Walter Barda Design

STATEMENT OF ENVIRONMENTAL EFFECTS

For

New Residential Building and swimming pool

At

128 Headland road, North Curl Curl NSW 2099

Prepared For
M. Hawker & L. Ralph

ISSUE A

30th September 2020

Job No. 05 2017

DATE	ISSUE	PREPARED BY	APPROVED BY
30.09.2020	A	Adrian Walter Ball	Walter Barda Design.

Walter Barda Design Pty Limited | ABN 48 072 136 513 | www.walterbardadesign.com.au
Office 2.04, 13-15 Wentworth Avenue, Sydney NSW 2000 Australia | T+61 2 9264 4240
Director Walter Barda
NSW Nominated Architect Adrian Ball Registration No 7745

1. INTRODUCTION 3

2. SITE LOCATION AND DESCRIPTION 4

2.1 Site Details 4

FIGURE 1: AERIAL PHOTO; SUBJECT SITE OUTLINED IN RED SOURCE: SIX MAPS. 4

FIGURE 2: SITE ANALYSIS DETAIL PLAN. 5

2.2 Site Description 5

Figure 3: Subject site Google street view from Headland road, looking north. 6

Figure 4: Subject site Google street view from Carew Street, looking west. 6

Figure 5: Google street view from Carew Street, looking south 6

2.3 Evaluation of the Existing Features at 128 Headland Road, North Curl Curl. 7

3. PROPOSAL 7

3.1 General Description of the Proposal 7

3.2 Architectural Design Statement 7

4. S.79C(1)(A) STATUTORY CONSIDERATIONS: 8

4.1 Clause 4.6 Variation: 13

4.2 HERITAGE SIGNIFICANCE 14

4.3 LANDSLIP HAZARD 14

FIGURE 6: LAND SLIP RISK MAP 14

4.4 STORM WATER MANAGEMENT 15

4.5 OFF-STREET VEHICLE PARKING AND ACCESS DRIVEWAY 15

4.6 DEMOLITION AND CONSTRUCTION– EXCAVATION AND LANDFILL 15

4.7 LANDSCAPING 15

4.8 SAFETY AND SECURITY 15

5. CONCLUSION 16

Attachment 1: Site Analysis Plan 17

Attachment 2: Landscape Plan 18

Attachment 3: North & East Elevations 19

Attachment 4: South & West Elevations 20

Attachment 5: Shadow diagrams 21

1. INTRODUCTION

Walter Barda Design has been engaged by M. Hawker & L. Ralph, to prepare Architectural Plans and a Statement of Environmental Effects (SEE) for submission of a Development Application for new dwelling at 128 Headland Road, North Curl Curl NSW 2099.

For a full description of the proposal, refer to Section 3.

This document has been prepared pursuant to Section 78A of the *Environmental Planning and Assessment Act*, 1979. The purpose of this statement is to address the merits and evaluate the environmental impacts of the proposal with particular reference to the Evaluation Criteria under Section 79C of the *Environmental Assessment Act*, 1979.

This report should be read in conjunction with the following documentation:

- Architectural Drawings (Walter Barda Design)
- Shadow Analysis Diagrams (Walter Barda Design)
- Site photographs (Walter Barda Design)
- BASIX Assessment Report (AENEC- Wide Spectrum Pty Ltd)
- Stormwater Management Plan (ADCAR Consulting)
- Sediment Erosion Control Plan (ADCAR Consulting)
- Geotechnical Report (Ascent Geotechnical Consulting)
- Survey Plan (C.M.S. Surveyors)

