

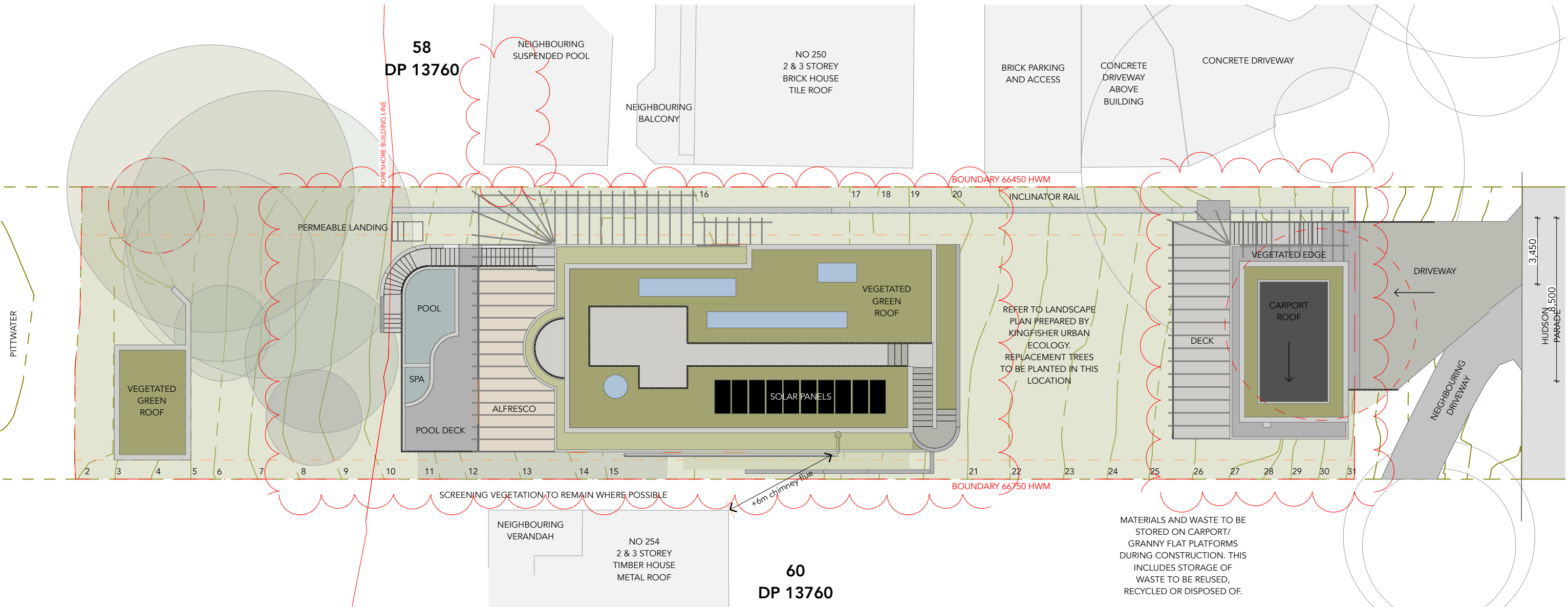
THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2023/0690

AREA SCHEDULE

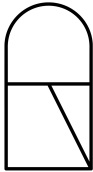
LANDSCAPE	611.6m ² + ADDITIONAL 156m ² OF GREEN ROOF
BOAT SHED	24m ²
HOUSE	305.1m ²
CARPORT/STORAGE	74.7m ²

SITE AREA 1015.4m²



1 Site and Roof Plan
1:200

- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED



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All boundaries and contours subject to survey

Project Name
Cove House

Project Address
252 Hudson Parade, Clareville, NSW 2017

Drawing Title:
Site and Roof Plan

Drawing No.:
RFI 05

Revision:
A

Scale:
1:200


Status:
Development Application


Client
Marcel and Elle Dupont-Louis


Date:
14/12/2023



TREE NUMBER	TPZ RADIUS (m)	TPZ AREA (m2)	ENCROACHMENT ZONE (m2)	ENCROACHMENT ZONE (APPROX %) (WILL BE CONFIRMED BY STRUCTURAL ENGINEER)	RETENTION VALUE
33	4.56	65.29	-	-	B
34	4.08	52.27	-	-	B
35	4.32	58.60	-	-	B
36	3.6	40.69	-	-	B
37	9.36	275.09	24	8.72%	A
40	9	254.34	3	1.18%	A
41	2.88	26.04	-	-	B
42	3.84	46.30	-	-	B
43	2	12.56	1	7.96%	B
44	3.48	38.03	-	-	B
45	8.88	247.60	24	9.69%	A
46	6.24	122.26	12	9.81%	A
47	3.12	30.57	-	-	B
48	6.6	136.78	-	-	A

- LEGEND
-  TREE PROTECTION ZONE (TPZ)

 STRUCTURAL ROOT ZONE (SRZ)

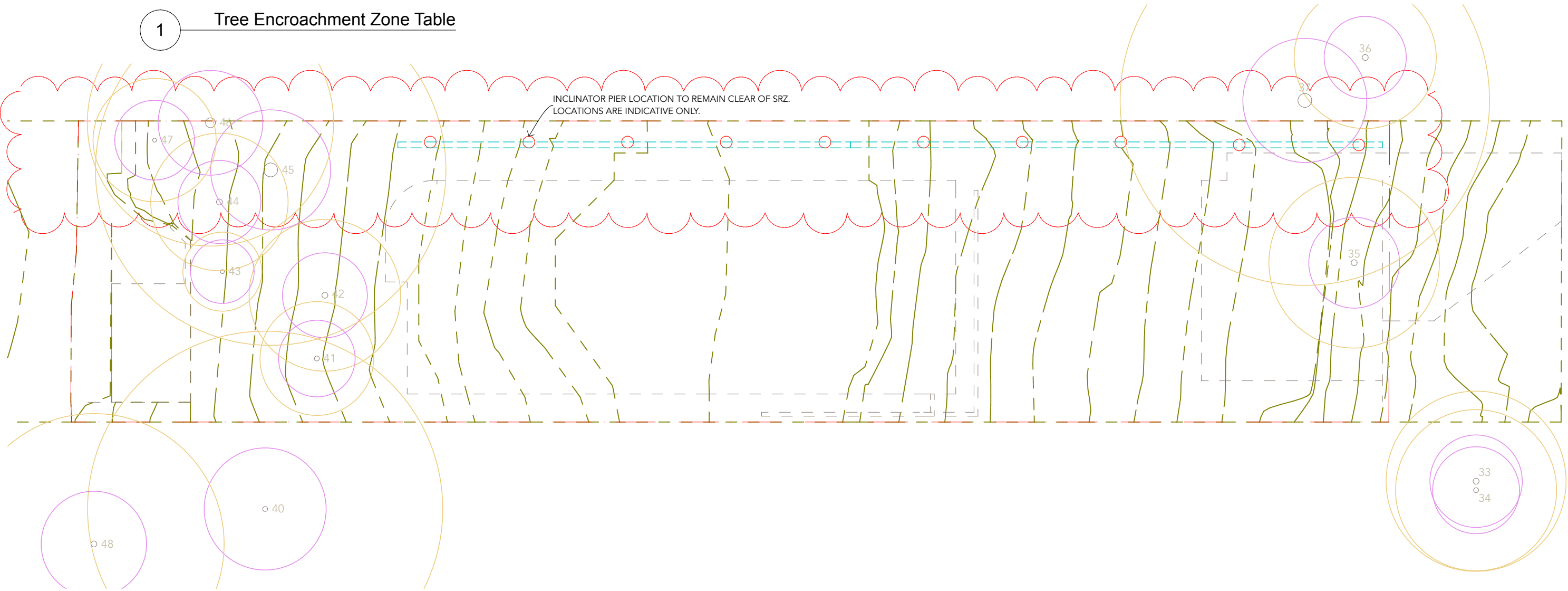
 INCLINATOR PIER OUTLINE (INDICATIVE ONLY)

 BUILDING/RETAINING WALL OUTLINE

 INCLINATOR RAIL ABOVE

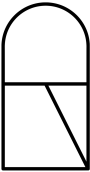
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Tree Encroachment Zone Table



2

Tree Impact Plan
1:200



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Project Name
Cove House

Project Address
252 Hudson Parade, Clareville, NSW 2017

Drawing Title:
Tree Impact Plan

Drawing No.:
RFI 07

Revision:

Scale:
1:200

Status:
Development Application

Client
Marcel and Elle Dupont-Louis

Date:
14/12/2023

 **N**



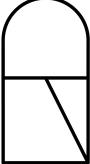
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2023/0690

1

Residence Ground Floor Plan

1:100



General Notes

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All boundaries and contours subject to survey

Project Name

Cove House

Project Address

252 Hudson Parade, Clareville, NSW 2017

Drawing Title:

House Ground Floor Plan

Drawing No.:

RFI 08

Revision:

A

Scale:

Status:

Development Application

Client

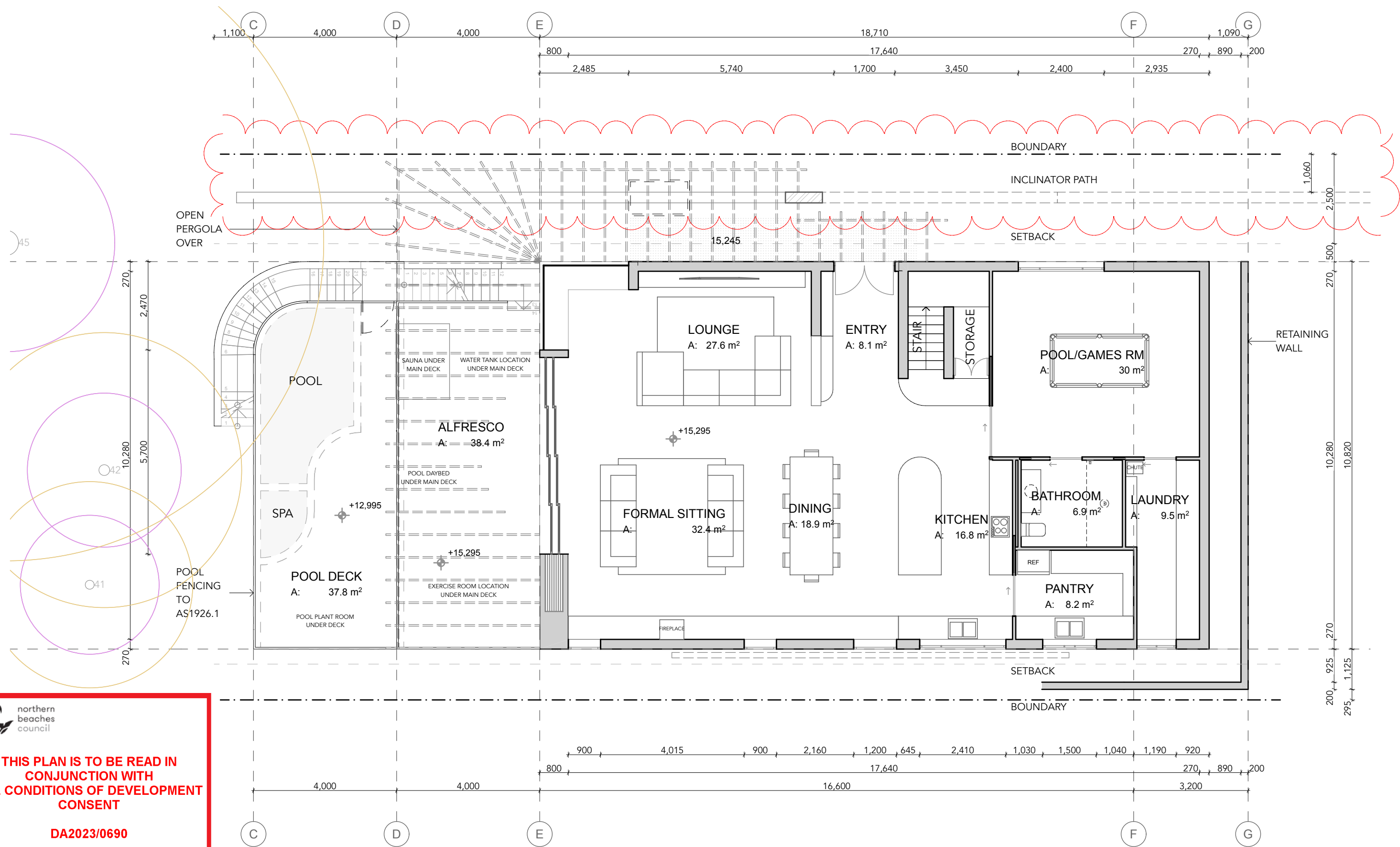
Marcel and Elle Dupont-Louis

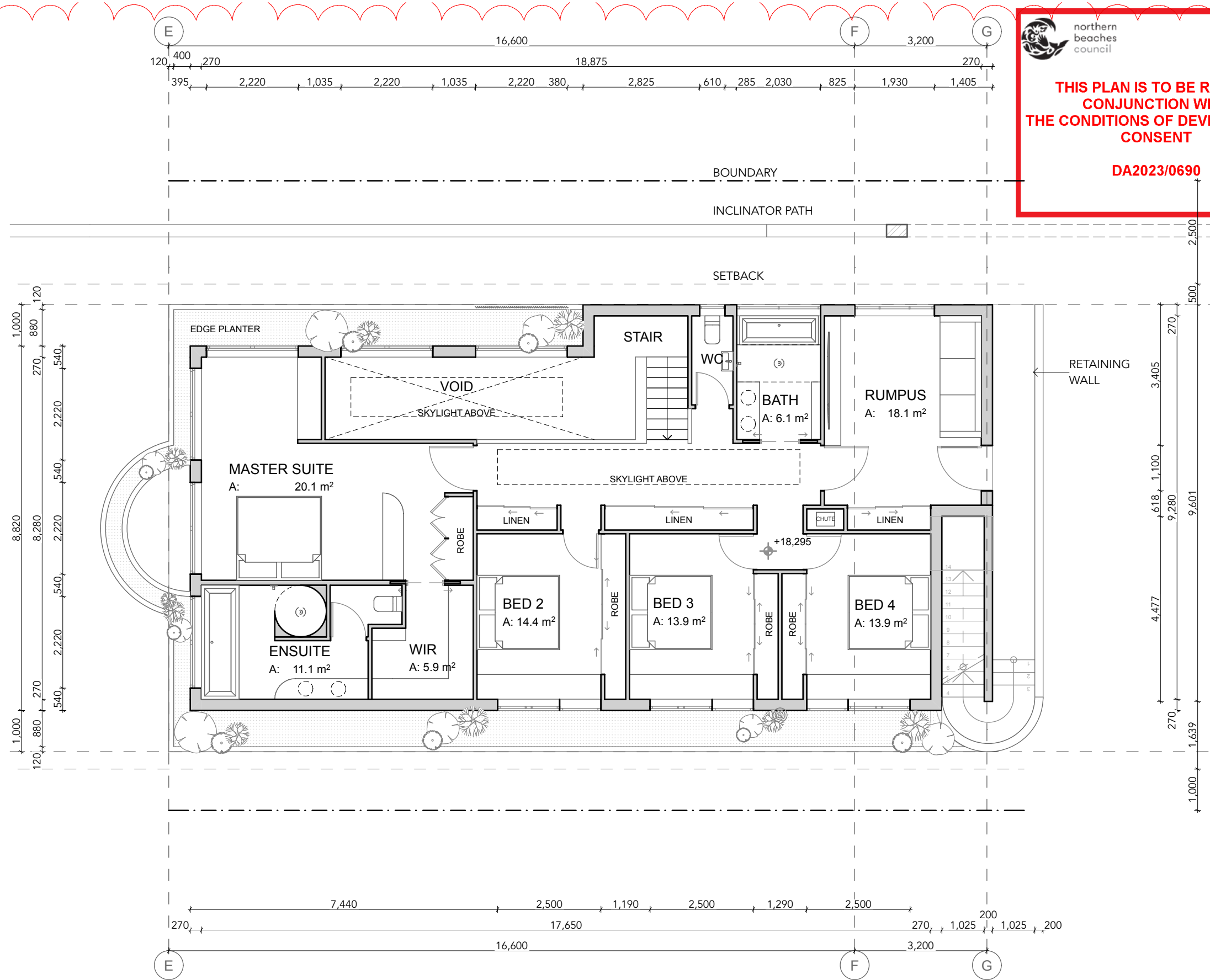
Date:

14/12/2023



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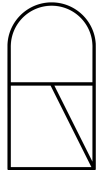




THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2023/0690

1 Residence First Floor Plan
1:100



General Notes
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Project Name
Cove House

