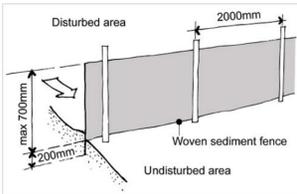


Areas and Demolition Plan
 1:100@A1 1:200@A3. Do not scale off plan

AREA CALCULATION		
	AREA (m2)	PERCENTAGE
Site	1878,00	
Landscape total as per DCP	651,45	34,69%



Sedimentation Control Fence
 Not to scale.
 Source: www.yourhome.gov.au

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2021/2602

BARRENJOEY ROAD

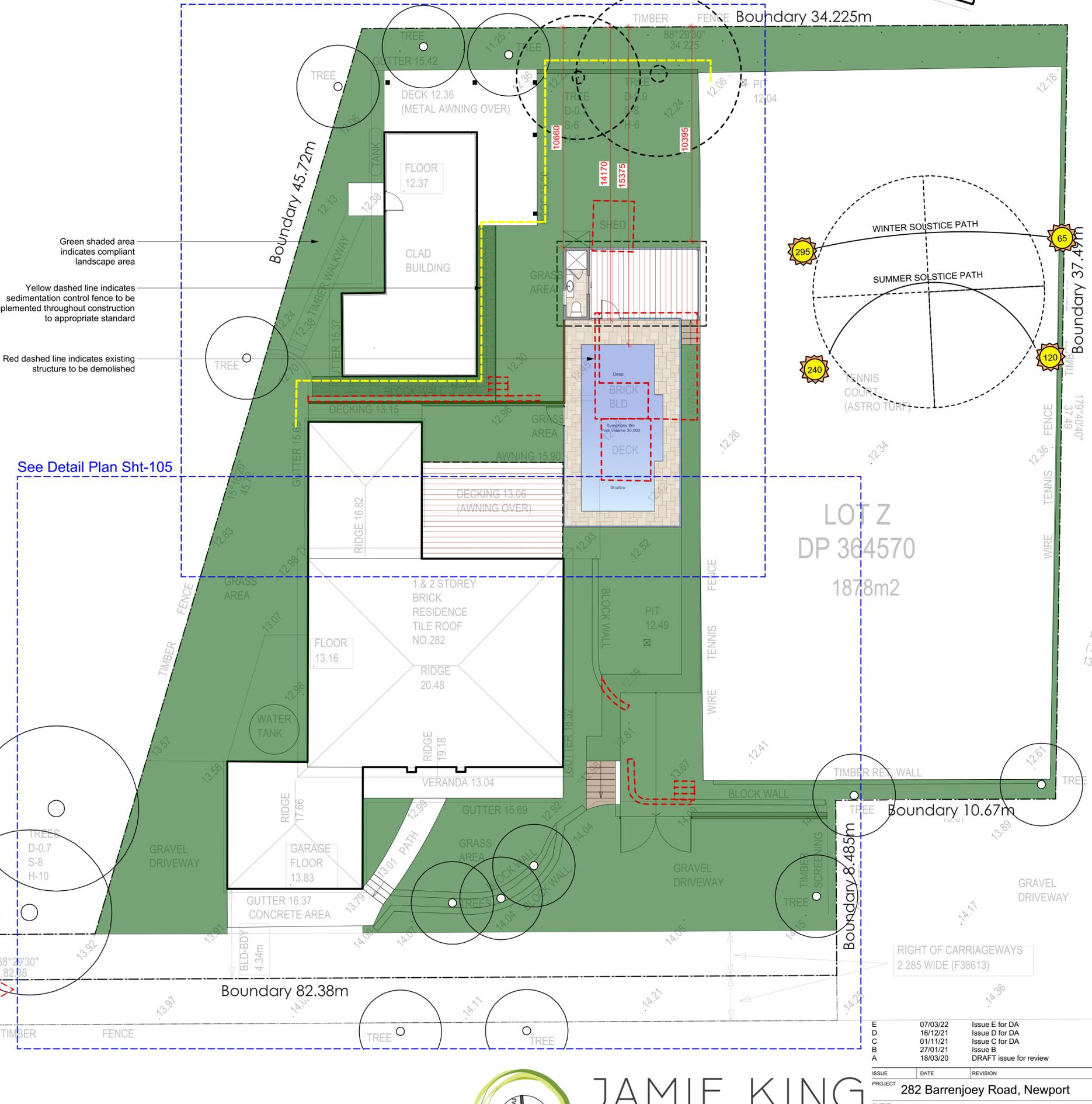
See Detail Plan Sht-104

Green shaded area indicates compliant landscape area
 Yellow dashed line indicates sedimentation control fence to be implemented throughout construction to appropriate standard
 Red dashed line indicates existing structure to be demolished