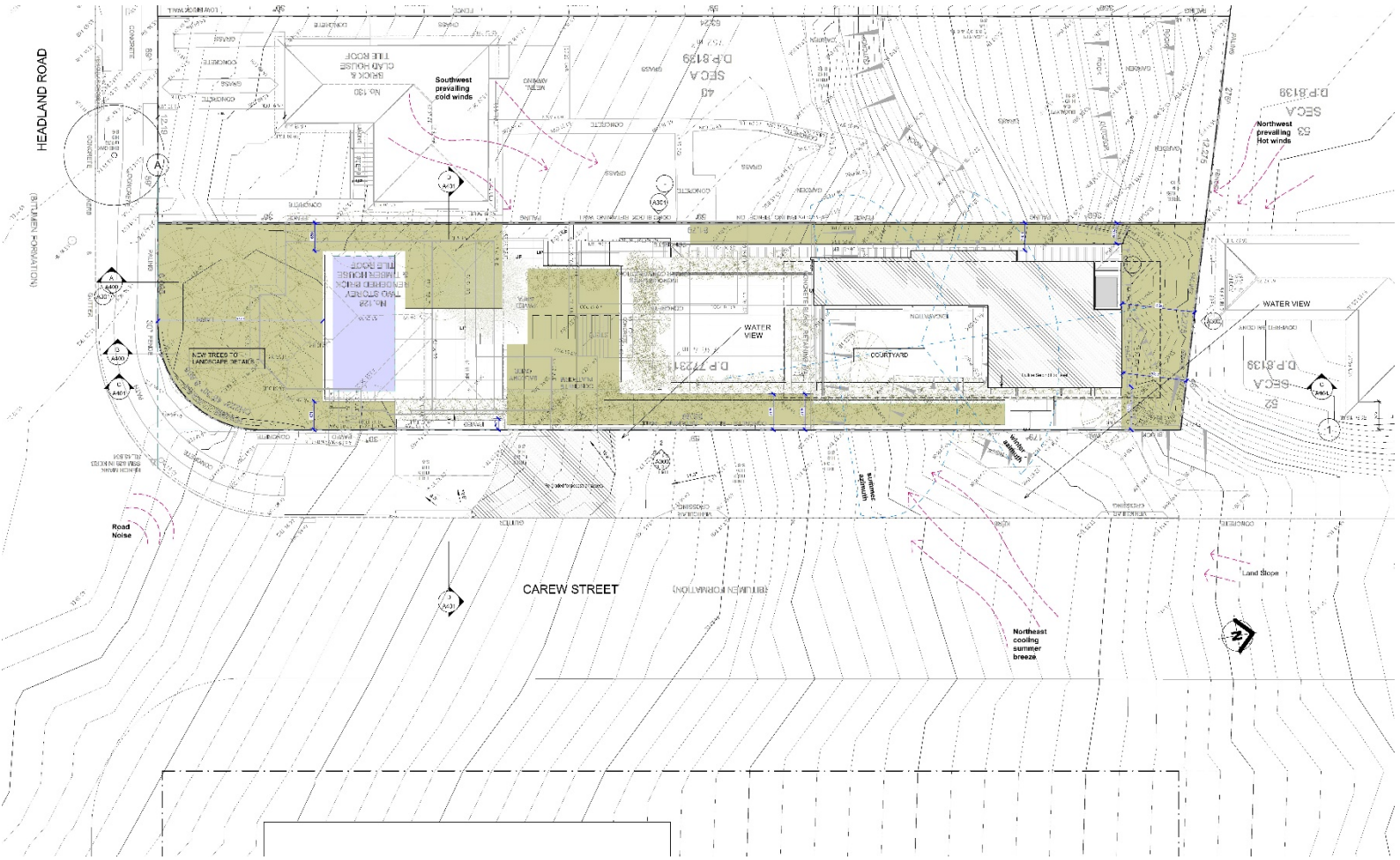
2. SITE LOCATION AND DESCRIPTION

2.1 Site Details

The subject site is described as Lot 1, DP 772311 with a land area of 736.4sqm. The site is a corner block with its longest side boundary at 61.79m, adjoining Lot 40 Sec A D.P. 8139 and its rear boundary at 12.275m, adjoining Lot 52 Sec A DP8139. The site slopes at a gradient of approximately 20% towards Headland road, from the top of the property at an RL of 56.17 and at the bottom RL of 45.99, respectively. The site is zoned R2 residential and located in the Warringah Land Zoning Map, the proposed new residential dwelling for this site is permissible under the Warringah Local Environment Plan 2011.

FIGURE 1: AERIAL PHOTO; SUBJECT SITE OUTLINED IN RED SOURCE: SIX MAPS.

FIGURE 2: SITE ANALYSIS DETAIL PLAN.



2.2 Site Description

From a survey carried out by C.M.S. Surveyors, the site is summarised as follows:

- The site is landslip zone B = 5 to 25-degree slope.
- Unobstructed district view from the site to Freshwater Lookout in Queenscliff Bay.
- The rear of the site is retained with a natural rock outcrop to remain in this proposal.

Figure 3: Subject site Google street view from Headland road, looking north.

Figure 4: Subject site Google street view from Carew Street, looking west.

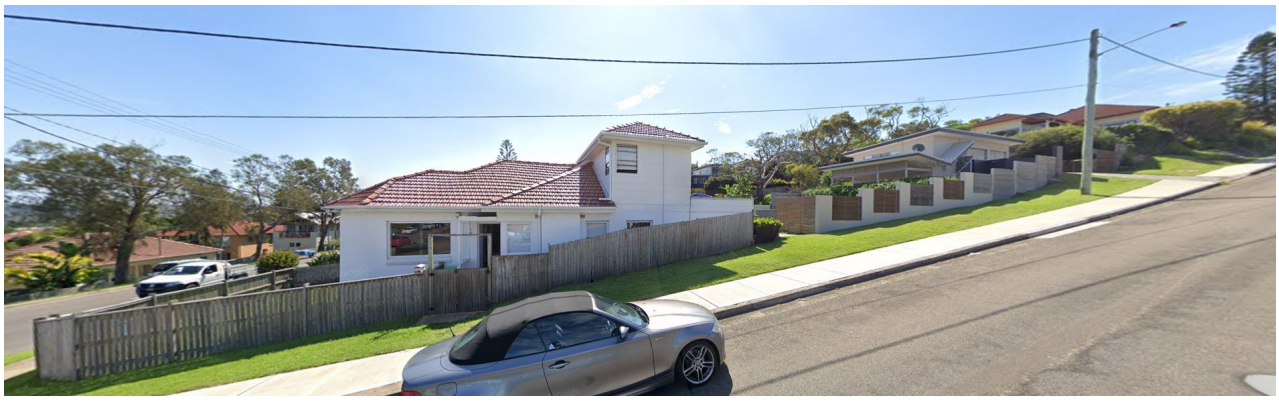


Figure 5: Google street view from Carew Street, looking south

2.3 Evaluation of the Existing Features at 128 Headland Road, North Curl Curl.

The existing main dwelling on site is a double storey painted brick/weatherboard tiled roof residence. The rear of the site is a double garage studio building, with a pitched metal deck roof over.

- The existing ground floor is single storey brick with a second storey timber frame construction
- The second-floor level has district views towards Freshwater lookout.
- The existing double garage entry is connected towards the top of Carew street.
- Timber and rendered brick boundary wall fencing for security purposes.

The site has been used for residential purposes and will remain unchanged. The proposed new building will ensure the continuation of use as a domestic dwelling.