Project Address
252 Hudson Parade, Clareville, NSW 2017

Drawing Title:
House First Floor Plan

Drawing No.:
RFI 09

Revision:
A

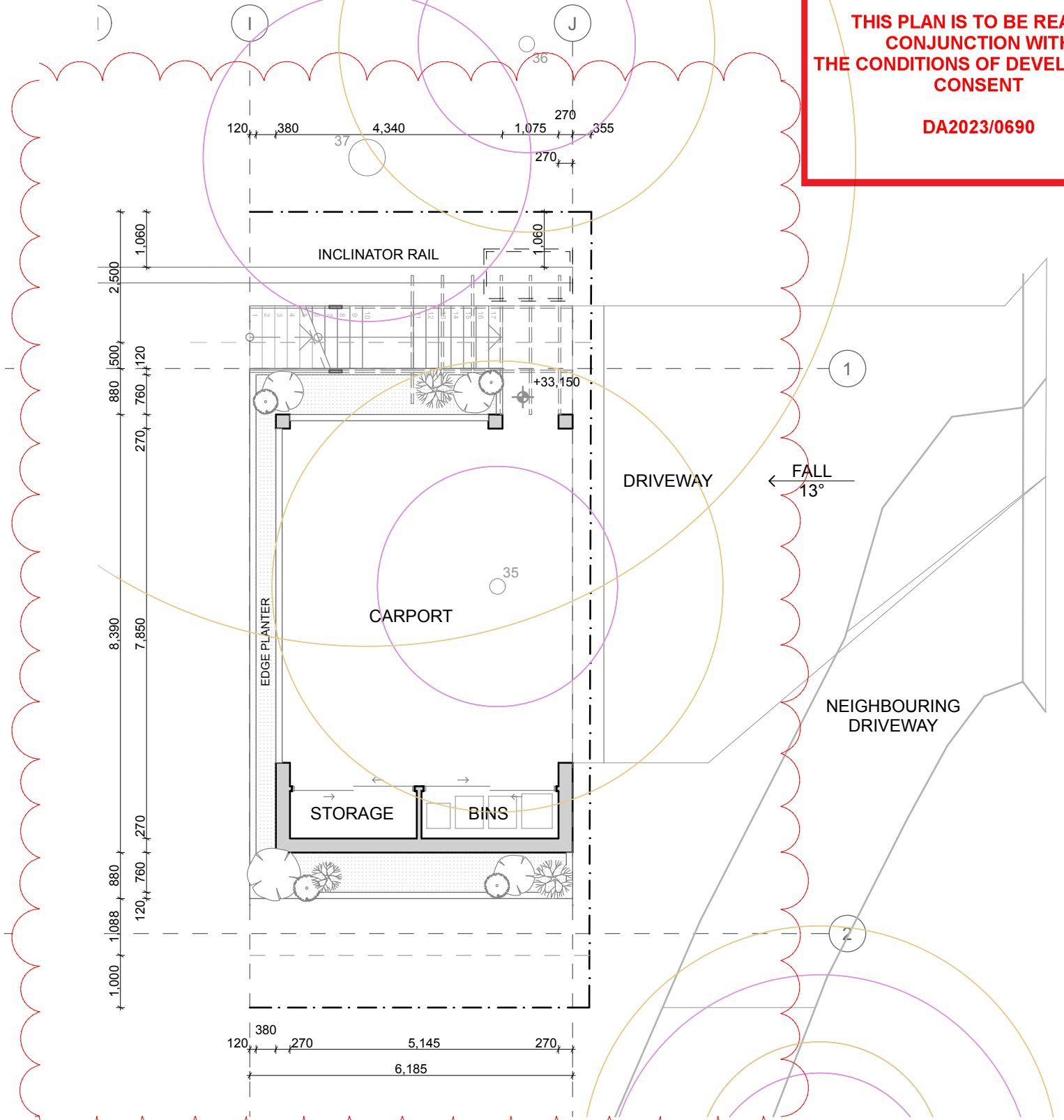
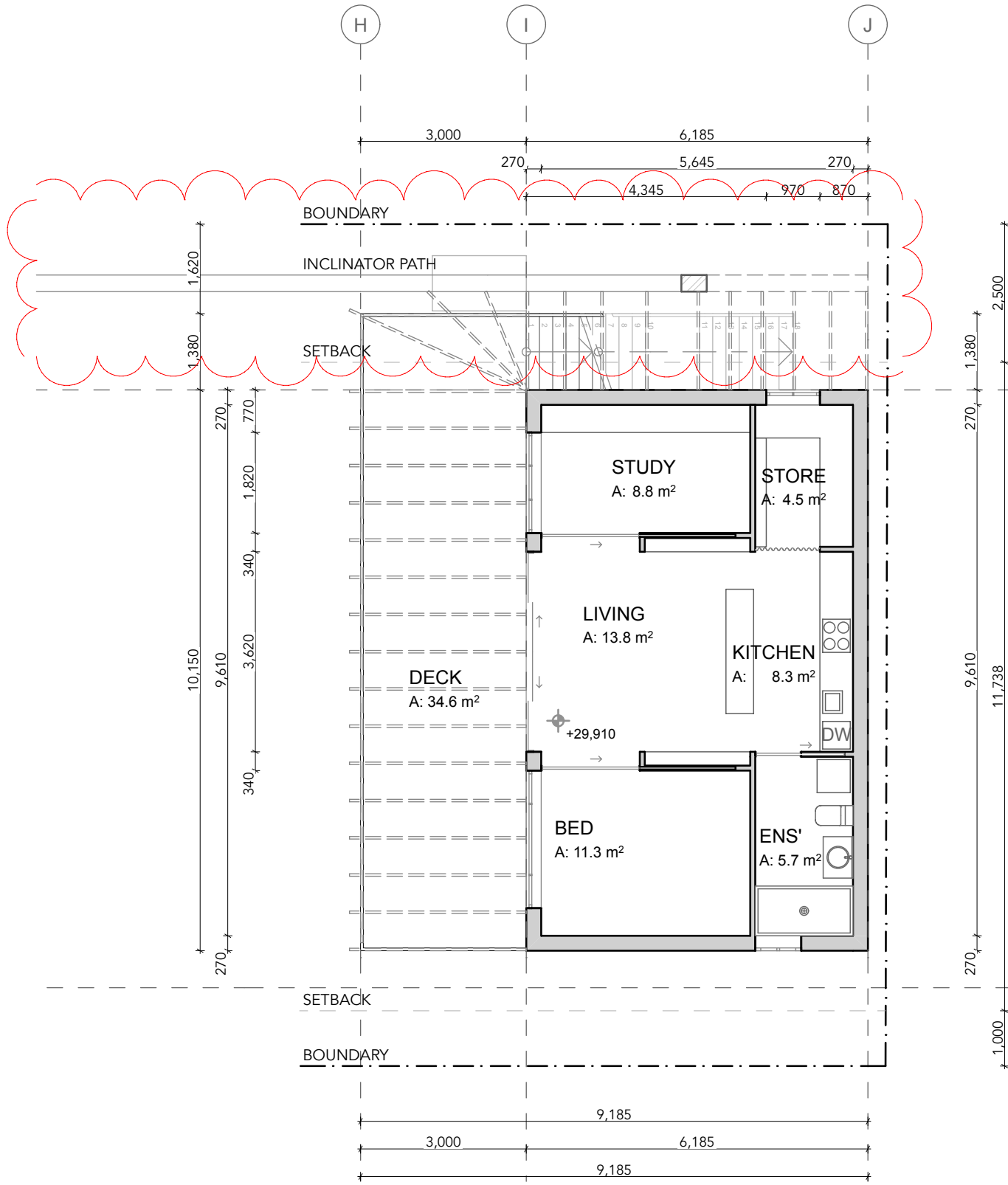
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Status:
Development Application

Client
Marcel and Elle Dupont-Louis

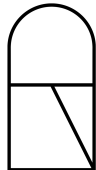
Date:
14/12/2023

N



1 **Granny Flat Floor Plan**
1:100

2 **Carport Floor Plan**
1:100

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Project Name
Cove House

Project Address
252 Hudson Parade, Clareville, NSW 2017

Drawing Title:
Granny Flat/Carport Floor Plan

Drawing No.:
RFI 10

Revision:
A

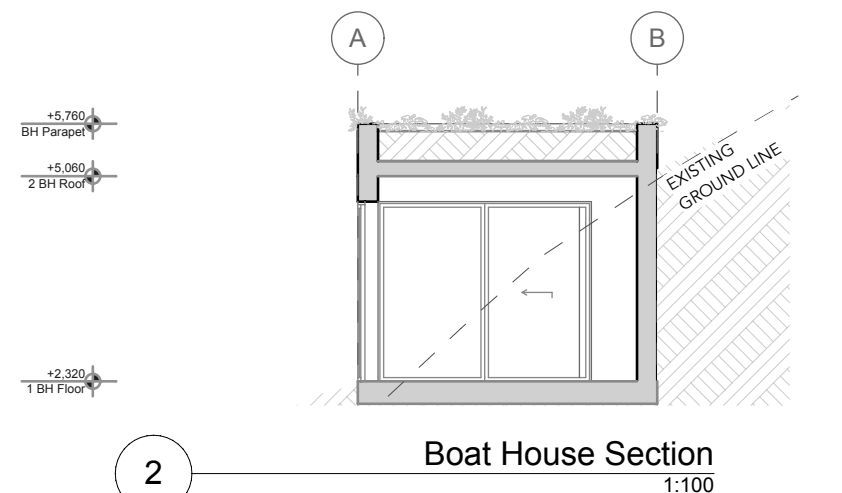
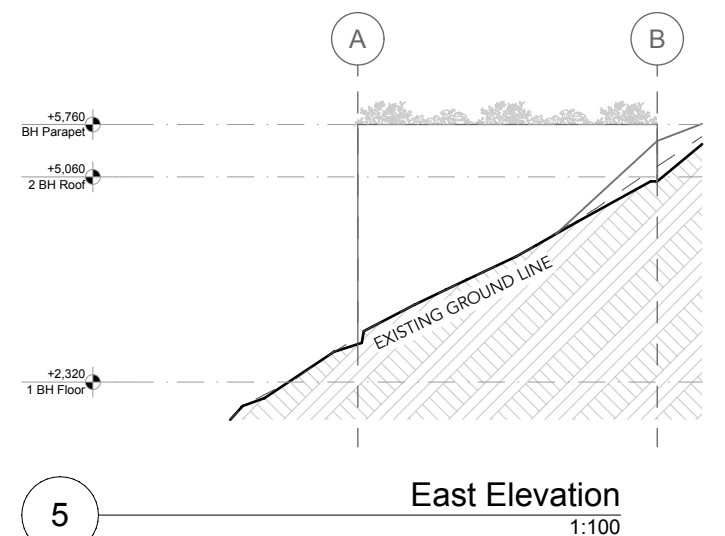
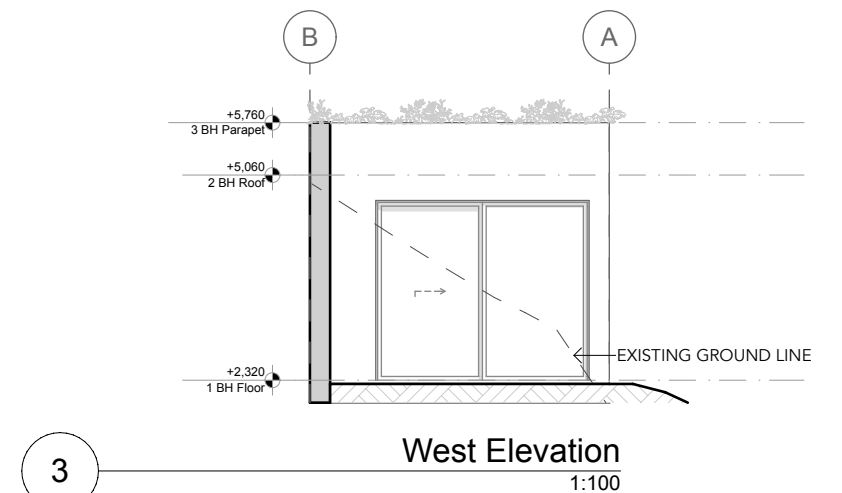
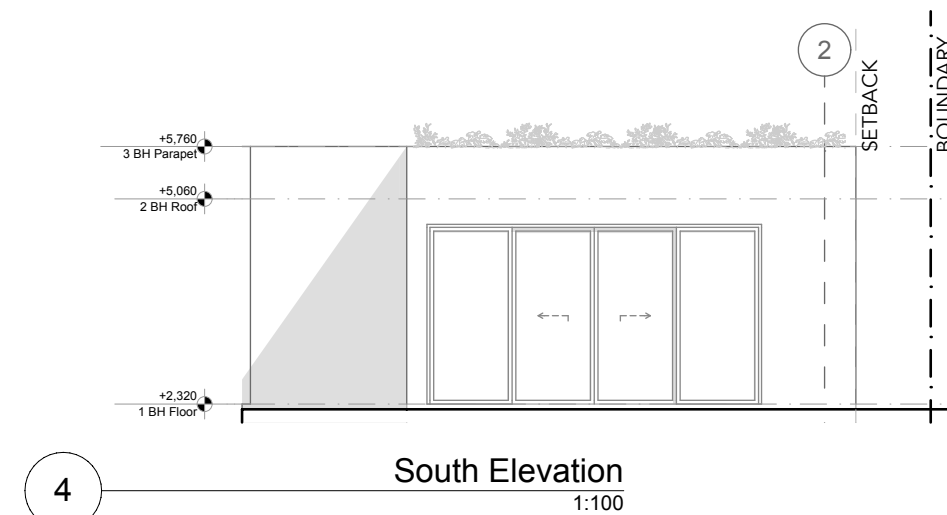
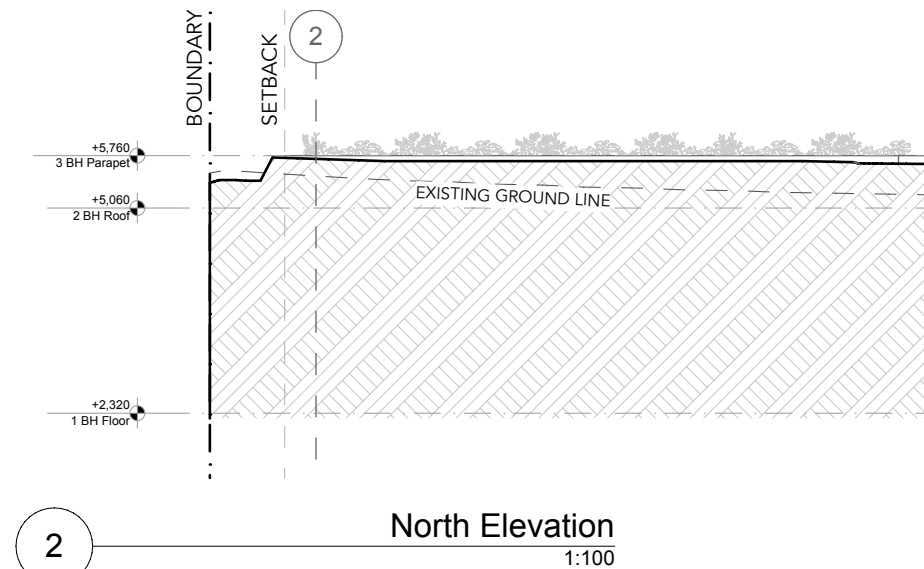
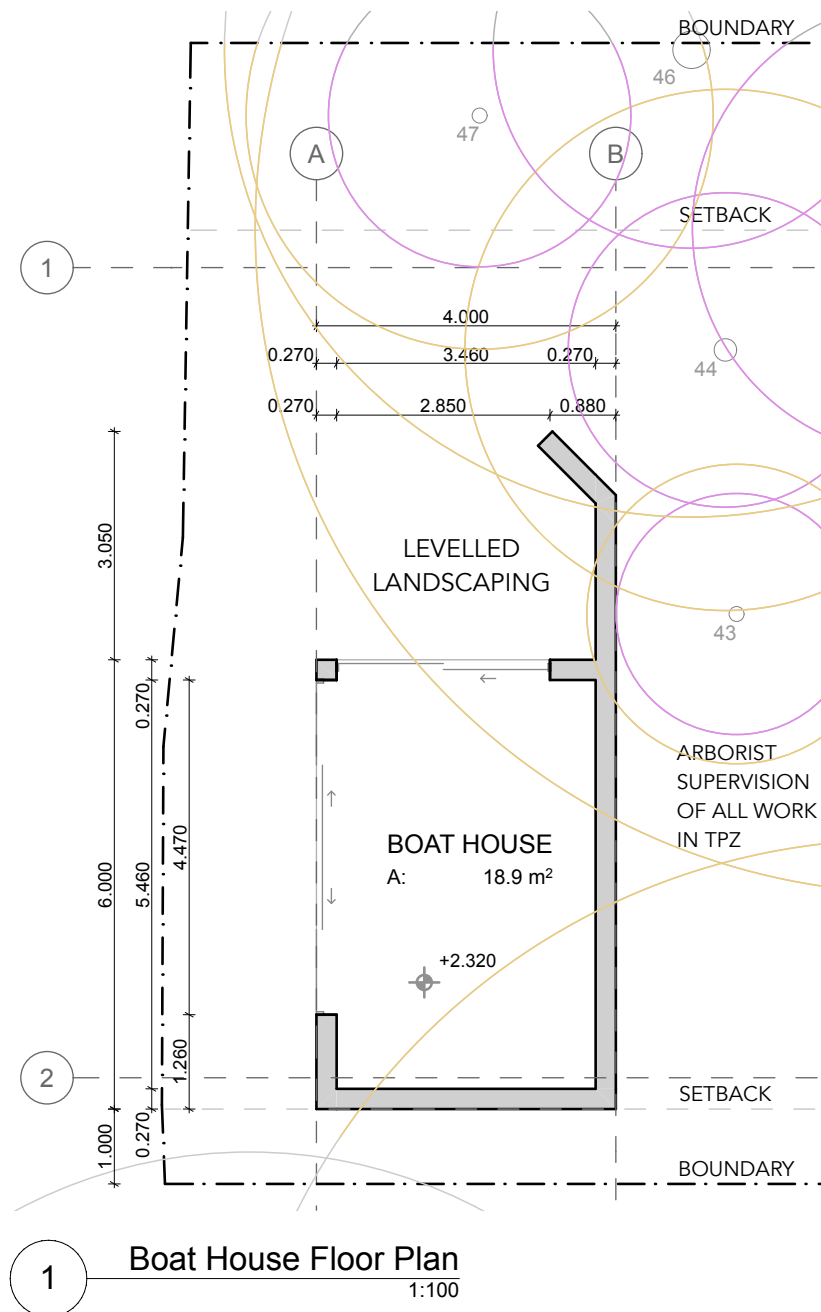
Scale:

Status:
Development Application

Client
Marcel and Elle Dupont-Louis

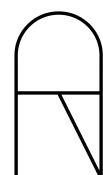
Date:
14/12/2023

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Project Name
Cove House

Project Address
252 Hudson Parade, Clareville, NSW 2017

Drawing Title:
Boat House Plan, Elevations
& Section
Drawing No.:
RFI 11

Revision:
A

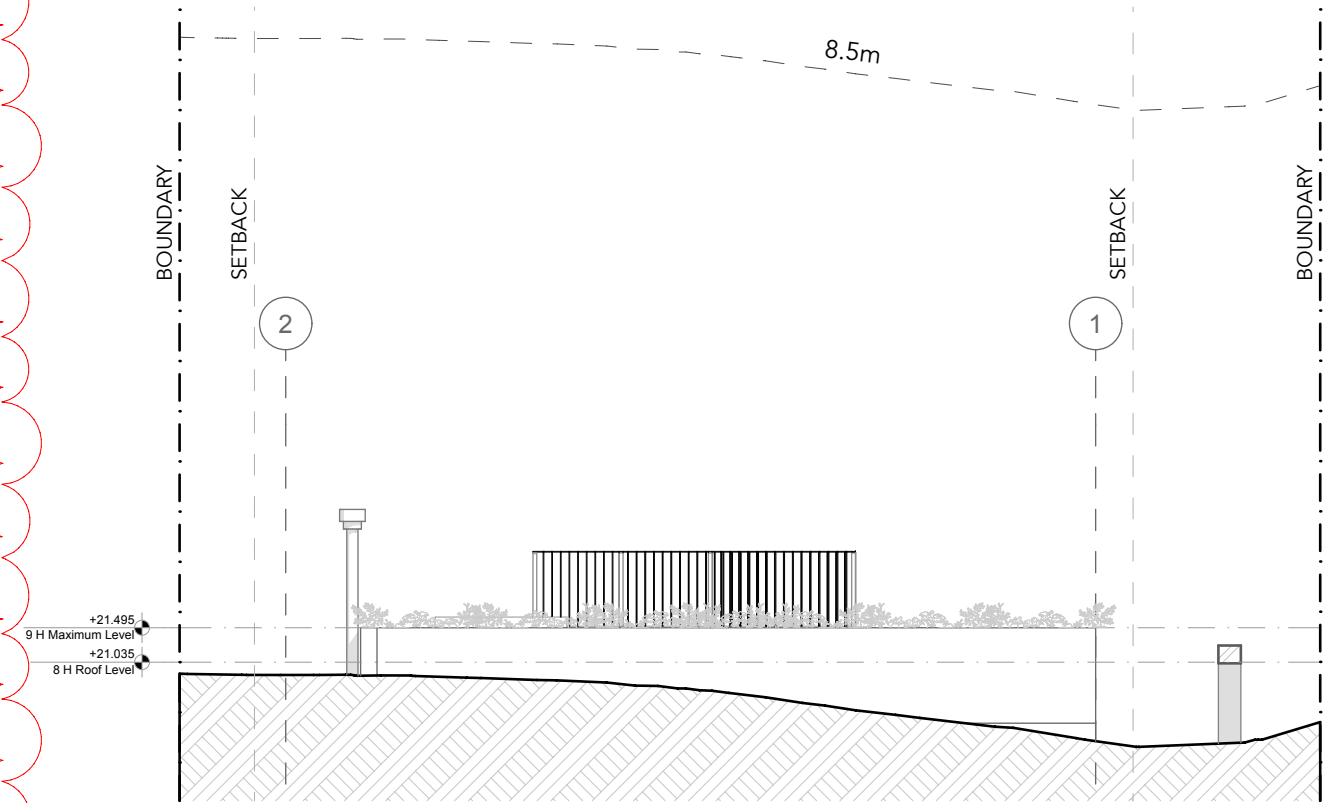
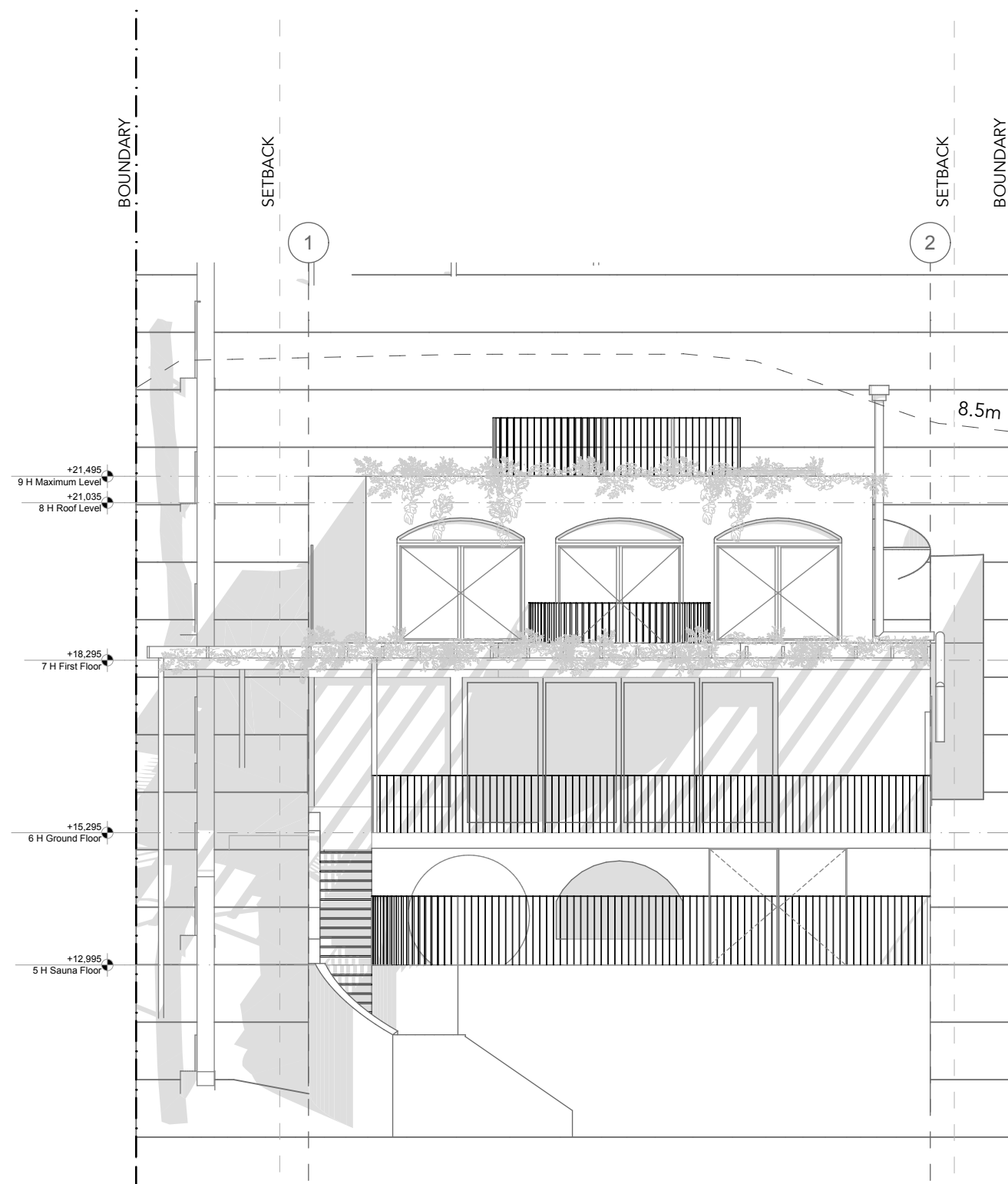
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Status:
Development Application

Client
Marcel and Elle Dupont-Louis

Date:
14/12/2023

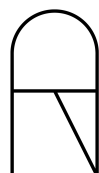
N



northern
beaches
council

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Project Name

Cove House

Project Address

252 Hudson Parade, Clareville, NSW 2017

Drawing Title:

Elevations - House - North &

South

Drawing No.:

RFI 12

Revision:

A

Scale:

1:100

Status:

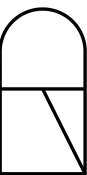
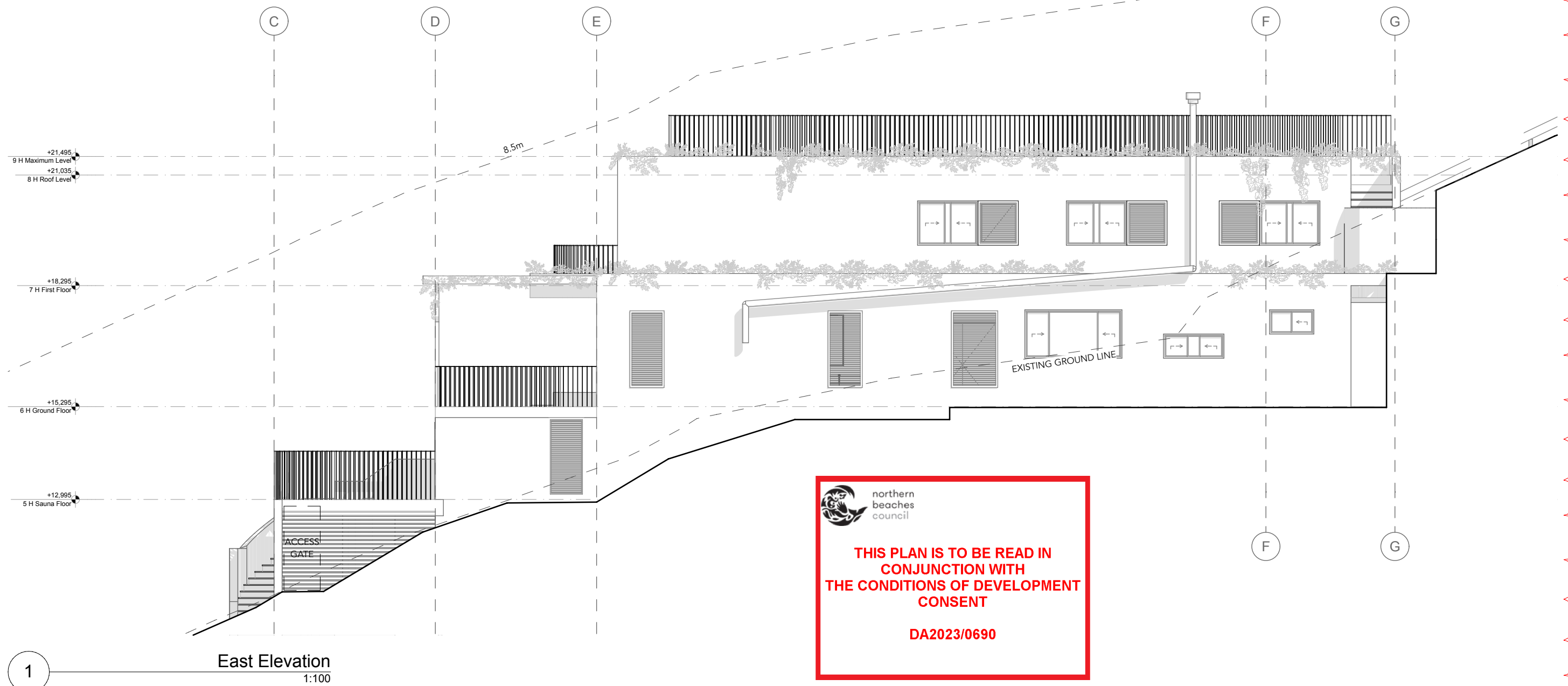
Development Application

Client

Marcel and Elle Dupont-Louis

Date:

14/12/2023



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Project Name
Cove House

Project Address
252 Hudson Parade, Clareville, NSW 2017

Drawing Title:
Elevation - House - East

Drawing No.:
RFI 13

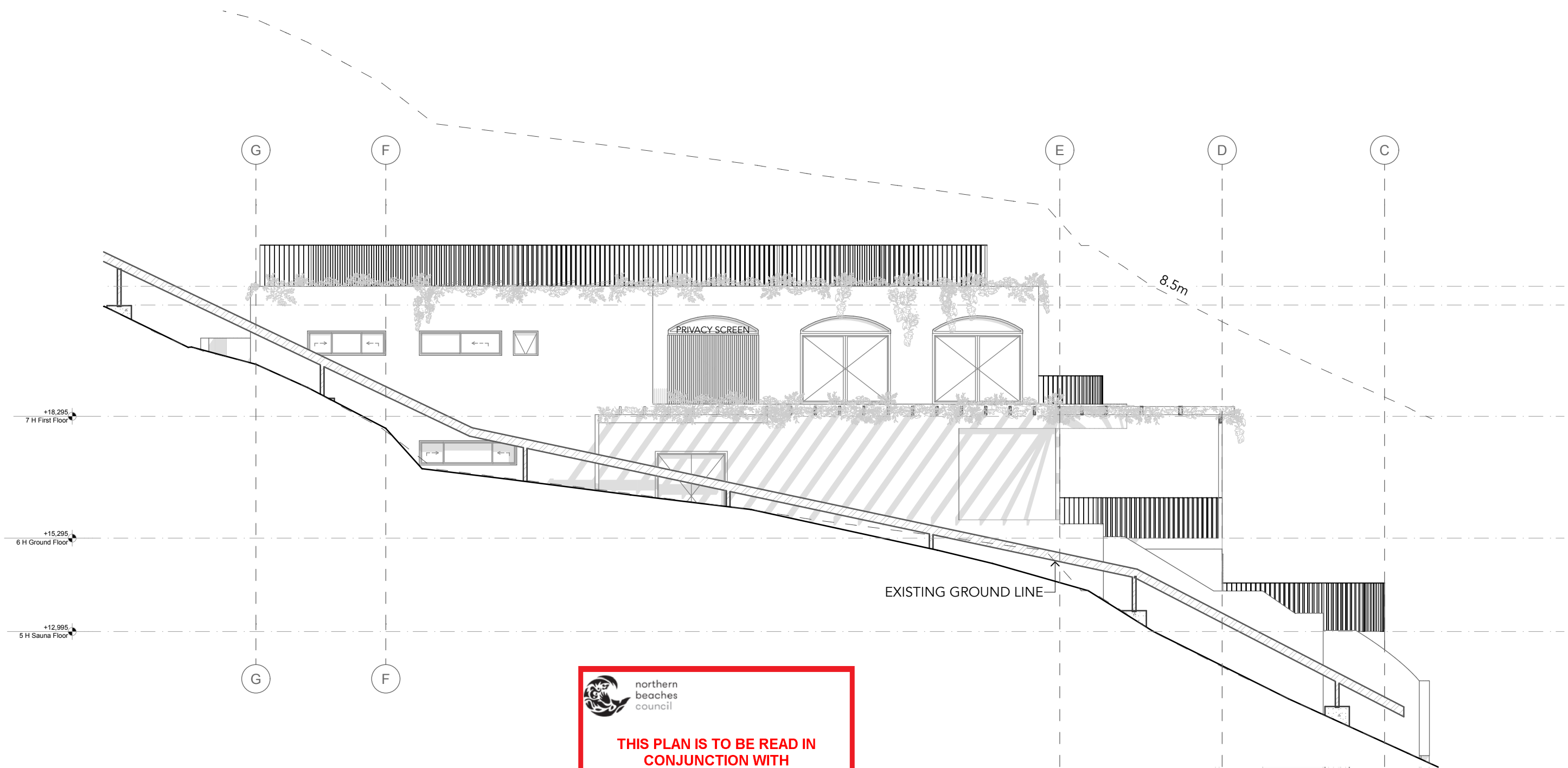
Revision:
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Scale:
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Status:
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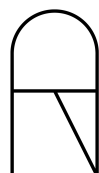
Client
Marcel and Elle Dupont-Louis

Date:
14/12/2023



1 West Elevation 1:100

 northern beaches council
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2023/0690