See Detail Plan Sht-105

Legend

- MULCH AREA
- SOFT-FALL
- SAND
- ARTIFICIAL TURF
- TURF AREA
- TIMBER DECKING
- CONCRETE PAVING
- UNIT PAVING
- STAIRS
- PEBBLE
- GRAVEL
- COBBLESTONE
- TIMBER
- WATER
- MASONRY RETAINING WALL
- STONE RETAINING WALL
- TIMBER RETAINING WALL
- BOULDER RETAINING WALL
- SITE OR WORKS BOUNDARY
- PROPOSED LEVEL
- TOP OF WALL LEVEL
- MATERIAL NAME
- SURFACE FALL DIRECTION
- SURFACE DRAINS
- SURVEY (50% GREY LINES)
- EXISTING TREE TO RETAIN
- EXISTING TREE TO REMOVE
- EXISTING ROCK OUTCROP



LOT Z
 DP 364570
 1878m2

SITE BENCHMARK
 BOLT IN KERB
 RL 12.90 (A.H.D.)

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ISSUE	DATE	REVISION
E	07/03/22	Issue E for DA
D	16/12/21	Issue D for DA
C	01/11/21	Issue C for DA
B	27/01/21	Issue B
A	18/03/20	DRAFT issue for review

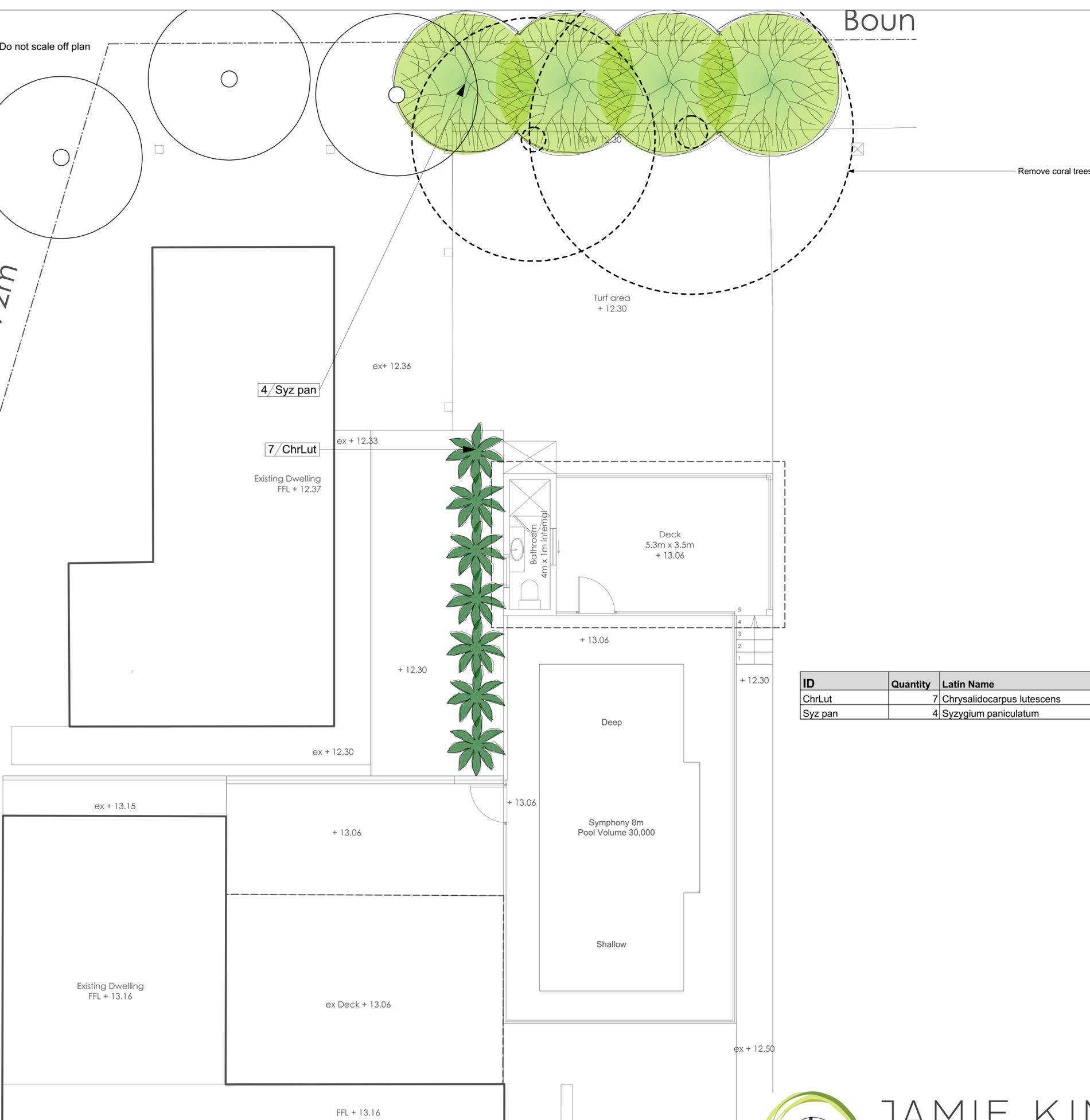


JAMIE KING
 LANDSCAPE ARCHITECT
 DESIGN ● APPROVE ● MANAGE

PROJECT	282 Barrenjoey Road, Newport	PROJECT #	2063
CLIENT	Robert Albers	DATE #	See above
DWG	Areas and Demolition Plan	SCALE @ A1	See Plan
CHKD	JK	DRAWN	SA
		REVISION	

