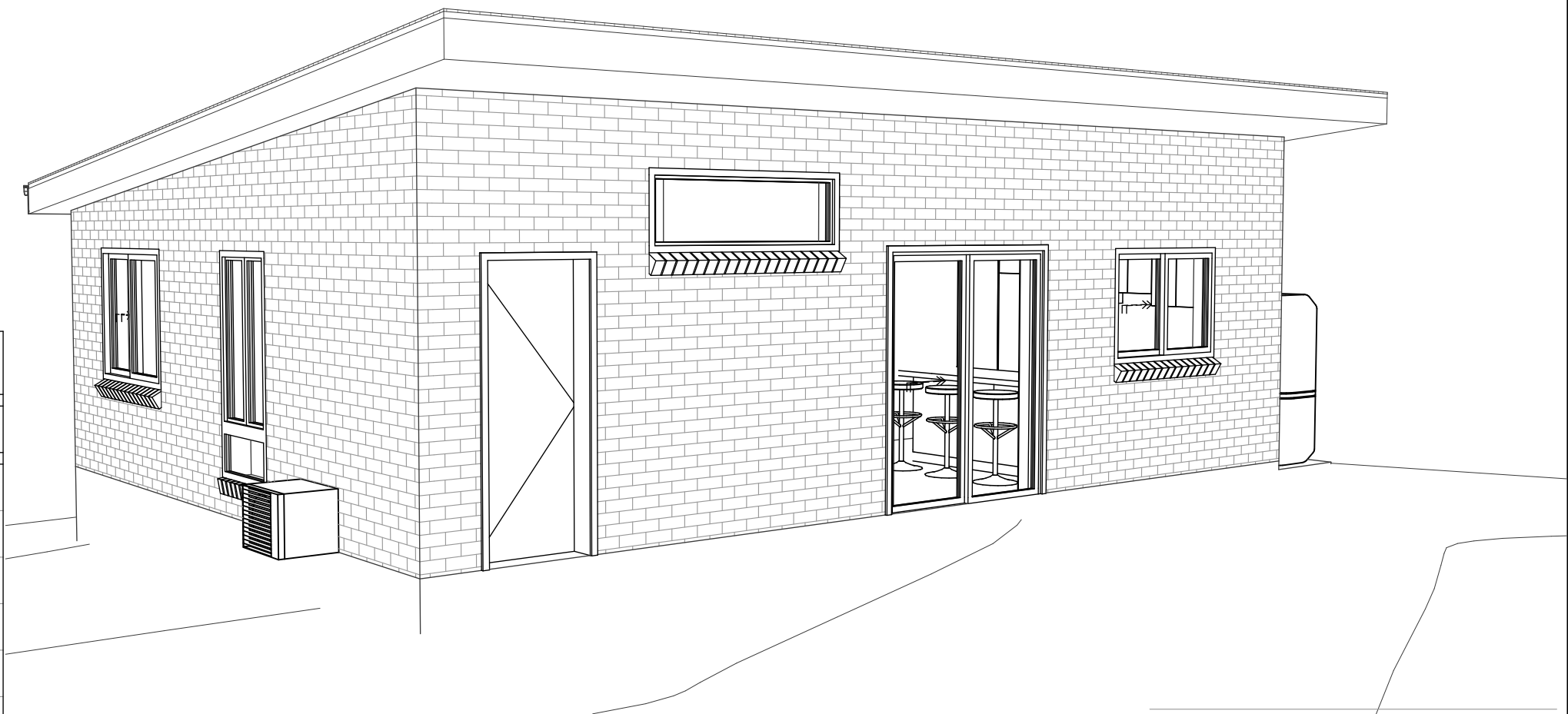


# PROPOSED 2 BEDROOM GRANNY FLAT

## 59 McIntosh Road, Dee Why



SITE CALCULATIONS	
SITE AREA:	727.2m <sup>2</sup>
EXISTING DWELLING:	125.47m <sup>2</sup>
EXISTING AWNING:	25.22m <sup>2</sup>
EXISTING DECK:	19.41m <sup>2</sup>
EXISTING GARAGE:	15.6m <sup>2</sup>
EXISTING LAUNDRY:	6.3m <sup>2</sup>
EXISTING SHED:	18.29m <sup>2</sup>
PROPOSED GRANNY FLAT GROSS AREA:	60m <sup>2</sup>
PROPOSED GRANNY FLAT BUILT AREA:	64.7m <sup>2</sup>
TOTAL GROSS FLOOR AREA:	171.73m <sup>2</sup>
FLOOR SPACE RATIO:	0.24/1
TOTAL SOFT AREAS:	198.78m <sup>2</sup> (27.3%)
SITE COVERAGE AREAS:	
BUILDINGS:	274.99m <sup>2</sup>
DRIVEWAYS/PATHS:	219.56m <sup>2</sup>
TOTAL:	494.55m <sup>2</sup> (68%)

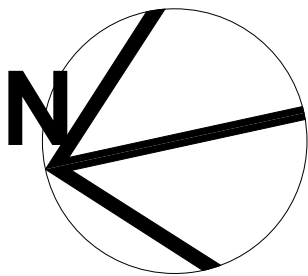
ACID SULPHATE:	N/A
BAS/BOS:	N/A
BAL RATING:	N/A
FLOOD:	N/A
HERITAGE:	N/A

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CLIENT DETAILS	
59 McIntosh Road, Dee Why	
Ben & Elizabeth Davis	
LOT 17 - DP 9255	
COVER PAGE	

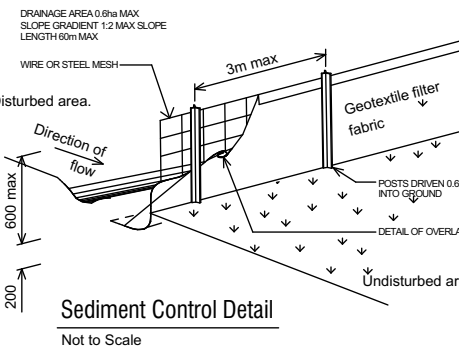
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SITE AREA - 727.2m<sup>2</sup>



LEGEND FOR WORKING WITHIN THE SYDNEY WATER MAIN SEWER LINE

- INTERNAL SEWER LINE**  
RUNNING FROM THE EXISTING RESIDENCE INTO THE MAINS
- SYDNEY WATER MAINS SEWER LINE**  
TAKEN FROM SEWER PEGOUT REPORT
- ZONE OF INFLUENCE (ZOI)-**  
ANY WORKS WITHIN THE ZOI WILL REQUIRE ADDITIONAL PIERING OR ENCASING, AS WELL AS ADDITIONAL APPROVALS & INSPECTIONS BY A WATER SERVICES COORDINATOR
- BOUNDARY LINE**
- FENCE LOCATION**



SITE INDUCTION NOTE:

BEFORE ENTERING THE SITE, PLEASE REVIEW AND MAKE YOURSELF FAMILIAR WITH THE EMERGENCY CONTACTS, AND SITE INDUCTION INFORMATION.

IF YOU HAVE ANY TROUBLES UNDERSTANDING THE INSTRUCTIONS, PLEASE CONTACT YOUR SITE SUPERVISOR BEFORE ENTERING THE SITE.

IMPORTANT SURVEY NOTE:

PARCEL BOUNDARY DIMENSIONS, BEARINGS AND AREAS HAVE BEEN ADOPTED FROM THE SUBJECT DEPOSITED PLAN AND HAVE NOT BEEN INVESTIGATED. ANY BEARING, DISTANCE, AREA, SETBACK OR OTHER DIMENSION MAY BE SUBJECT TO CHANGE WITH FURTHER INVESTIGATION AND LODGEMENT OF A PLAN AT THE LAND TITLES OFFICE.

THEREFORE, AT TIME OF SITE PEGOUT BEFORE CONSTRUCTION WORKS COMMENCE, THERE MAY BE SOME MINOR DISCREPANCIES WITH THE SETBACKS BETWEEN BUILDINGS AS SHOWN ON THE SITE PLAN.

