

NOTE:

1. LEVELS SHOWN THUS $+13.07$ ARE BASED ON AUSTRALIAN HEIGHT DATUM
2. ORIGIN OF LEVELS - SYDNEY WATER BOLT IN KERB No.28 R.L. 22.2 A.H.D. LOCATED NEAR THE COMMON BOUNDARY OF Nos. 1 & 3 VISTA AVENUE
3. NO BOUNDARY INVESTIGATION HAS BEEN CARRIED OUT AND THEREFORE THIS PLAN DOES NOT DEFINE BOUNDARIES. TITLE DIMENSIONS ONLY SHOWN.
4. DO NOT SCALE - USE FIGURED BEARINGS & DISTANCES ONLY
5. BASIC LEVEL AND DETAIL SURVEY ONLY - UNLESS OTHERWISE SHOWN, THE POSITION OF IMPROVEMENTS ARE APPROXIMATE. THE INFORMATION SHOWN HEREON IS ONLY TO BE USED AT AN ACCURACY OF 1:100
6. FEATURES & LEVELS CRITICAL TO DESIGN SHOULD BE LOCATED BY A MORE ACCURATE SURVEY
7. ALL SET OUT WITH REGARD TO LEVELS SHOULD BE REFERRED TO THE BENCH MARK
8. NO SERVICES SEARCH HAS BEEN CARRIED OUT FOR THIS SURVEY
9. ORIGIN OF THE NORTH POINT IS D.P. 1016440 THE POSITION OF TRUE NORTH IS APPROXIMATE ONLY. A MORE ACCURATE SURVEY WOULD BE REQUIRED TO DETERMINE ITS EXACT POSITION
10. THE SUBJECT LAND IS AFFECTED BY A COVENANT CREATED BY TRANSFER No.H889428

A		INITIAL	14/9/04
B		DESCRIPTION	DATE
ISSUES			
BYRNE & ASSOCIATES PTY LIMITED CONSULTING SURVEYORS & ENGINEERS 63 WATERLOO STREET HARRADEEN 2101 Ph: (02) 9913 7110 Fax: (02) 9913 1583 Email: bysurvey@ozemail.com.au			
PROJECT No. 2913 LEVEL & DETAIL SURVEY OVER PART LOT A D.P.412754 No.12 ALEXANDRA CRESCENT BAYVIEW			
Date of Survey	10/9/04	Prepared by	14/9/04
File Name	9712D.W93	Sheet	1 of 1
Plan No. A1 - 9712 D		Scale: 1:200	

▲ B.M. D.H.&W. IN GUTTER
R.L. 24.39 A.H.D.

