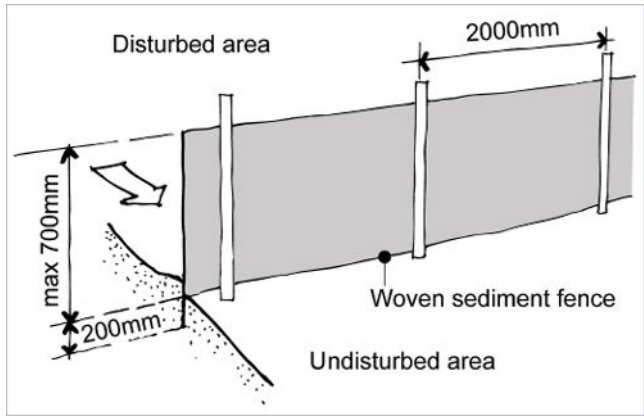


Areas and Demolition Plan  
1:100@A1 1:200@A3. Do not scale off plan

AREA CALCULATION		
	AREA (m2)	PERCENTAGE
Site	1878,00	
Landscape total as per DCP	651,45	34,69%



Sedimentation Control Fence  
Not to scale.  
Source: www.yourhome.gov.au



**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2021/2602**

BARRENJOEY ROAD

SITE BENCHMARK  
BOLT IN KERB  
RL 12.90 (A.H.D.)

Green shaded area indicates compliant landscape area

Yellow dashed line indicates sedimentation control fence to be implemented throughout construction to appropriate standard

Red dashed line indicates existing structure to be demolished

See Detail Plan Sht-104

See Detail Plan Sht-105

Legend

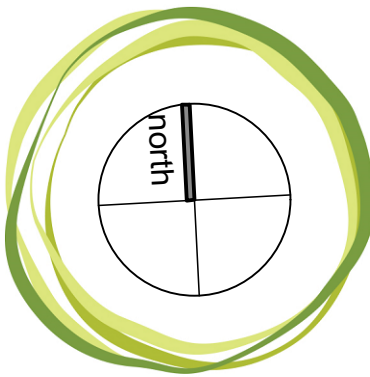
- MULCH AREA
- SOFT-FALL
- SAND
- ARTIFICIAL TURF
- TURF AREA
- TIMBER DECKING
- CONCRETE PAVING
- UNIT PAVING
- STAIRS
- PEBBLE
- GRAVEL
- COBBLESTONE
- TIMBER
- WATER
- MASONRY RETAINING WALL
- STONE RETAINING WALL
- TIMBER RETAINING WALL
- BOULDER RETAINING WALL
- SITE OR WORKS BOUNDARY
- PROPOSED LEVEL
- TOP OF WALL LEVEL
- MATERIAL NAME
- SURFACE FALL DIRECTION
- SURFACE DRAINS
- SURVEY (50% GREY LINES)
- EXISTING TREE TO RETAIN
- EXISTING TREE TO REMOVE
- EXISTING ROCK OUTCROP

**Notes:**  
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ISSUE	DATE	REVISION
E	07/03/22	Issue E for DA
D	16/12/21	Issue D for DA
C	01/11/21	Issue C for DA
B	27/01/21	Issue B
A	18/03/20	DRAFT issue for review

PROJECT		282 Barrenjoey Road, Newport		PROJECT #	2063
CLIENT		Robert Albers		DATE #	See above
DWG		Areas and Demolition Plan		SCALE @ A1	See Plan
				DRAWN	SA
				CHKD	JK
				REVISION	