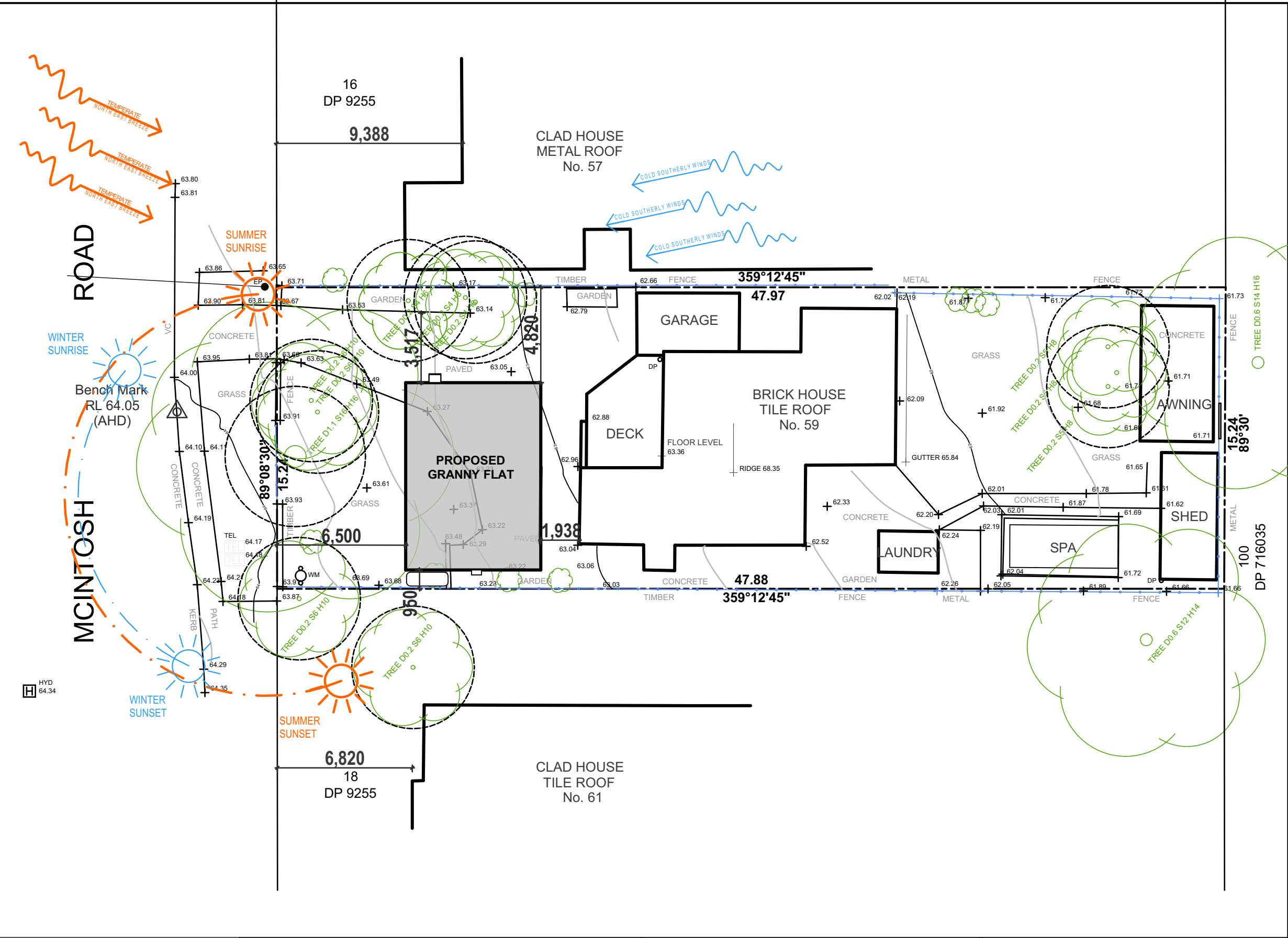
CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES AT WHICH REDUCED LEVEL CAN BE RELIED UPON. CONTOURS ARE DISPLAYED AT 1 METRE MAJOR AND 0.25 METRE MINOR INTERVALS.

SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. IT IS STRONGLY ADVISED TO VISIT 'DIAL BEFORE YOU DIG' PRIOR TO ANY EXCAVATION OR CONSTRUCTION AND VERIFY LOCATIONS WITH A SUITABLY QUALIFIED SERVICE LOCATOR PRIOR TO ANY WORKS OR CRITICAL DESIGN.

IT IS STRONGLY ADVISED TO REVIEW AN UP TO DATE TITLE SEARCH AND GIVE CAREFUL CONSIDERATION TO ALL ITEMS PRIOR TO ANY PLANNING OR CONSTRUCTION.

TREE AND ROOF PROFILE DETAILS ARE APPROXIMATE ONLY.

WHEN BUILDING ON A SITE WITH AN EXISTING INGROUND POOL, GRANNY FLAT SOLUTIONS WILL NOT BE RESPONSIBLE FOR ANY VIBRATION CAUSED TO THE POOL DURING EXCAVATION, PIERING AND CONSTRUCTION, OR TO FUTURE DAMAGE



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**DIAL 1100**  
BEFORE YOU DIG

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CLIENT DETAILS

59 McIntosh Road, Dee Why  
Ben & Elizabeth Davis

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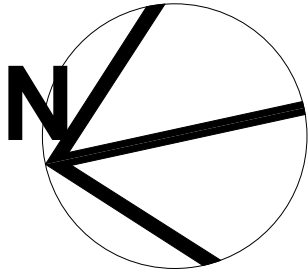
**SITE PLAN & ANALYSIS**

DESIGN BY

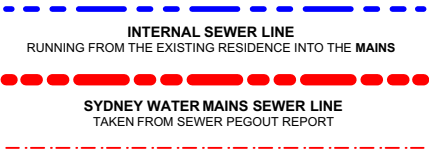
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LEGEND FOR WORKING WITHIN THE SYDNEY  
WATER MAIN SEWER LINE



**ZONE OF INFLUENCE (ZOI)-**  
ANY WORKS WITHIN THE ZOI WILL REQUIRE ADDITIONAL PIERING OR ENCASING, AS WELL AS  
ADDITIONAL APPROVALS & INSPECTIONS BY A WATER SERVICES COORDINATOR

FLOOR FINISHES NOTE

PLEASE NOTE THAT THERE MAY BE A SMALL STEP WHEN THERE IS A CHANGE IN  
FLOOR FINISHES BETWEEN ROOMS

FLYSCREEN NOTES

ALL FLYSCREEN FOR SLIDING DOORS TO HAVE MID BARS

GLAZING NOTES

ALL GLAZING TO COMPLY WITH AS1288 & BASIX CERTIFICATE  
ALL WINDOWS WILL HAVE A FIXED PANEL ON THE RIGHT AND OPENING PANEL  
ON THE LEFT, WHEN VIEWED FROM THE OUTSIDE, UNLESS REQUESTED  
OTHERWISE. SLIDING DOORS WILL OPEN IN DIRECTION AS SHOWN ON PLAN.

STUD OPENING SIZE

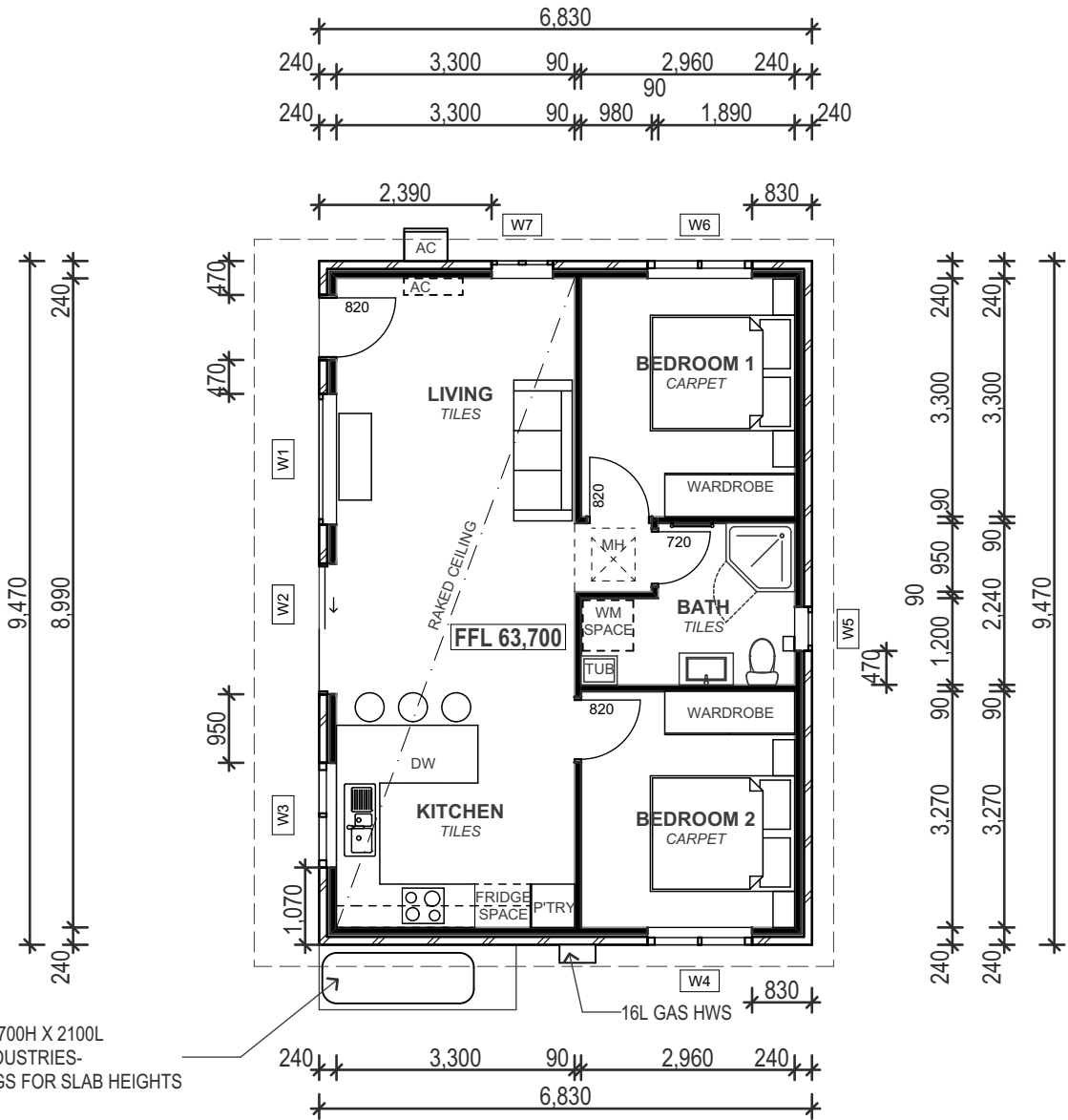
ADD 60mm TO HEIGHT AND 50mm TO WIDTH OF ALL WINDOWS