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 84 Palmgrove Rd, Avalon, NSW, 2107 T: 0421 517 991
 W: www.jamieking.com.au E: jamie@jamieking.com.au

Boundary 45.72m



Remove coral trees

northern beaches council
 THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
 DA2021/2602

ID	Quantity	Latin Name	Common Name	Scheduled Size	Mature Height	Mature Spread
ChrLut	7	Chrysalidocarpus lutescens	Golden Cane Palm	25lt	5 - 10m	3.5 - 6m
Syz pan	4	Syzygium paniculatum	Magenta Lillypilly	25lt	Max.15m	6 - 10m



CHRYSALIDOCARPUS



SYZYGIVM

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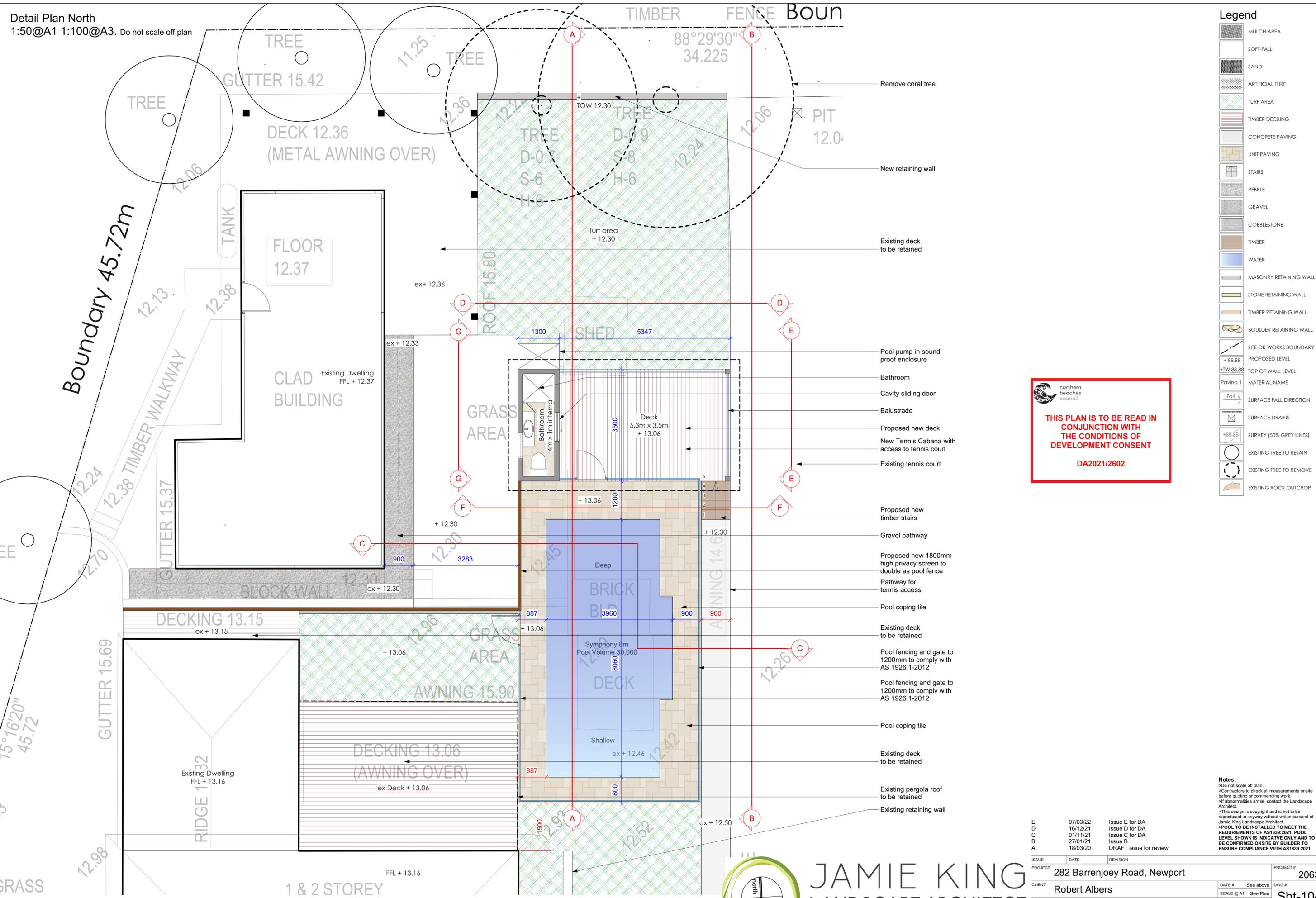
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 LANDSCAPE ARCHITECT
 DESIGN ● APPROVE ● MANAGE