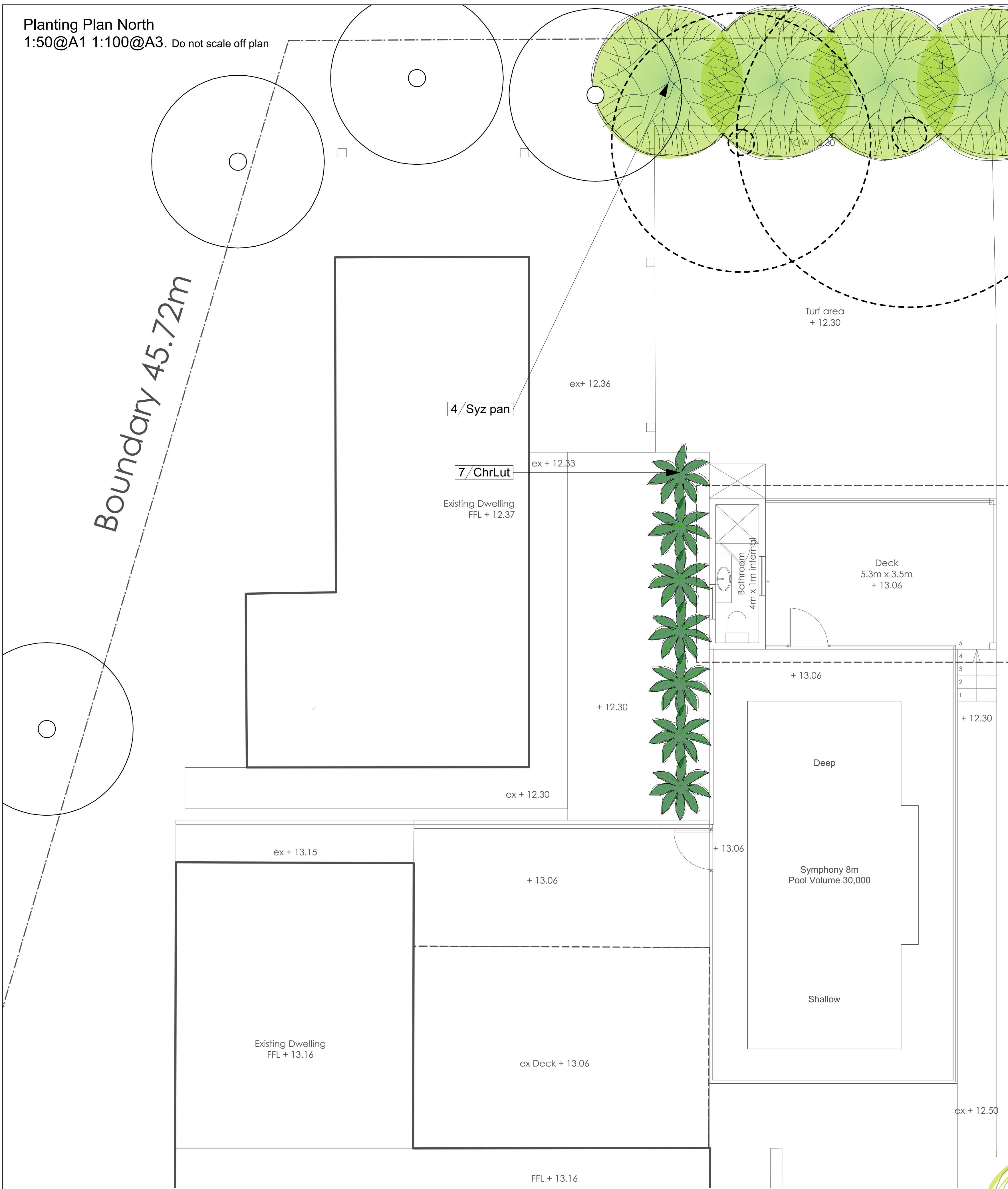
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T: 0421 517 991  
E: jamie@jamieking.com.au



JAMIE KING  
LANDSCAPE ARCHITECT  
DESIGN • APPROVE • MANAGE



Boundary 45.72m



 northern  
beaches  
council

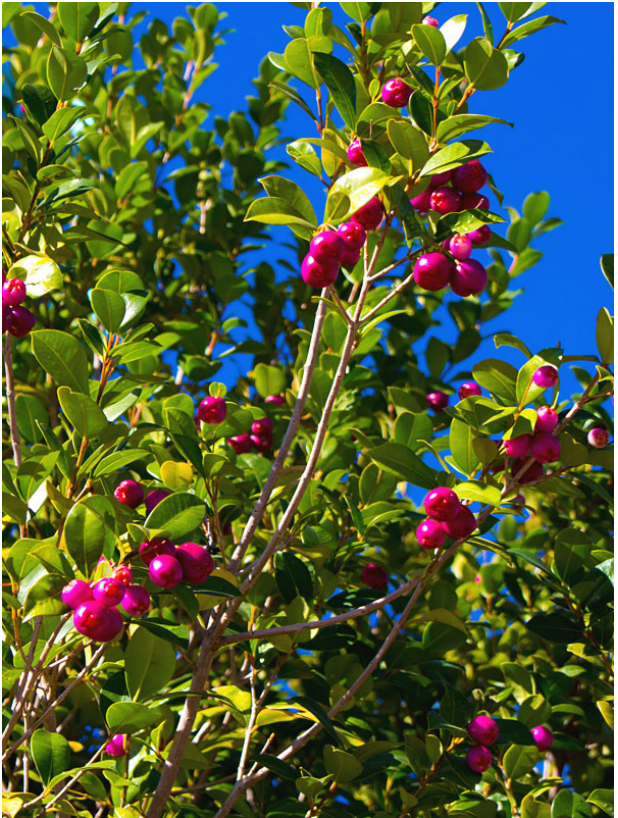
**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2021/2602**