BAL RATING: SEE NOTE ON PAGE 1

WINDOW SCHEDULE

W#	HEIGHT	WIDTH	FRAME	GLAZING	TYPE	REVEAL
W1	600	1,810	ALUMINIUM	CLEAR	FIXED	138mm
W2	2,100	1,810	ALUMINIUM	CLEAR	SLIDING	138mm
W3	1,029	1,450	ALUMINIUM	CLEAR	SLIDING	138mm
W4	1,200	1,450	ALUMINIUM	CLEAR	SLIDING	138mm
W5	857	610	ALUMINIUM	OBSCURE	AWNING	138mm
W6	1,200	1,450	ALUMINIUM	CLEAR	SLIDING	138mm
W7	1,800	850	ALUMINIUM	CLEAR	SLIDING	138mm

2000L SLIMLINE WATER TANK 680W X 1700H X 2100L  
ON 900 X 3000 CONC SLAB BY POLY INDUSTRIES-  
REFER TO HYDRAULIC ENG'S DRAWINGS FOR SLAB HEIGHTS



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Ben & Elizabeth Davis

LOT 17 - DP 9255

FLOOR PLAN

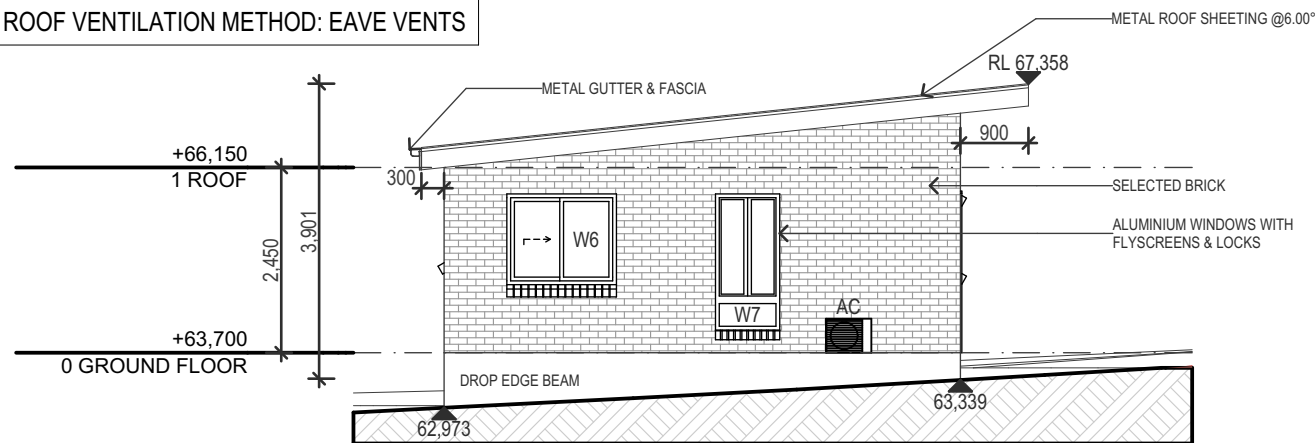
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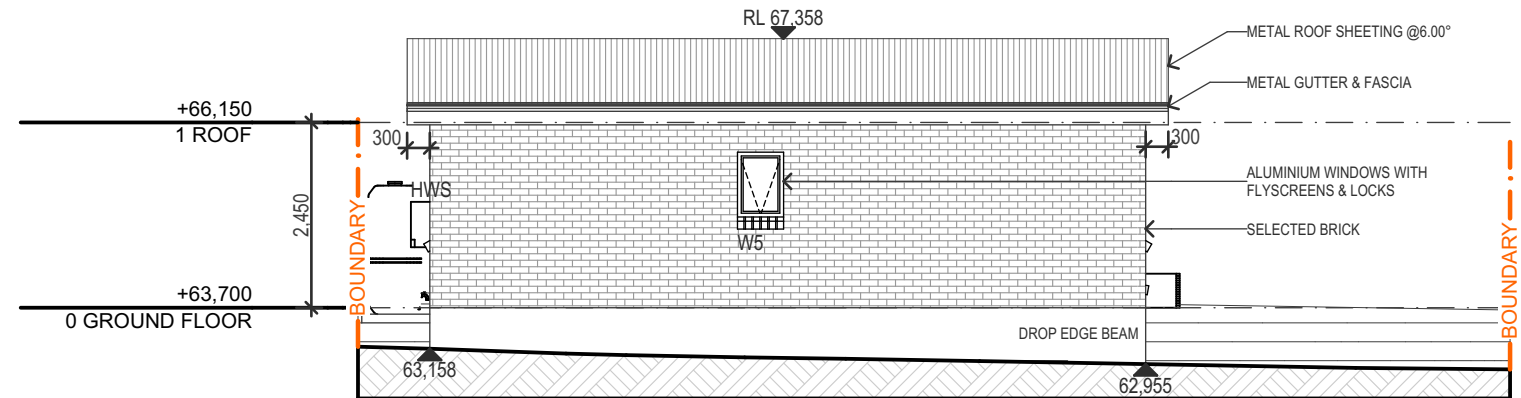
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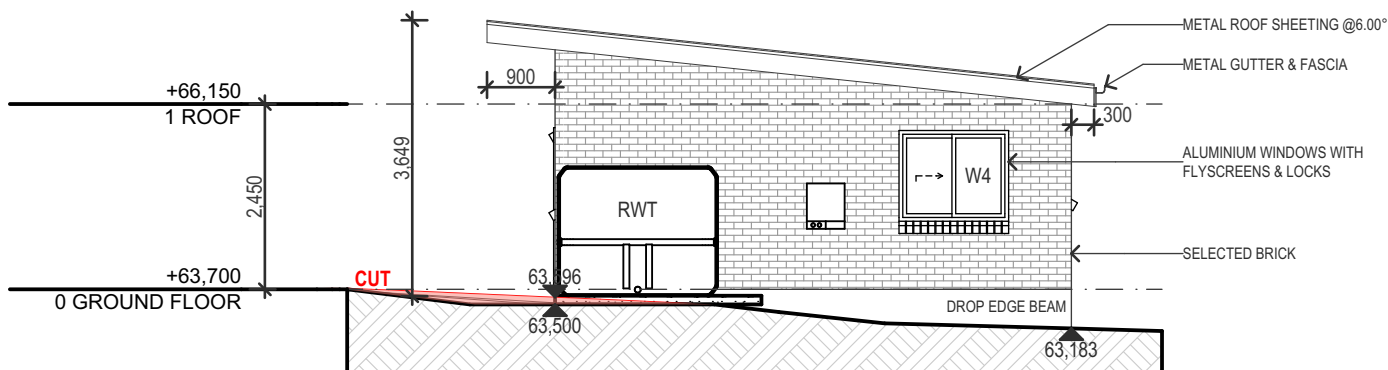
ROOF VENTILATION METHOD: EAVE VENTS