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Project Name
Cove House

Project Address
252 Hudson Parade, Clareville, NSW 2017

Drawing Title:
Elevation - House - West

Drawing No.:
RFI 14

Revision:
A

Scale:
1:100

Status:
Development Application

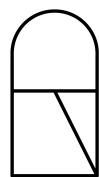
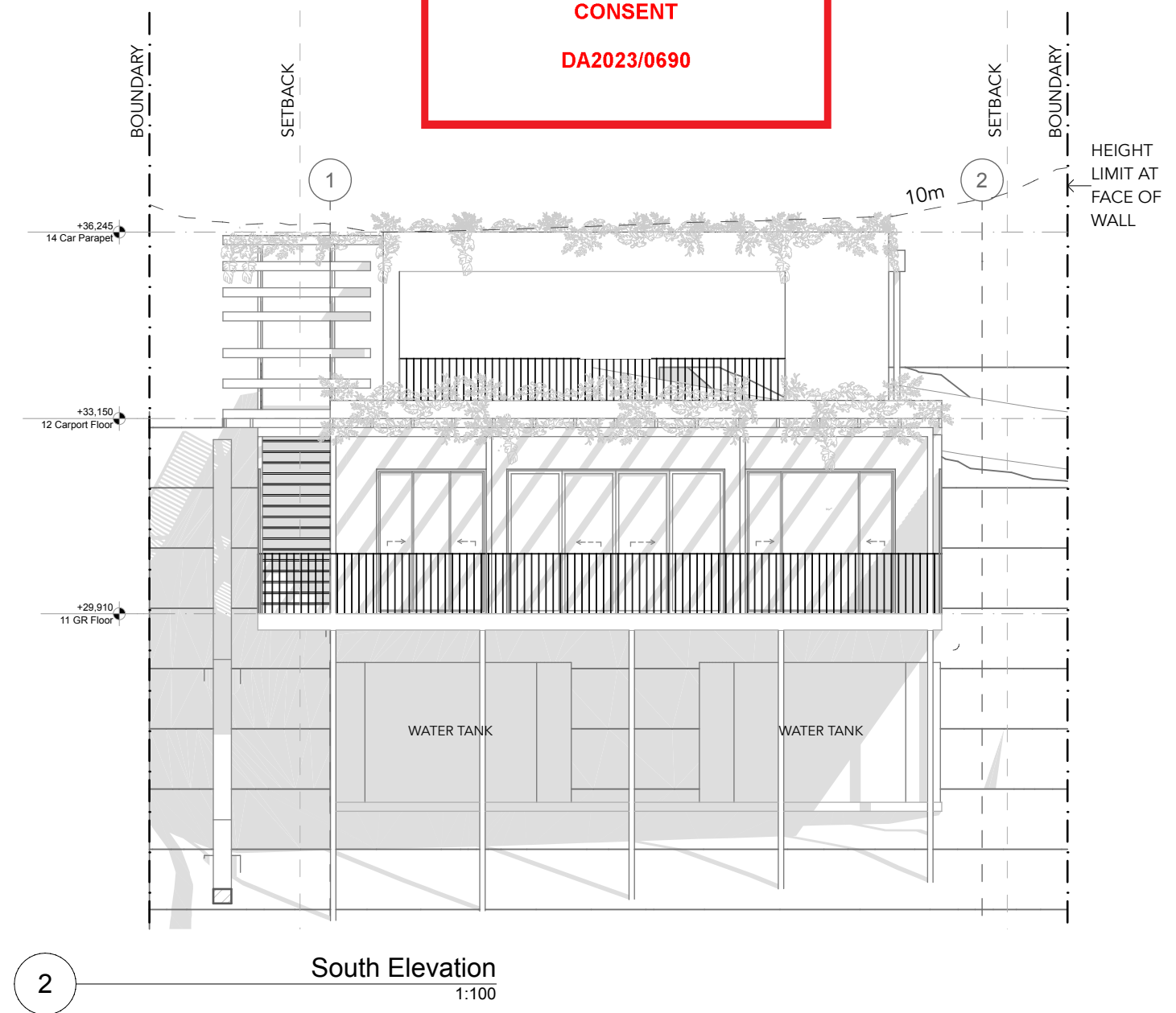
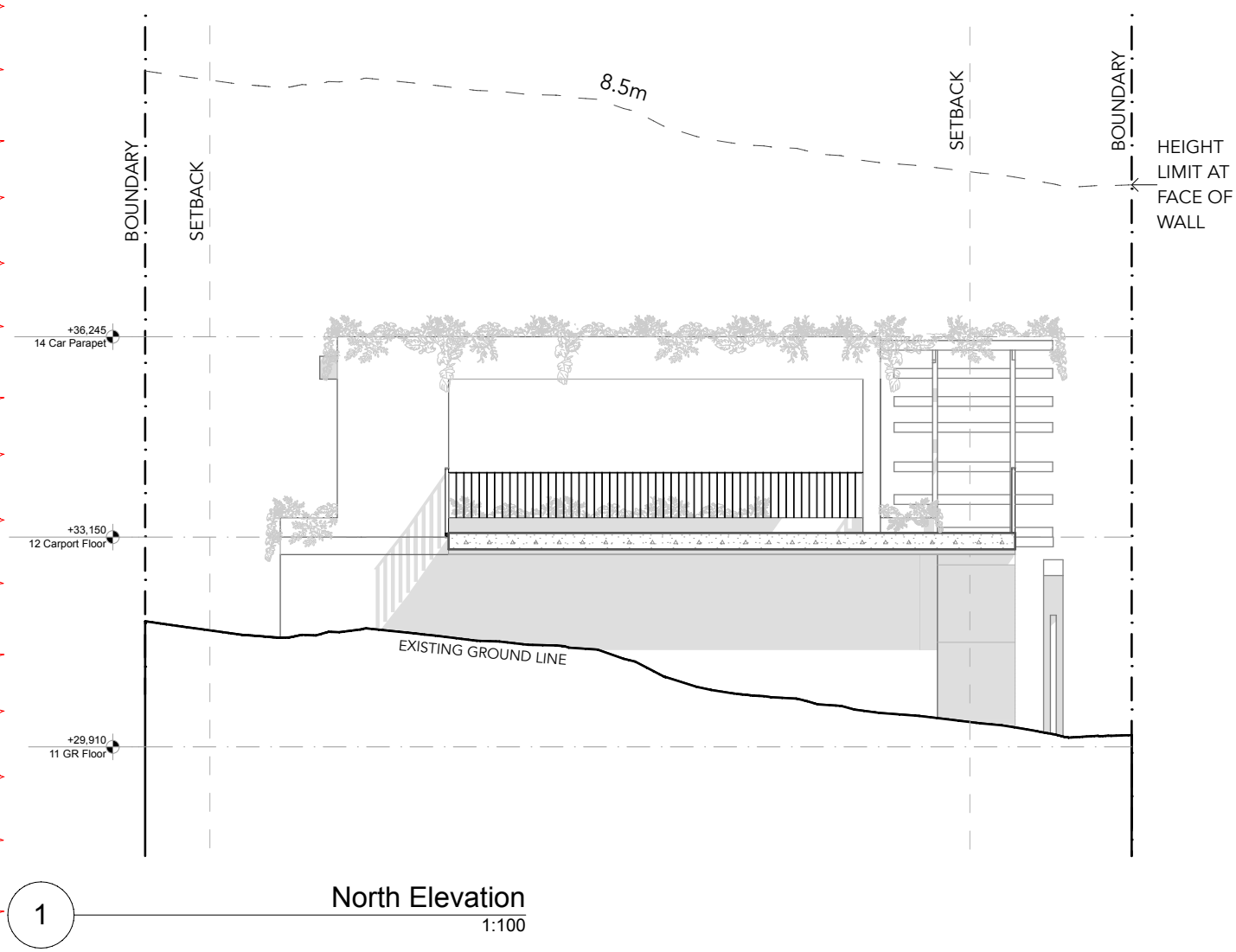
Client
Marcel and Elle Dupont-Louis

Date:
14/12/2023

 northern
beaches
council

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DA2023/0690



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Project Name
Cove House

Project Address
252 Hudson Parade, Clareville, NSW 2017

Drawing Title:
Elevations - Carport + Granny
Flat
Drawing No.:
RFI 15

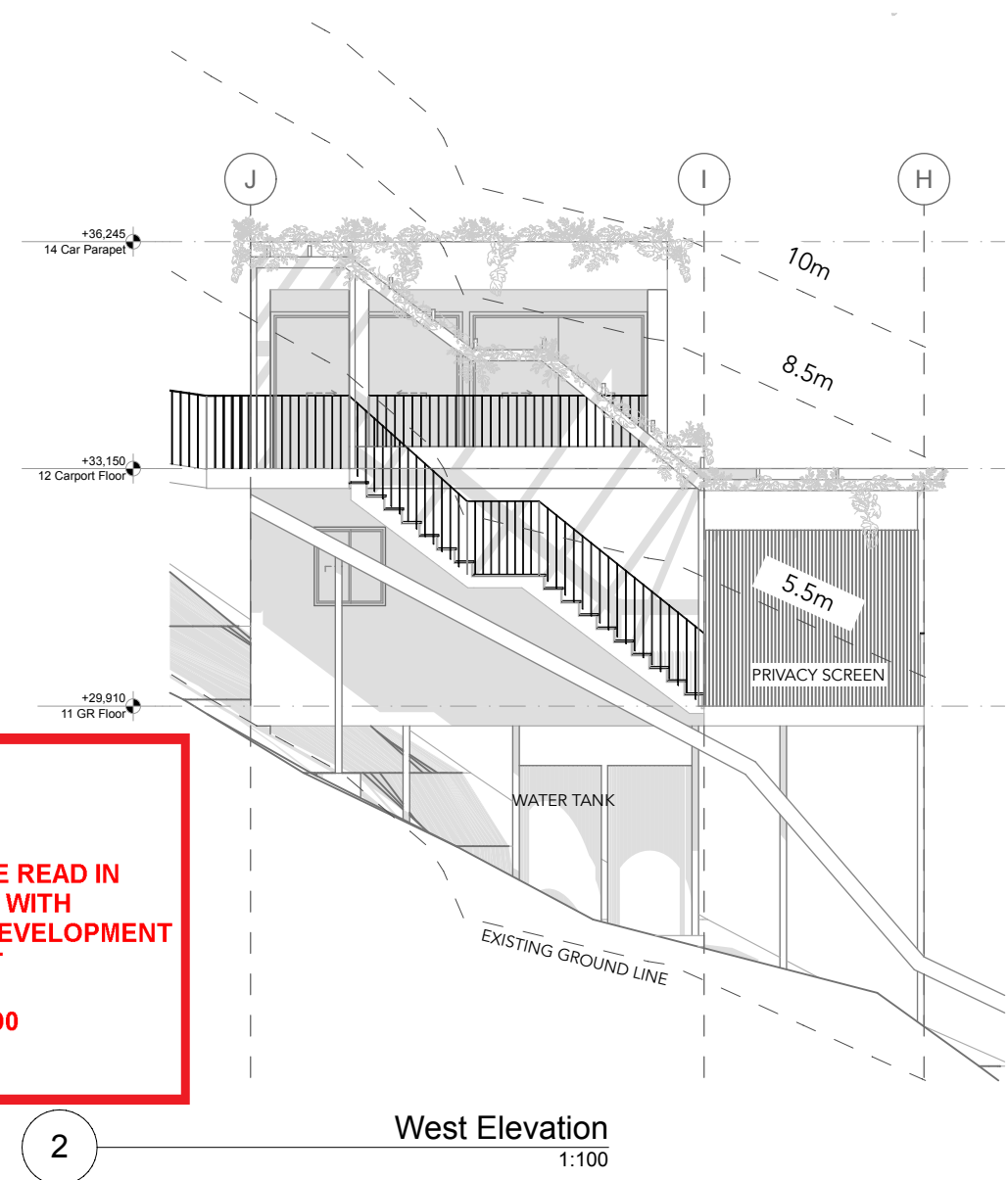
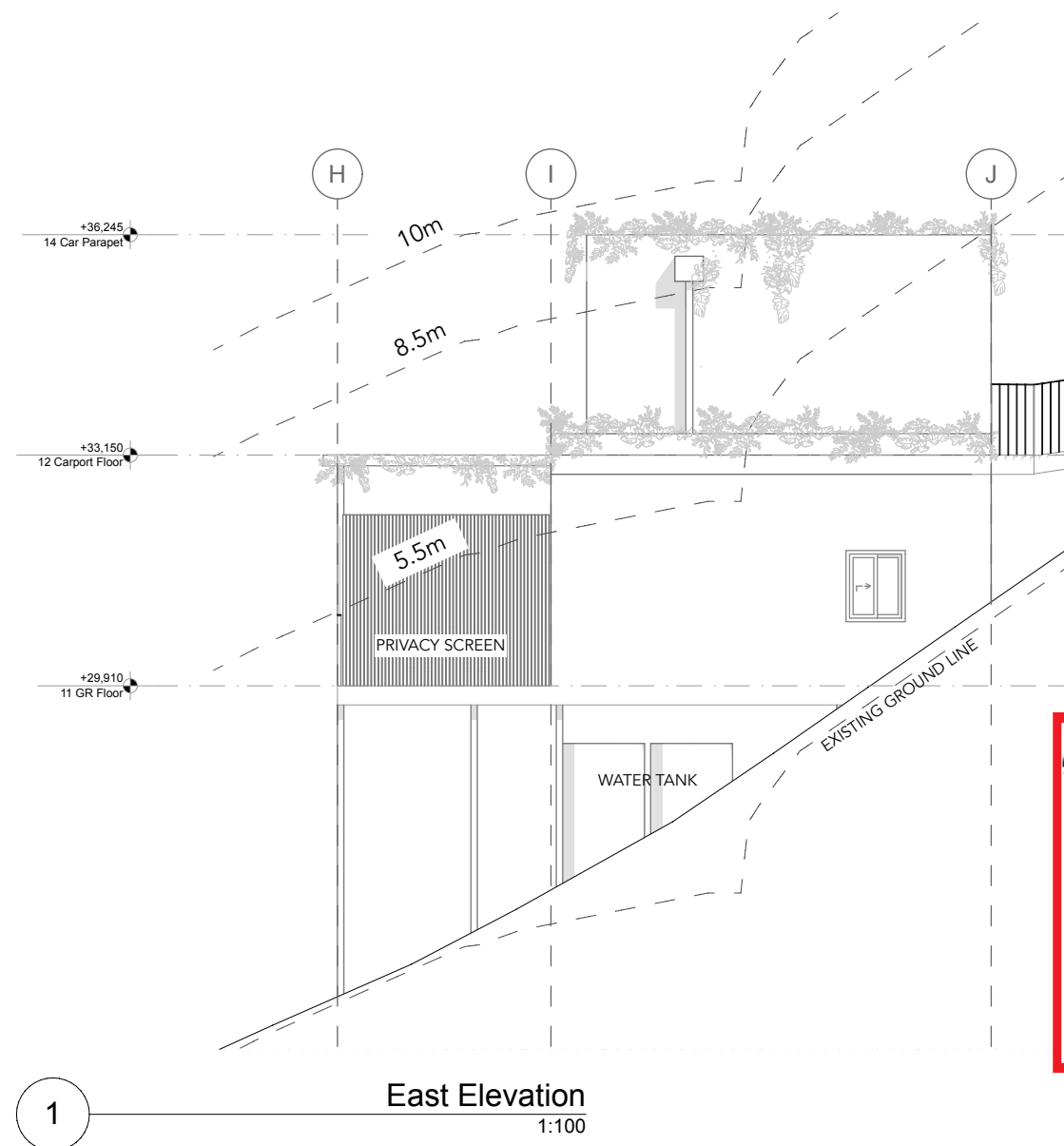
Revision:
A

Scale:
1:100

Status:
Development Application

Client
Marcel and Elle Dupont-Louis

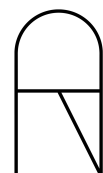
Date:
14/12/2023



**northern
beaches
council**

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CONSENT**

DA2023/0690



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Project Name
Cove House

Project Address
252 Hudson Parade, Clareville, NSW 2017

Drawing Title:
Elevations - Carport + Granny
Flat
Drawing No.:
RFI 16

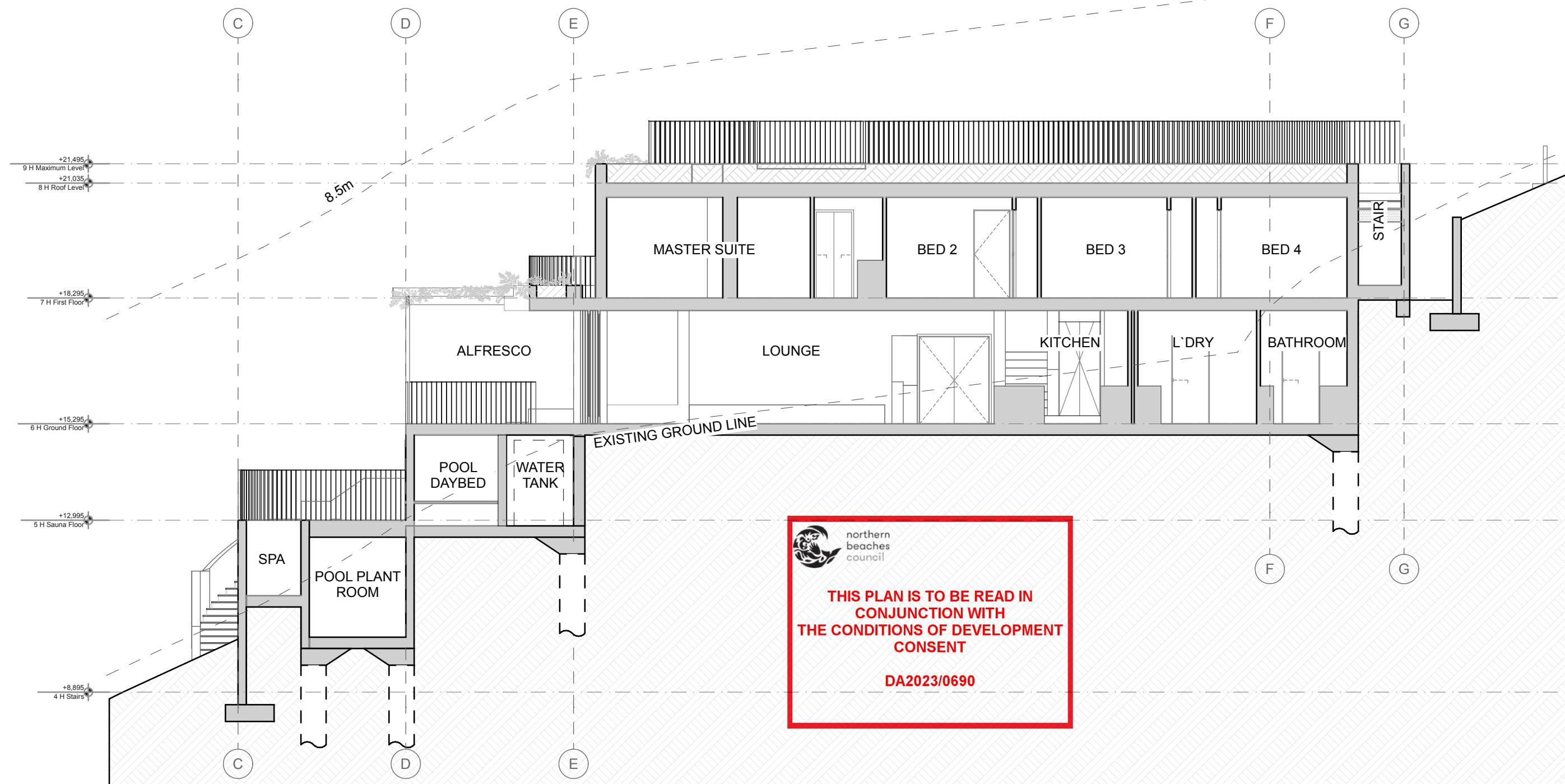
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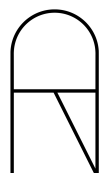
Status:
Development Application