ID	Quantity	Latin Name	Common Name	Scheduled Size	Mature Height	Mature Spread
ChrLut	7	Chrysalidocarpus lutescens	Golden Cane Palm	25lt	5 - 10m	3.5 - 6m
Syz pan	4	Syzygium paniculatum	Magenta Lillypillly	25lt	Max.15m	6 - 10m



CHRYSIDOCARPUS

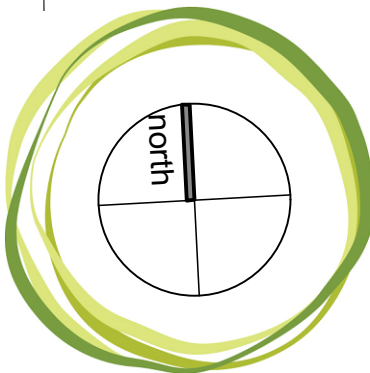


SYZYGium

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E	07/03/22	Issue E for DA
D	16/12/21	Issue D for DA
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B	27/01/21	Issue B
A	18/03/20	DRAFT issue for review

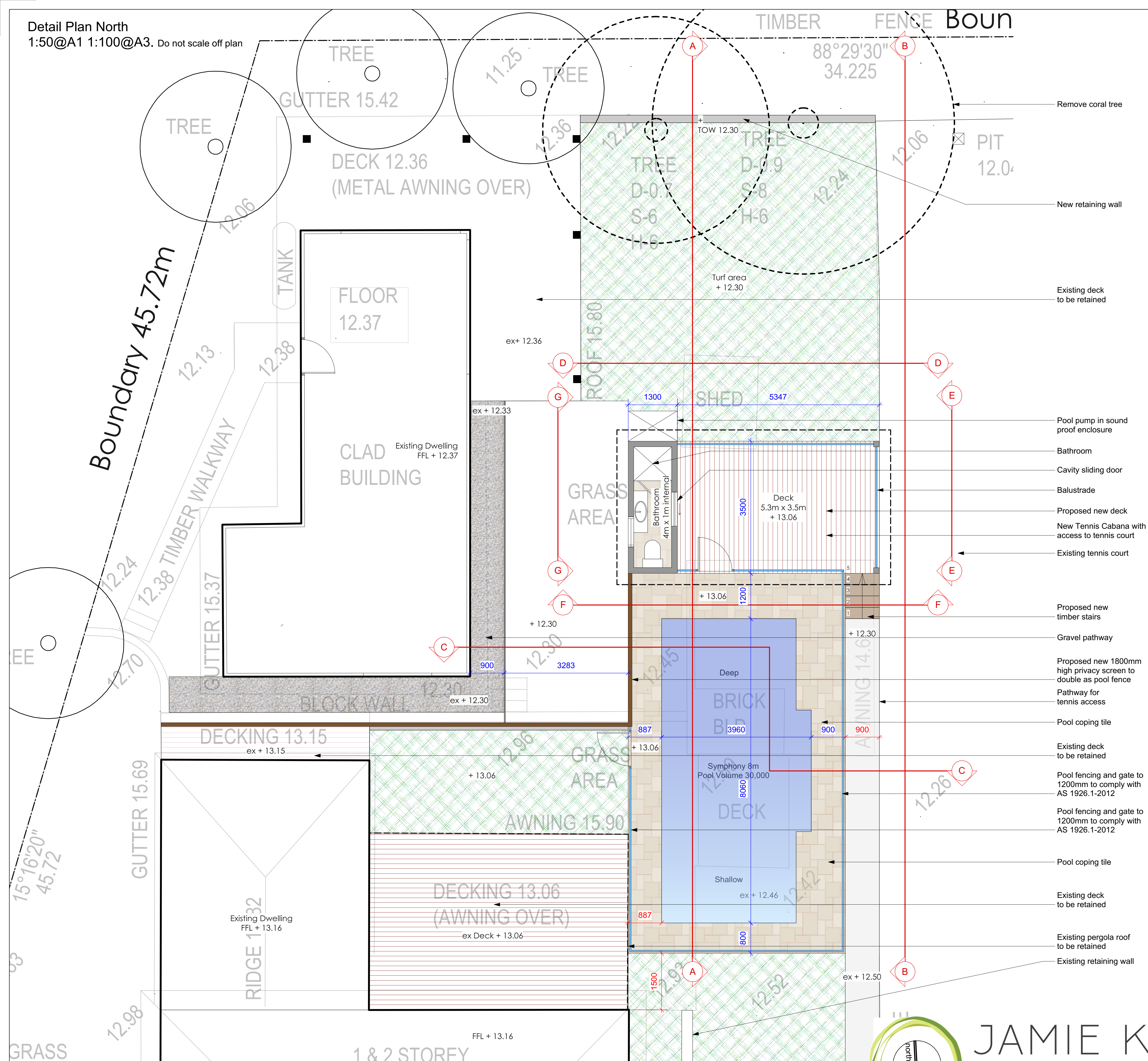
ISSUE	DATE	REVISION	PROJECT #
PROJECT	282 Barrenjoey Road, Newport		2063
CLIENT	Robert Albers	DATE # See above SCALE @ A1 See Plan	DWG #
DWG	Planting Plan North	DRAWN SA CHKD JK	REVISION