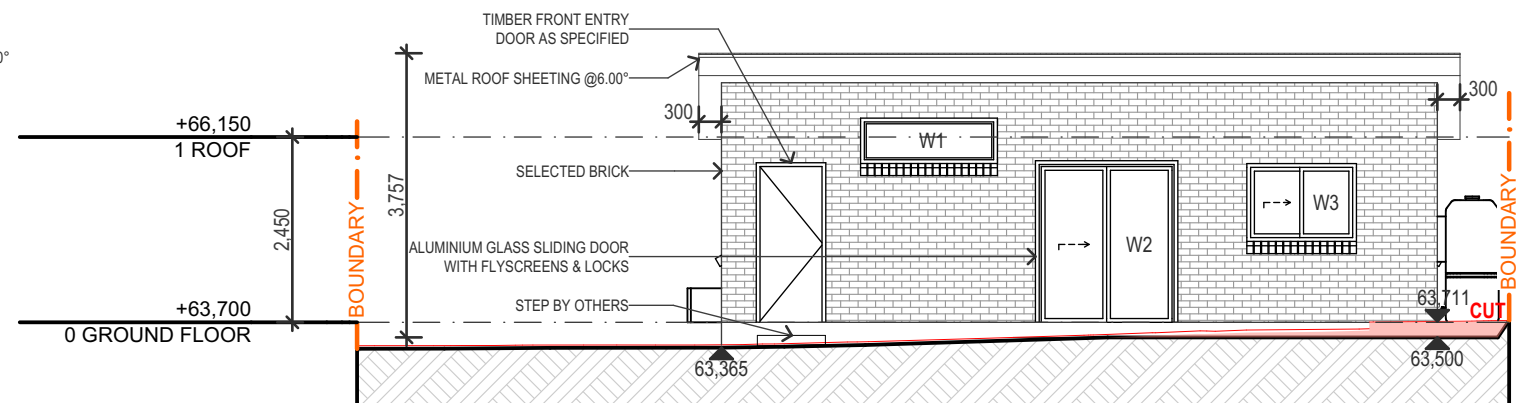
EAST ELEVATION



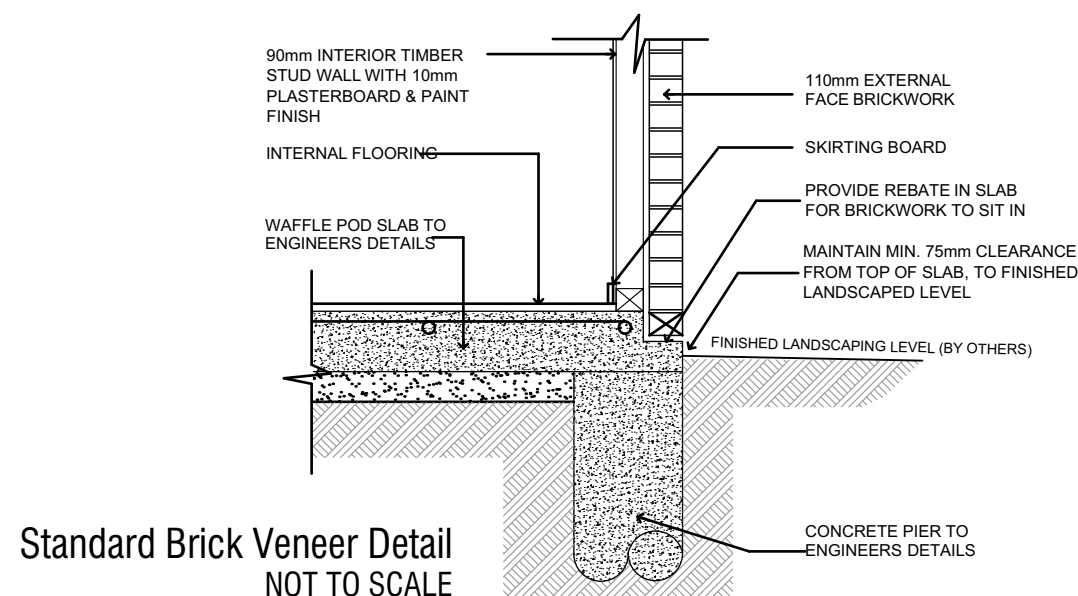
SOUTH ELEVATION



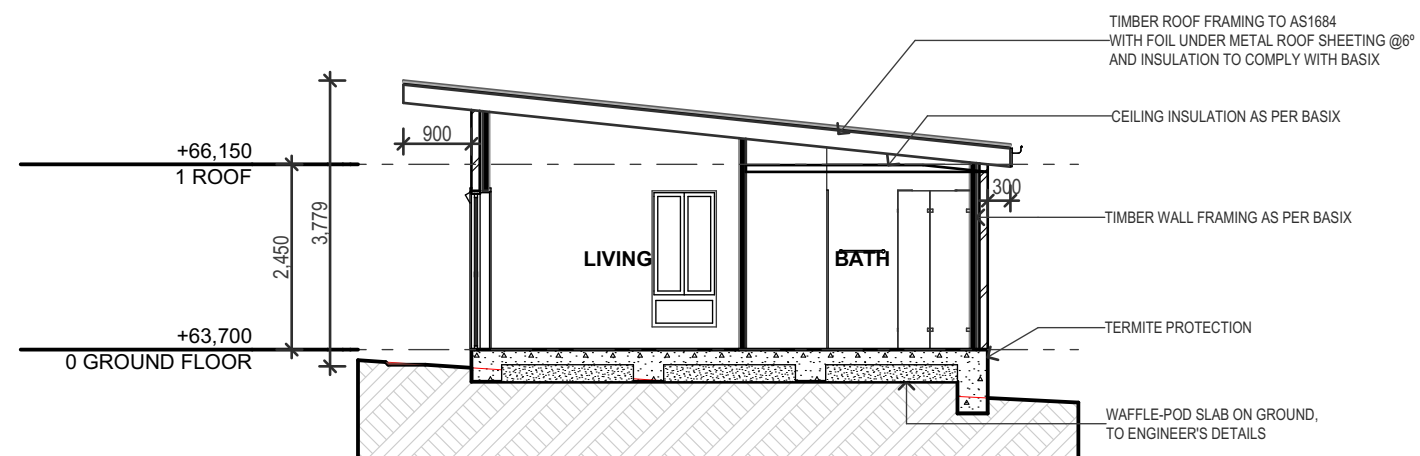
WEST ELEVATION



NORTH ELEVATION



Standard Brick Veneer Detail  
NOT TO SCALE



CROSS SECTION

#### LANDSCAPING NOTE

UNLESS SPECIFIED IN YOUR CONTRACT, NO LANDSCAPING WORKS HAVE BEEN ALLOWED FOR AROUND THE BUILDING.

AT COMPLETION OF LANDSCAPE WORKS, THE SLAB HEIGHT MUST REMAIN A MIN. OF 75mm ABOVE THE FINISHED LANDSCAPED LEVEL.

#### GUTTERING AND VALLEY NOTE

WHEN BUILDING NEAR TREES, WE STRONGLY RECOMMEND YOU INSTALL GUTTER-GUARD OR A SIMILAR PRODUCT IN ALL GUTTERS AND VALLEYS, TO PREVENT LEAF BUILD-UP AND WATER OVERFLOW UNDER THE ROOF TILES OR SHEETING

#### FLOOR LEVEL NOTE

THE FLOOR LEVEL SHOWN ON THE ELEVATIONS MAY VARY SLIGHTLY ON SITE, DUE TO SITE CONDITIONS AND FINAL LEVELS AFTER EXCAVATION AND REMOVAL OF SOIL.

UNLESS SPECIFIED IN YOUR TENDER AND BUILDING CONTRACT, NO DIRT REMOVAL HAS BEEN ALLOWED FOR WHEN LEVELLING THE SITE FOR A CONCRETE SLAB. WHEN ACCESS IS TIGHT, A DECISION WOULD NEED TO BE MADE AS TO WHERE TO STOCKPILE ON SITE TO AVOID ACCESS INTERRUPTIONS OR A COST TO REMOVE THE SOIL CAN BE ARRANGED OR YOU.

FURTHERMORE, NO EXTERNAL STEPS TO PORCHES, DROP EDGE BEAMS OR RETAINING WALLS HAVE BEEN ALLOWED FOR, UNLESS SPECIFIED IN YOUR TENDER.