Client
Marcel and Elle Dupont-Louis

Date:
14/12/2023



Section A-A
1:100



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Project Name
Cove House

Project Address
252 Hudson Parade, Clareville, NSW 2017

Drawing Title:
Section - House

Drawing No.:
RFI 17

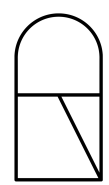
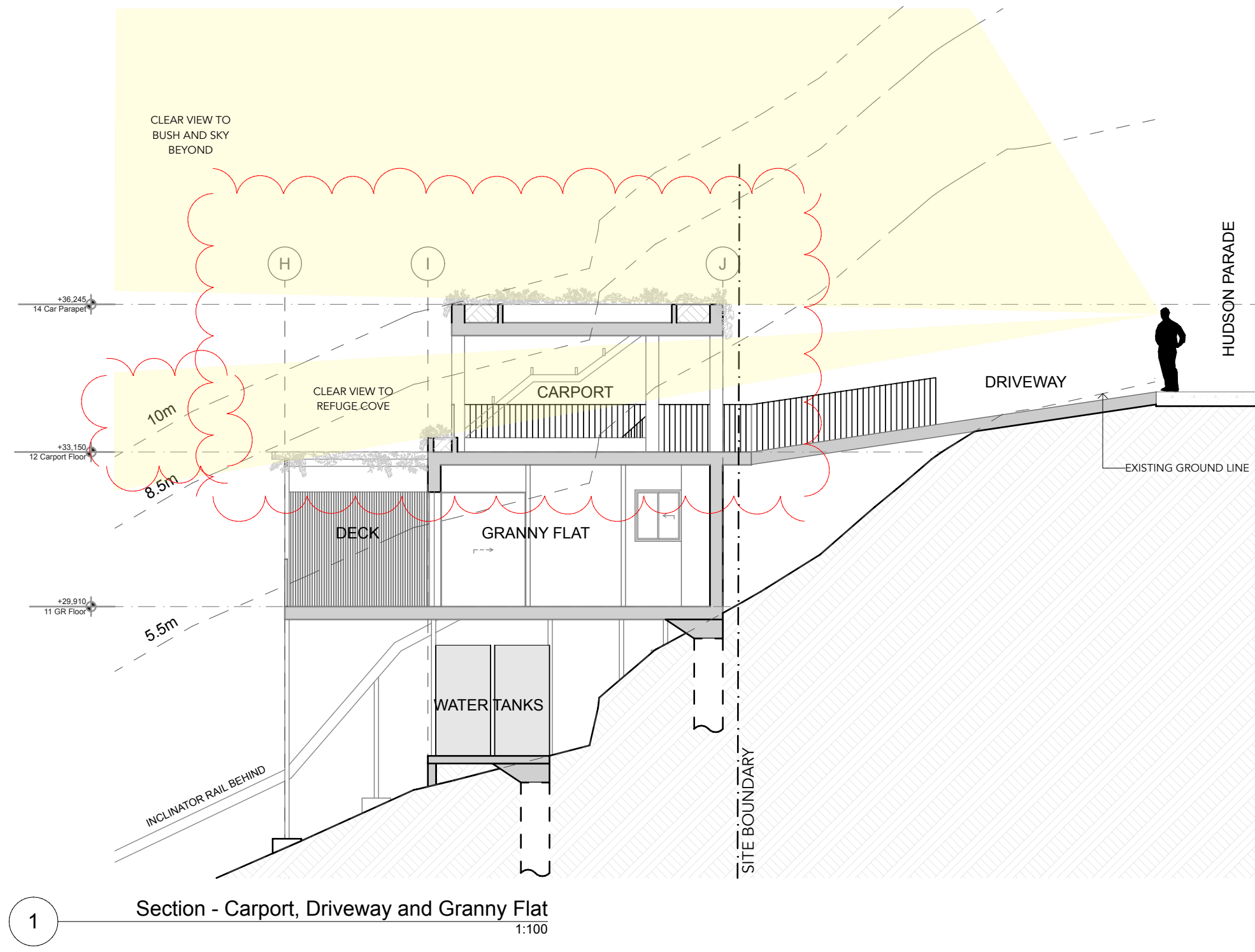
Revision:
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Scale:
1:100

Status:
Development Application

Client
Marcel and Elle Dupont-Louis

Date:
14/12/2023



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Project Name
Cove House

Project Address
252 Hudson Parade, Clareville, NSW 2017

Drawing Title:
Section - Carport, Driveway
and Granny flat
Drawing No.:
RFI 18

Revision:
A

Scale:

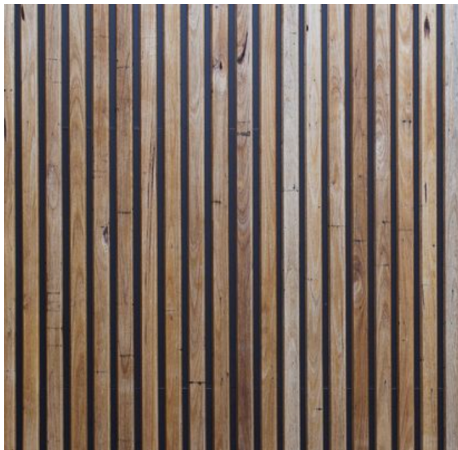
Status:
Development Application

Client
Marcel and Elle Dupont-Louis

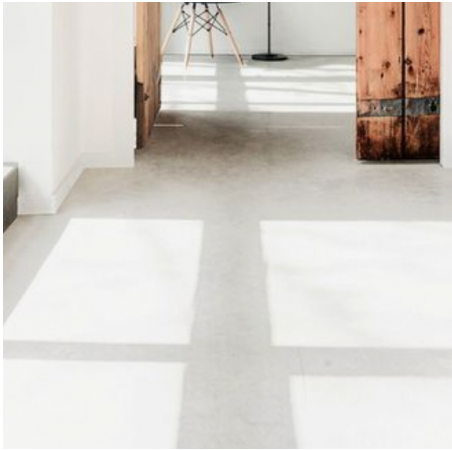
Date:
14/12/2023



EXTERNAL - WALL RENDER



EXTERNAL - TIMBER SCREENS AND DECKING



INTERNAL - CONCRETE FLOORS



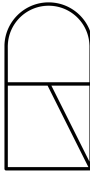
EXTERNAL - PAVING



DOORS AND WINDOWS - TIMBER FRAME



INTERNAL - TIMBER FLOORS



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Project Name
Cove House

Project Address
252 Hudson Parade, Clareville, NSW 2017

Drawing Title:
Proposed Finishes

Drawing No.:
RFI 20

Revision:

Scale:

Status:
Development Application

Client
Marcel and Elle Dupont-Louis

Date:
14/12/2023

LANDSCAPE ZONING

MANAGEMENT ZONE 1	BUSH REGENERATION AREA AND 100% PSG SPECIES PLANTING INCLUDING 8 ADDITIONAL CANOPY TREES. WEED REMOVAL
MANAGEMENT ZONE 2	BUSH REGENERATION, REMOVAL OF EXOTIC GRASS/WEED SPECIES. LANDSCAPING WITH 80% PSG SPECIES. PLANTING OF 3-4 INDIVIDUAL TREES
SCREENING	SMALL TREES - ROW 1M SPACING AND SECOND ROW OF LARGE SHRUBS AT ALTERNATE 1M SPACINGS

THIS PLAN TO BE READ IN CONJUNCTION WITH:
'LANDSCAPING IN PITTWATER SPOTTED GUM FOREST'
BY ECOLOGICAL CONSULTANTS AUSTRALIA PTY LTD TA
KINGFISHER URBAN ECOLOGY AND WETLANDS
NOVEMBER 2021 - MAY 2023

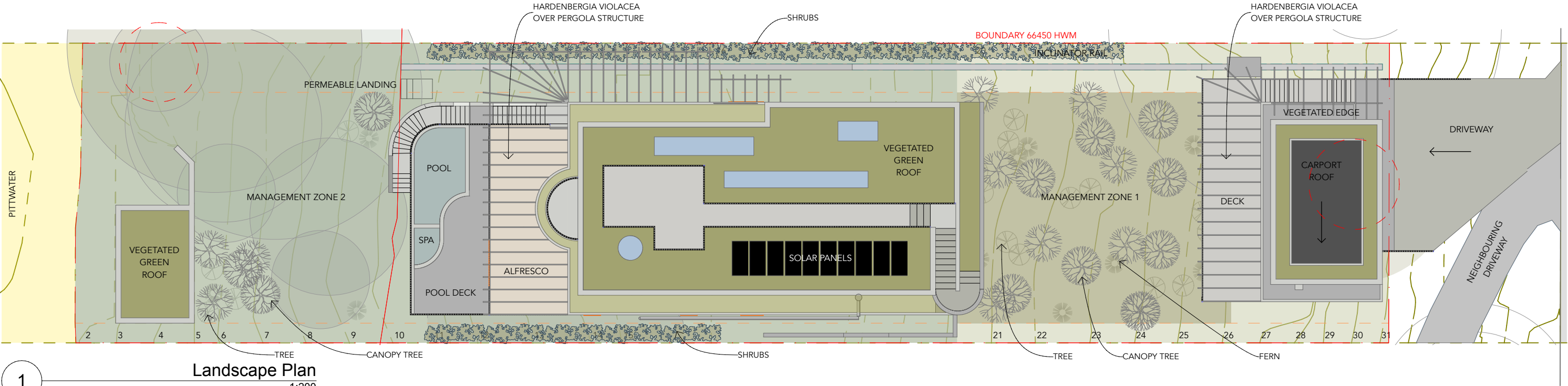
INDICATIVE PLANT LIST

CLASSIFICATION	COMMON NAME	BOTANICAL NAME	POT SIZE	MATURE HEIGHT	MATURE SPREAD
CANOPY TREES	SYDNEY RED GUM GREY IRONBARK	ANGOPHORA COSTATA EUCALYPTUS PANICULATA			
TREE	ACACIA BLUEBERRY ASH SCENTLESS ROSEWOOD	ACACIA FLORIBUNDA ELAEOCARPUS RETICULATIS SYNOUM GLANDULOSUM			
SHRUBS	APPLE BERRY COFFEE BUSH HOP BUSH HANDSOME FLAT-PEA	BILLARDIERA SCANDENS BREYNIA OBLONGIFOLIA DODONAEA TRIQUETRA PLATYLOBIMUM FORMOSUM			
FERN	MAIDENHAIR FERN	ADIANTUM AETHIOPICUM			
GROUND	PENNYWORT SPINY-HEAD MAT-RUSH BURRAWANG	HYDROCOTYLE PEDUNCULARIS LOMANDRA LONGIFOLIA MACROZAMIA COMMUNIS			
VINE	PURPLE CORAL PEA	HARDENBERGIA VIOLACEA			



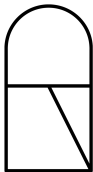
LEGEND

- MANAGEMENT ZONE 1
- MANAGEMENT ZONE 2
- NATIVE GRASSES - 'MICROLAENA STIPOIDES' AND VIOLETS
- SCREENING
- TREE PROTECTION FENCE
- EXISTING SCREENING TO BE RETAINED/REPLANTED
- VEGETATED GREEN ROOF
- EXISTING TREE TO BE REMOVED
- ADDITIONAL INDIVIDUAL TREES
- EXISTING TREES TO BE RETAINED