3. PROPOSAL

3.1 General Description of the Proposal

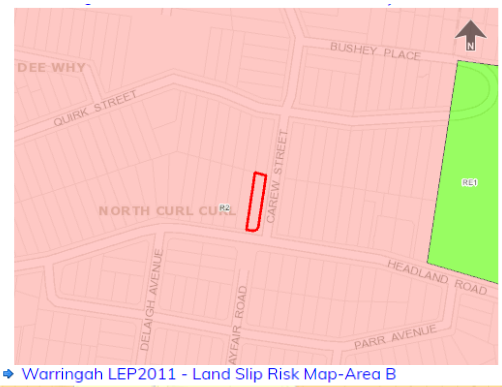
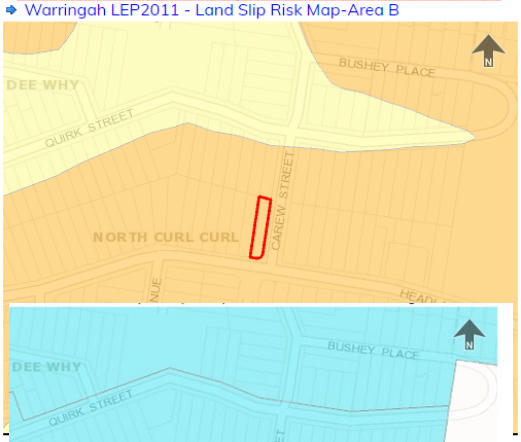
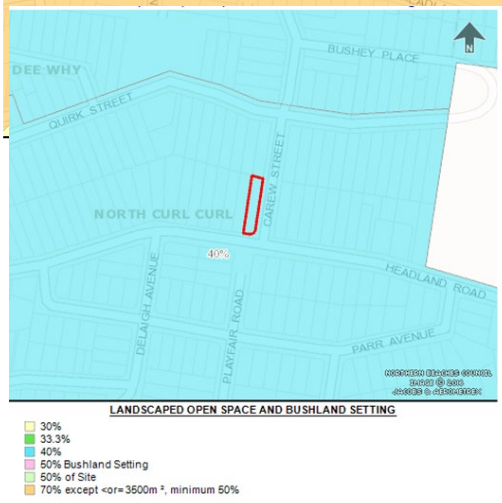
The proposed split-level residence will involve:

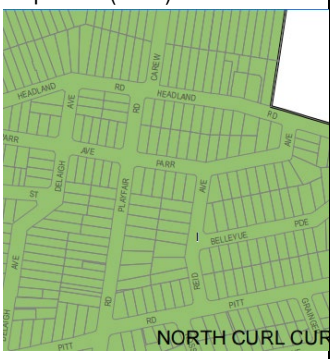
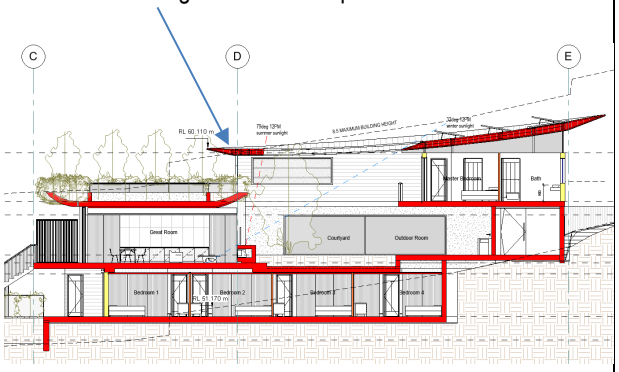
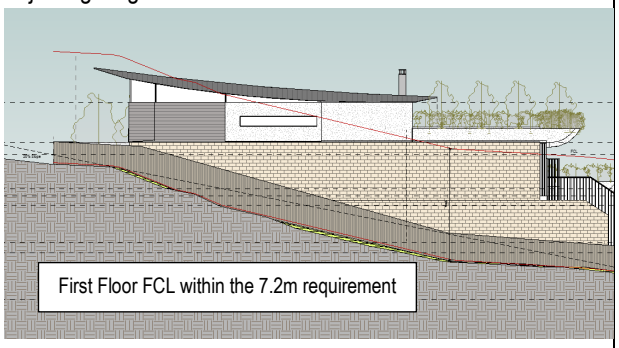
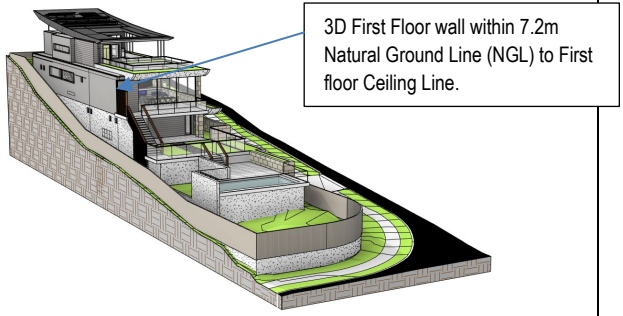
- The demolition of the existing double storey brick dwelling and garage studio building, vegetation, pathways, boundary fences, driveway, and road crossing.
- Construction of a split-level residence with roof terraces, balconies, garden beds, vegetation, basement garage, storage facilities, swimming pool and driveway crossing.

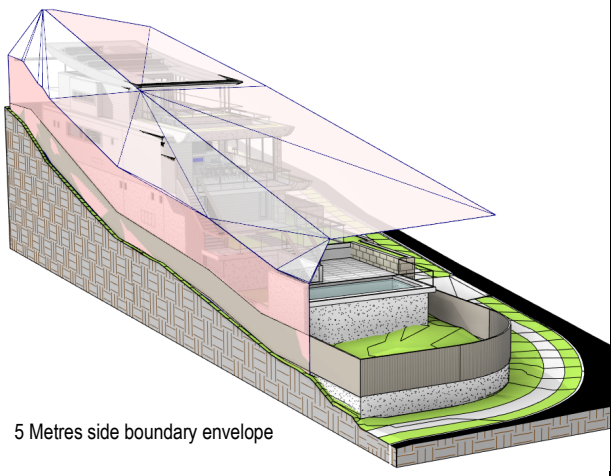
3.2 Architectural Design Statement

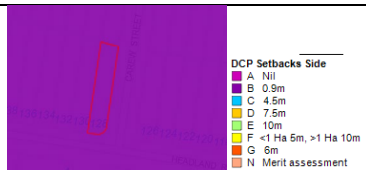
The design responds to the site **topography as** a composition of **masonry, landscaped** terraces beneath a dramatically supported roof form which follows the natural slope of the site. The incorporation of sandstone **cladding to** the lower portion of the building forms a visually embedded base to the built **form.** A central courtyard allows natural light to penetrate the interiors , in response to the south-facing aspect of the property .In addition to the proposed landscaping around the dwelling , extensive plantings are layered across the façade as a key feature of the design concept , suggestive of hanging gardens . The built form has an **open,** horizontal **emphasis,** reflecting the indoor/outdoor connectivity of the planning **concept,** resulting in a deeply recessed ensemble of wall **planes.** The materiality of the project incorporates **sandstone,** dark grey roofing and window frames achieving a recessive **character.** By weighting the building mass toward the northern end of the site the proposal will not present as a dominant form on the corner **location.**
The design intent is for an enduring architectural **outcome,** built to a high level of detail incorporating suitably durable materials and finishes.