PROJECT	282 Barrenjoey Road, Newport	PROJECT #	2063
CLIENT	Robert Albers	DATE #	See above
DWG	Planting Plan North	SCALE @ A1	See Plan
		DRAWN	SA
		CHKD	JK
		REVISION	

- Legend**
- MULCH AREA
 - SOFT-FALL
 - SAND
 - ARTIFICIAL TURF
 - TURF AREA
 - TIMBER DECKING
 - CONCRETE PAVING
 - UNIT PAVING
 - STAIRS
 - PEBBLE
 - GRAVEL
 - COBBLESTONE
 - TIMBER
 - WATER
 - MASONRY RETAINING WALL
 - STONE RETAINING WALL
 - TIMBER RETAINING WALL
 - BOULDER RETAINING WALL
 - SITE OR WORKS BOUNDARY
 - + 88.88 PROPOSED LEVEL
 - +TW 88.88 TOP OF WALL LEVEL
 - Paving 1 MATERIAL NAME
 - Fall SURFACE FALL DIRECTION
 - SURFACE DRAINS
 - +88.88 SURVEY (50% GREY LINES)
 - EXISTING TREE TO RETAIN
 - EXISTING TREE TO REMOVE
 - EXISTING ROCK OUTCROP

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2021/2602



- Remove coral tree
- New retaining wall
- Existing deck to be retained
- Pool pump in sound proof enclosure
- Bathroom
- Cavity sliding door
- Balustrade
- Proposed new deck
- New Tennis Cabana with access to tennis court
- Existing tennis court
- Proposed new timber stairs
- Gravel pathway
- Proposed new 1800mm high privacy screen to double as pool fence
- Pathway for tennis access
- Pool coping tile
- Existing deck to be retained
- Pool fencing and gate to 1200mm to comply with AS 1926.1-2012
- Pool fencing and gate to 1200mm to comply with AS 1926.1-2012
- Pool coping tile
- Existing deck to be retained
- Existing pergola roof to be retained
- Existing retaining wall

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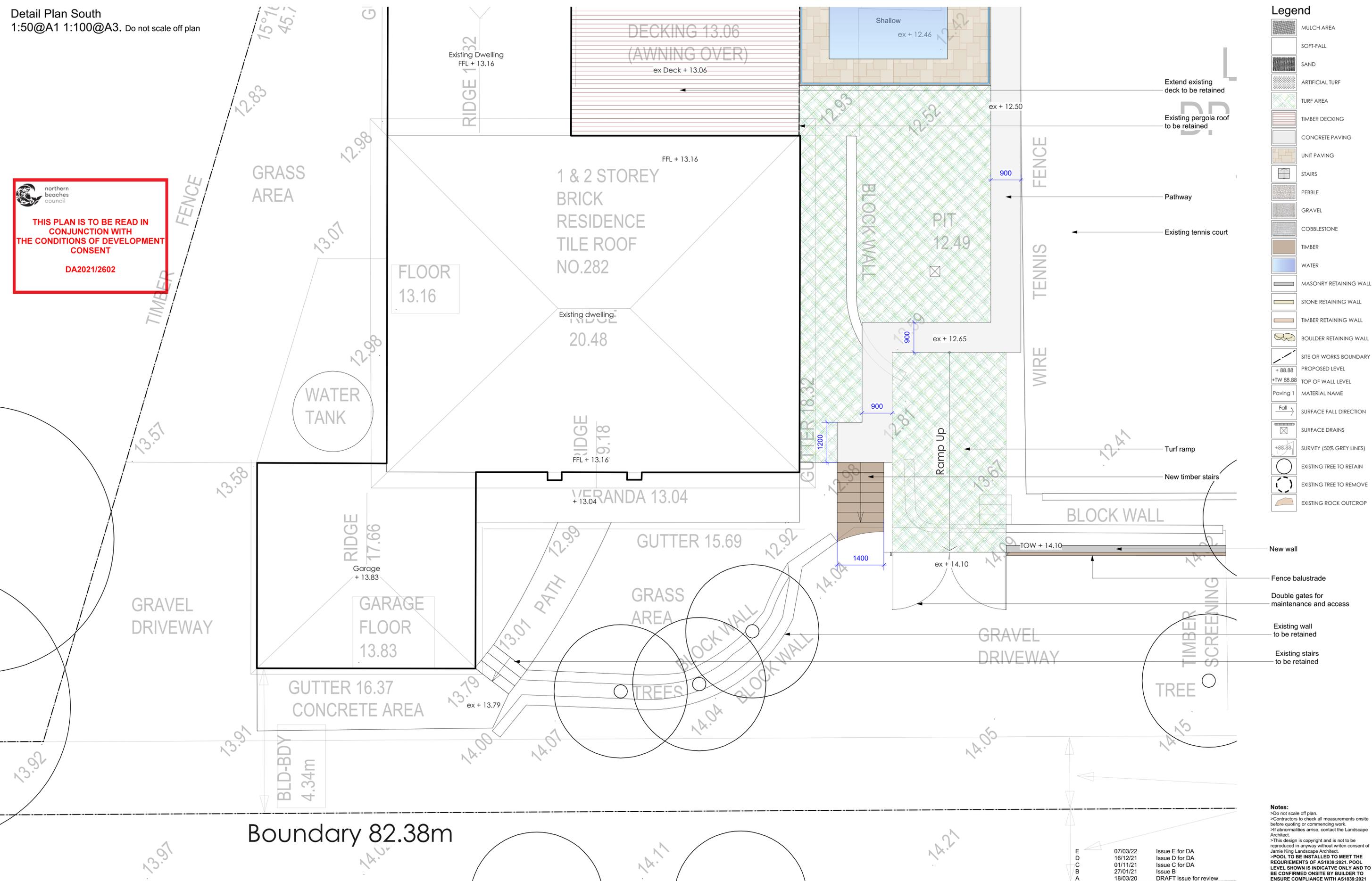
PROJECT	282 Barrenjoey Road, Newport	PROJECT #	2063
CLIENT	Robert Albers	DATE #	See above
DWG	Detail Plan North	SCALE @ A1	See Plan
CHKD	JK	DRAWN	SA
		REVISION	



