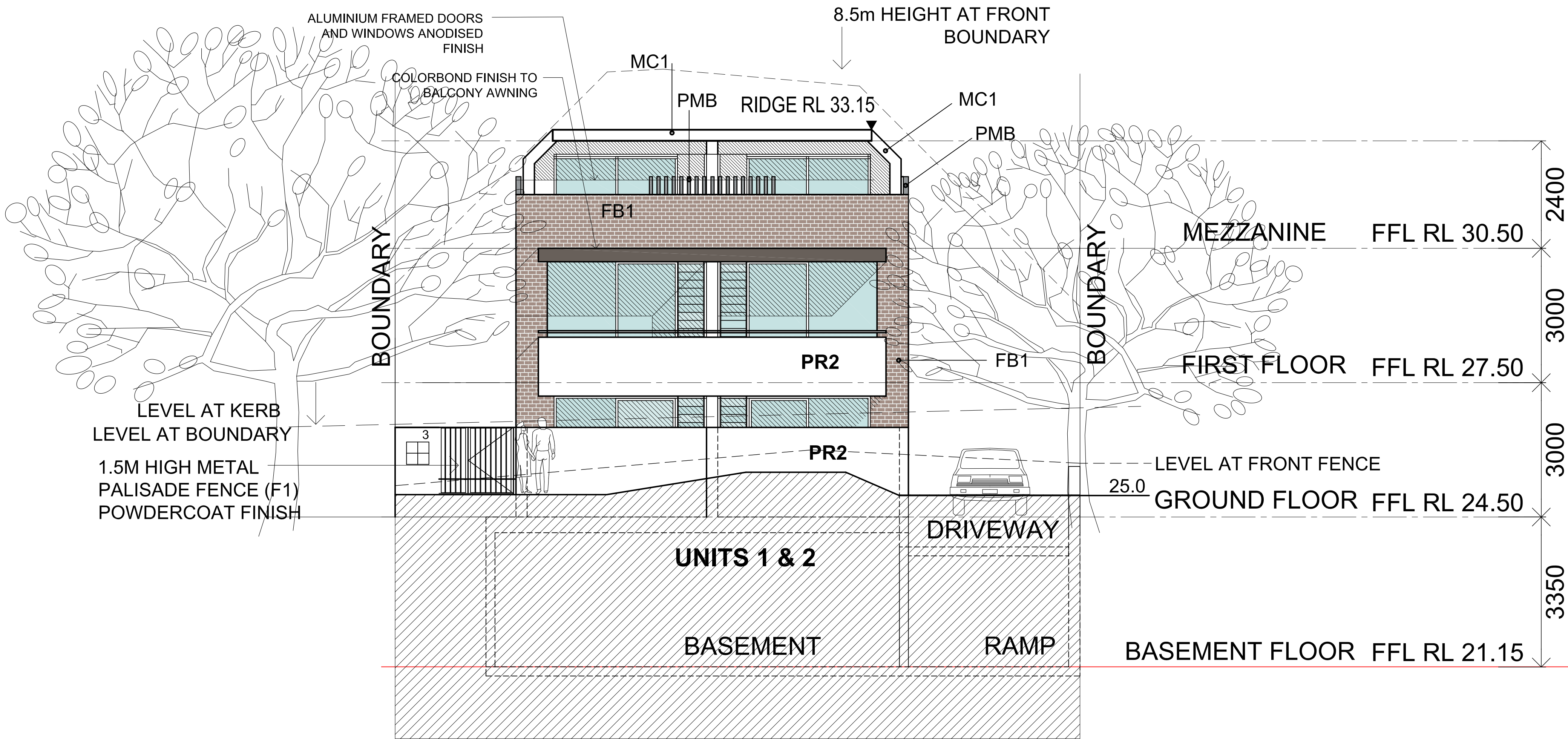
PRIMO DESIGN PTY LTD

Project
**3 BROOKVALE AVE
BROOKVALE**

Drawing
**EXTERNAL COLOUR
SCHEDULE**

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Plotted	11/01/2022 4:56 PM		
Job No	2005		
Version	DA	Drawing No	A12A