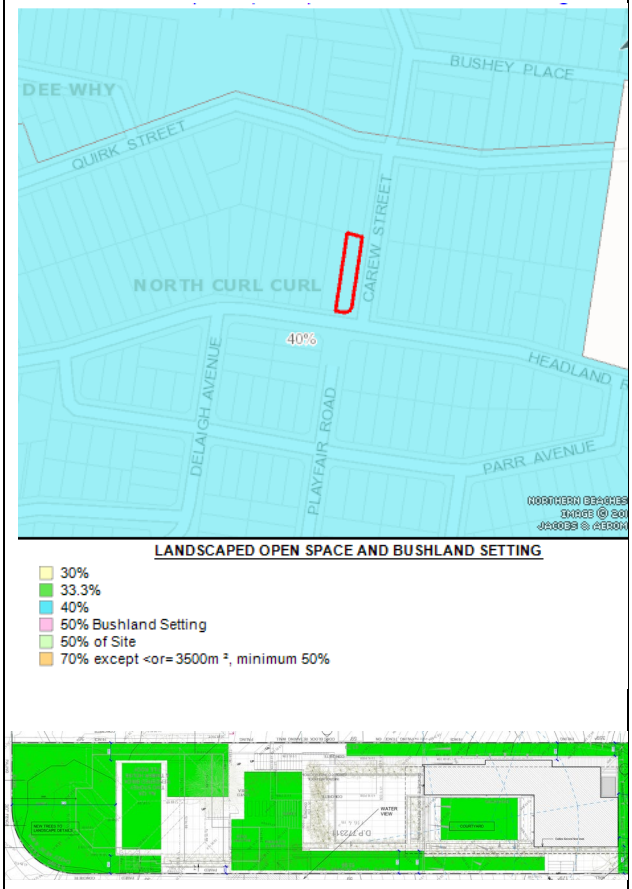
4. S.79C(1)(a) Statutory Considerations:

Item /	Description	Proposed / Clause 4.6 Variation statement referral	Comply
Codes	*Warringah LEP2011 - Land zoned R2 Low Density Residential* Warringah LEP2011 - Land Slip Risk Map-Area B DCP - Landscaped Open Space and Bushland Setting 40% of site	 Warringah LEP2011 - Land Slip Risk Map-Area B   	

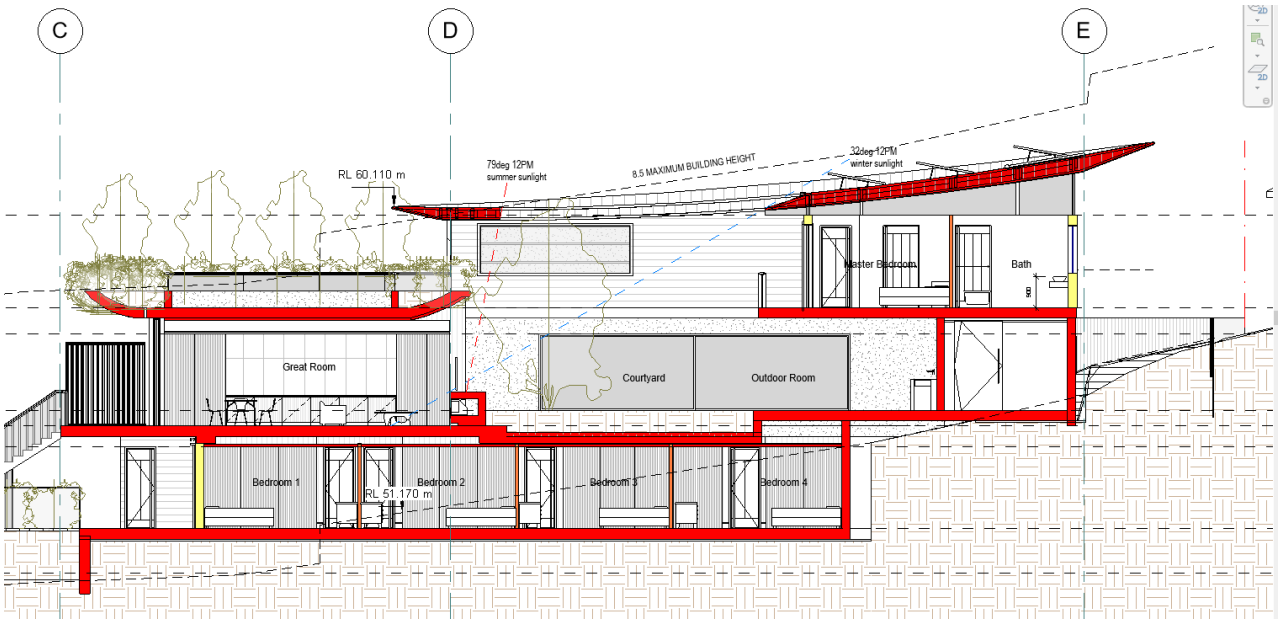
LEP2011 Building Height	Height of Buildings Map - sheet HOB_010A Maximum Building Height (RL) Heights shown on map in RL (8.5m)  	Minor eave encroachment to allow ceiling height of minimum of 2.4m for building NCC2019 compliance.  Refer to Clause 4.6 Statement.	No
DCP B1 Wall Heights	1. Walls are not to exceed 7.2 metres from ground level (existing) to the underside of the ceiling on the uppermost floor of the building (excluding habitable areas wholly located within a roof space). This control may be varied on sites with slopes greater than 20% within the building footprint (measured at the base of the external walls), provided the building: does not exceed the 8.5 metre height development standard. • is designed and located to minimise bulk and scale; and • has a minimal visual impact when viewed from the downslope sides of the land.	The site has a slope greater than 20% within the building footprint. Design is split down the slope of the land to reduce its bulk and scale and maintain minimal visual impact when viewed from the downslope sides of the land. Walls on the top level are setback from the wall below on the adjoining neighbour side.   	Yes