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SCALE A3	1:100
SHEET	CDC 04

#### CLIENT DETAILS

59 McIntosh Road, Dee Why  
Ben & Elizabeth Davis

LOT 17 - DP 9255

## ELEVATIONS & SECTION

#### DESIGN BY

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Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Fixtures</b>			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✔	✔
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✔	✔
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		✔	
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		✔	
<b>Alternative water</b>			
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✔	✔	✔
The applicant must configure the rainwater tank to collect rain runoff from at least 104 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✔	✔
The applicant must connect the rainwater tank to: <ul style="list-style-type: none"><li>at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)</li></ul>		✔	✔
<b>Energy Commitments</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
<b>Hot water</b>			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	✔	✔	✔
<b>Cooling system</b>			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 3 Star		✔	✔
The bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.		✔	✔
<b>Heating system</b>			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 3 Star		✔	✔
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✔	✔
<b>Ventilation</b>			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off  Kitchen: individual fan, not ducted; Operation control: manual switch on/off  Laundry: natural ventilation only, or no laundry; Operation control: n/a		✔ ✔ ✔	✔ ✔ ✔
<b>Artificial lighting</b>			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none"><li>at least 2 of the bedrooms / study; dedicated</li><li>at least 2 of the living / dining rooms; dedicated</li><li>the kitchen; dedicated</li></ul>		✔ ✔ ✔	✔ ✔ ✔
<b>Energy Commitments</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
<ul style="list-style-type: none"><li>all bathrooms/toilets; dedicated</li><li>the laundry; dedicated</li><li>all hallways; dedicated</li></ul>		✔ ✔ ✔	✔ ✔ ✔
<b>Natural lighting</b>			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✔	✔	✔
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	✔	✔	✔
<b>Other</b>			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✔	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✔	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✔	
The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.		✔	

CERTIFICATE NUMBER: 0151868S

Project score			
Water	✔	43	Target 40
Thermal Comfort	✔	Pass	Target Pass
Energy	✔	54	Target 50

<b>GENERAL NOTES</b>					CLIENT DETAILS		DESIGN BY
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				SCALE A3	1:1.54, 1:1.67		
2/12/2019	AC	E	DA Issue to Council	SHEET	CDC 05		
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Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>General features</b>			
The dwelling must not have more than 2 storeys.	✔	✔	✔
The conditioned floor area of the dwelling must not exceed 300 square metres.	✔	✔	✔
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✔	✔	✔
The dwelling must not contain third level habitable attic room.	✔	✔	✔
<b>Floor, walls and ceiling/roof</b>			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✔	✔	✔

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground	nil	
external wall - brick veneer	1.86 (or 2.40 including construction)	
ceiling and roof - flat ceiling / pitched roof	ceiling: 1.95 (up), roof: foil backed blanket (75 mm)	1 wind-driven ventilator(s) + eave vents; dark (solar absorptance > 0.70)
ceiling and roof - raked ceiling / pitched or skillion roof, framed	ceiling: 2.24 (up), roof: foil backed blanket (75 mm)	framed; dark (solar absorptance > 0.70)

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Windows, glazed doors and skylights</b>			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✔	✔	✔
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✔	✔	✔
The following requirements must also be satisfied in relation to each window and glazed door: <ul style="list-style-type: none"><li>For the following glass and frame types, the certifier check can be performed by visual inspection.<ul style="list-style-type: none"><li>Aluminium single clear</li><li>Aluminium double (air) clear</li><li>Timber/uPVC/fibreglass single clear</li><li>Timber/uPVC/fibreglass double (air) clear</li></ul></li></ul>	✔	✔	✔ ✔

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
<b>North facing</b>					
W01	600	1810	aluminium, single, clear	eave 300 mm, 50 mm above head of window or glazed door	not overshadowed
W02	2100	1810	aluminium, single, clear	eave 300 mm, 50 mm above head of window or glazed door	not overshadowed
W03	1029	1450	aluminium, single, clear	eave 300 mm, 50 mm above head of window or glazed door	not overshadowed
<b>East facing</b>					
W06	1200	1450	aluminium, single, clear	eave 300 mm, 50 mm above head of window or glazed door	not overshadowed
W07	1800	850	aluminium, single, clear	eave 300 mm, 50 mm above head of window or glazed door	not overshadowed
<b>South facing</b>					
Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
W05	600	610	aluminium, single, clear	eave 300 mm, 50 mm above head of window or glazed door	not overshadowed
<b>West facing</b>					
W04	1200	1450	aluminium, single, clear	eave 300 mm, 50 mm above head of window or glazed door	not overshadowed



# Colour & Material Schedule

## For a Proposed Secondary Dwelling

**Site Address:** 59 McIntosh Rd, Dee Why



The colour scheme will be similar as shown above, with the following colours selected:

**External Walls:** Brick - Colour: Dark Grey

**Fascia:** Colour: Dark Grey

**Gutters:** Colour: Dark Grey

**Roof tiles:** Colour: Dark Grey

**Windows:** Powder Coated Aluminium – Colour: White

**Note:** *Shades may vary slightly with the finished product.*



# PROPOSED SECONDARY DWELLING AT 59 MCINTOSH RD, DEE WHY NSW 2099

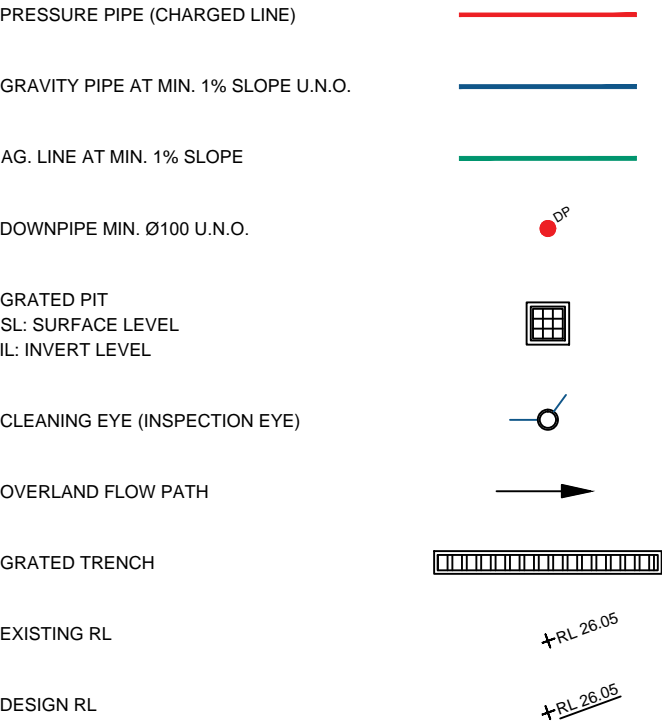
## GENERAL NOTES

- G1 ALL WORKS SHALL BE IN ACCORDANCE WITH B.C.A AND AS3500.3.
- G2 ALL EXISTING LEVELS TO BE CONFIRMED BY BUILDER PRIOR TO CONSTRUCTION.
- G3 THE BUILDER SHALL ENSURE THAT THE STORMWATER ENGINEERS DRAWINGS CORRESPOND TO THE ARCHITECTURAL, STRUCTURAL, AND LANDSCAPING DRAWINGS. IF THERE EXISTS ANY DISCREPANCIES BETWEEN THE DRAWINGS, THE BUILDER SHALL REPORT THE DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCEMENT OF ANY WORKS.
- G4 PRIOR TO COMMENCING ANY WORKS, THE BUILDER SHALL ENSURE THAT THE INVERT LEVELS OF WHERE THE SITE STORMWATER SYSTEM CONNECTS INTO THE COUNCILS KERB/DRAINAGE SYSTEM MATCHED THE DESIGN LEVELS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER.
- G5 THE DRAINAGE CONTRACTOR IS TO LOCATE AND RELOCATE AS NECESSARY ALL SERVICES ON SITE.
- G6 ALL LEVELS SHALL RELATE TO THE ESTABLISHED BENCH MARK. THIS IS TYPICALLY METRES TO AUSTRALIAN HEIGHT DATUM (AHD).
- G7 ALL DOWNPIPES TO BE 100MM DIAMETER UNLESS NOTED OTHERWISE.
- G8 ALL DOWN PIPES TO HAVE LEAF GUARDS.
- G9 ALL LINES ARE TO BE 100MM DIAMETER uPVC AT A MINIMUM 1.0% SLOPE UNLESS NOTED OTHERWISE. LINES ARE TO BE SEWER-GRADE AND SEALED.
- G10 ALL PIPES TO HAVE MINIMUM 150MM COVER IF LOCATED WITHIN PROPERTY.
- G11 ALL THE CLEANING EYES (OR INSPECTION EYES) FOR THE UNDERGROUND PIPES HAVE TO BE TAKEN UP TO THE FINISHED GROUND LEVEL FOR EASY IDENTIFICATION AND MAINTENANCE PURPOSES.
- G12 ALL SUB-SOIL DRAINAGE SHALL BE OF A MINIMUM 100MM DIAMETER AND SHALL BE PROVIDED WITH A FILTER SOCK. THE SUBSOIL DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH DETAILS TO BE PROVIDED BY THE LANDSCAPE ARCHITECT OR STORMWATER ENGINEER.
- G13 ALL RETAINING WALLS SHALL BE CONSTRUCTED COMPLETELY WITHIN THE PROPERTY BOUNDARY LIMITS TO DETAILS PREPARED BY THE STRUCTURAL ENGINEER. WALLS FORMING THE ON-SITE DETENTION SYSTEM SHALL BE OF MASONARY/BRICK/CONCRETE CONSTRUCTION AND WATER TIGHT.
- G14 ALL MULCHING TO BE USED WITHIN THE AREA DESIGNATED AS ON-SITE DETENTION STORAGE SHALL BE OF A NON-FLOTABLE MATERIAL SUCH AS DECORATIVE RIVER GRAVEL. PINE PARK MULCHING SHALL NOT BE USED WITHIN THE DETENTION STORAGE AREA.
- G15 ALL DRAINAGE WORKS ARE TO AVOID TREE ROOTS. ROOT BARRIER TO BE INSTALLED ADJACENT TO TREE ZONES WHERE DRAINAGE MAY BE AT RISK.
- G16 ALL WORK WITHIN COUNCIL RESERVE TO BE INSPECTED BY COUNCIL PRIOR TO CONSTRUCTION.
- G17 COUNCIL'S ISSUED FOOTWAY DESIGN LEVELS TO BE INCORPORATED INTO THE FINISHED LEVELS ONCE ISSUED BY COUNCIL.