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NORTH ELEVATION

EXTERNAL COLOUR/FINISHES SCHEDULE

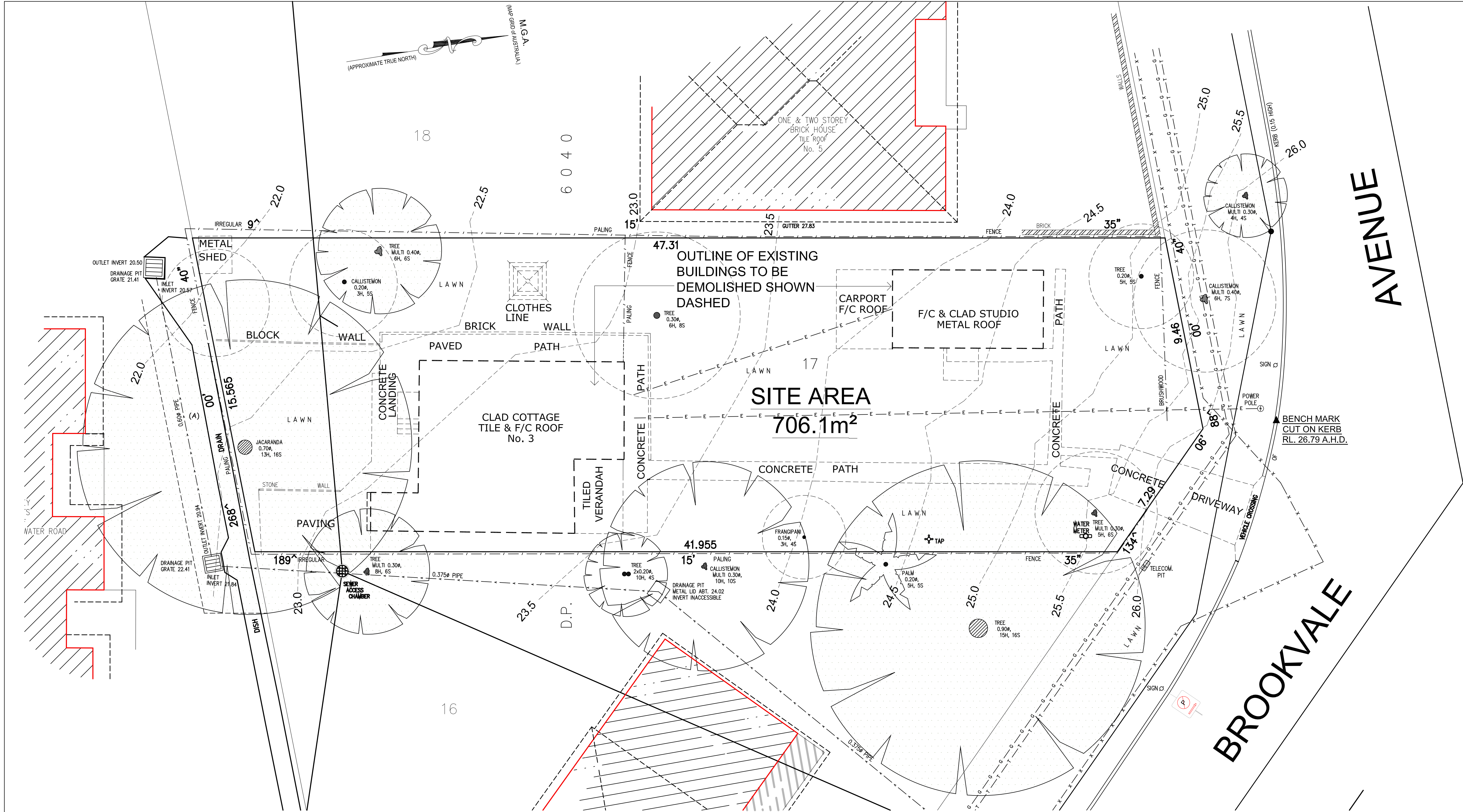
CODE	LOCATION		DESCRIPTION	COLOUR
CDR/ MC2	ROOFING/ GUTTER/ DOWNPIPE/		METAL DECK/ MC2 FLASHING	BASALT
FB1	WALLS		FACE BRICK	BOWRAL MURRAY GREY
MC1	WALLS		METAL WALL CLADDING STANDING SEAM	BASALT
PR1	BALCONY/ COLUMNS STRUCTURE		OFF-FORM CONCRETE SKIM COAT RENDER + GRANOSITE SMOOTH PAINT	WATTYL ASTOR WHITE
PR2	BALCONY'S & SITE WALLS		OFF-FORM CONCRETE SKIM COAT RENDER + GRANOSITE SMOOTH PAINT	WATTYL ASTOR WHITE
PMB	BALCONY/ ALUMINIUM BATTENS		BALCONIES - POWDERCOATED METAL VERTICAL BATTENS	BASALT