B2 Number of Storeys	1. Buildings on land shown coloured on the DCP Map Number of Storeys must comply with the maximum number of storeys identified on the DCP Map Number of Storeys.	3 Stories levels, not shaded area noted on the DCP map: 	Yes
B3 Side Boundary Envelope	Buildings on land shown coloured on the DCP Map Side Boundary Envelopes must be sited within a building envelope determined by projecting planes at 45 degrees from a height above ground level (existing) at the side boundaries of: • 4 metres, or • 5 metres as identified on the map.	 5 Metres side boundary envelope	Yes
B4 Site Coverage	Development on land shown coloured on the DCP Map Site Coverage shall not exceed the maximum site coverage shown on the map. Where shown on the map as: 33.3% - the total building footprint(s) must not cover more than 33.3% of the site area, and 20% = 3,500m2 or 30% <3,500m2 – the total building footprint(s) must not cover more than 20% of the site area except on allotments having an area of less than 3,500m2 where the total building footprint/s must not cover more than 30% of the site area.		Yes

B5 Side Boundary Setbacks + B6 Merit Site Boundary	Requirements Development on land shown coloured on the DCP Map Side Boundary Setbacks is to maintain a minimum setback from side boundaries as shown on the map. Side boundary setback areas are to be landscaped and free of any above or below ground structures, car parking or site facilities other than driveways and fences. On land within the R3 Medium Density Residential zone, above and below ground structures and private open space, basement car parking, vehicle access ramps, balconies, terraces, and the like shall not encroach the side setback except as provided for under Exceptions below.	 DCP Side setback = B 0.9m	Yes
B7 Front Boundary Setbacks, B8 Merit assessment	On corner allotments or sites with a double street frontage, where the minimum front building setback is 6.5 metres to both frontages, the front building setback may be reduced to a minimum of 3.5 metres for the secondary frontage, but secondary street variations must consider the character of the secondary street and the predominant setbacks existing to that street.	 Existing predominate secondary street side boundary is 1.6m approximately on the adjoining neighbour property #75 Carew Street.	Yes

B9 Rear Boundary Setbacks, B10 Merit	Corner Allotments on Land Zoned R2 or R3 On corner allotments for land zoned R2 Low Density Residential or R3 Medium Density Residential, where the minimum rear building setback is 6 metres, the rear building setback does not apply.	Rear setback does not apply to corner blocks	Noted
DCP2011 **D1 Landscaped Open Space and Bushland Setting**	1. The required minimum area of landscaped open space is shown on DCP Map Landscaped Open Space and Bushland Setting. To measure the area of landscaped open space: a) Driveways, paved areas, roofed areas, tennis courts, car parking and stormwater structures, decks, etc, and any open space areas with a dimension of less than 2 metres are excluded from the calculation. b) The water surface of swimming pools and impervious surfaces which occur naturally such as rock outcrops are included in the calculation. c) Landscaped open space must be at ground level (finished); and d) The minimum soil depth of land that can be included as landscaped open space is 1 metre.	Minimum landscape area 40% Landscape Calculation **382.83 / 736.4 = 52%**  	Yes

4.1 Clause 4.6 Variation:



* Request to Vary Warringah LEP2011 Building Height Map Condition

Identifies the site to have a maximum building height of 8.5m.

The part of the LEP has an outcome that building structures are below the tree canopy, equitable preservation of views and vistas and the built form does not dominate the natural setting.

The proposed residence will continue to sit under the existing tree canopy and will not impede views and vistas from neighbours who already enjoy extensive Freshwater coastal views.

The proposed roof gutter RL is 60.11 while the ground is RL 51.17 – the building height is therefore 8.94m and is marginally outside the height control at 440mm, respectively.

We herein request that council considers the above rationale in the determining this request. This minor numerical departure will not have any impact on the environment, scenic quality of the area or the amenity of the adjoining allotments and locality.

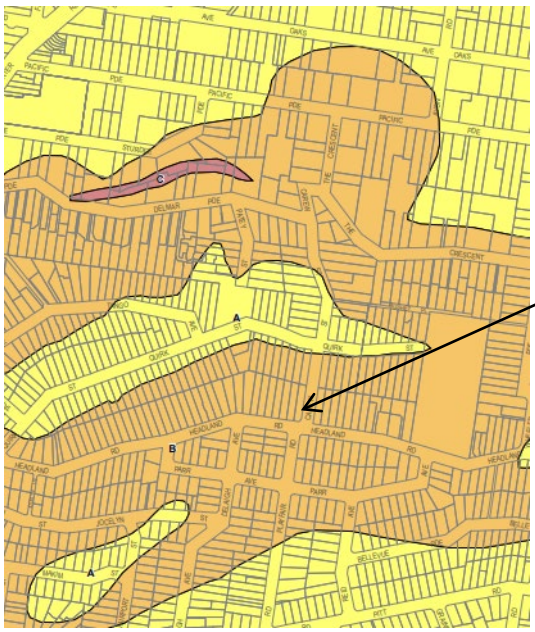
4.2 HERITAGE SIGNIFICANCE

To address LEP 2011 Heritage Map – Site is not effected.

