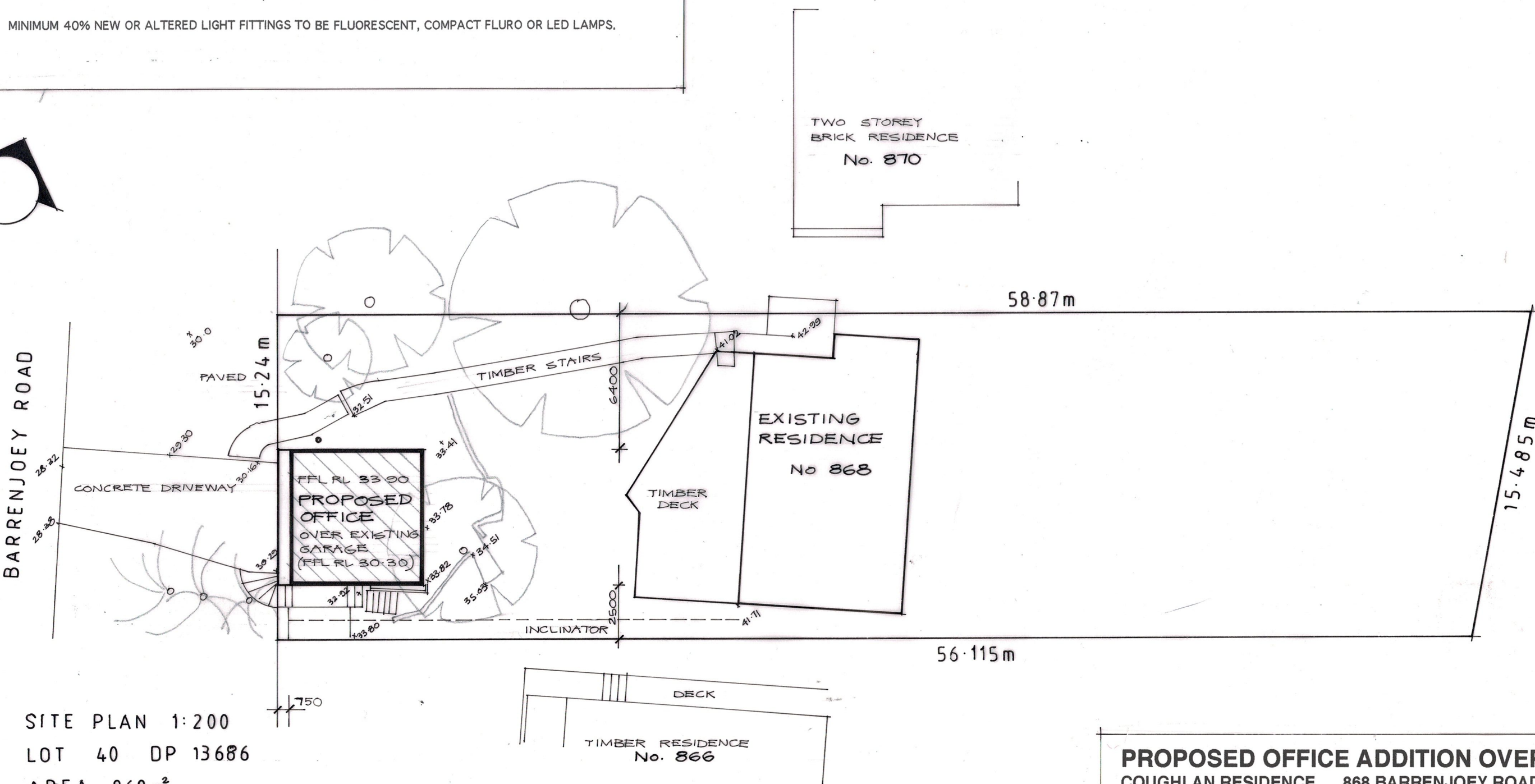


# NOTES

ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BY THE BUILDER WHO WILL BE RESPONSIBLE FOR THE ACCURATE SETTING OUT OF THE JOB  
 ALL CONSTRUCTION IS TO COMPLY WITH THE RELEVANT BUILDING CODES AND LOCAL COUNCIL REQUIREMENTS  
 ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION BY A SITE SURVEY  
 ROOF WATER AND SUBSOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER OR AS DIRECTED  
 DOWN PIPE LOCATION TO BE DETERMINED BY THE ROOF PLUMBER  
 ELECTRICAL, POWER AND LIGHT OUTLETS TO BE DETERMINED BY THE OWNER  
 STRUCTURAL DETAIL AND DESIGN TO BE APPROVED BY A STRUCTURAL ENGINEER  
 ANY ADDITIONAL DETAILING SHALL BE RESOLVED BETWEEN THE OWNER AND THE BUILDER  
 ALL LEVELS TO AUSTRALIAN HEIGHT DATUM