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THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
 DA2021/2602

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 - SAND
 - ARTIFICIAL TURF
 - TURF AREA
 - TIMBER DECKING
 - CONCRETE PAVING
 - UNIT PAVING
 - STAIRS
 - PEBBLE
 - GRAVEL
 - COBBLESTONE
 - TIMBER
 - WATER
 - MASONRY RETAINING WALL
 - STONE RETAINING WALL
 - TIMBER RETAINING WALL
 - BOULDER RETAINING WALL
 - SITE OR WORKS BOUNDARY PROPOSED LEVEL
 - TOP OF WALL LEVEL
 - MATERIAL NAME
 - SURFACE FALL DIRECTION
 - SURFACE DRAINS
 - SURVEY (50% GREY LINES)
 - EXISTING TREE TO RETAIN
 - EXISTING TREE TO REMOVE
 - EXISTING ROCK OUTCROP



- Extend existing deck to be retained
- Existing pergola roof to be retained
- Pathway
- Existing tennis court
- Turf ramp
- New timber stairs
- New wall
- Fence balustrade
- Double gates for maintenance and access
- Existing wall to be retained
- Existing stairs to be retained

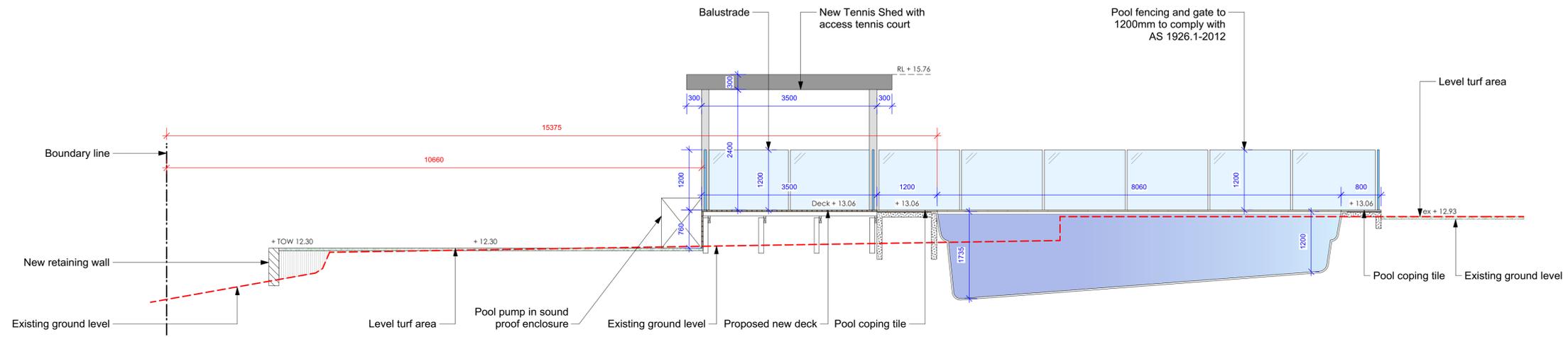
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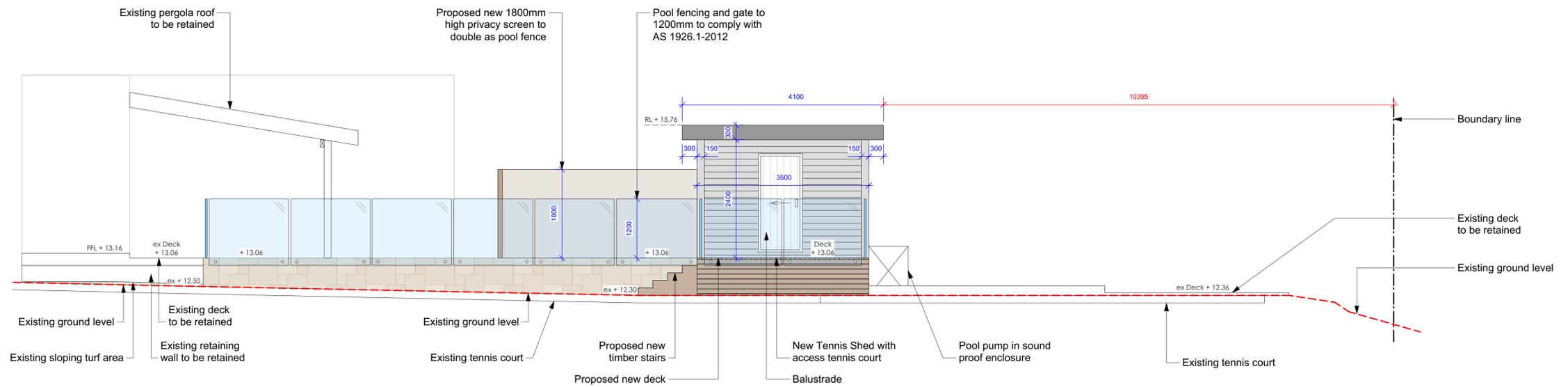
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PROJECT: 282 Barrenjoey Road, Newport PROJECT #: 2063
 CLIENT: Robert Albers DATE #: See above DWG #: Sht-105
 DWG: Detail Plan South DRAWN: SA
 CHKD: JK REVISION