GWN DRAFTING
GREG NICOL

ARCHITECTURAL
DRAFTSMAN

PH: 0411 028 928 E: gwndraft@bigpond.net.au

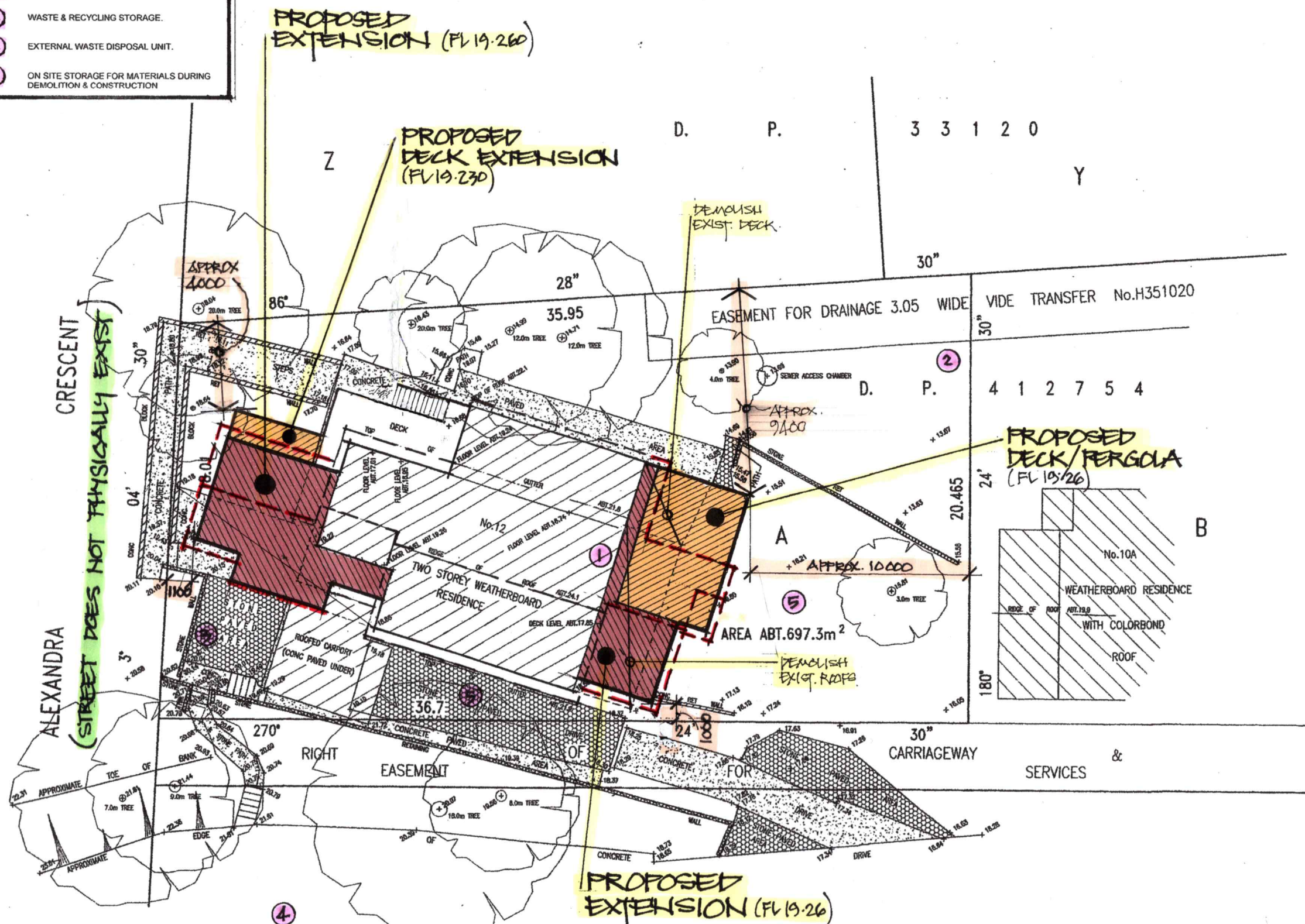
PROJECT: **EXTENSIONS + RENOVATIONS**
12 ALEXANDRA CRESC. BAYVIEW
 CLIENT: **LYNDAL + MATT MANNALL**
 SCHEME: **4A** DATE: **MAY 2019**

SCALE: **1:200**
0A3

PROJECT No.
2913
DRAWING No.
01A

WASTE MANAGEMENT DETAILS:

1. KITCHEN WASTE BIN.
2. COMPOST STORAGE.
3. WASTE & RECYCLING STORAGE.
4. EXTERNAL WASTE DISPOSAL UNIT.
5. ON SITE STORAGE FOR MATERIALS DURING DEMOLITION & CONSTRUCTION



NOTE:

1. LEVELS SHOWN THUS ARE BASED ON AUSTRALIAN HEIGHT DATUM
2. ORIGIN OF LEVELS - SYDNEY WATER BOLT IN KERB No.28 R.L. 22.2 A.H.D. LOCATED NEAR THE COMMON BOUNDARY OF Nos. 1 & 3 VISTA AVENUE
3. NO BOUNDARY INVESTIGATION HAS BEEN CARRIED OUT AND THEREFORE THIS PLAN DOES NOT DEFINE BOUNDARIES. TITLE DIMENSIONS ONLY SHOWN.
4. DO NOT SCALE - USE FIGURED BEARINGS & DISTANCES ONLY
5. BASIC LEVEL AND DETAIL SURVEY ONLY - UNLESS OTHERWISE SHOWN, THE POSITION OF IMPROVEMENTS ARE APPROXIMATE. THE INFORMATION SHOWN HEREON IS ONLY TO BE USED AT AN ACCURACY OF 1:100
6. FEATURES & LEVELS CRITICAL TO DESIGN SHOULD BE LOCATED BY A MORE ACCURATE SURVEY
7. ALL SET OUT WITH REGARD TO LEVELS SHOULD BE REFERRED TO THE BENCH MARK
8. NO SERVICES SEARCH HAS BEEN CARRIED OUT FOR THIS SURVEY
9. ORIGIN OF THE NORTH POINT IS D.P. 1016440 THE POSITION OF TRUE NORTH IS APPROXIMATE ONLY. A MORE ACCURATE SURVEY WOULD BE REQUIRED TO DETERMINE ITS EXACT POSITION
10. THE SUBJECT LAND IS AFFECTED BY A COVENANT CREATED BY TRANSFER No.H888428

SITE PLAN. PROPOSED WORKS

▲ B.M. D.H.&W. IN GUTTER
R.L. 24.39 A.H.D.

GWN DRAFTING
GREG NICOL

ARCHITECTURAL
DRAFTSMAN

PH: 0411 028 928 E: gwndraft@bigpond.net.au

PROJECT: EXTENSIONS + RENOVATIONS
12 ALEXANDRA CRES. BAYVIEW
CLIENT: LYNDA + MATT MANNALL.

SCHEME: 4A

DATE: MAY 2019.