**JAMIE KING**  
**LANDSCAPE ARCHITECT**  
DESIGN ● APPROVE ● MANAGE



Detail Plan North  
1:50@A1 1:100@A3. Do not scale off plan



northern  
beaches  
council

**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF  
DEVELOPMENT CONSENT**

**DA2021/2602**

- # Legend
- |           |                         |
|-----------|-------------------------|
|           | MULCH AREA              |
|           | SOFT-FALL               |
|           | SAND                    |
|           | ARTIFICIAL TURF         |
|           | TURF AREA               |
|           | TIMBER DECKING          |
|           | CONCRETE PAVING         |
|           | UNIT PAVING             |
|           | STAIRS                  |
|           | PEBBLE                  |
|           | GRAVEL                  |
|           | COBBLESTONE             |
|           | TIMBER                  |
|           | WATER                   |
|           | MASONRY RETAINING WALL  |
|           | STONE RETAINING WALL    |
|           | TIMBER RETAINING WALL   |
|           | BOULDER RETAINING WALL  |
|           | SITE OR WORKS BOUNDARY  |
| + 88.88   | PROPOSED LEVEL          |
| +TW 88.88 | TOP OF WALL LEVEL       |
| Paving 1  | MATERIAL NAME           |
| Fall →    | SURFACE FALL DIRECTION  |
|           | SURFACE DRAINS          |
| +88.88    | SURVEY (50% GREY LINES) |
|           | EXISTING TREE TO RETAIN |
|           | EXISTING TREE TO REMOVE |
|           | EXISTING ROCK OUTCROP   |

**Notes:**

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**PPOOL TO BE INSTALLED TO MEET THE REQUIREMENTS OF AS1839:2021. POOL LEVEL SHOWN IS INDICATIVE ONLY AND TO BE CONFIRMED ONSITE BY BUILDER TO ENSURE COMPLIANCE WITH AS1839:2021**

ISSUE	DATE	REVISION		
PROJECT	282 Barrenjoey Road, Newport			PROJECT # 2063
CLIENT	Robert Albers		DATE # See above	DWG # Sht-10
DWG	Detail Plan North		SCALE @ A1 See Plan	
			DRAWN SA	
			CHKD .JK	REVISION

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84 Palmgrove Rd, Avalon, NSW, 2107 T: 0421 517 991 E: [jamie@jamieking.com.au](mailto:jamie@jamieking.com.au)