4.3 LANDSLIP HAZARD

To address LEP2011 Land Slip risk map, landslip hazards have been assessed by the consulting Geotechnical Engineers, Ascent Geotechnical Consulting Pty Ltd. Appropriate methods of excavation and risk management and landslip hazard management are addressed in their report that forms part of this submission. Reference should be made to the report by Ascent Geotechnical Consulting Pty Ltd for landslip hazard management. During construction of the proposed, every reasonable and practical means available will be used to reduce risk to an acceptable level as defined by the Geotechnical Risk Management Policy for Northern Beaches Council. Similarly, the development will not affect or be adversely affected by geotechnical processes nor will it increase the level of risk for people, assets and infrastructure in the vicinity due to geotechnical hazards.

FIGURE 6: LAND SLIP RISK MAP



The site is affected by Area B - Flanking Slopes 5° to 25°

4.4 Storm water Management

To address Warringah DCP 2011 C4 Stormwater, a detailed Stormwater Management Plan has been prepared by ADCAR Consulting Pty Ltd; these hydraulic drawings form part of this submission. Reference should be made to the drawings by ADCAR Consulting Pty Ltd for stormwater management which addresses issues on stormwater discharge into the public domain and erosion and silt management.

4.5 Off-street Vehicle Parking and Access Driveway

To address Warringah DCP 2011 C3 Parking Facilities, the existing studio garage and access driveway will be demolished for a new driveway and 2 car spaces behind the front boundary line as required for this development. The locality of the proposed driveway will be accessed from Carew Street.

4.6 Demolition and Construction– Excavation and Landfill

To address Warringah DCP C8, minor excavation is proposed for the purposes of ground slabs, decking, pavements, and foundation structures. All excavation and fill areas have been assessed by the consulting Geotechnical Engineers, Ascent Geotechnical Consulting Pty Ltd. Appropriate methods of excavation and risk management are addressed in their report and forms part of this submission. Reference should be made to the report for details of excavation and fill. During construction, every reasonable and practical means available will be used to either remove risk or bring the risks to an acceptable level as defined by the Geotechnical Risk Management Policy for Northern Beaches Council.

4.7 Landscaping

To address Warringah DCP D1, the proposal aims to improve the existing landscape within and around the site. The removal of a minimal portion of the vegetation around the existing building will be removed for construction purposes; new planting is proposed to enhance the existing landscape at the front and the rear of the property. The overall built form of the proposed 3 storey dwelling will be dominated and complemented by the proposed landscaping addressing the controls.

4.8 Safety and Security

To address Warringah DCP D20 safety and security, the proposed is designed in accordance with current and relevant NCC codes and AS standards. The security of occupants and the public has been considered. Passive surveillance of the entry areas and the public domain is achieved by maintaining a visual connection to the front yard and Headland Road via the glazed sliding doors of the new family area.

5. CONCLUSION

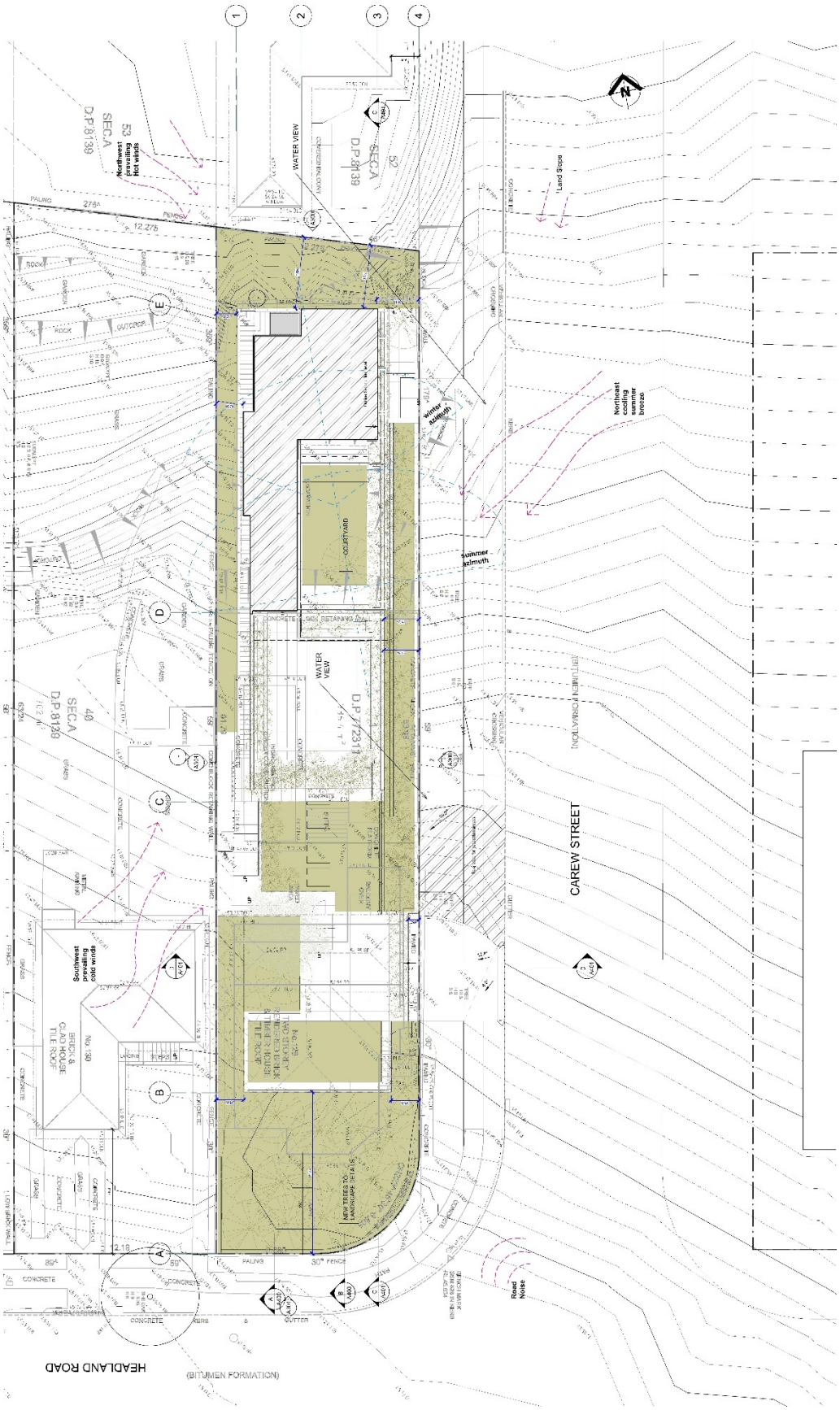
This Development Application seeks consent for the proposed new residential dwelling and includes swimming pool, landscape, retaining walls, timber fences, garage, storage facilities, footpaths, driveway.