## NOTES

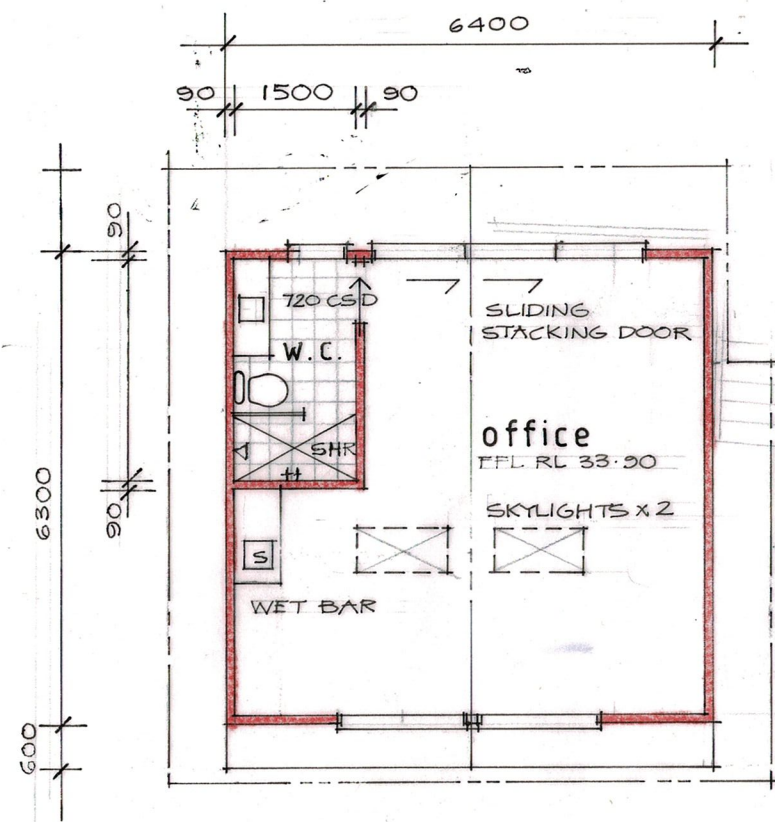
EXTERNAL FRAMED WALLS TO HAVE MIN. R1.3 INSULATION (R1.7 INCLUDING CONSTRUCTION)  
 SUSPENDED FRAMED FLOOR OVER GARAGE  
 ROOF WITH DARK SOLAR ABSORPTANCE TO HAVE FOIL SARKING AND RAKED CEILING WITH R2.5 INSULATION  
 BATHROOM AND SHOWER TAPS TO HAVE MINIMUM 3 STAR RATING, MAXIMUM FLOW 9LTRS PER MINUTE.  
 TOILETS TO HAVE MINIMUM 3 STAR RATING, MAXIMUM 4 LTR FLUSH  
 MINIMUM 40% NEW OR ALTERED LIGHT FITTINGS TO BE FLUORESCENT, COMPACT FLURO OR LED LAMPS.