## RAINWATER TANKS

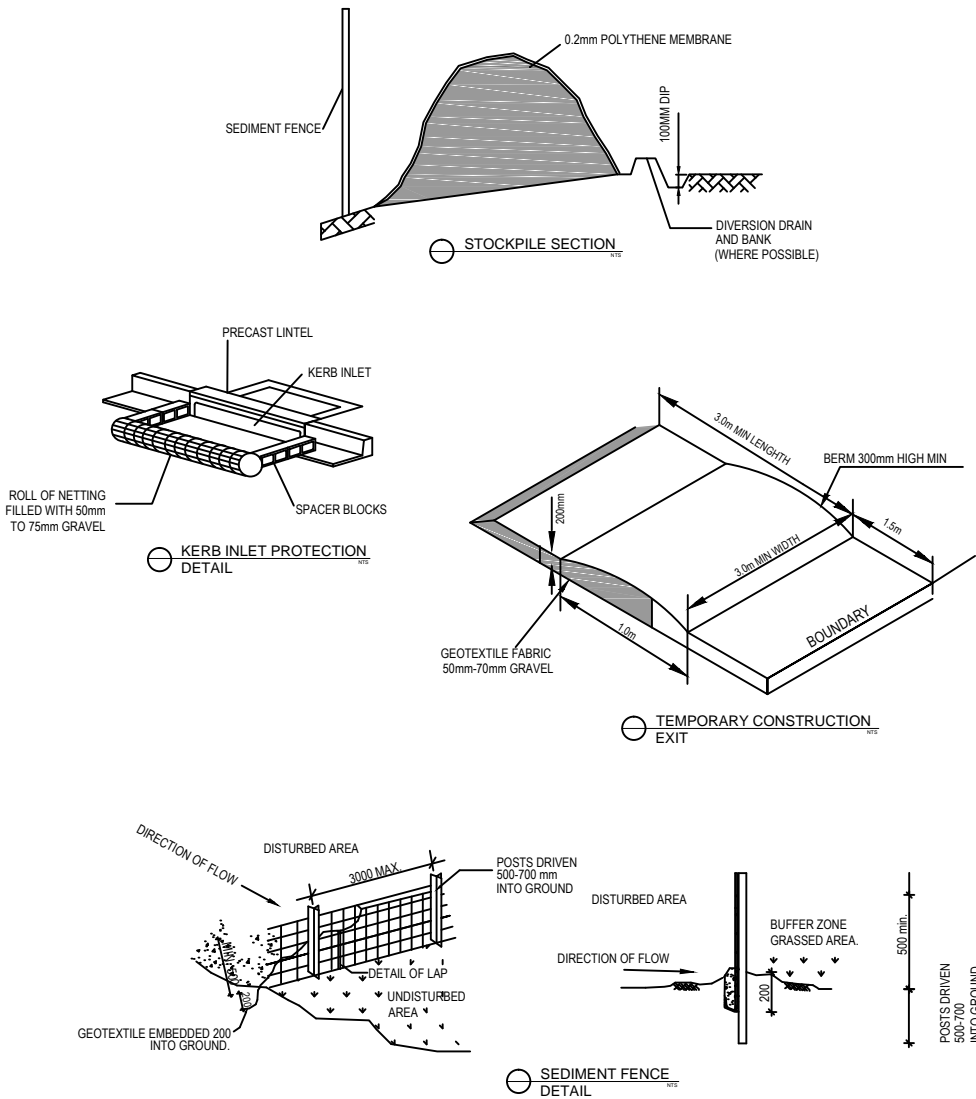
- R1 RAINWATER TANK, DRAINED ROOF AREAS AND REUSE PLUMBING TO COMPLY WITH BASIX REQUIREMENTS AND CERTIFICATE.
- R2 ADEQUATE SCREENING TO PREVENT MOSQUITO BREEDING AND ENTRY OF ANIMAL OR FLOATING MATTER.
- R3 A 'FIRST FLUSH' DIVERSION TO REMOVE ROOF CONTAMINANTS MUST BE PROVIDED.
- R4 TANKS TO BE PUMPED TO TOP-UP FROM THE POTABLE WATER SUPPLY DURING DRY PERIOD WHEN THE TANK IS 80% EMPTY.
- R5 PUMP TO BE SUITABLY SOUNDPROOFED.
- R6 A SIGN IS TO BE INSTALLED NEAR THE RAINWATER TANK HIGHLIGHTING "NOT FOR HUMAN CONSUMPTION".

## LEGEND



## SEDIMENT & EROSION CONTROL

- S1 PLANS ARE MINIMUM REQUIREMENTS AND ARE TO BE USED AS A GUIDE ONLY. EXACT MEASURES USED SHALL BE DETERMINED ON SITE IN CONJUNCTION WITH PROGRAM OF CONTRACTORS WORKS.
- S2 IMMEDIATELY FOLLOWING SETTING OUT OF THE WORKS, BUT PRIOR TO COMMENCEMENT OF ANY CLEARING OR EARTHWORKS, THE CONTRACTOR AND SUPERINTENDENT SHALL WALK THE SITE TO NOMINATE THE LOCATIONS AND TYPES OF SEDIMENT AND EROSION CONTROL MEASURE TO BE ADOPTED. THESE MEASURES SHALL BE IMPLEMENTED PRIOR TO ANY CLEARING OR EARTHWORKS AND MAINTAINED UNTIL THE WORKS ARE COMPLETED AND NO LONGER POSE AN EROSION HAZARD, UNLESS OTHERWISE APPROVED BY THE SUPERINTENDENT.
- S3 IMMEDIATELY FOLLOWING SETTING OUT OF THE WORKS, BUT PRIOR TO COMMENCEMENT OF ANY CLEARING OR EARTHWORKS, THE CONTRACTOR AND SUPERINTENDENT SHALL WALK THE SITE TO IDENTIFY AND MARK TREES WHICH ARE TO BE PRESERVED. NOTWITHSTANDING THE ABOVE, THE CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTIONS TO MINIMISE DISTURBANCE TO EXISTING VEGETATION AND GROUND COVER OUTSIDE THE MINIMUM AREAS REQUIRED TO COMPLETE THE WORKS AND SHALL BE RESPONSIBLE FOR RECTIFICATION, AT ITS OWN COST, OF ANY DISTURBANCE BEYOND THOSE AREAS.
- S4 PROVIDE GULLY GRATE INLET SEDIMENT TRAPS AT ALL GULLY PITS.
- S5 PROVIDE SILT FENCING ALONG PROPERTY LINE AS DIRECTED BY SUPERINTENDENT.
- S6 ADDITIONAL CONTROL DEVICES TO BE PLACED WHERE DIRECTED BY THE PRINCIPLE.
- S7 ALTERNATIVE DESIGNS TO BE APPROVED BY SUPERINTENDENT PRIOR TO CONSTRUCTION.
- S8 WASH DOWN/RUMBLE AREA TO BE CONSTRUCTED WITH PROVISIONS RESTRICTING ALL SILT AND TRAFFICKED DEBRIS FROM ENTERING THE STORMWATER SYSTEM.
- S9 NO WORK OR STOCKPILING OF MATERIALS TO BE PLACED OUTSIDE OF SITE WORK BOUNDARY.
- S10 APPROPRIATE EROSION AND SEDIMENT CONTROLS TO BE USED TO PROTECT STOCKPILES AND MAINTAINED THROUGHOUT CONSTRUCTION.
- S11 IT IS THE CONTRACTORS RESPONSIBILITY TO TAKE DUE CARE OF NATURAL VEGETATION. NO CLEARING IS TO BE UNDERTAKEN WITHOUT PRIOR APPROVAL FROM THE SUPERINTENDENT.
- S12 TO AVOID DISTURBANCE TO EXISTING TREES, EARTHWORKS WILL BE MODIFIED AS DIRECTED ON SITE BY THE SUPERINTENDENT.