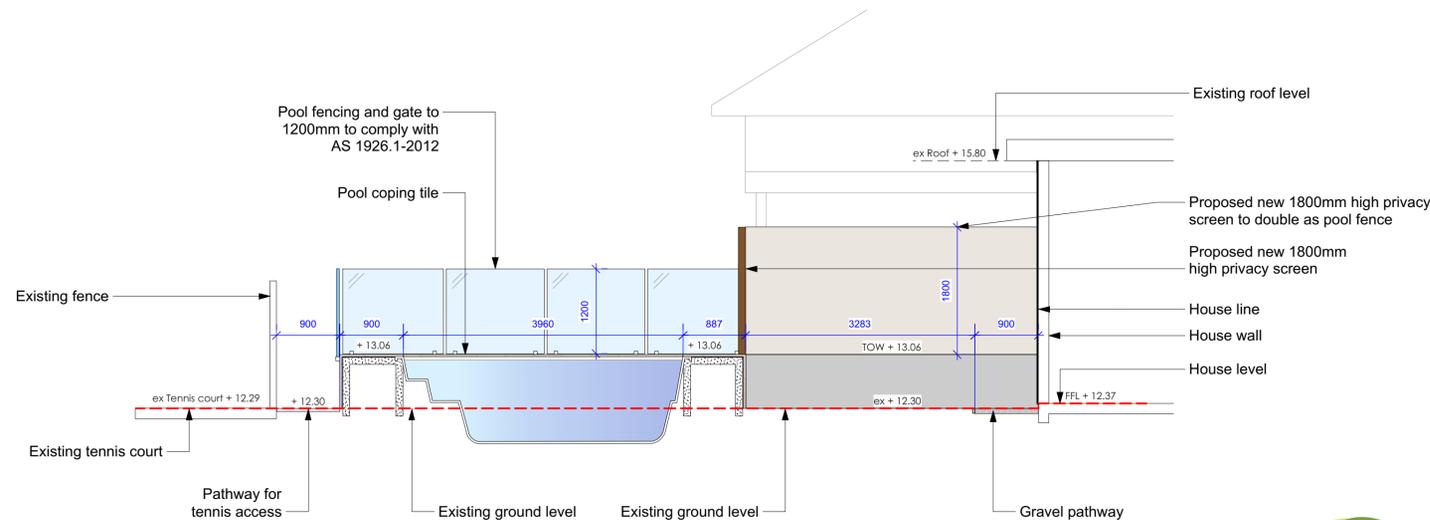
Jamie King Landscape Architect
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 W: www.jamieking.com.au E: jamie@jamieking.com.au