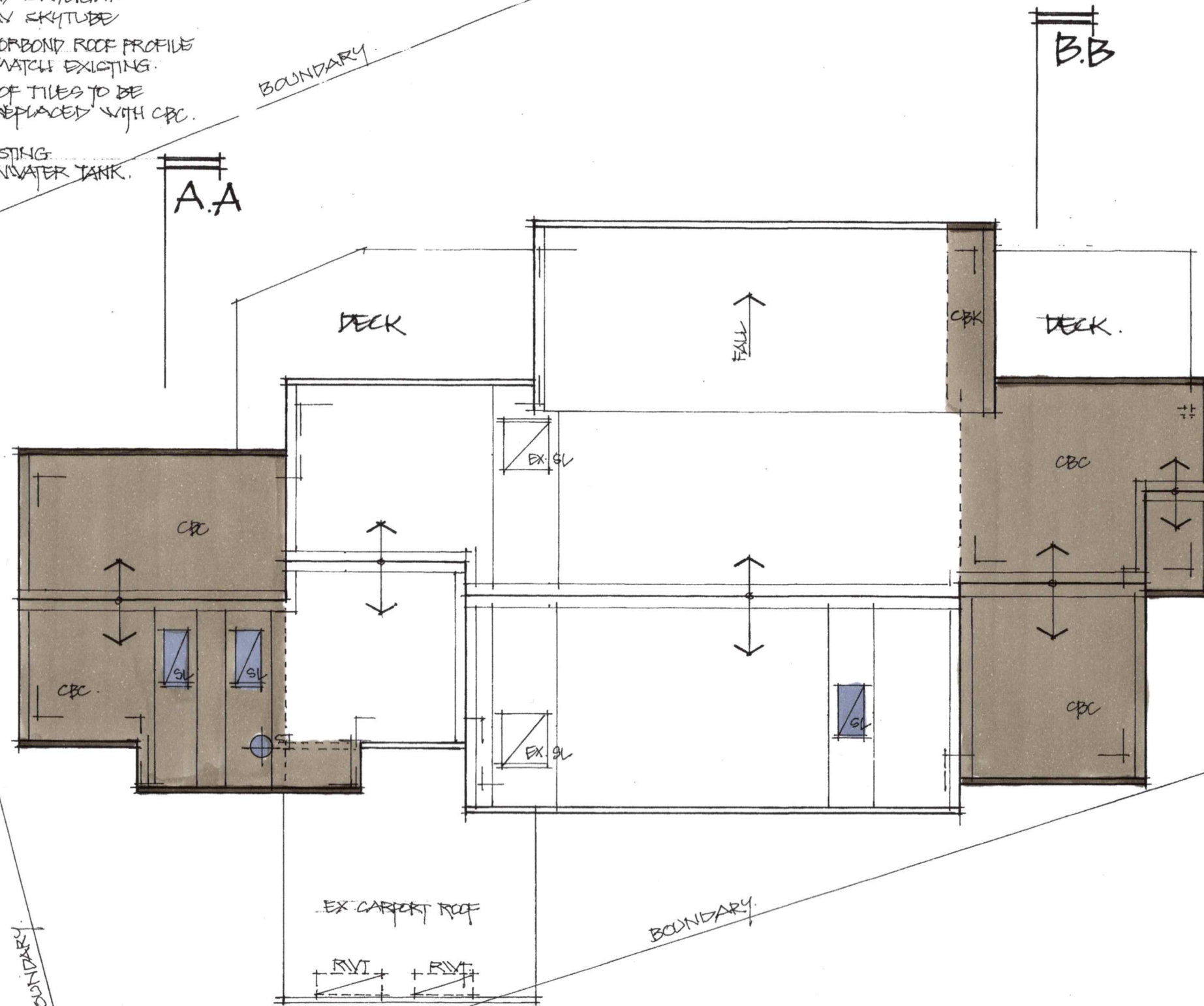
SCALE: 1:200
A3

PROJECT No.
2917
DRAWING No.
02A

NO.	INITIAL	DATE
A		14/9/04
DESCRIPTION		
ISSUES		
BYRNE & ASSOCIATES PTY LIMITED CONSULTING SURVEYORS & ENGINEERS 88 WATERLOO STREET NARRABEEN 2101 Ph: (02) 9913 7110 Fax: (02) 9913 1583 Email: byrnesurvey@ozemail.com.au		
LEVEL & DETAIL SURVEY OVER PART LOT A D.P.412754 No.12 ALEXANDRA CRESCENT BAYVIEW		
Date of Survey	10/9/04	Prepared by
Drawn by	GN	Checked by
Scale	1:200	Plan No.
Sheet	1	A1 - 9712 D

LEGEND/NOTES:

- CBC CORRUGATED COLORBOND ROOFING.
- EX. SL EXISTING SKYLIGHT.
- SL NEW SKYLIGHT.
- ST NEW SKYTUBE
- CBK COLORBOND ROOF PROFILE TO MATCH EXISTING.
- EXISTING ROOF TILES TO BE REMOVED + REPLACED WITH CBC.
- RVT EXISTING RAINWATER TANK.



PROPOSED ROOF PLAN.