1

Landscape Plan
1:200



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Project Name
Cove House

Project Address
252 Hudson Parade, Clareville, NSW 2017

Drawing Title:
Landscape Plan

Drawing No.:
RFI 21

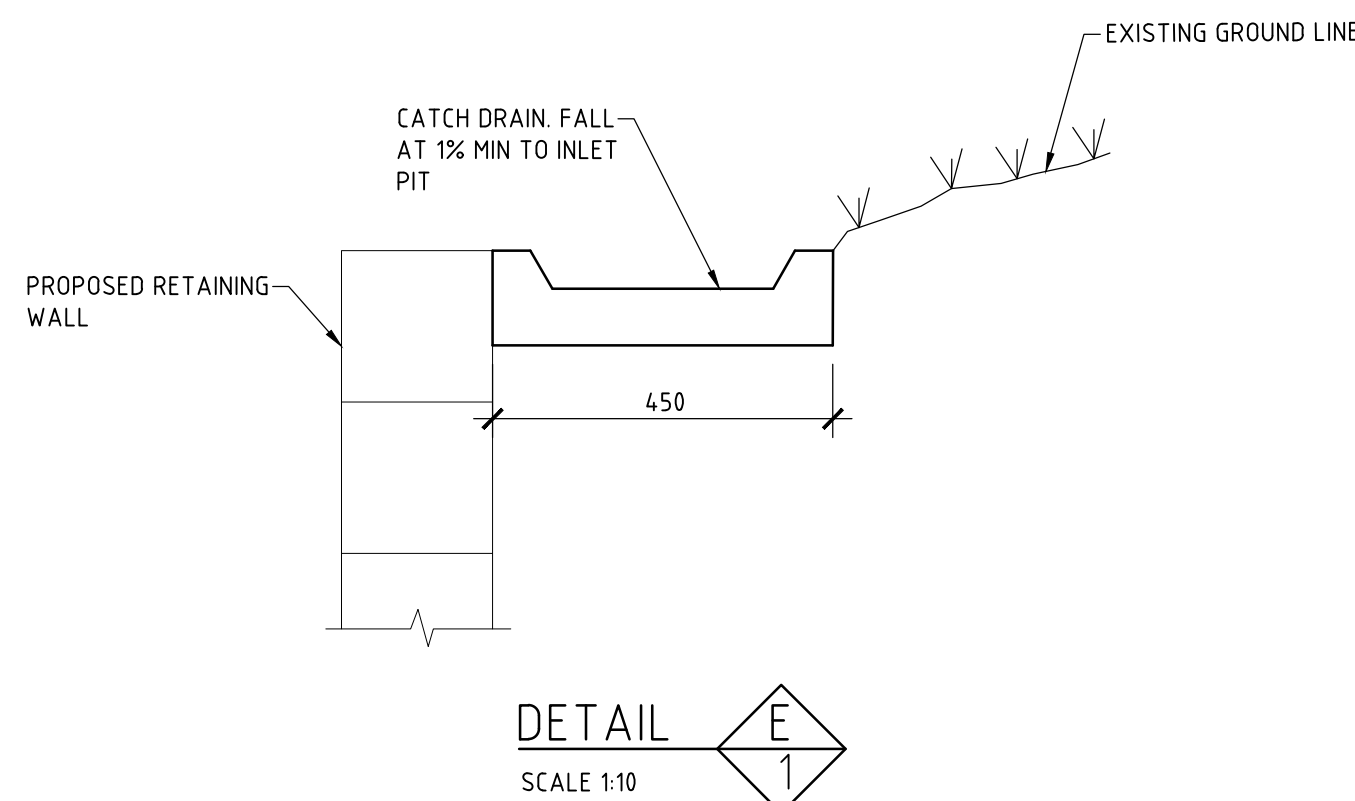
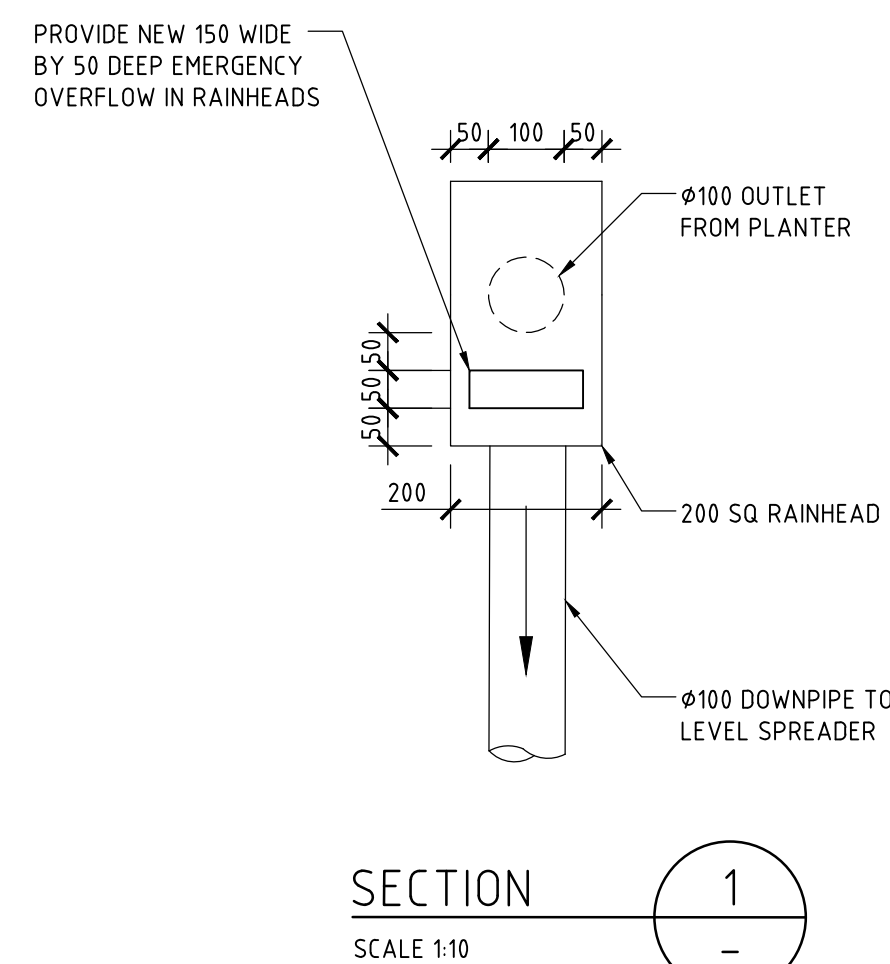
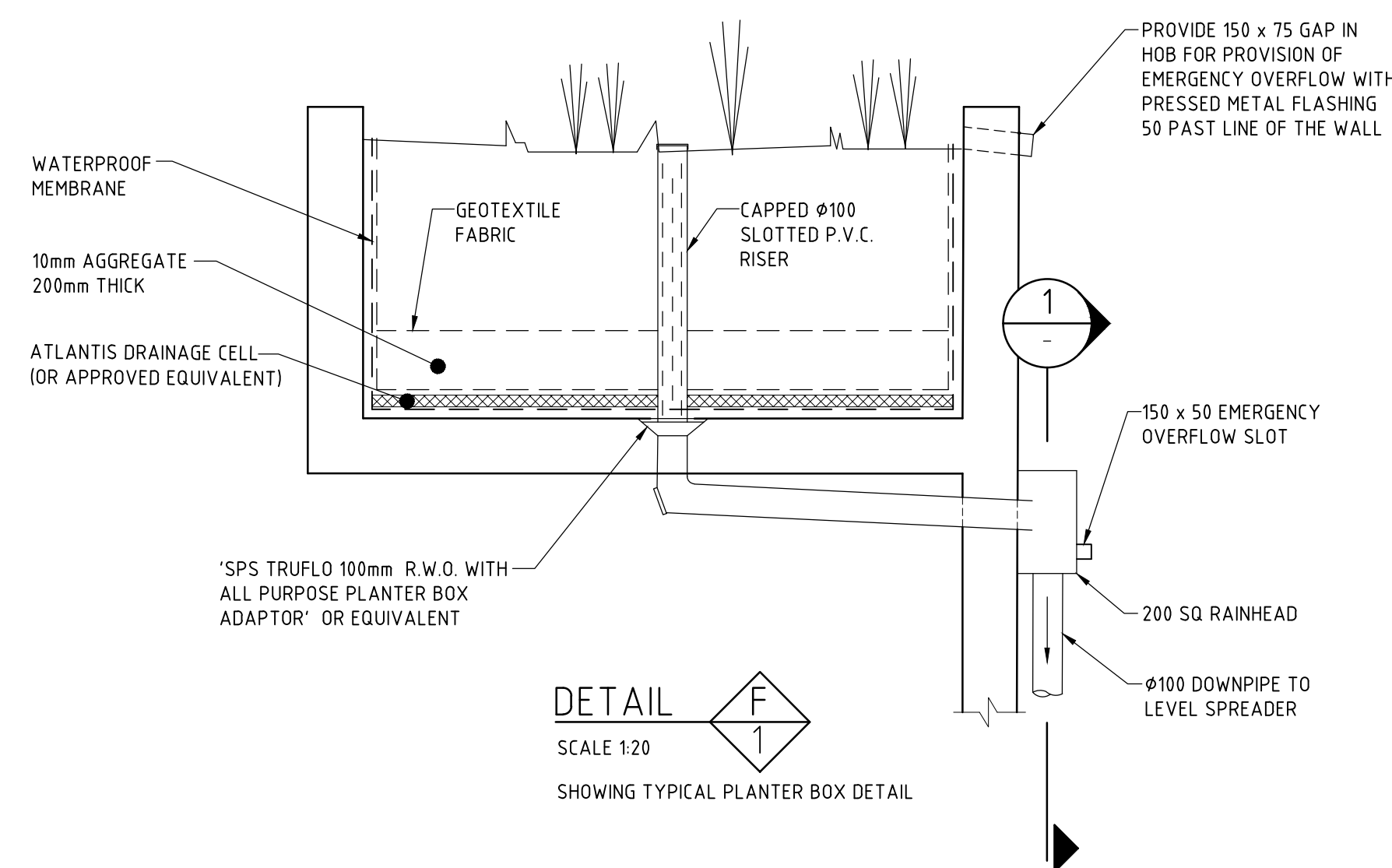
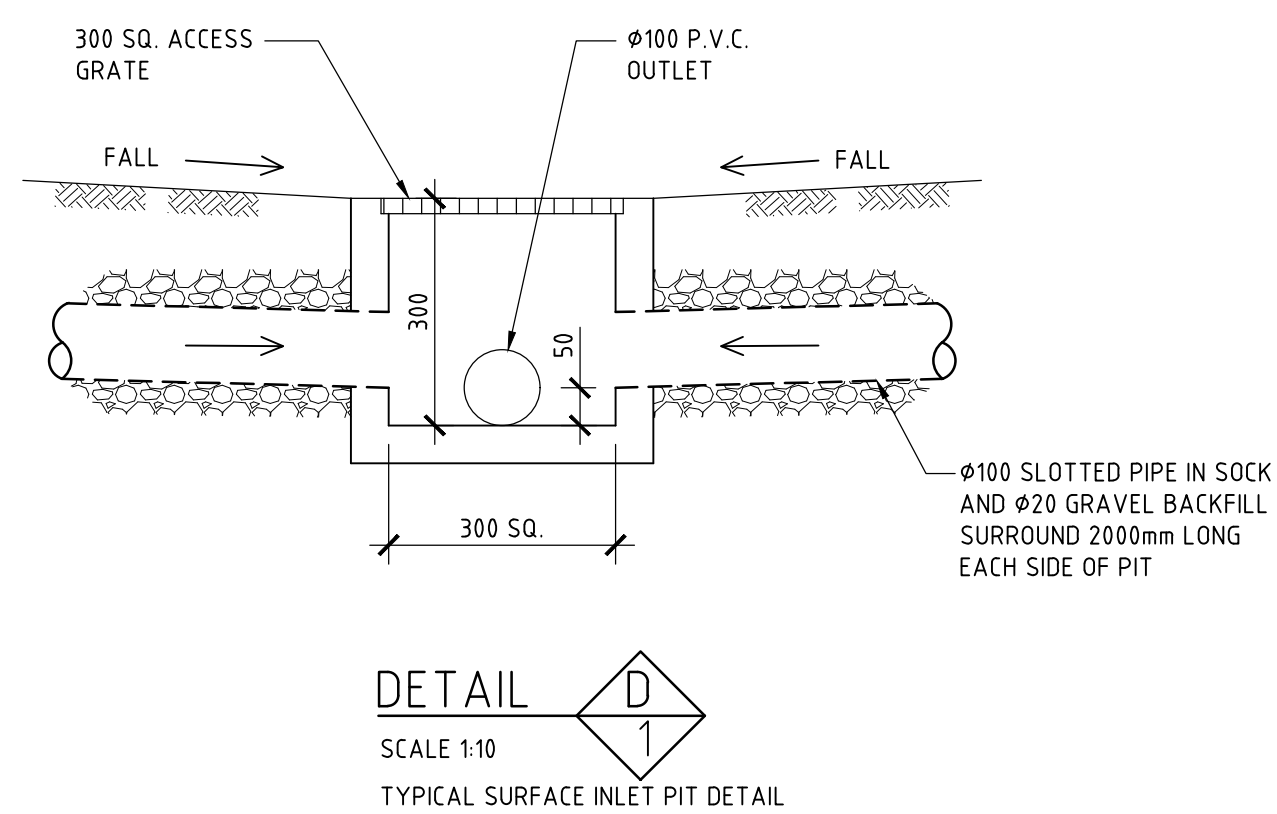
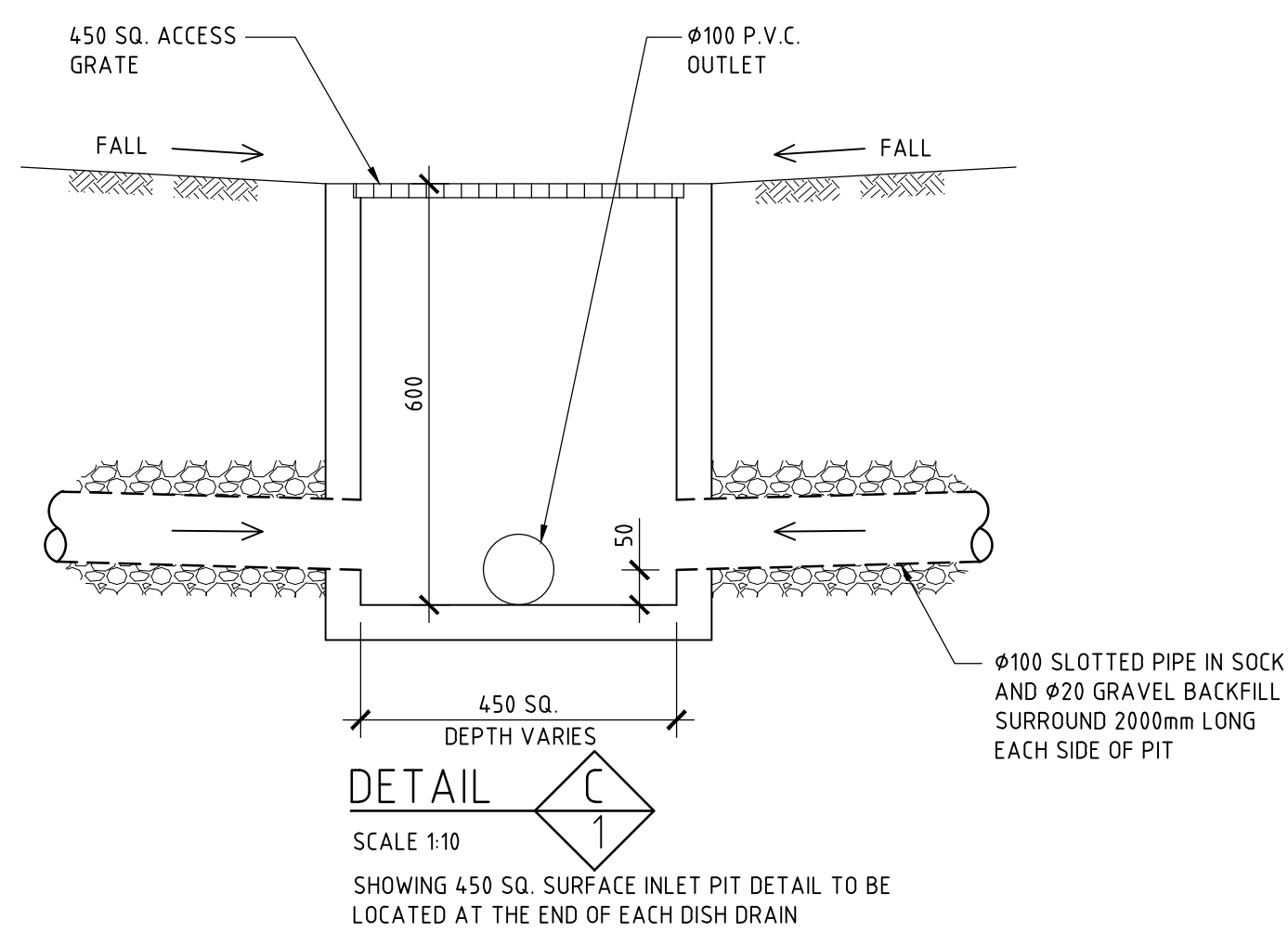
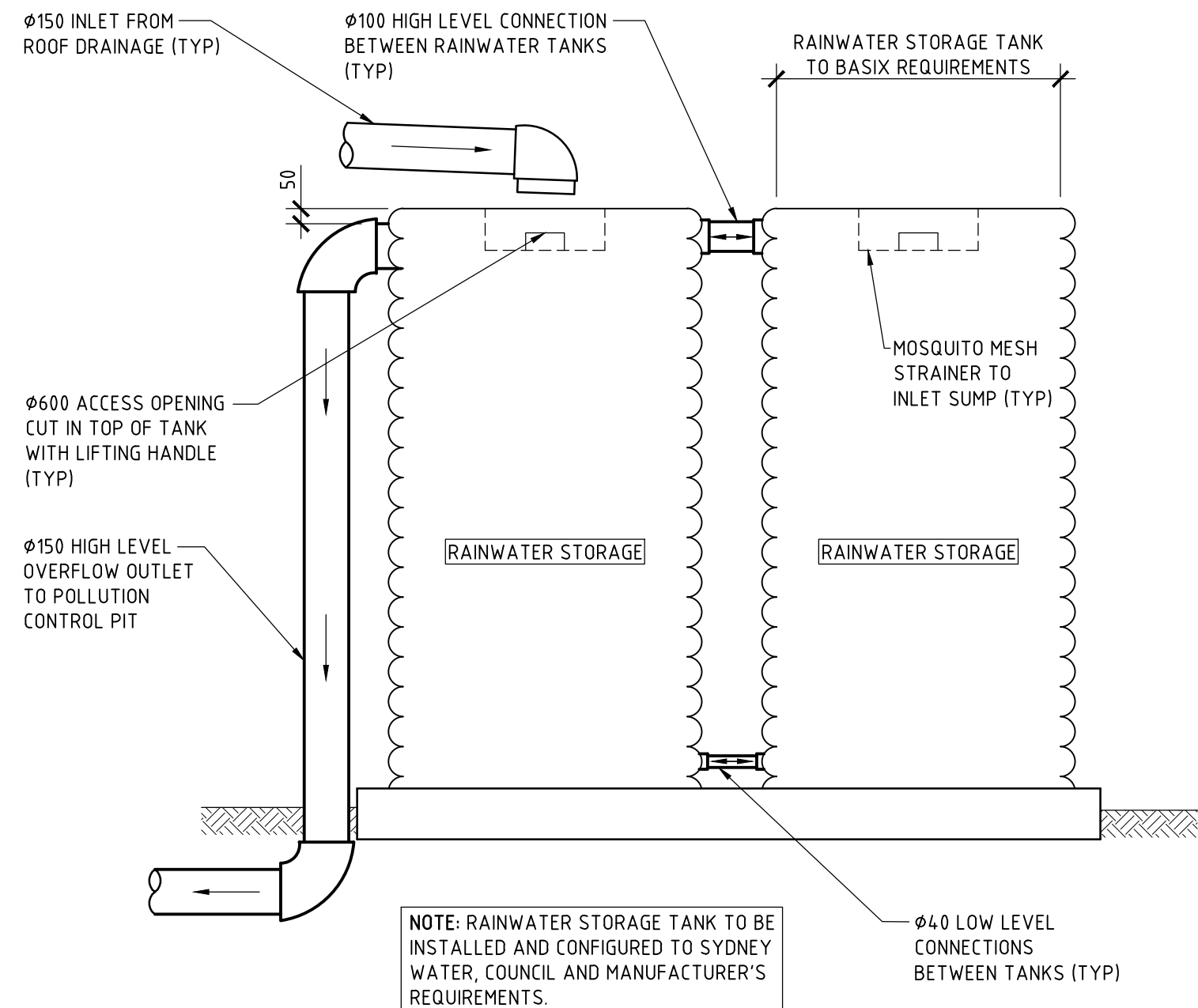
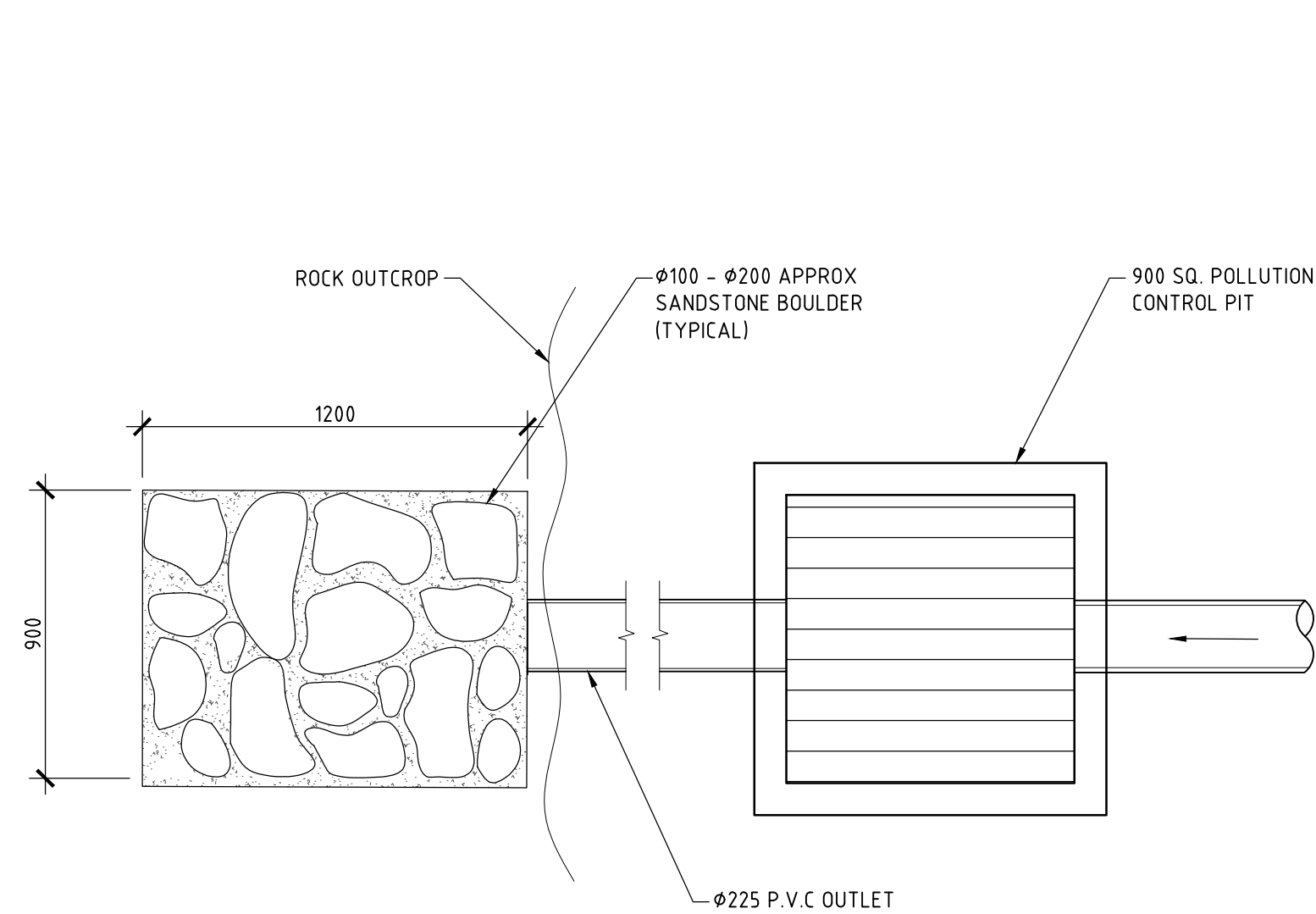
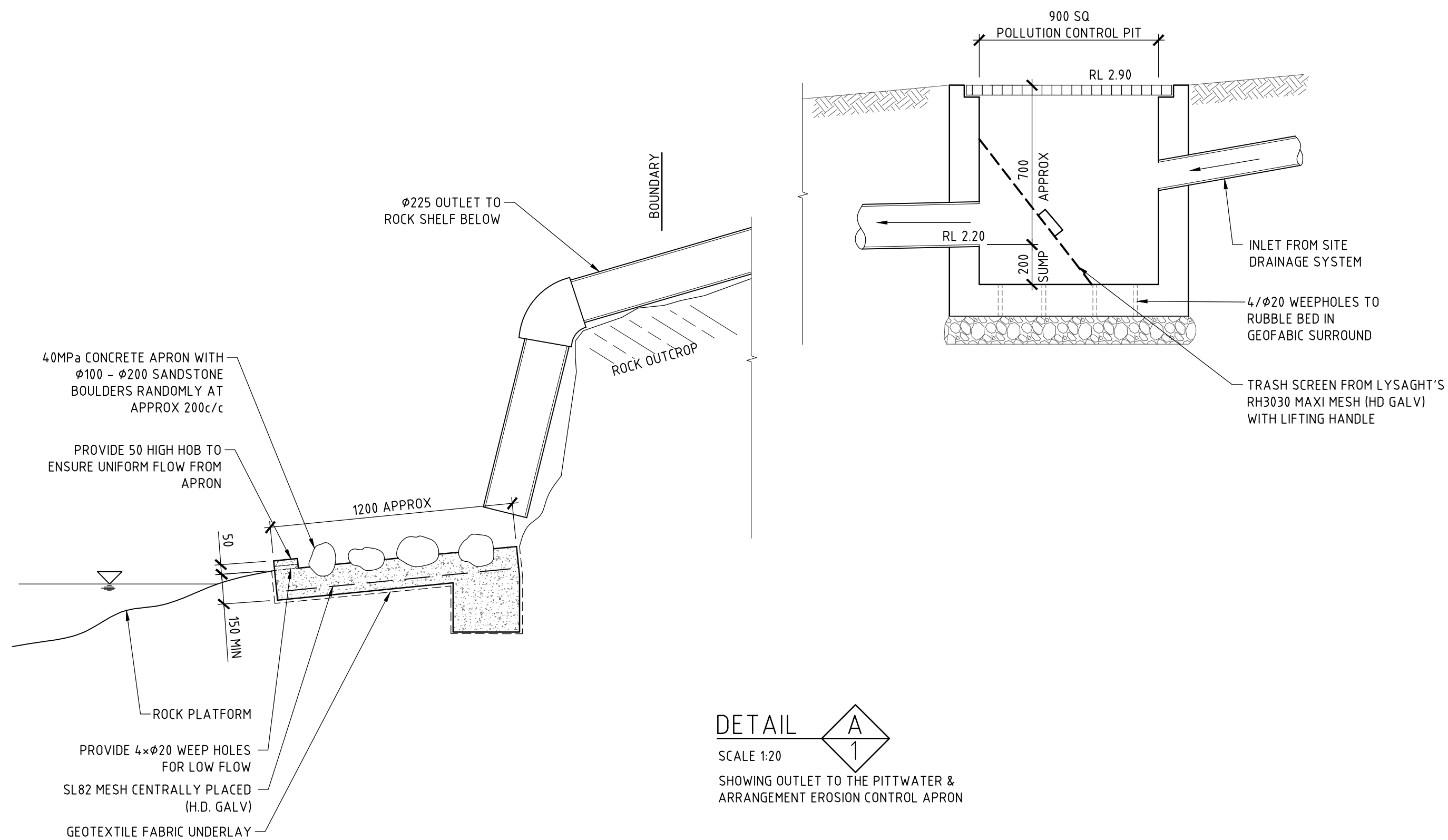
Revision:
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Scale:
1:200 @ A3