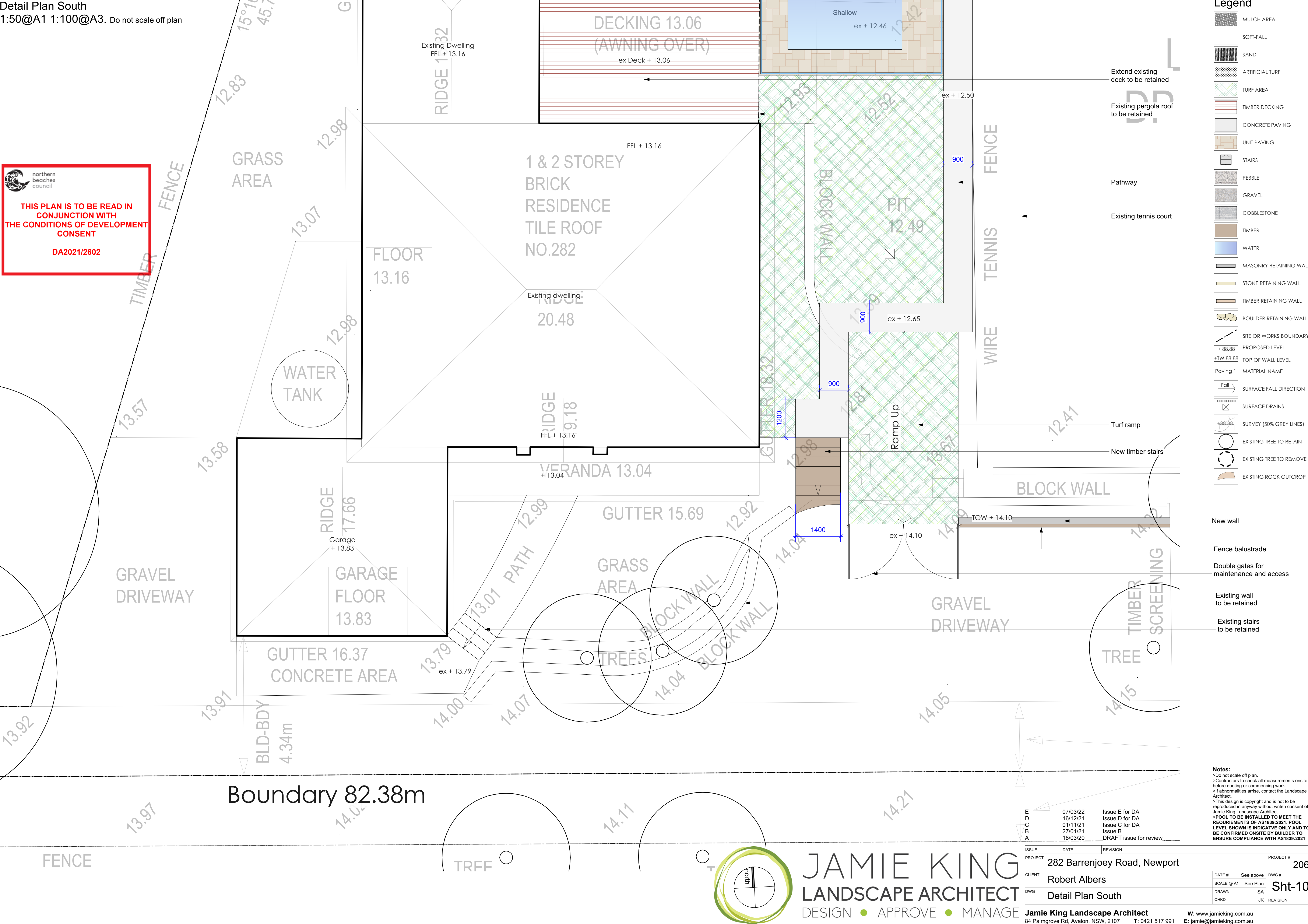
Detail Plan South  
1:50@A1 1:100@A3. Do not scale off plan

 northern  
beaches  
council

THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
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CONSENT

DA2021/2602

- Legend
- MULCH AREA
  - SOFT-FALL
  - SAND
  - ARTIFICIAL TURF
  - TURF AREA
  - TIMBER DECKING
  - CONCRETE PAVING
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  - STAIRS
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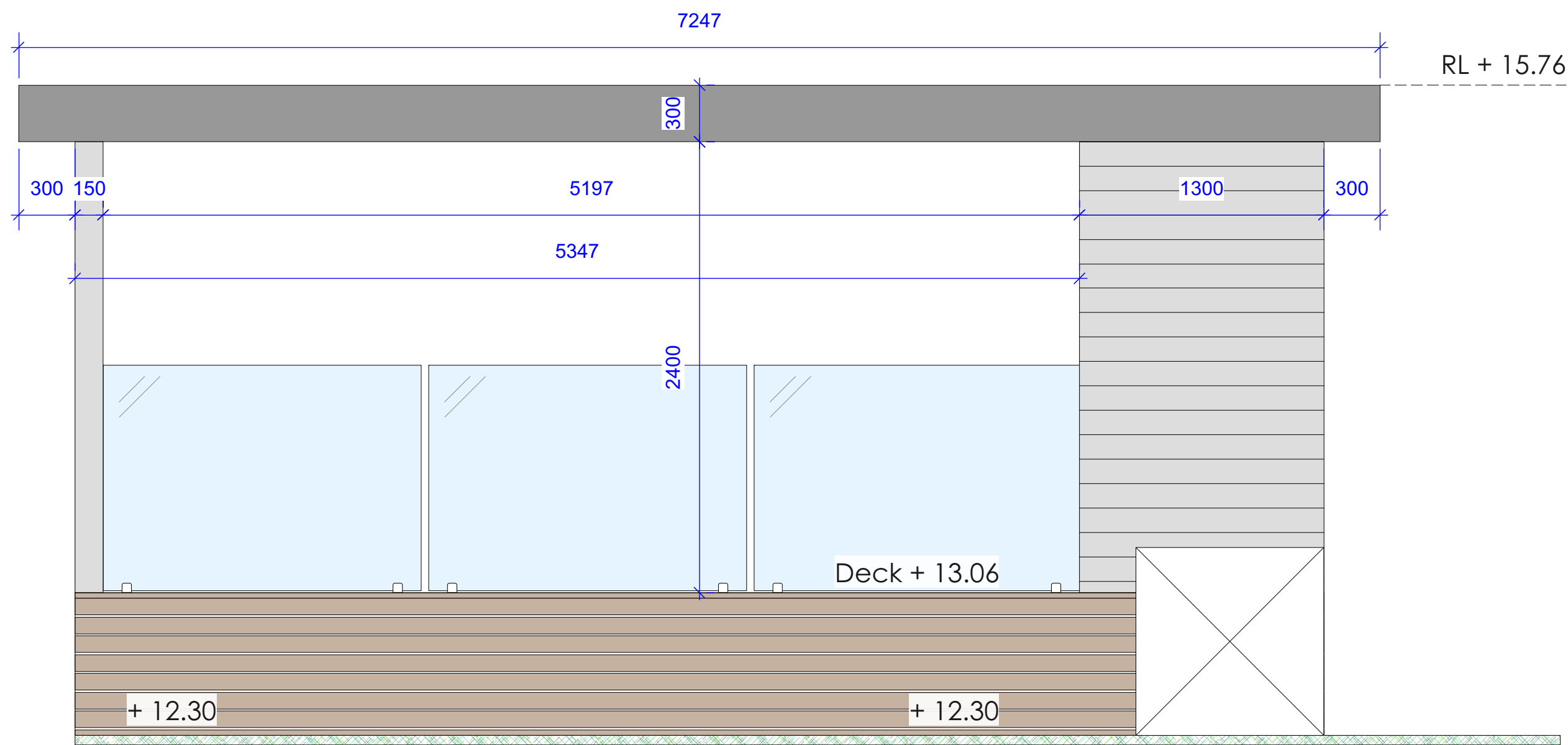