The proposal also includes the demolition of the existing dwelling and detached studio garage, along with the removal of the existing footpaths and vegetation to provide a clear path for the new proposed construction.

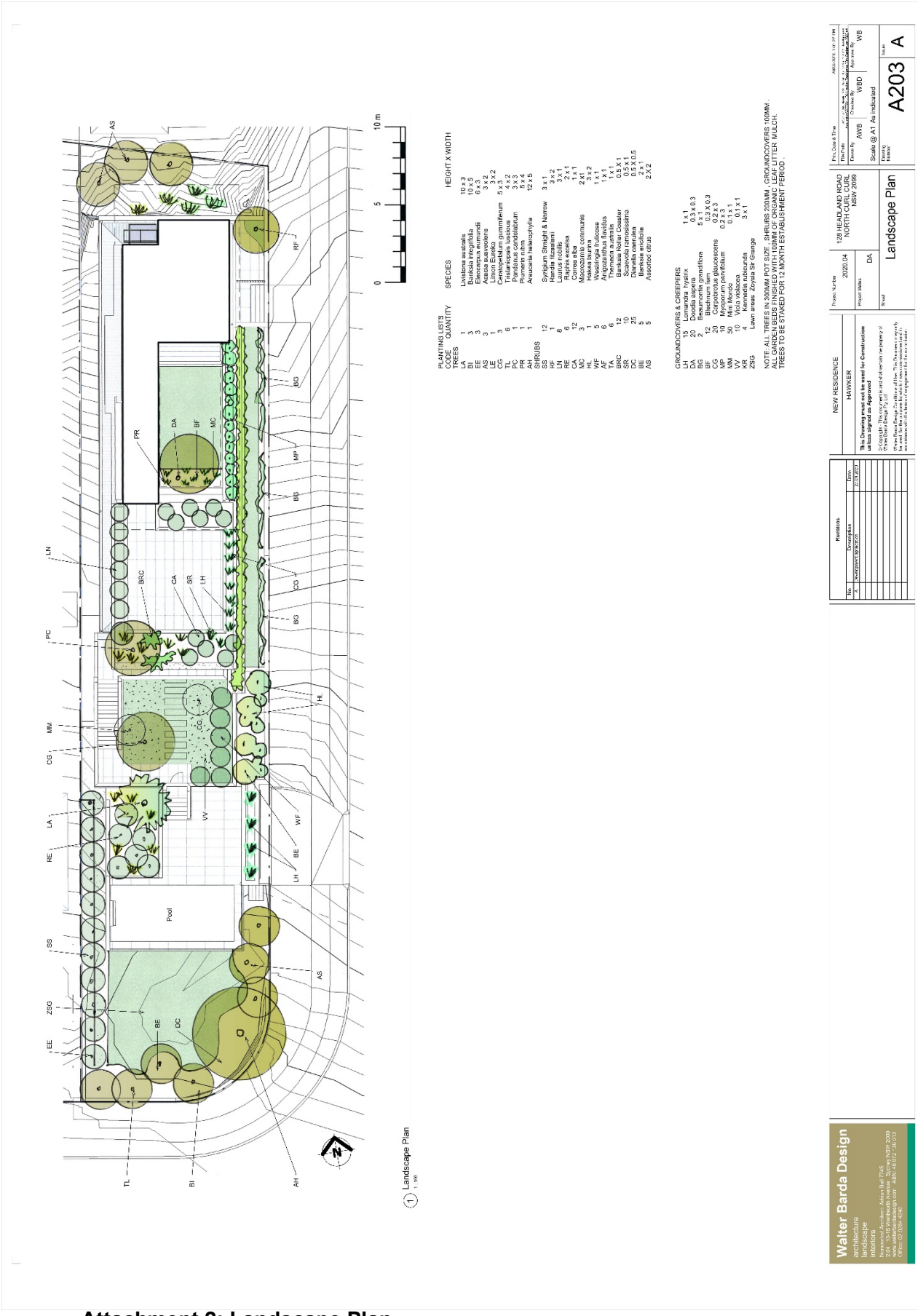
The proposal is permissible under the delegation of council and is considered to generally satisfy the controls and objectives of the Warringah LEP 2011 and Warringah DCP 2011.

The proposed new dwelling seeks to introduce a contemporary aesthetic to the property and one that is suitable and appropriate to the existing aesthetic of the street. The bulk, scale, setbacks, and materials have been carefully considered to not only enhance the character of the surrounding locale but to also alleviate any adverse impacts on the immediate neighbouring properties.

In consideration of the general overall compliance and the absence of any significant adverse impacts on the neighbouring properties and natural environs, the proposal can be viewed upon as permissible and a recommendation for its approval is sought.