Section AA
1:50@A1 1:100@A3. Do not scale off plan



Section BB
1:50@A1 1:100@A3. Do not scale off plan



Section CC
1:50@A1 1:100@A3. Do not scale off plan

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DA2021/2602

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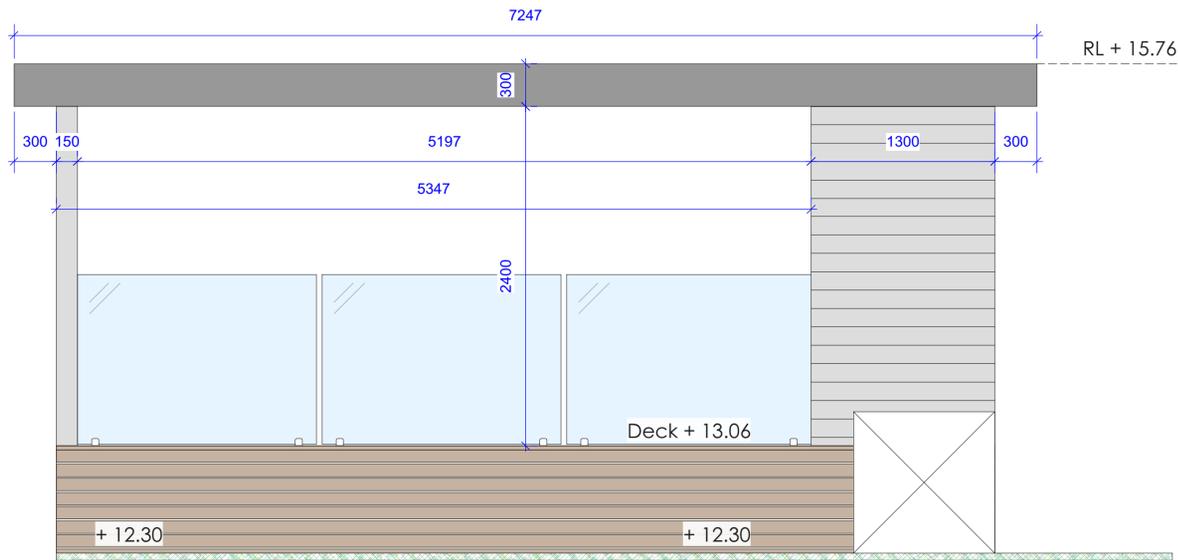
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PROJECT	DATE	REVISION	PROJECT #
282 Barrenjoey Road, Newport			2063
CLIENT	DATE #	See above	DWG #
Robert Albers			Sht-106
DWG	DRAWN	SA	REVISION
Sections	JK		