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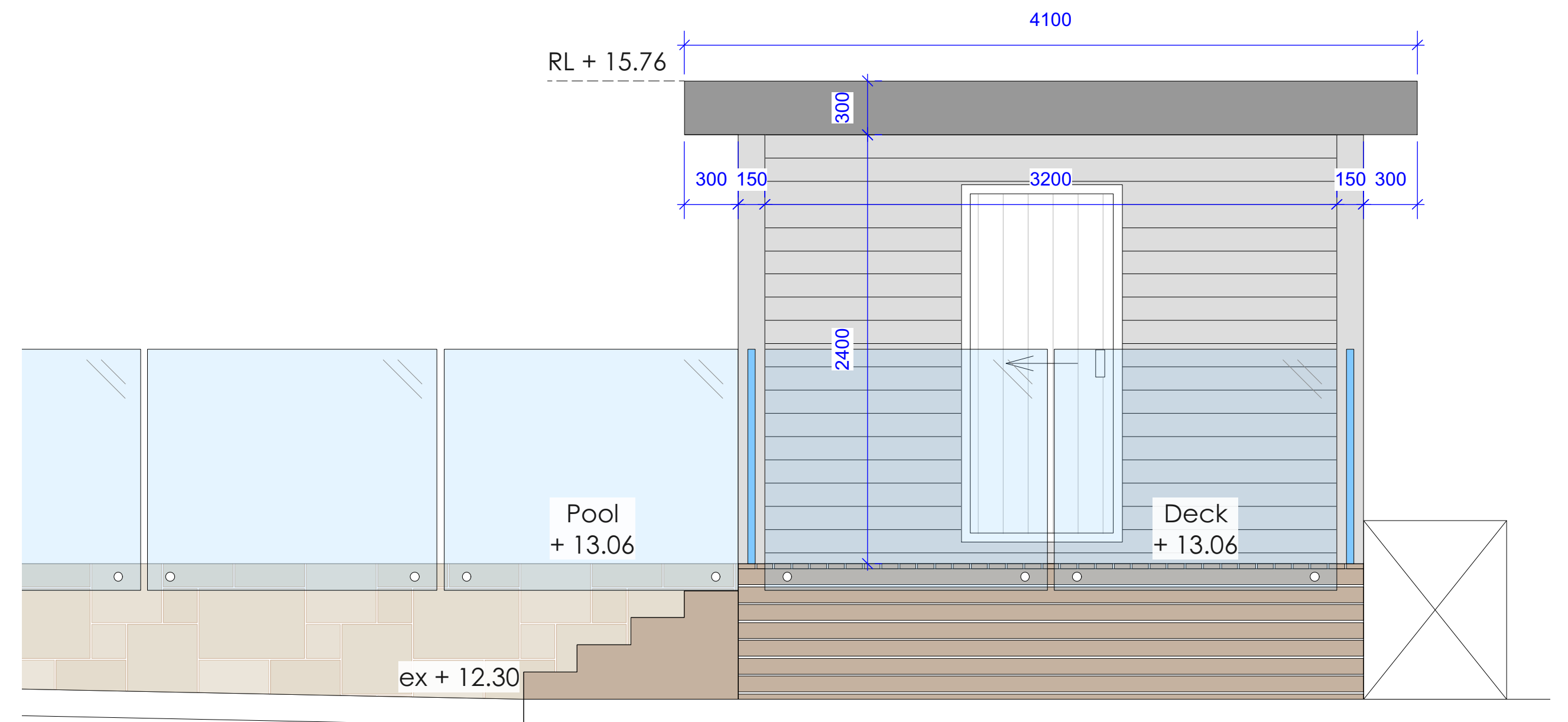
E	07/03/22	Issue E for DA	reproduced in anyway without written consent of Jamie King Landscape Architect. →POOL TO BE INSTALLED TO MEET THE REQUIREMENTS OF AS1839:2021. POOL LEVEL SHOWN IS INDICATIVE ONLY AND TO BE CONFIRMED ONSITE BY BUILDER TO ENSURE COMPLIANCE WITH AS1839:2021		
D	16/12/21	Issue D for DA			
C	01/11/21	Issue C for DA			
B	27/01/21	Issue B			
A	18/03/20	DRAFT issue for review			
ISSUE		DATE	REVISION		
PROJECT					PROJECT #
282 Barrenjoey Road, Newport					2063
CLIENT	Robert Albers			DATE #	See above
DWG	Sections			SCALE @ A1	See Plan
				DRAWN	SA
				CHKD	JK
			REVISION		