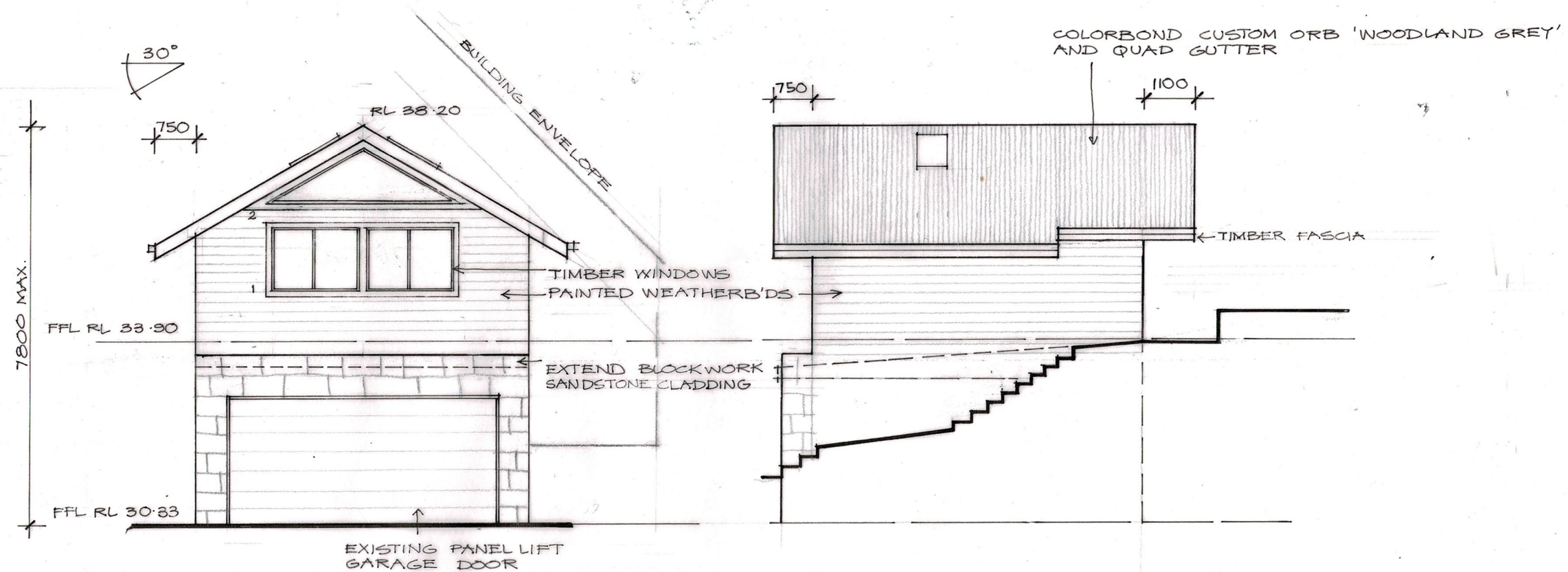
SITE PLAN 1:200  
 LOT 40 DP 13686  
 AREA 868 m<sup>2</sup>

**PROPOSED OFFICE ADDITION OVER GARAGE**  
 COUGHLAN RESIDENCE 868 BARRENJOEY ROAD PALM BEACH  
 NOVEMBER 2019 DWG 1119 1/ SHIMDESIGN design and drafting 0400 898 744