GWN DRAFTING
GREG NICOL

ARCHITECTURAL
DRAFTSMAN

PH: 0411 028 928 E: gwndraft@bigpond.net.au

PROJECT: EXTENSIONS + RENOVATIONS
12 ALEXANDRA CRES. BAYVIEW
CLIENT: LYNDA + MAT MANHALL.
SCHEME: 4A DATE: MAY 2019

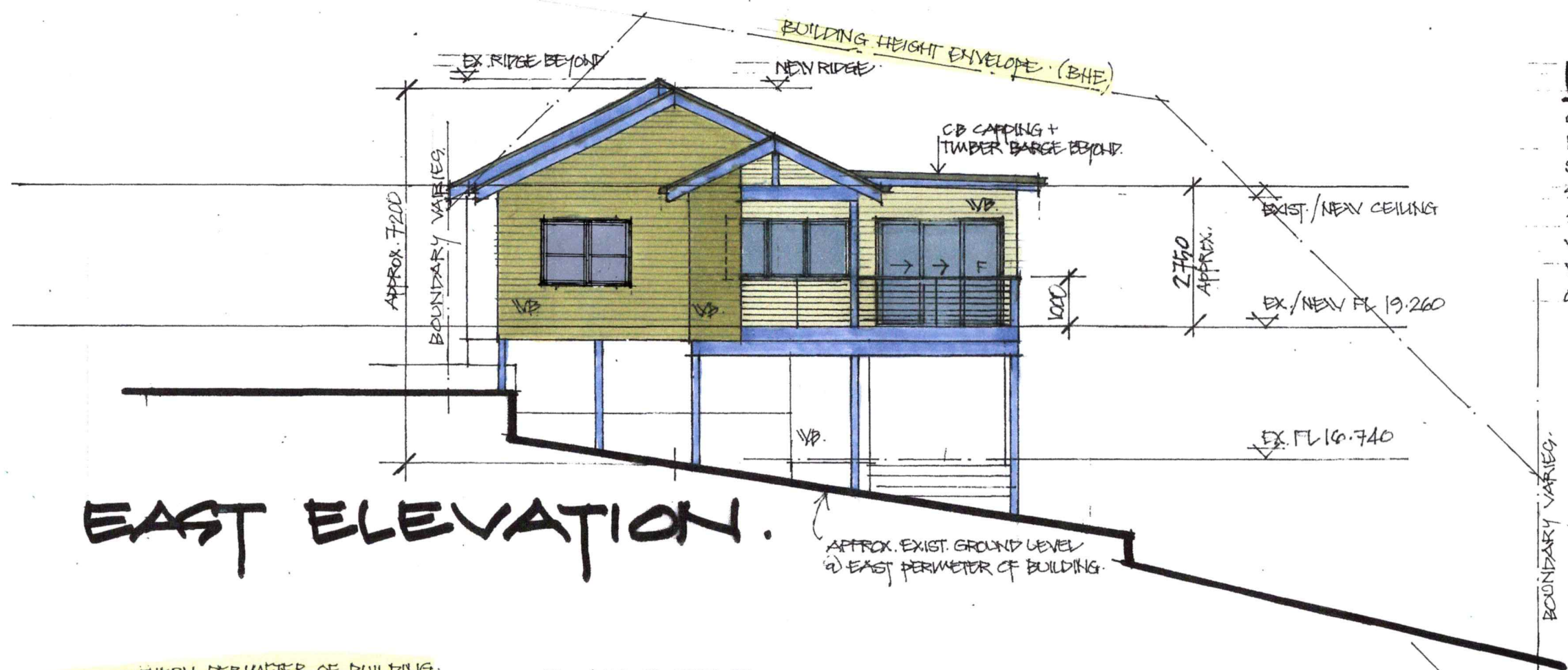
SCALE: 1:100
A3

PROJECT No.

2913

DRAWING No.