## SEDIMENT FENCE

- F1 FILTER CLOTH TO BE FASTENED SECURELY TO POSTS WITH GALVANISED WIRE TIES, STAPLES OR ATTACHMENT BELTS.
- F2 WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 150MM AND FOLDED.
- F3 POSTS SHALL NOT BE SPACED MORE THAN 3.0 METRES APART.
- F4 FOR EXTRA STRENGTH TO SILT FENCE, WOVEN WIRE (14MM GAUGE, 150MM MESH SPACING) TO BE FASTENED SECURELY BETWEEN FILTER CLOTH AND POSTS BY WIRE TIES OR STAPLES
- F5 INSPECTIONS SHALL BE PROVIDED ON A REGULAR BASIS, SPECIALLY AFTER RAINFALL AND EXCESSIVE SILT DEPOSITS REMOVED WHEN "BULGES" DEVELOP IN SILT FENCE  
SEDIMENT FENCES SHALL BE CONSTRUCTED WITH SEDIMENT TRAPS AND EMERGENCY SPILLWAYS AT SPACINGS NO GREATER THAN 40M ON FLAT TERRAIN DECREASING TO 20M SPACINGS ON STEEP TERRAIN

**NOTE**  
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REV	DATE	DESCRIPTION	BY
B	12.12.2019	LEVEL SPREADER RELOCATED	M.Y
A	10.12.2019	ISSUED FOR DA	M.Y

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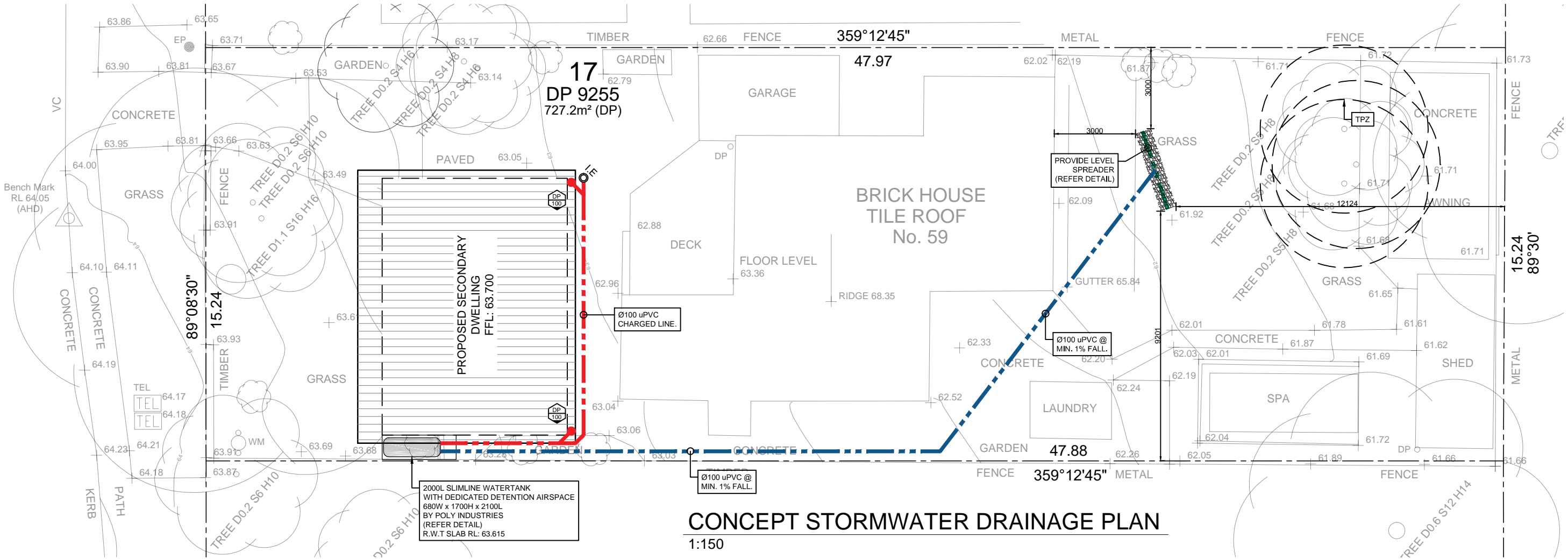
**PROPOSED SECONDARY DWELLING**  
AT 59 MCINTOSH RD, DEE WHY NSW 2099  
FOR GRANNY FLAT SOLUTIONS

**GENERAL NOTES**

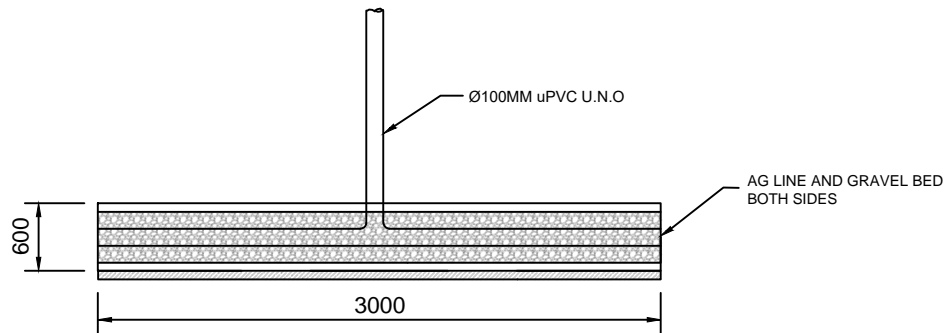
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DESIGNED BY: M.Y	DATE: 10/12/2019	
DRAWN BY: M.Y	SCALE: AS SHOWN	



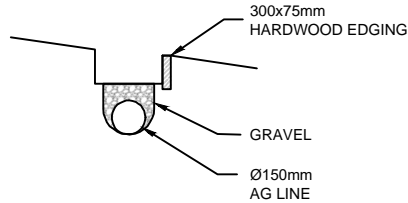
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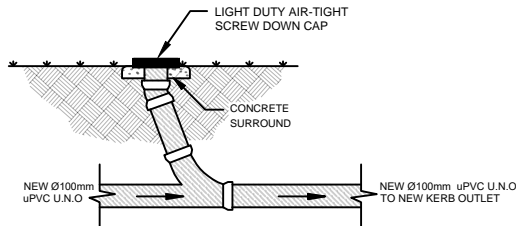
CONCEPT STORMWATER DRAINAGE PLAN  
1:150



LEVEL SPREADER  
PLAN



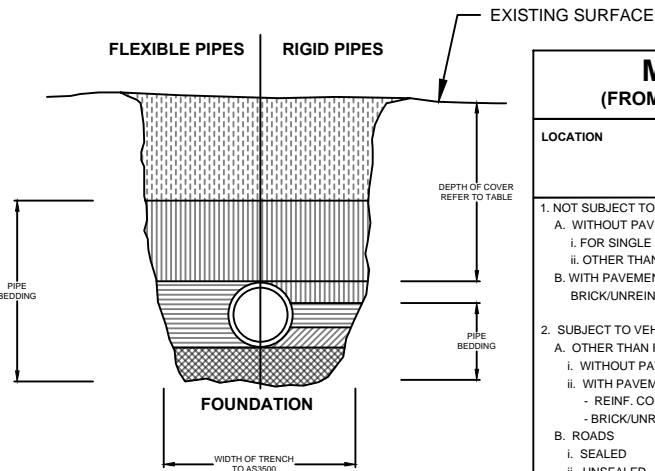
LEVEL SPREADER  
SECTION



TYPICAL INSPECTION  
RISER DETAIL

LEGEND - TRENCH BACKFILL		
SYMBOL	FLEXIBLE PIPES	RIGID PIPES
	BACKFILL	BACKFILL
	PIPE OVERLAY	PIPE OVERLAY
	PIPE SIDE SUPPORT	SIDE ZONE
	PIPE UNDERLAY	BED ZONE

TYPICAL PIPE LAYING  
DETAIL



**NOTE:**  
STORMWATER DRAINS CONSTRUCTED OF OTHER THAN CAST IRON, DUCTILE IRON OR GALVANISED STEEL HAVING COVER LESS THAN THAT SPECIFIED IN THE TABLE SHALL BE COVERED WITH AT LEAST 50 mm OVERLAY AND SHALL BE PAVED WITH AT LEAST:  
a. 100mm THICKNESS OF REINFORCED CONCRETE WHERE SUBJECT TO HEAVY VEHICULAR LOADING.