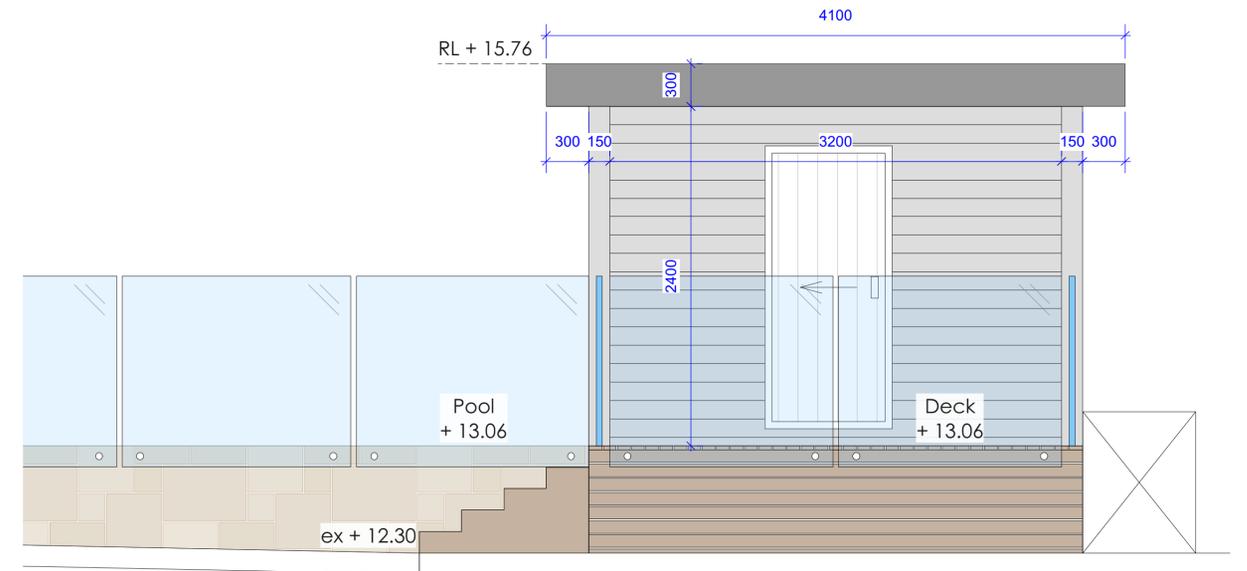


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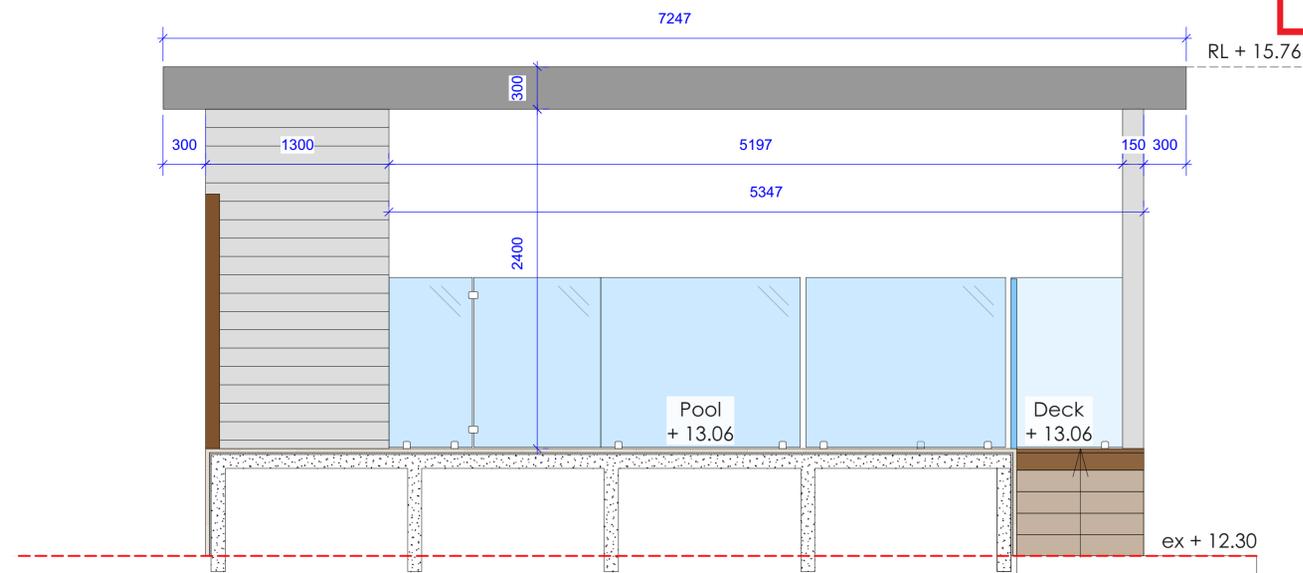


Elevation D (North)
1:25@A1 1:50@A3. Do not scale off plan

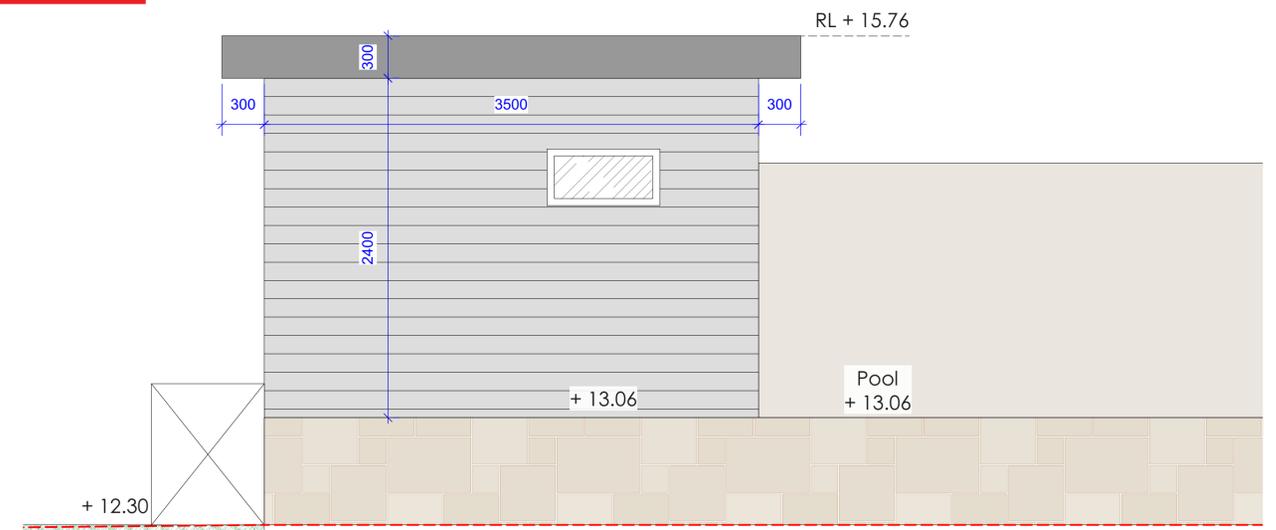


Elevation E (East)
1:25@A1 1:50@A3. Do not scale off plan

 northern beaches council
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 DA2021/2602



Elevation F (South)
1:25@A1 1:50@A3. Do not scale off plan



Elevation G (West)
1:25@A1 1:50@A3. Do not scale off plan

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PROJECT	DATE #	REVISION	PROJECT #
282 Barrenjoey Road, Newport	See above		2063
CLIENT	SCALE @ A1	SCALE @ A3	DWG #
Robert Albers	See Plan		Sht-107
DWG	DRAWN	SA	CHKD
Elevations	JK		



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