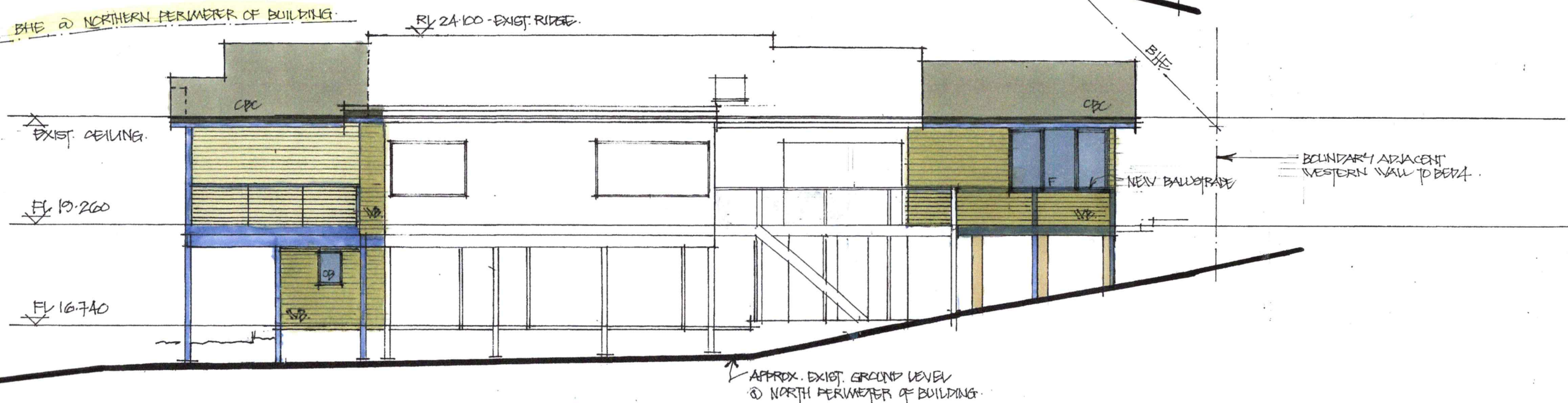
06A



EAST ELEVATION.

LEGEND:

- CBC COLORBOND CORRUGATED ROOFING.
- F FIXED GLASS.
- SB BRICK PIERS OR 'UNI-PIERS'.
- SL SKYLIGHT.
- ST SKYTRUSS.
- VDS VERIFY ON SITE.
- VB WEATHERBOARDS
- OB OBSCURE GLASS.



NORTH ELEVATION.

GWN DRAFTING

GREG NICOL

ARCHITECTURAL
DRAFTSMAN

PH: 0411 028 928 E: gwndraft@bigpond.net.au

PROJECT: **EXTENSIONS + RENOVATIONS**
12 ALEXANDRA CRES. BAYVIEW

CLIENT: **LYNDAL + MATT MANNALL**

SCHEME: **4A** DATE: **MAY 2019.**

PROJECT No.

2913.

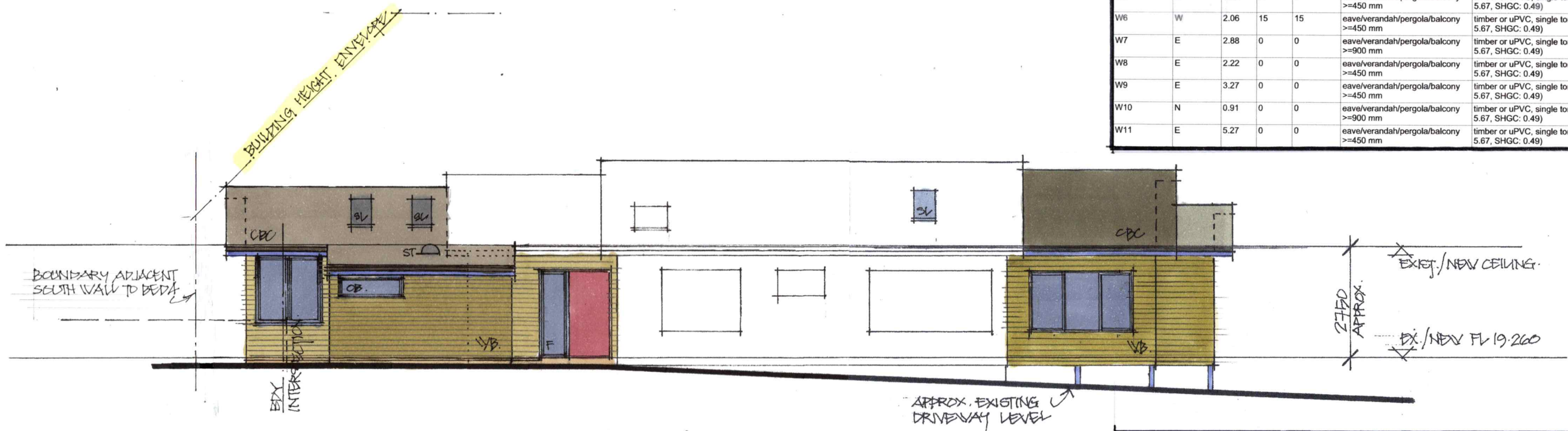
DRAWING No.