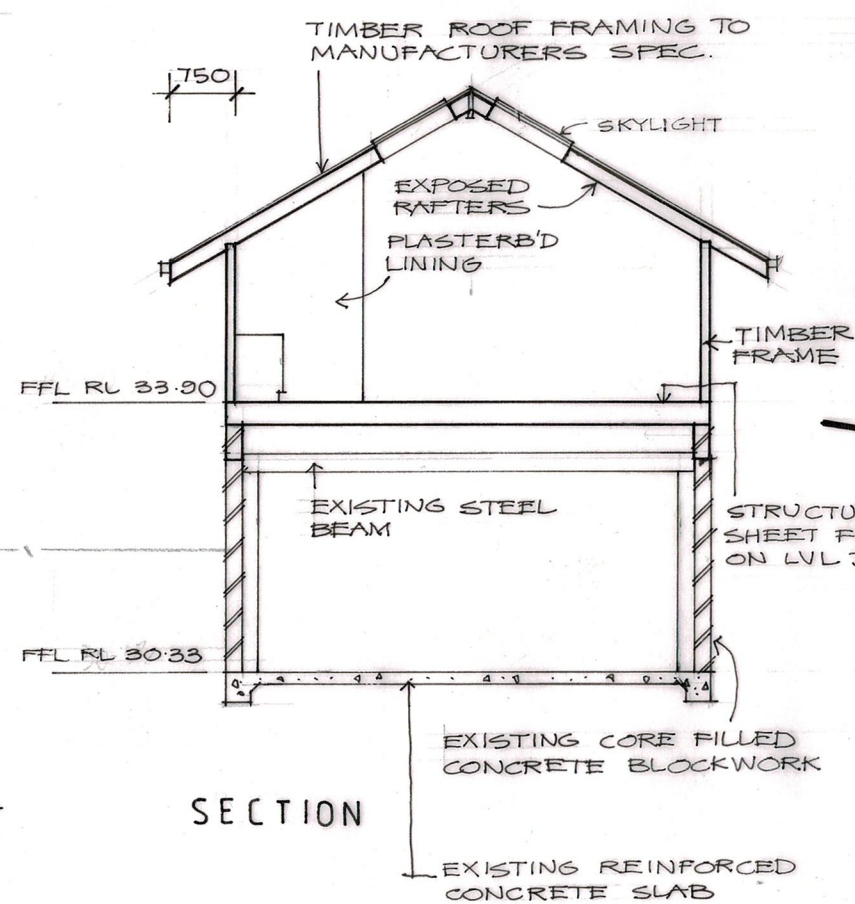


FLOOR PLAN 1:100



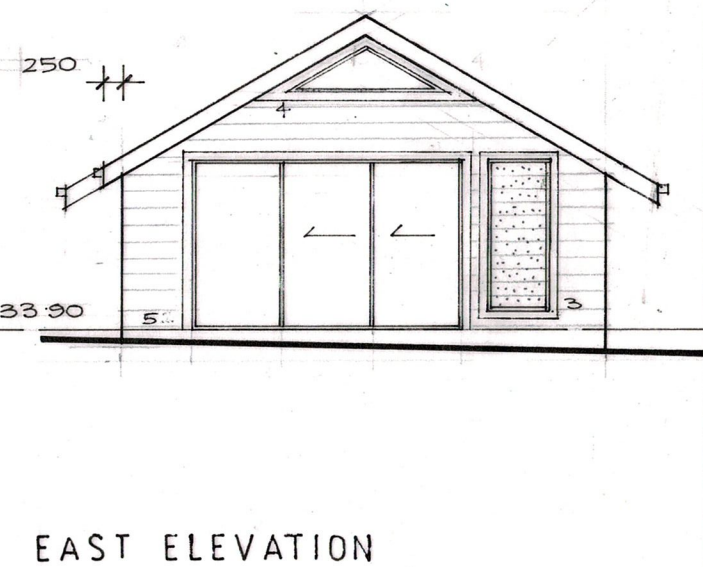
WEST ELEVATION

SOUTH ELEVATION



SECTION

NORTH ELEVATION



EAST ELEVATION



↑  
TO PALM BEACH  
3KM

↖ ↗  
COOL SUMMER BREEZE

← SUMMER SUN →

VIEW TO  
CAREEL BAY

BUSY MAIN ROAD  
(NOISE AND BUS STOP)