MINIMUM PIPE COVER (FROM FINISHED SURFACE TO TOP OF PIPE)		
LOCATION	MINIMUM COVER (mm)	
	CAST/DUCTILE IRON GAL STEEL	OTHER AUTHORISED PRODUCTS (*)
1. NOT SUBJECT TO VEHICULAR LOADING: A. WITHOUT PAVEMENT: i. FOR SINGLE DWELLINGS - ii. OTHER THAN SINGLE DWELLINGS - B. WITH PAVEMENT OF BRICK/UNREINFORCED CONCRETE -	0 0	100 300
	0 (**)	50 (**)
2. SUBJECT TO VEHICULAR LOADING: A. OTHER THAN ROADS: i. WITHOUT PAVEMENT - ii. WITH PAVEMENT OF: - REINF. CONC. FOR HEAVY VEHICLES - - BRICK/UNREINF. CONC LIGHT VEHICLES - B. ROADS i. SEALED ii. UNSEALED	300 0 (** #) 0 (** #) 300 300	450 100 (** #) 75 (** #) 500 (#) 500 (#)
	300	500 (#)
3. SUBJECT TO CONSTRUCTION VEHICLES OR IN EMBANKMENT CONDITIONS	300	500 (#)

(\*) INCLUDES OVERLAY ABOVE THE TOP OF THE PIPE OF NOT LESS THAN 50mm THICK  
(\*\*) BELOW THE UNDERSIDE OF THE PAVEMENT  
(#) SUBJECT TO COMPLIANCE WITH AS1762, AS2033, AS/NZS 2566.1, AS3725 OR AS 4060



NOT FOR CONSTRUCTION

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REV	DATE	DESCRIPTION	BY
B	12.12.2019	LEVEL SPREADER RELOCATED	M.Y
A	10.12.2019	ISSUED FOR DA	M.Y

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**PROPOSED SECONDARY DWELLING**  
AT 59 MCINTOSH RD, DEE WHY NSW 2099  
FOR GRANNY FLAT SOLUTIONS  
**CONCEPT STORMWATER DRAINAGE PLAN/ DETAILS**

JOB NUMBER: 19666	DWG NUMBER: C001	ORIGINAL SIZE: A3
DESIGNED BY: M.Y	DATE: 10/12/2019	
DRAWN BY: M.Y	SCALE: AS SHOWN	

EAVES GUTTER AND DOWN PIPE DESIGN TO AS/NZS 3500.3: 2018

59 McIntosh Rd, Dee Why NSW 2099

Proposed secondary dwelling

Horizontal catchment area	Ah	=	81	sq.m
Roof Average slope	S	=	6	degrees
Intensity	I	=	200	mm/hr
Is Gutter slope steeper than 1:500 ?			Yes	
Down pipe size selected	dia	=	100	mm
Cross referencing From Table 3.5.2 and Fig 3.5.2				
Theoretical number of DPs required	Tnum	=	1.97	
Selected Number of Down pipes	n	=	2	
from AS3500 Table 3.4.5.2, C'ment Area Multiplier	f	=	1.05	
Roof Area allowing for slope	Ac	=	Ah*f	
			= 85.1	sq.m
Catchment Area per DP	A	=	Ac/n	sq.m
			= 42.5	sq.m
Flow/DP	q	=	I*A/3600	litres/sec
			= 2.36	litres/sec
from AS/NZS 3500 fig 3.5.2(B), Gutter Area			= 8101	sq.mm
Gutter Area rounded to nearest 100sq.mm			= 8100	sq.mm
From AS/NZS 3500 Table 3.5.2,, Down Pipe size			= 100	mm
Down Pipe size selected			= 100	mm
Summary				
This catchment requires :- number of DPs			= 2	
Downpipe size			= 100	mm
minimum eaves gutter cross sectional Area			= 8101	sq.mm

Notes:

Notes:

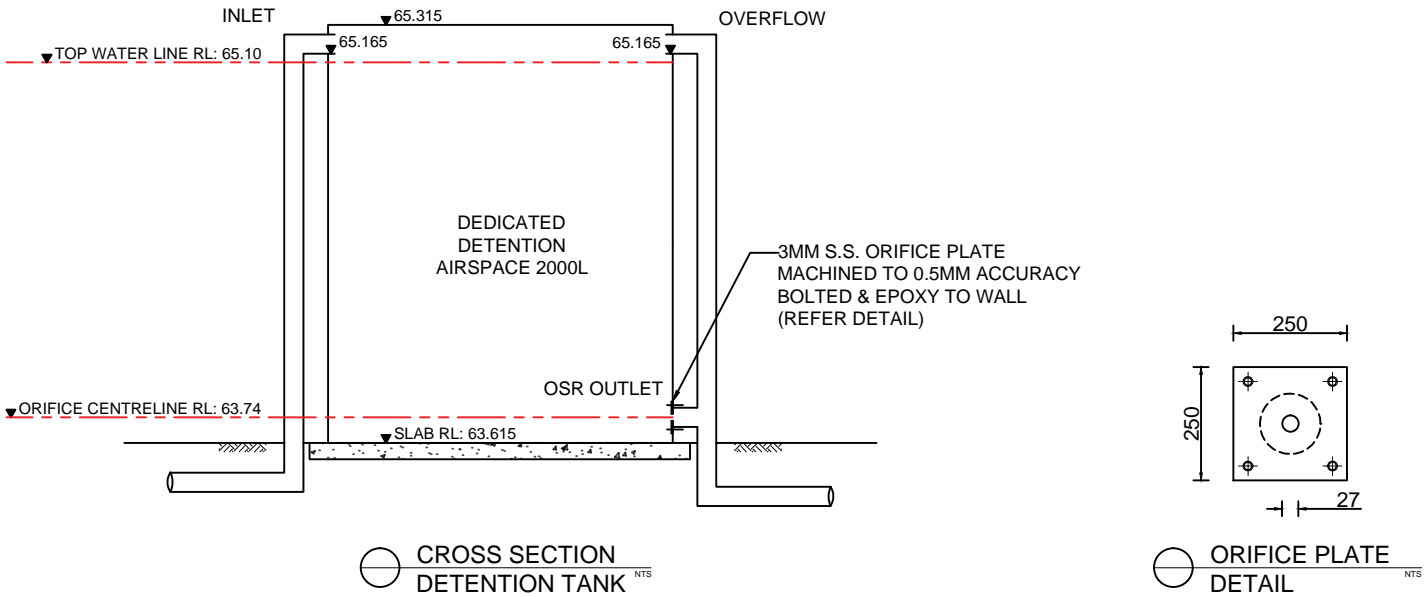
Catchment area of each DP to be roughly similar size.  
Length of any gutter draining to a downpipe to be not longer than 12m.(NCC vol2).

POSSIBLE OPTIONS

	Number Req'd	Number Used	Gutter Area	Gutter Width	Gutter Depth
90 Dia:	2.6	3	5886	110	55
100 Dia:	1.97	2	8101	125	65
150 Dia:	0.73	1	14232	170	85
225 Dia:	0.26	1	14232	170	85
300 Dia:	0.13	1	14232	170	85

DOWNPIPE CAPACITY In terms of Plan area of roof.

	90 Dia	100 Dia	150 Dia	225 Dia	300 Dia
Max Catchment Area (sq.m)	31	41	111	322	660
Gutter Area (sq.mm)	6600	8200	18400	42310	76563



DISCHARGE CALCULATIONS:

VOLUME CALCULATED USING DRAINS SOFTWARE

DURATION	PRE-DEVELOPED STATE	POST-DEVELOPED STATE
5 YEAR ARI - 60 MIN. STORM	2L/S	1L/S
10 YEAR ARI - 60 MIN. STORM	2L/S	1L/S
20 YEAR ARI - 60 MIN. STORM	3L/S	2L/S
50 YEAR ARI - 60 MIN. STORM	3L/S	2L/S
100 YEAR ARI - 60 MIN. STORM	4L/S	2L/S

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AT 59 MCINTOSH RD, DEE WHY NSW 2099  
FOR GRANNY FLAT SOLUTIONS

**STORMWATER DRAINAGE DETAILS**

JOB NUMBER:  
19666

DESIGNED BY:  
M.Y

DRAWN BY:  
M.Y

DWG NUMBER:  
C002

DATE:  
10/12/2019

SCALE:  
AS SHOWN

ORIGINAL SIZE:  
A3