07A

SCALE: **1:100**
0A3



WEST ELEVATION.



SOUTH ELEVATION.

BASIX CERTIFICATE REQUIREMENTS.

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W1	S	1.07	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W2	S	0.97	0	0	none	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W3	S	2.58	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W4	W	4.02	10	15	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W5	N	4.02	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W6	W	2.06	15	15	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W7	E	2.88	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W8	E	2.22	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W9	E	3.27	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W10	N	0.91	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W11	E	5.27	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type
S1	0.55	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S2	0.55	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S3	0.55	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)

GWN DRAFTING

GREG NICOL

ARCHITECTURAL
DRAFTSMAN

PH: 0411 028 928 E: gwndraft@bigpond.net.au

PROJECT: **EXTENSIONS + RENOVATIONS
12 ALEXANDRA CRES. BAYVIEW**

CLIENT: **LYNDAL + MATT MANNALL**

SCHEME: **4A** DATE: **MAY 2013.**

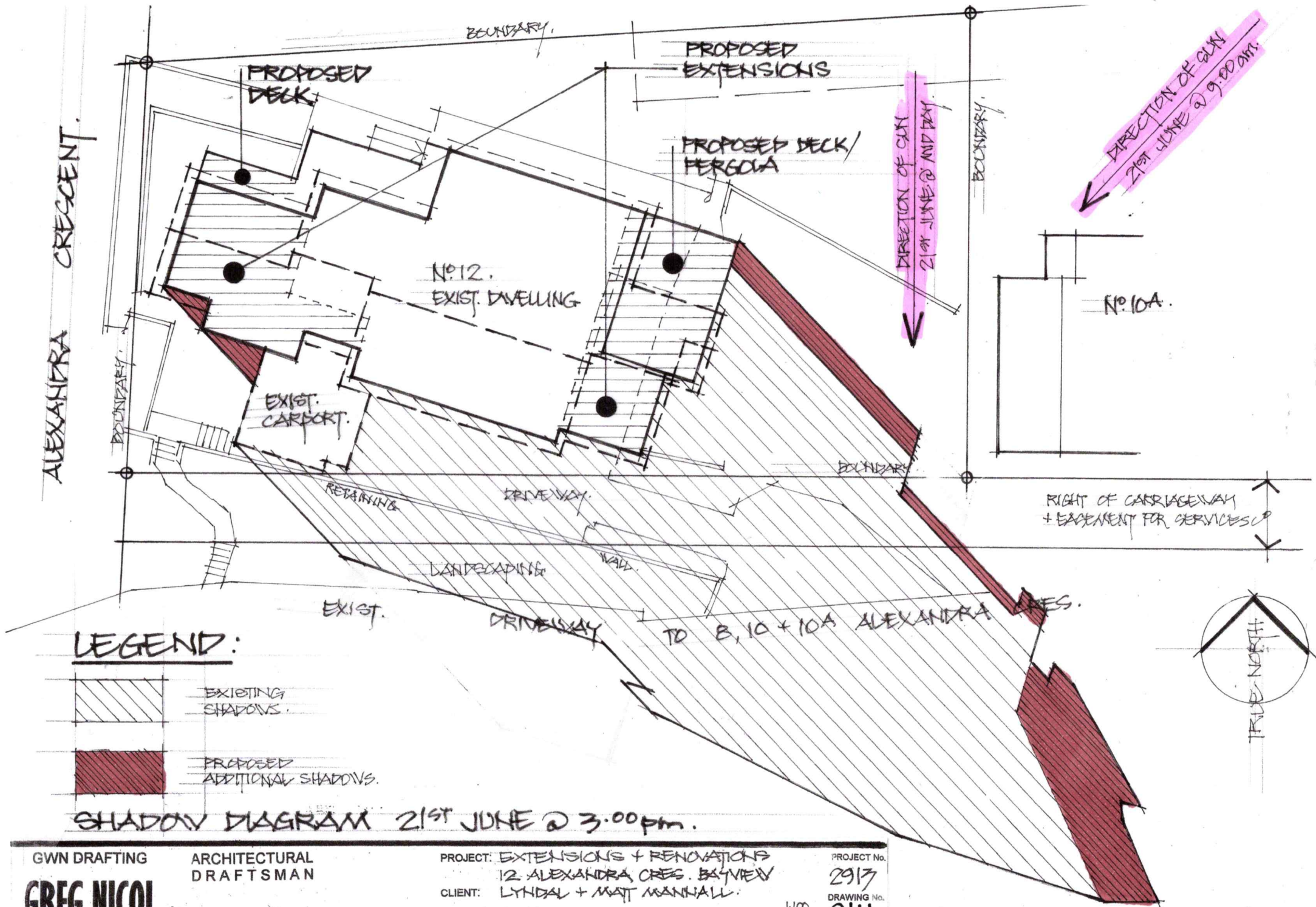
PROJECT No.