BARRENJOEY ROAD

CONCRETE DRIVEWAY

STRONG S/W  
WINDS

TO AVALON  
VILLAGE 4 KM

15.24 m

58.87m

TIMBER STAIRS

ACCESS  
TO HOUSE

6400

EXISTING  
RESIDENCE  
No 868

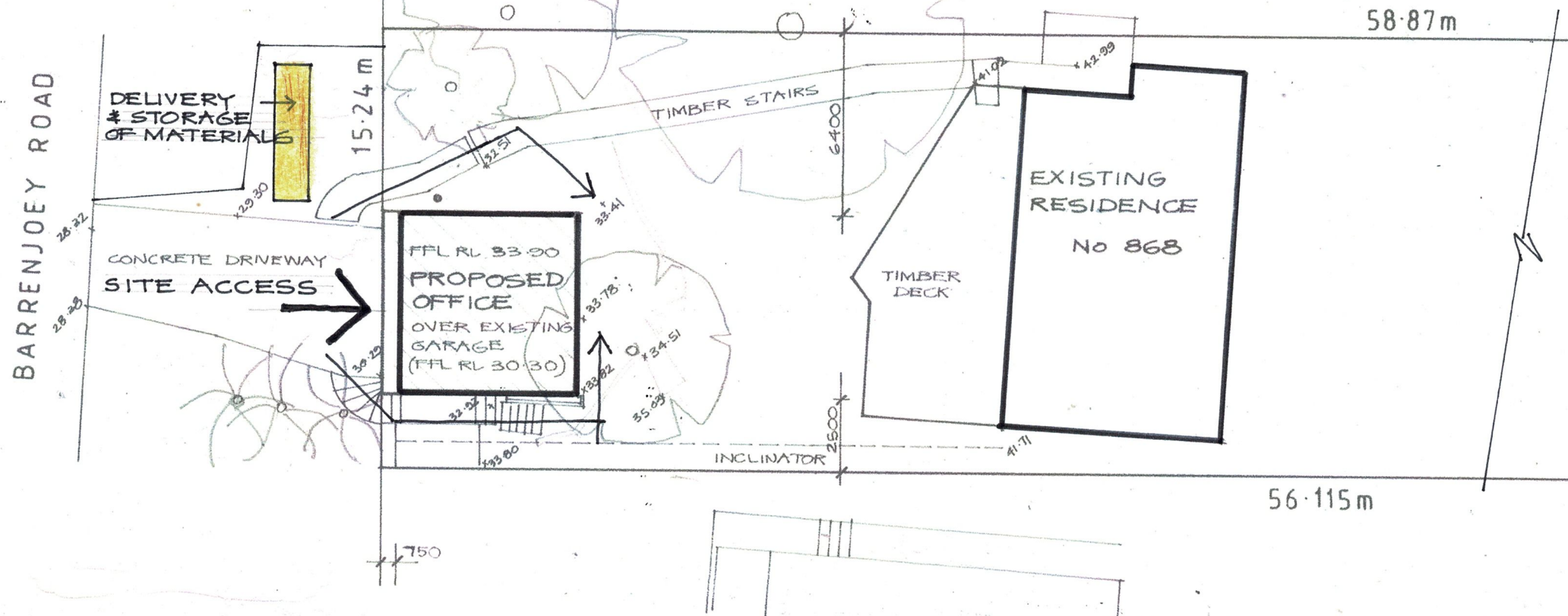
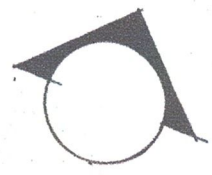
TIMBER  
DECK

FFL RL 33.30  
PROPOSED  
OFFICE  
OVER EXISTING  
GARAGE  
(FFL RL 30.30)

34.51

35.03

INCLINATOR TO HOUSE

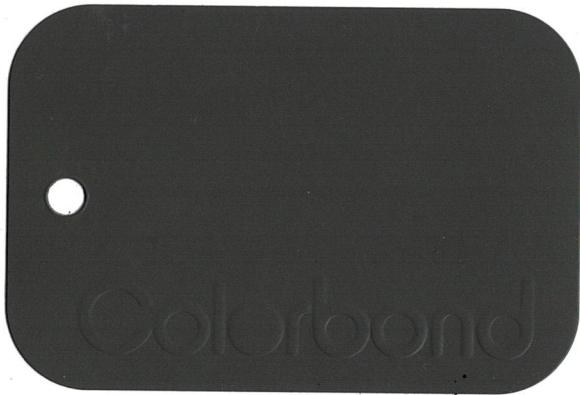


# WASTE MANAGEMENT PLAN

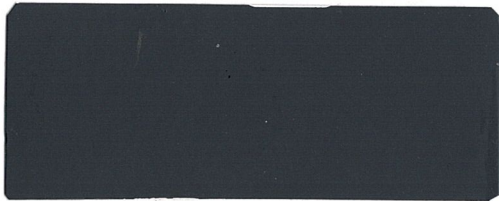
**PROPOSED OFFICE ADDITION OVER GARAGE**  
**COUGHLAN RESIDENCE 868 BARRENJOEY ROAD PALM BEACH**  
NOVEMBER 2019 DWG 1119 1/3 SHIMDESIGN design and drafting 0400 898 744

# SCHEDULE OF COLOURS AND FINISHES

868 BARRENJOEY ROAD PALM BEACH



← COLORBOND ROOF  
'WOODLAND GREY'



← PAINTED WEATHERBOARDS  
DULUX 'DOMINO' OR SIMILAR



← WINDOWS, DOORS,  
PAINTED TRIM 'WHITE'

← SANDSTONE CLADDING TO  
GARAGE BLOCKWORK