Attachment 1: Site Analysis Plan



PLANTING LISTS

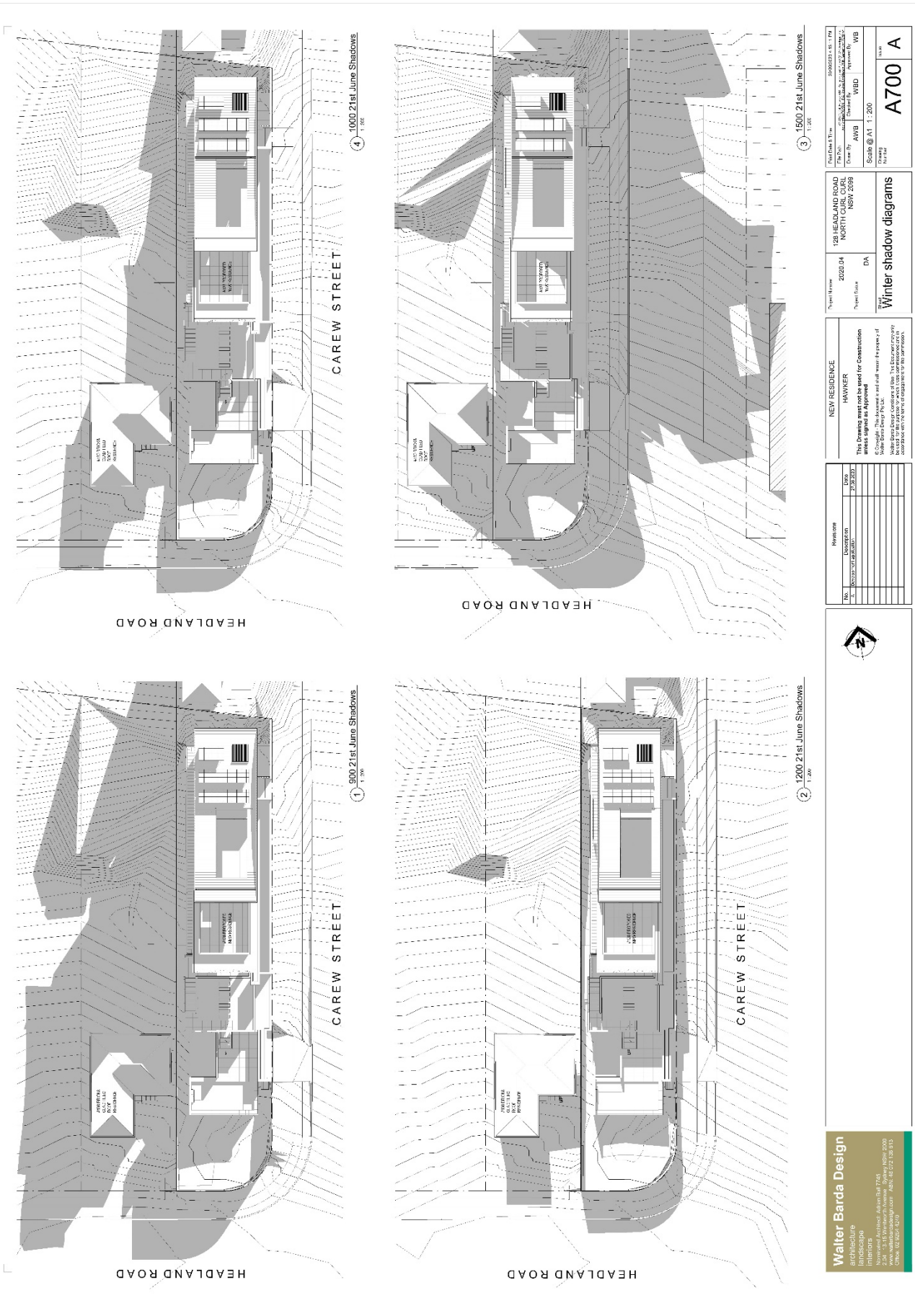
CODE	QUANTITY	SPECIES	HEIGHT X WIDTH
TREES			
LA	1	Livistona australis	10 x 3
BI	3	Banksia integrifolia	10 x 5
EE	3	Elaeocarpus eumundi	6 x 3
AS	3	Archontophoenix	15 x 2
LE	1	Limon Eureka	3 x 2
CG	3	Ceratopetalum gummiferum	5 x 3
TL	6	Tristaniopsis laurina	4 x 2
PC	1	Pyrostria cordatifolium	5 x 3
PR	1	Plumeria rubra	5 x 4
AH	1	Araucaria heterophylla	12 x 5
SHRUBS			
SS	12	Syzigium Straight & Narrow	3 x 1
RF	1	Randia fitzalanii	3 x 2
LN	8	Laurus nobilis	3 x 1
RE	6	Raphiolepis	2 x 1
CA	12	Correa alba	1 x 1
MC	3	Macrozamia communis	2 x1
HE	1	Helea laurina	3 x 2
WE	5	Westringia rosmariniformis	1 x 1
AF	6	Anigozanthus flavidus	1 x 1
TA	12	Themeda australis	1 x 1
BRG	21	Buxus Hedge Rotundifolia	0.5 X 0.1
SR	10	Scaevola ramosissima	0.5 x 1
DC	25	Dianella caerulea	0.5 X 0.5
BE	5	Banksia ericifolia	2 x 1
AS	5	Asparagus officinalis	2 x 2
GROUNDCOVERS & CREEPERS			
LH	15	Lomandra hystrix	1 x 1
DA	20	Doodia aspera	0.3 x 0.3
BG	21	Buxus microphylla microfilfolia	0.3 x 1
BF	12	Blechnum gen	0.3 X 0.3
CG	20	Carpobrotus glaucescens	0.2 x 3
MP	10	Myoporum parvifolium	0.2 x 3
MW	30	Mimulus repens	0.1 x 1
VV	10	Viola odorata	0.1 x 1
KR	4	Kennedia rubicunda	3 x 1
ZSG		Lawn areas Zoysia Sir Grange	

NOTE: ALL TREES IN 300MM POT SIZE . SHRUBS 200MM . GROUNDCOVERS 100MM .
ALL GARDEN BEDS FINISHED WITH 100MM OF ORGANIC LEAF LITTER MULCH.
TREES TO BE STAKED FOR 12 MONTH ESTABLISHMENT PERIOD .

Attachment 2: Landscape Plan

Attachment 3: North & East Elevations

Attachment 4: South & West Elevations



Attachment 5: Shadow diagrams