2913.

DRAWING No.

08A

SCALE: **1:100**



GWN DRAFTING
GREG NICOL

ARCHITECTURAL
DRAFTSMAN

PH: 0411 028 928 E: gwndraft@bigpond.net.au

PROJECT: EXTENSIONS + RENOVATIONS
12 ALEXANDRA CRES. BAYVIEW
CLIENT: LYNDALE + MATT MANNALL

SCHEME: 1A DATE: MAY 2019

PROJECT No.
2913
DRAWING No.
SH1

SCALE: 1:100

GWN DRAFTING
GREG NICOL
ARCHITECTURAL
DRAFTSMAN

June 2019.

PROPOSED EXTENSIONS AND RENOVATIONS TO RESIDENCE REF: 2913 – MFS1
12 ALEXANDRA CRESCENT, BAYVIEW NSW 2104
FOR LYNDAL & MATT MANNALL

EXTERNAL MATERIALS & FINISHES SCHEDULE: REF: 2932 MFS1

<u>BUILDING ELEMENT</u>	<u>MATERIAL</u>	<u>COLOUR</u>
EXTERNAL POSTS & BEAMS	Dressed Treated Timber	To be Confirmed (TBC)
PIERS	Bagged Brickwork or Galv. Mild steel Uni-Piers	(TBC)
WEATHERBORDS	Profile & Material	(TBC)
DECKING	Selected dressed Hardwood	Decking Oil
DECK FASCIA	Dressed Treated Timber	(TBC)
NEW DOOR & WINDOW	Powder coated Aluminium Timber	(TBC)
ROOFING, FLASHINGS & CAPPINGS	Colorbond Corrugated steel	(TBC)
BARGES & FASCIAS	Dressed Treated Timber	(TBC)
EAVES SOFFIT LINING	Fibre Cement	(TBC)
GUTTERING	Colorbond	(TBC)
DOWNPIPES	Colorbond	(TBC)
DECK BALUSTRADES	Type to be confirmed by Owner	(TBC)

NOTE:

External colours will be complimentary to the existing house's colour scheme and take into account Council's Colour suggestions for the locale.

**Refer to Pittwater 21 DCP Section D Locality Specific Development Controls -
D4 Church Point & Bayview Locality**

<https://eservices.northernbeaches.nsw.gov.au/ePlanning/live/pages/plan/Book.aspx?exhibit=PDGP&hid=12104>