CODE	LOCATION		DESCRIPTION	COLOUR
WH	WINDOW HOODS		METAL POWDERCOATED	MONUMENT
ANODISED AL	WINDOWS & DOORS		ANODISED ALUMNIUM	SATIN CHARCOAL GREY
SS	HANDRAILS		STAINLESS STEEL	SS MATT
AWNING/ WA	AWNING ABOVE ENTRYS		COLORBOND	TERRAIN
F1/F5	METAL FENCE 600,1200 & 1500 HIGH		METAL FENCING TO DETAIL	DULUX MONUMENT

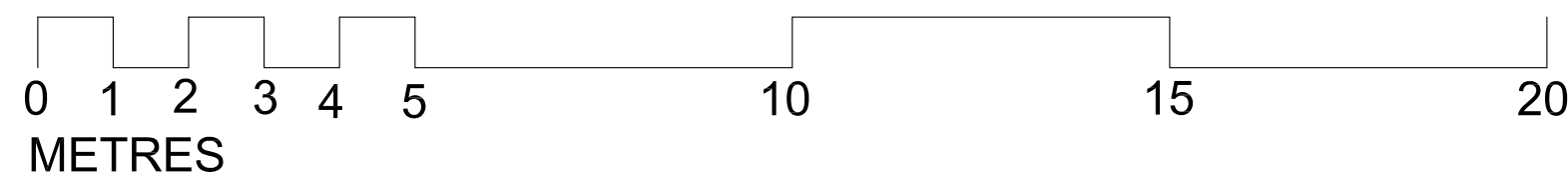
 **northern
beaches
council**

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CONSENT**

DA2021/1341



DEMOLITION PLAN



- EXISTING TREE TO REMAIN
- TREE TO BE REMOVED

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DA2021/1341

DEMOLITION NOTES:

- ALL DEMOLITION TO AUSTRALIAN STANDARD AS2601-2001 DEMOLITION OF STRUCTURES.
- DEMOLISH ALL EXISTING DWELLINGS, SHEDS, CARPORTS, GARAGES, STEPS, RAMPS, RETAINING WALLS, SLABS, FOOTPATHS & FOOTINGS, HARD SURFACE AREAS, FENCES, RAILINGS, PLANTER BOXES, TURF, LETTERBOXES, BBQs, CLOTHES HOISTS, AC UNITS, HOT WATER UNITS & METER BOARDS & REMOVE FROM SITE.
- SORT MATERIALS FOR POTENTIAL TO RECYCLE OR RE-USE ON-SITE.
- DISCONNECT AND REMOVE EXISTING SERVICE LINES AS REQUIRED.
- REMOVE EXISTING TREES & SHRUBS ON SITE INCLUDING STUMP GRINDING & GRUBBING (SHOWN DASHED).
- ANY ASBESTOS IS TO BE REMOVED FROM EXISTING DWELLINGS PRIOR TO DEMOLITION COMMENCEMENT. A CERTIFICATE IS TO BE SUBMITTED BY A HYGIENIST CONFIRMING THAT ALL ASBESTOS HAS BEEN REMOVED PRIOR TO DEMOLITION. ANOTHER CERTIFICATE IS TO BE SUBMITTED ON COMPLETION OF DEMOLITION.
- REMOVE AND MAKE GOOD TO REDUNDANT DRIVEWAYS AND CROSSOVERS, REPLACE WITH KERB AND GUTTER, MAKE GOOD TO KERB AND GUTTER WHERE REQUIRED.
- REMOVAL OF ANY SURFACE BUILDING DEBRIS LEFT BEHIND BY DEMOLITION CONTRACTOR IS TO BE REMOVED, THIS INCLUDES CONCRETE, MASONRY AND ASBESTOS PARTICLES.
- REFER TO WASTE MANAGEMENT PLAN FOR RECYCLING OF MATERIAL.

LEGEND

ISSUE	DATE	AMENDMENTS
-------	------	------------



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Client

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Project
**3 BROOKVALE AVE
BROOKVALE**

Drawing
DEMOLITION PLAN

Scale 1:100	Drawn LP
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Plotted 11/01/2022 4:56 PM	
Job No 2005	
Version DA	Drawing No: A14A

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