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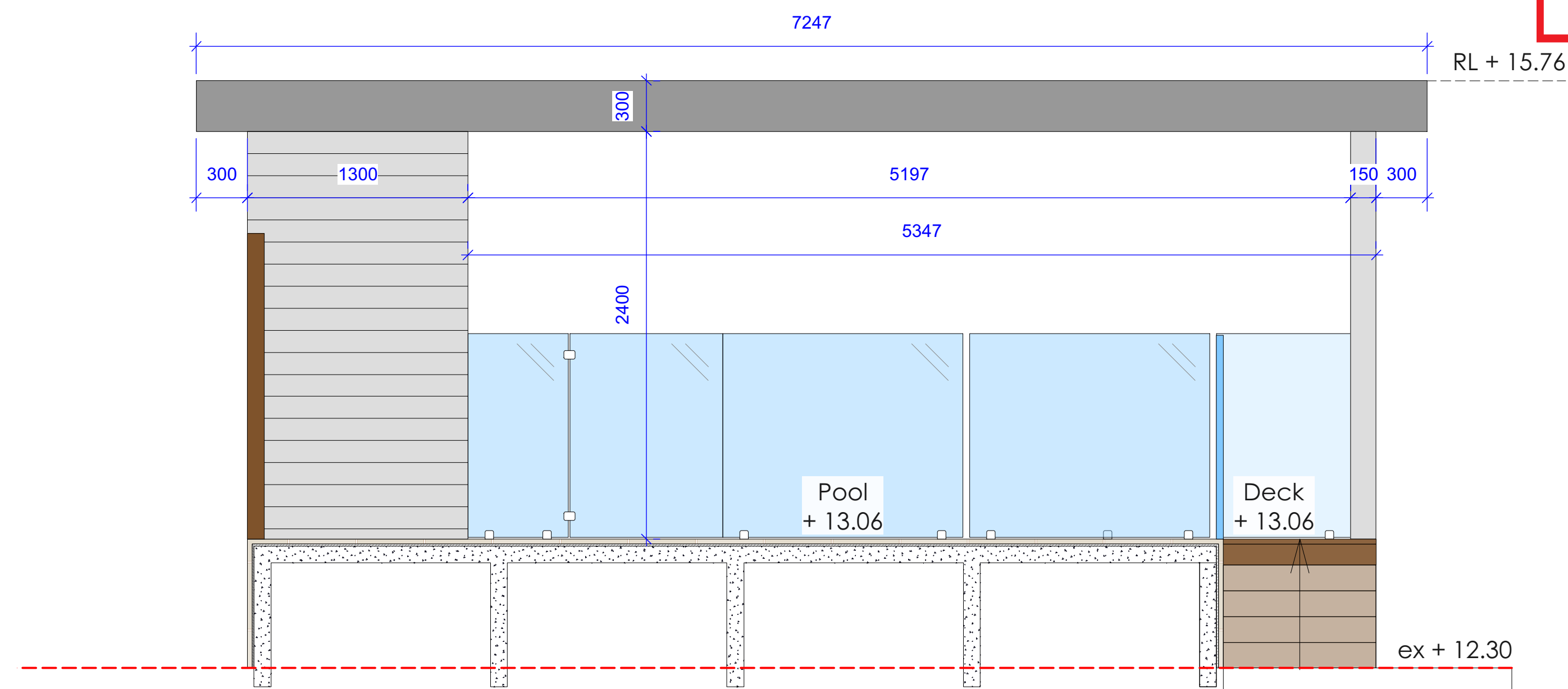