Status:
Development Application

Client
Marcel and Elle Dupont-Louis

Date:
14/12/2023



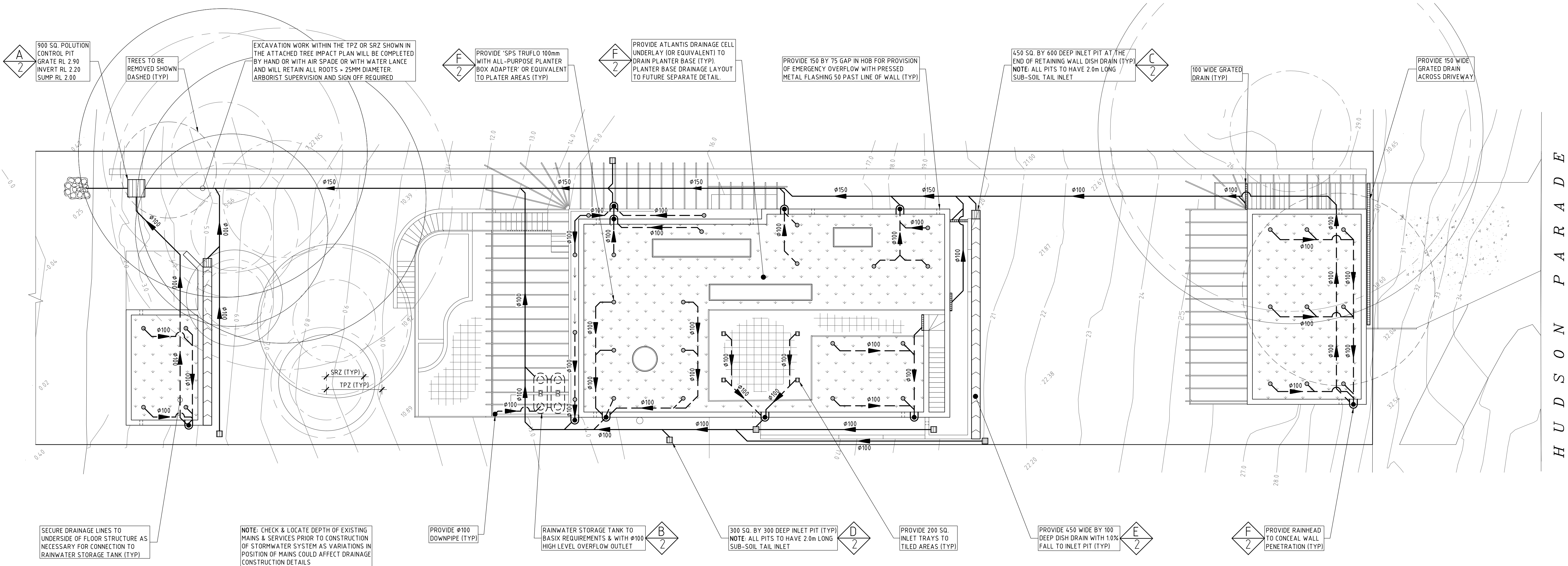
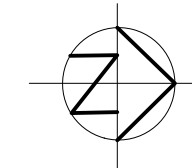
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2023/0690

ISSUE DATE	REVISION
APRIL 2023	TO SUIT REVISED ARCHITECTURAL DESIGN

TITLE STORMWATER MANAGEMENT DETAILS 252 HUDSON PARADE, CLAREVILLE			
DRAWN L1	DATE 19 APRIL 2023	CHECKED <i>[Signature]</i> BE Civil (Hons) MIE Aust.	SCALE A1 1:20 1:10

TAYLOR CONSULTING
CIVIL & STRUCTURAL ENGINEERS

STORM-2/A



SITE DRAINAGE PLAN
SCALE 1:100

DRAINAGE NOTES

- * DENOTES EXISTING GROUND LEVEL.
- FALL STORMWATER PIPES AT 1% MIN UNLESS OTHERWISE NOTED.
- SUB-SOIL DRAINAGE TO BE CONNECTED TO THE SITE DRAINAGE SYSTEM AS NECESSARY.
- SURFACE GRATES 300 SQ. UNLESS OTHERWISE NOTED.
- ALL STORMWATER PIPES TO HAVE SOLVENT CEMENT WATERTIGHT JOINTS.
- CHECK & LOCATE DEPTH OF EXISTING MAINS & SERVICES PRIOR TO CONSTRUCTION OF STORMWATER SYSTEM AS VARIATIONS IN POSITION OF MAINS COULD AFFECT DRAINAGE CONSTRUCTION DETAILS.
- INSPECTIONS MUST BE UNDERTAKEN BY THIS OFFICE (BY PRIOR ARRANGEMENT WITH ENGINEER) DURING CONSTRUCTION TO ENABLE FULL CERTIFICATION UPON COMPLETION OF WORKS.
- ALL CONSTRUCTION OF COUNCIL DRAINAGE WORKS TO COMPLY WITH COUNCIL STANDARD.
- REMOVE REDUNDANT DRAINAGE PITS AND SEAL PIPES.
- PIT BENCHING TO BE HALF THE OUTGOING PIPE DIAMETER. CONCRETE FOR BENCHING TO BE 20 MPa MASS CONCRETE.
- APPROVED PRE-CAST PITS MAY BE USED.
- ALL PIPES TO BE LAID ON COMPACTED FINE CRUSHED ROCK OR SAND BEDDING 75mm THICK & PIPES BACKFILLED WITH COMPACTED SAND TO 300mm ABOVE TOP OF PIPE, ELSE ATTACHED TO UNDERSIDE OF STRUCTURE AT 600mm C/C AS NECESSARY.
- PIPE ROUTES SHOWN ARE INDICATIVE ONLY AND SHOULD BE AS NECESSARY ACCORDING TO SITE CONDITIONS, TREE POSITIONS ETC. CONFORM SIGNIFICANT CHANGES IN PIPES SYSTEM DETAILS WITH SUPERVISING ENGINEER PRIOR TO COMMENCEMENT OF DRAINAGE CONSTRUCTION WORKS.
- CONTRACTOR SHALL ENSURE THAT SERVICES TO BUILDINGS NOT AFFECTED BY THE WORKS ARE NOT DISRUPTED. CONTRACTOR SHALL CONSTRUCT TEMPORARY SERVICES TO MAINTAIN EXISTING SUPPLY TO BUILDINGS WHERE REQUIRED. ONCE WORKS ARE COMPLETE AND COMMISSIONED THE CONTRACTOR SHALL REMOVE ALL TEMPORARY SERVICES AND MAKE GOOD ALL DISTURBED AREAS.
- STORMWATER SYSTEM REQUIRES SIGNIFICANT MAINTENANCE DUE TO POTENTIAL HIGH POLLUTANT LOAD. FILTERS AND POLLUTANT TRAPS SHOULD BE CHECKED AFTER LARGE STORM EVENTS AND CLEANED EVERY 6 MONTHS.
- PLUMBING AND DRAINAGE WORKS TO COMPLY WITH AS-3500, THE NATIONAL DRAINAGE & PLUMBING CODE.
- WHERE POSSIBLE DRAINAGE LINES SHALL BE LAID IN AREAS PREVIOUSLY DISTURBED BY OTHER SITE WORKS AND FOLLOW TOPOGRAPHICAL FEATURES TO REDUCE IMPACT AND AVOID TREE ROOTS.
- THIS STORMWATER MANAGEMENT PLAN HAS BEEN PREPARED FOR SUBMISSION TO COUNCIL/CERTIFIER AND DOES NOT NECESSARILY CONTAIN ALL APPROPRIATE INFORMATION TO ENABLE FOR ISSUE TO PLUMBER/BUILDER FOR CONSTRUCTION. CONTACT TAYLOR CONSULTING FOR MORE INFORMATION.

RAINWATER RE-USE NOTES AND SPECIFICATIONS

- ROOF WATER ONLY TO BE DRAINED TO THE RAINWATER STORAGE TANK.
- THE RAINWATER STORAGE TANK NEEDS TO BE CONNECTED FOR RE-USE AS REQUIRED BY THE OWNER.
- RAINWATER STORAGE TANK TO BE CONFIGURED IN ACCORDANCE WITH SYDNEY WATER SPECIFICATIONS 'GUIDELINES FOR RAINWATER TANK ON RESIDENTIAL PROPERTIES'.
- PROVIDE MAINS 'TOP-UP' SUPPLY TO RAINWATER TANK. MAINS 'TOP-UP' ZONE TO BE BASED ON THE DAILY NON-POTABLE USAGE THAT MAY BE EXPECTED FROM THE TANK.
- PROVIDE A MECHANICAL PUMPING ARRANGEMENT (IN SOUND-PROOF HOUSING) TO PUMP SUPPLIERS SPECIFICATION TO SUIT INTENDED USAGE OF RAINWATER STORAGE. PUMPING ARRANGEMENTS MUST COMPLY WITH EPA GUIDELINES.
- INLETS TO RAINWATER TANK MUST BE SCREENED TO PREVENT THE ENTRY OF FOREIGN MATTER, ANIMALS OR INSECTS.
- A SIGN MUST BE AFFIXED TO THE RAINWATER TANK CLEARLY STATING THAT THE WATER IN THE TANK IS RAINWATER AND IS NOT TO BE USED FOR HUMAN CONSUMPTION.
- RAINWATER TANK TO BE PLACED ON A STRUCTURALLY ADEQUATE BASE IN ACCORDANCE WITH THE MANUFACTURER'S OR STRUCTURAL ENGINEER'S DETAILS.
- THE TANK MUST NOT BE INSTALLED OVER ANY MAINTENANCE STRUCTURE OR FITTINGS USED BY A PUBLIC AUTHORITY.
- RAINWATER TANK AND ASSOCIATED PLUMBING WORKS TO BE INSTALLED AND CONFIGURED BY A LICENSED PLUMBER. PUMP TO BE INSTALLED BY A LICENSED ELECTRICIAN.



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DA2023/0690

STORMWATER SYSTEM DESIGN DATA

SITE DATA

SITE AREA = 1015.4 m² (100%)
PROPOSED IMPERVIOUS AREA = 403.8 m² (39%)
PROPOSED LANDSCAPED AREA = 611.6 m² (61%)
EXISTING IMPERVIOUS AREA = 301 m² (30%)
EXISTING LANDSCAPED AREA = 714.4 m² (70%)

ISSUE DATE	REVISION
SEPT 2022	TO SUIT CLIENT COMMENTS
APRIL 2023	TO SUIT REVISED ARCHITECTURAL DESIGN
APRIL 2023	SRZ & TPZ NOTATION ADDED

TITLE
STORMWATER MANAGEMENT PLAN
252 HUDSON PARADE, CLAREVILLE

DRAWN
JBP

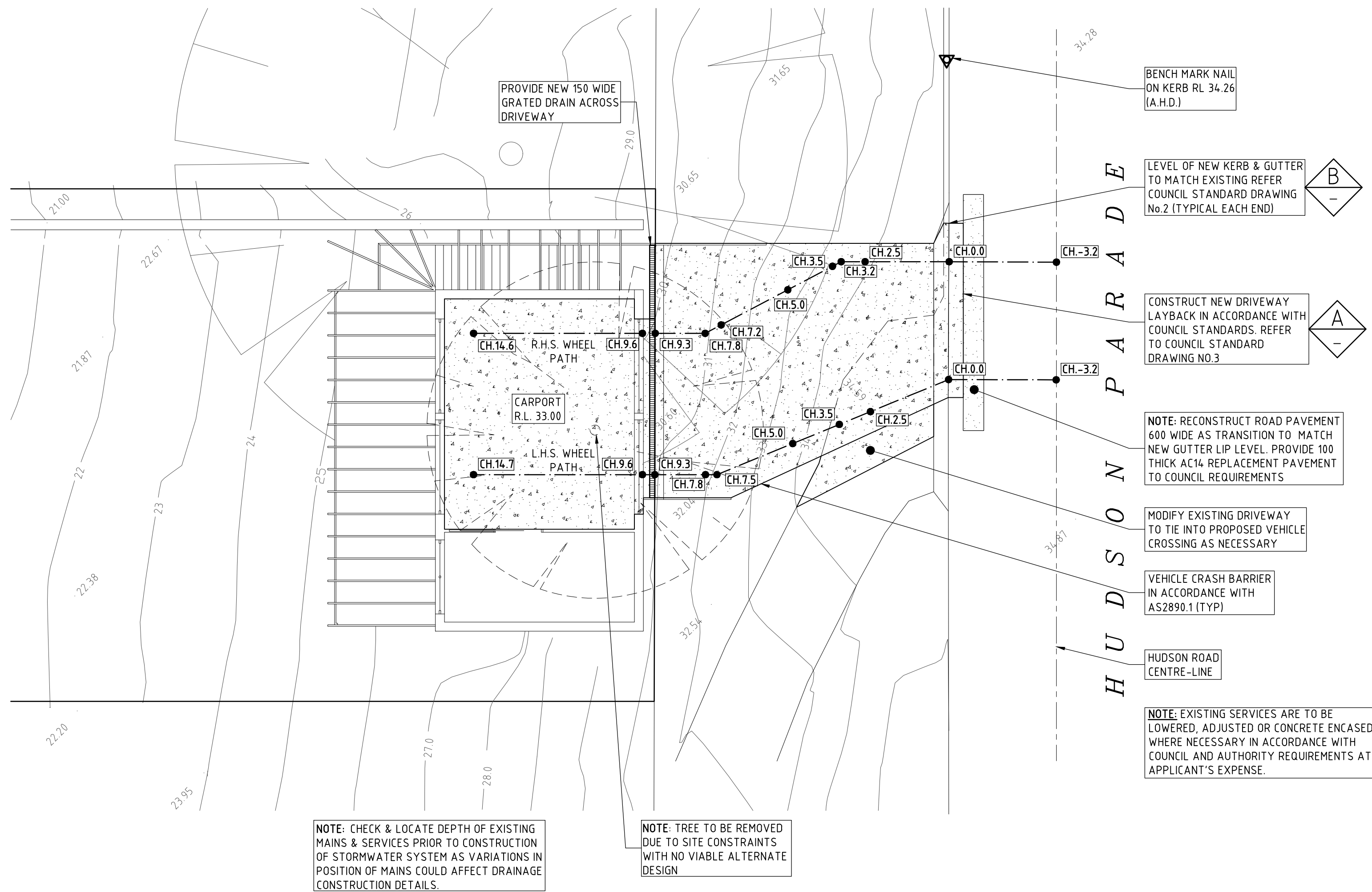
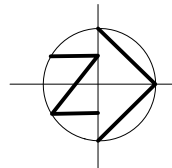
DATE
30 AUGUST 2022