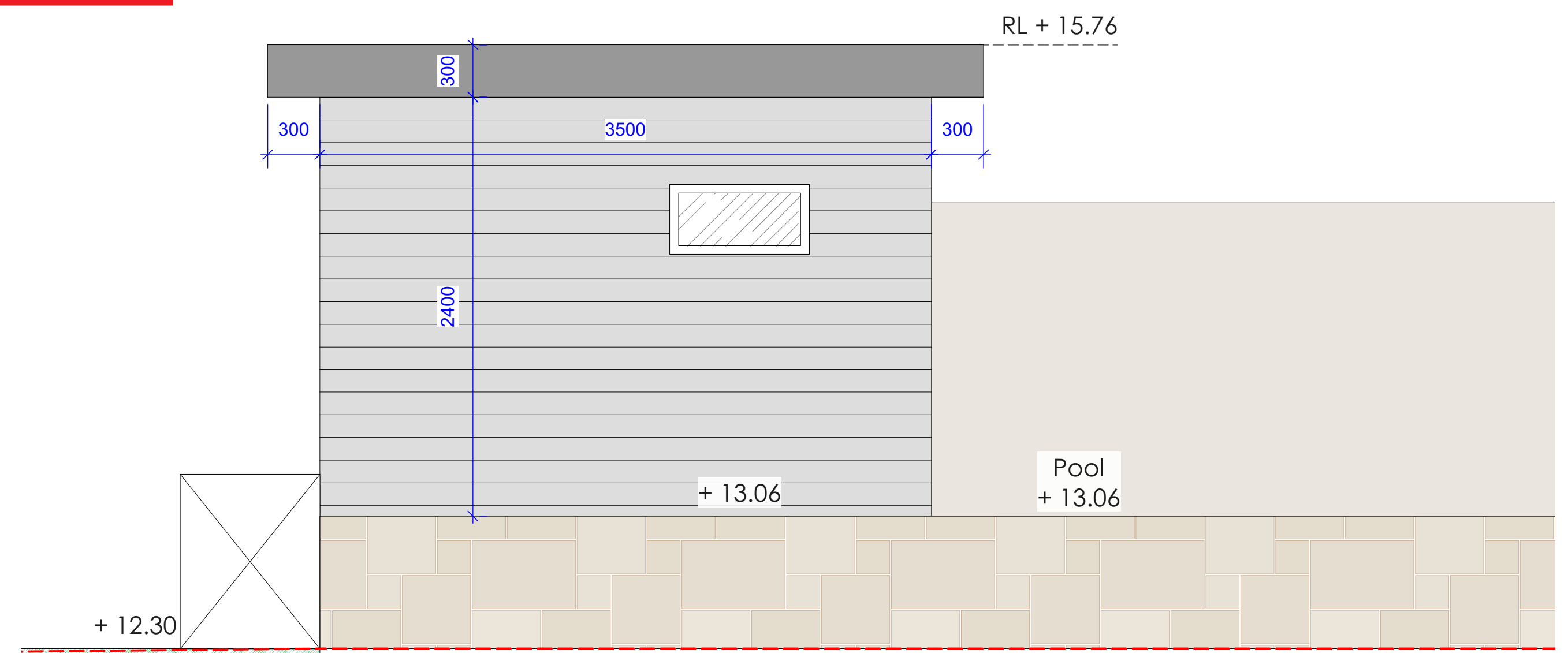
Elevation D (North)  
1:25@A1 1:50@A3. Do not scale off plan



Elevation E (East)  
1:25@A1 1:50@A3. Do not scale off plan



Elevation F (South)  
1:25@A1 1:50@A3. Do not scale off plan



Elevation G (West)  
1:25@A1 1:50@A3. Do not scale off plan

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ISSUE	DATE	REVISION	PROJECT #
PROJECT	282 Barrenjoey Road, Newport		2063
CLIENT	Robert Albers	DATE # See above SCALE @ A1 See Plan	DWG # Sht-107
DWG	Elevations	DRAWN SA CHKD JK	REVISION



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