CHECKED

SCALE @ A1
1:100

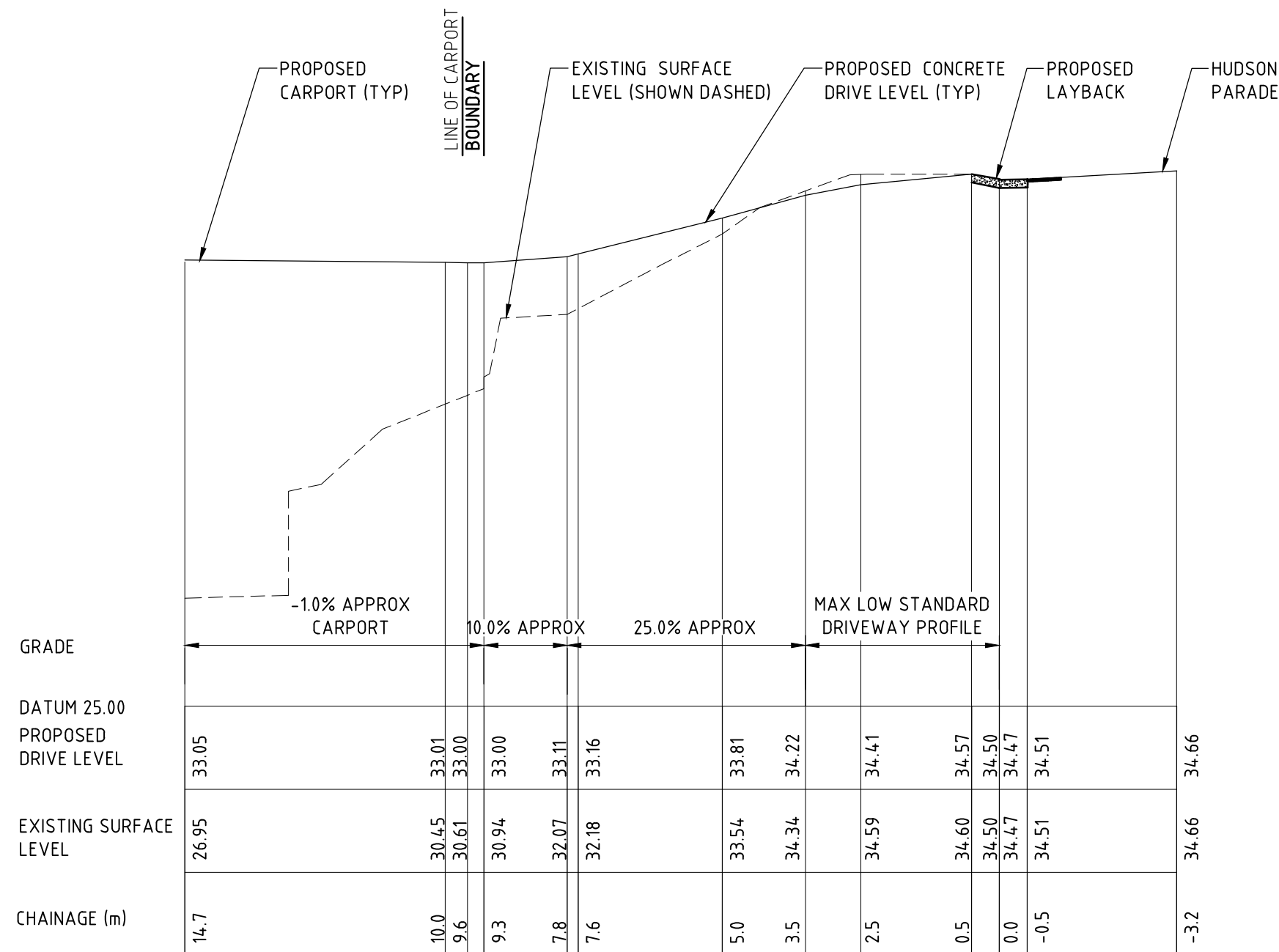
TAYLOR
CONSULTING
CIVIL & STRUCTURAL ENGINEERS

STORM-1/C



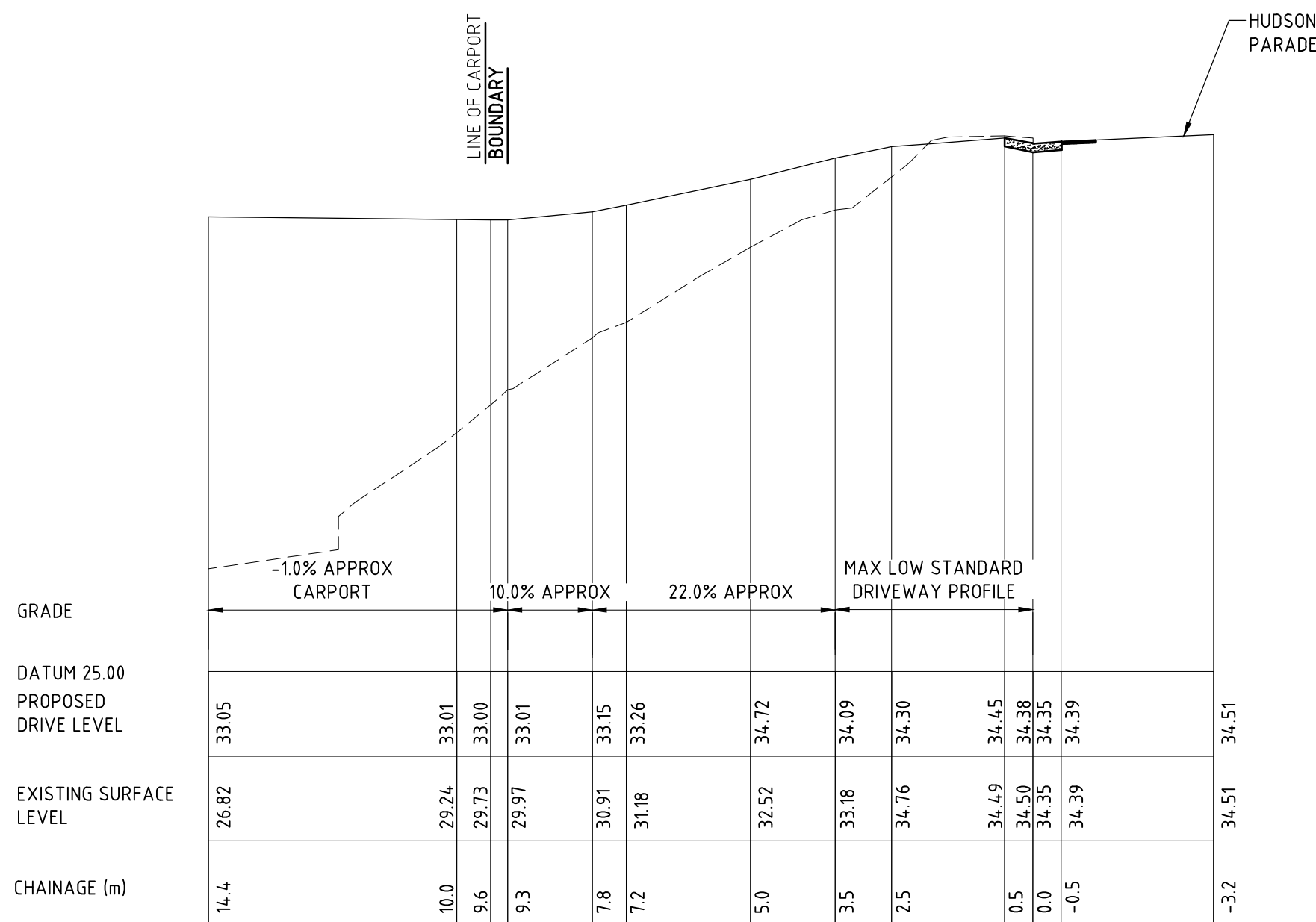
PARTIAL SITE PLAN

SCALE 1:100
SHOWING PROPOSED GARAGE AND DRIVEWAY



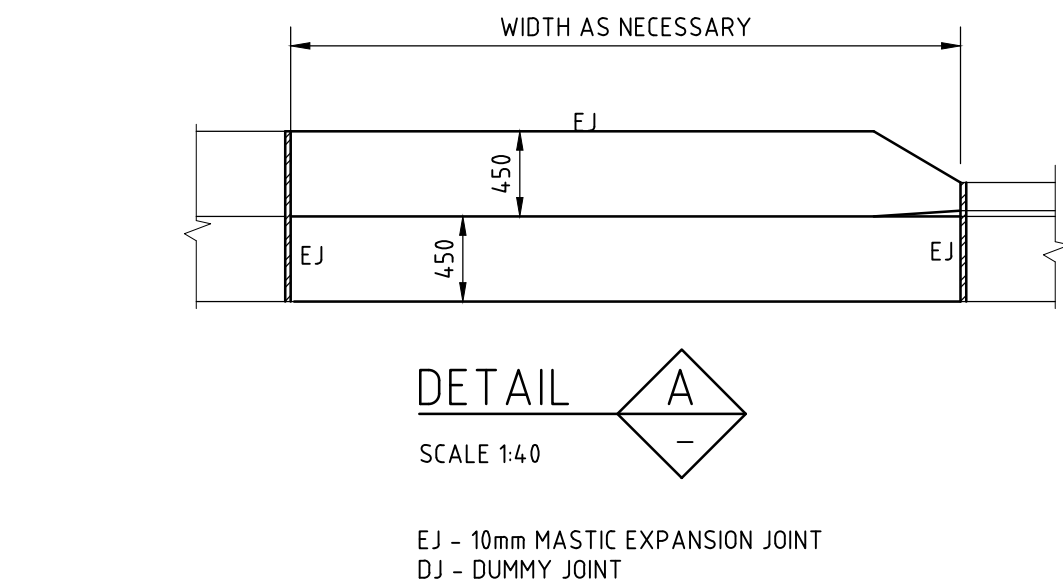
DRIVEWAY L.H.S. WHEEL PATH LONG-SECTION

SCALE 1:100



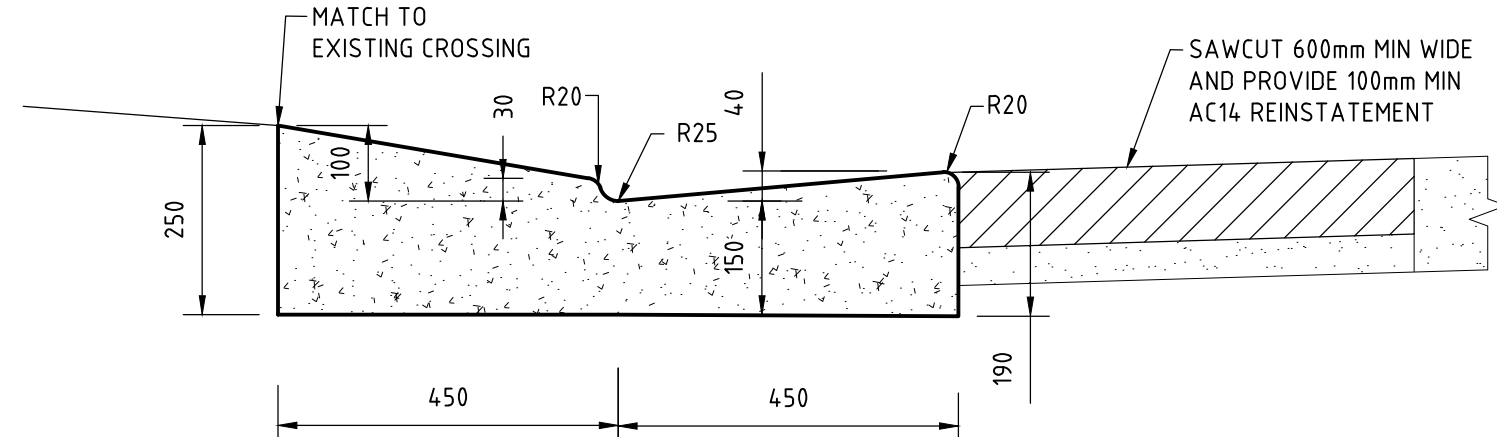
DRIVEWAY R.H.S. WHEEL PATH LONG-SECTION

SCALE 1:100



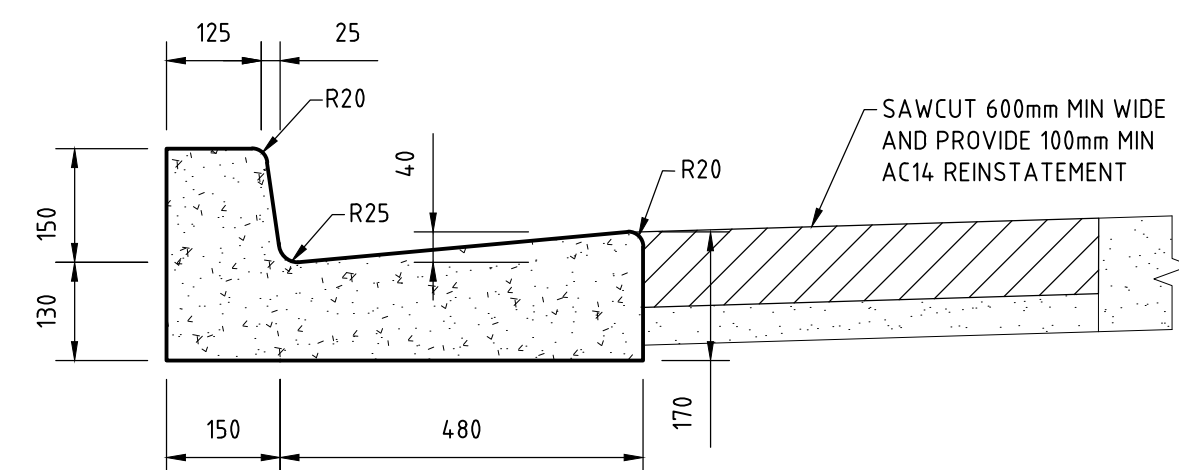
NEW LAYBACK FRONT ELEVATION

SCALE 1:40



NEW LAYBACK CROSS SECTION

SCALE 1:10



DETAIL B

SCALE 1:10
TYPICAL KERB & GUTTER

NOTES

- ROAD AND DRAINAGE WORKS TO BE IN ACCORDANCE WITH COUNCIL'S SPECIFICATION FOR ENGINEERING WORKS - AUS-SPEC#1 AND/OR COUNCIL'S MINOR WORKS SPECIFICATION.
- VEHICLE CROSSING, ACCESS RAMPS AND GUTTER SHALL BE POURED IN PLAIN CONCRETE AND FINISHED WITH STEEL TROWEL. MINIMUM COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 25MPa AT 28 DAYS
- THE SUBGRADE SHALL BE THOROUGHLY COMPACTED BY THE USE OF VIBRATORY COMPACTION EQUIPMENT UNTIL IT SHOWS NO SIGNS OF MOVEMENT, OR AS DIRECTED BY COUNCIL OR THE SUPERVISING ENGINEER.
- VEHICLE CROSSING TO BE CONSTRUCTED IN ACCORDANCE WITH APPROVED LEVELS AND SPECIFICATIONS ISSUED BY COUNCIL.
- NEW KERB & GUTTERING TO BE CONSTRUCTED IN ACCORDANCE WITH COUNCIL SPECIFICATIONS.
- REINSTATE AND MAKE GOOD ALL LAYBACKS, PATHS AND TURFED AREAS TO SATISFACTION OF SUPERVISING ENGINEER.
- REGULAR COMPACTION TESTS ARE REQUIRED BY COUNCIL PRIOR TO ADDITION OF EACH LAYER OF SUB-BASE OR WEARING COURSE.
- COUNCIL'S DEVELOPMENT ENGINEER IS TO BE GIVEN 48 HOURS NOTICE WHEN THE WORKS REACH THE FOLLOWING STAGES:
(A) INSTALLATION OF SILT AND SEDIMENT CONTROL DEVICES.
(B) SUBGRADE LEVEL / BASECOURSE LEVEL
(C) PRIOR TO POURING OF STORMWATER GULLY PITS
(D) PRIOR TO BACKFILLING OF PIPELINES
(E) PRIOR TO POURING OF KERB & GUTTER
(F) PRIOR TO POURING VEHICLE CROSSING
(G) SEALING ROAD PAVEMENT
- ALL STEEL ELEMENTS TO BE STAINLESS GRADE 316 OR EQUIVALENT (MARINE GRADE)
- BENEATH ALL KERB & GUTTER AND PRAM RAMPS PLACE & COMPACT DGB20 IN 150 LAYERS TO 98% STANDARD DENSITY AS NECESSARY

STANDARD VEHICLE CROSSING NOTES:

- AT LEAST 48 HOURS NOTICE OF INTENTION TO PLACE CONCRETE ON THE ROAD RESERVE SHALL BE GIVEN TO THE DEVELOPMENT ENGINEER AND NO CONCRETE SHALL BE PLACED UNTIL FORMWORK HAS BEEN APPROVED AND INSPECTION NOTICE ISSUED (PHONE 1300 434 434 8.30 AM - 5.00 PM, MONDAY - FRIDAY)
- ALL DISTURBED AREAS OF THE FOOTPATH ADJACENT THE VEHICLE CROSSING SHALL BE TURFED AND FINISHED LEVEL WITH THE CONCRETE SURFACE. RAISED EDGINGS ARE PROHIBITED.
- CONCRETE FOOTPATH ADJUSTMENTS SHALL BE IN ACCORDANCE WITH COUNCIL'S FOOTPATH SPECIFICATION AND TO COUNCIL'S SATISFACTION.
- THE SUBGRADE SHALL BE THOROUGHLY COMPACTED BY THE USE OF VIBRATORY COMPACTION EQUIPMENT UNTIL IT SHOWS NO SIGNS OF MOVEMENT, OR AS DIRECTED BY COUNCIL.
- VEHICLE CROSSING SLABS SHALL BE POURED IN PLAIN CONCRETE. SLAB SURFACE TO BE BROOM FINISHED (OR EQUIVALENT) AND EDGES TO BE FINISHED WITH A 50mm MARGIN. ALL CHANGES IN GRADE SHALL BE SCREED TO ENSURE NO RIGID TRANSITIONS.
- MINIMUM COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 25 MPa AT 28 DAYS. MINIMUM CONCRETE DEPTH SHALL BE:
a. SINGLE RESIDENTIAL DWELLING - 130mm REINFORCED WITH SL72 MESH PLACED 30mm BELOW TOP OF CONCRETE.
b. MULTI-UNIT RESIDENTIAL - 150mm REINFORCED WITH SL82 MESH PLACED 30mm BELOW TOP OF CONCRETE.
c. COMMERCIAL/INDUSTRIAL - 180mm REINFORCED WITH SL82 MESH PLACED 30mm BELOW TOP OF CONCRETE.
- THE VEHICLE CROSSING TO 2400mm BEHIND THE GUTTER INVERT SHALL BE GRADED PARALLEL WITH THE ROAD CENTRE-LINE GRADING.
- THE VEHICLE CROSSING SHALL BE CONSTRUCTED PERPENDICULAR TO THE ROAD PAVEMENT UNLESS DIRECTED BY COUNCIL.
- THE CONSTRUCTION OF ALL VEHICULAR CROSSINGS AND ASSOCIATED WORKS ON THE ROAD RESERVE MUST BE COMPLETED BY A COUNCIL APPROVED CONCRETE CONTRACTOR.



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2023/0690

ISSUE DATE	REVISION
SEPT 2022	TO SUIT CLIENT COMMENTS
APRIL 2023	CHANGES MADE TO SUIT LATEST ARCHITECTURAL PLANS

TITLE	DRAWN	DATE	CHECKED	SCALE
DRIVEWAY PLAN AND LONG-SECTIONS	JBP	30 AUGUST 2022		1:100
252 HUDSON PARADE, CLAREVILLE				1:40
				1:10

TAYLOR CONSULTING CIVIL & STRUCTURAL ENGINEERS

DRAWING NO. CIVIL-1/B