

**DA SCHEDULE**

**SITE DETAILS**

LGA CONTROL	PITTWATER
LOT NUMBER/DP NUMBER	8 / 1206507
ZONE & LOT WIDTH	R3 16.800m
SITE AREA	406.30 m <sup>2</sup>
<b>DWELLING AREAS</b>	
GROUND FLOOR LIVING	123.55 m <sup>2</sup>
FIRST FLOOR LIVING	133.03 m <sup>2</sup>
PORCH	11.02 m <sup>2</sup>
PATIO	0.00 m <sup>2</sup>
FRONT BALCONY	11.16 m <sup>2</sup>
REAR BALCONY	0.00 m <sup>2</sup>
GARAGE	35.02 m <sup>2</sup>
OUTDOOR LEISURE	0.00 m <sup>2</sup>
TOTAL :	<b>313.78 m<sup>2</sup></b>
DRIVE AREA	47.63 m <sup>2</sup>
ROOF AREA (drained to tank)	194.97 m <sup>2</sup>

**SITE COVERAGE** (Single storey/Lower floor)

MAXIMUM SITE COVERAGE	223.47 m <sup>2</sup> / 55.00%
ACTUAL SITE COVERAGE	<b>158.57 m<sup>2</sup>/ 39.03%</b>

**FLOOR SPACE RATIO**

MAXIMUM FLOOR SPACE/FSR	0.00 m <sup>2</sup> / 0.00%
ACTUAL FLOOR SPACE/FSR	<b>224.92 m<sup>2</sup>/ 55.36%</b>

**LANDSCAPING AREAS**

MINIMUM LANDSCAPING	182.84 m <sup>2</sup> / 45.00%
ACTUAL LANDSCAPING	<b>185.29 m<sup>2</sup>/ 45.60%</b>

**PRIVATE OPEN SPACE**

MINIMUM POS	80.00 m <sup>2</sup> / 0.0x0.0
ACTUAL POS	<b>91.01 m<sup>2</sup>/ 9.25x4.0</b>

**'H' CLASS SITE AHD**

**SALINE AFFECTED**  
SUBJECT TO ENGINEERS

**B.A.S AFFECTED**

**Lot No. 8**  
**AREA: 406.3m<sup>2</sup>**

STORMWATER DRAINAGE TO STREET WATER TABLE. (SUBJECT TO CONTOUR SURVEY)

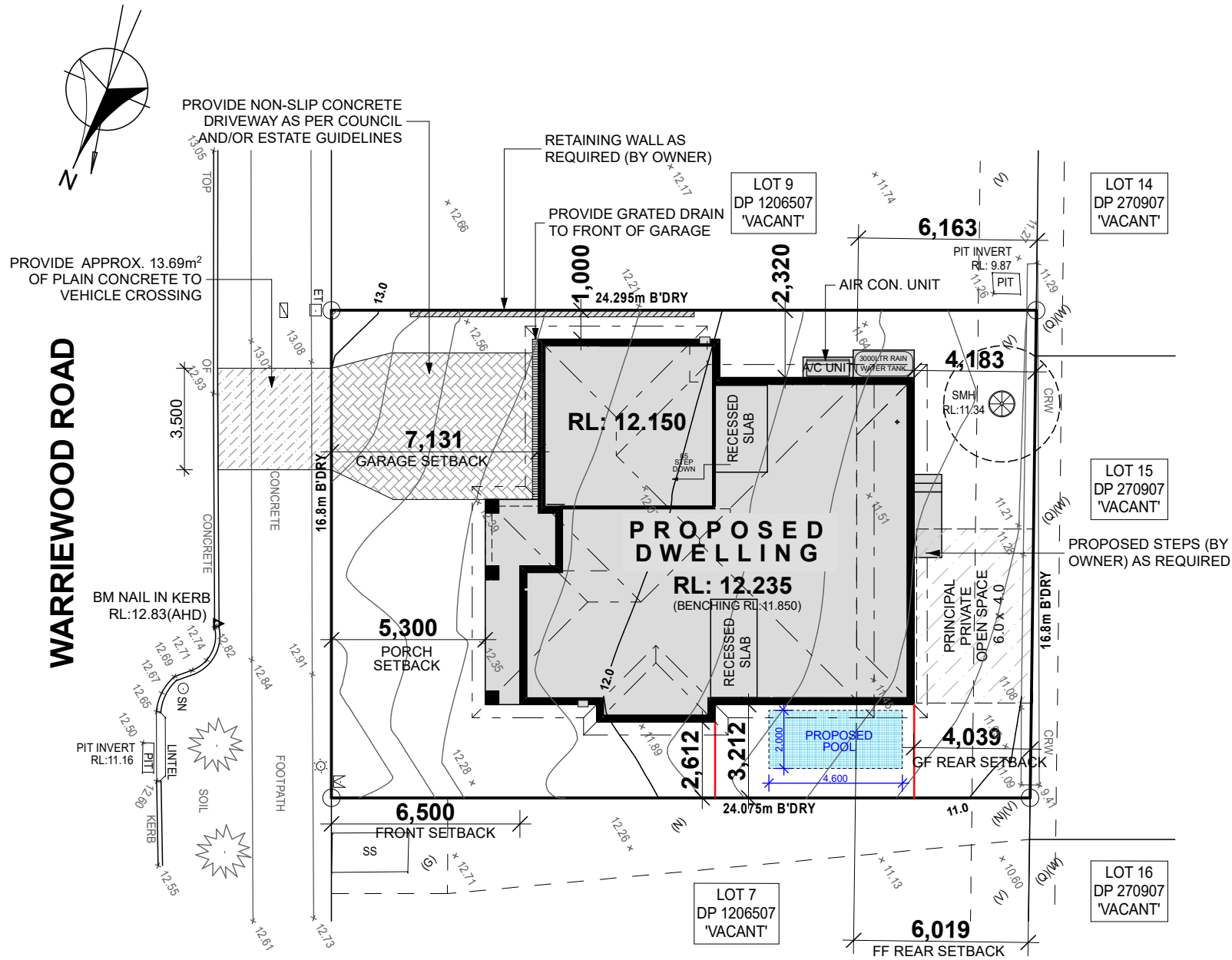
ANY RETAINING WALLS REQUIRED TO BE COMPLETED BY OWNERS TO MANUFACTURERS SPECIFICATIONS.

EXCAVATE SITE APPROX. 550 mm TO FORM JOB DATUM R.L. 11.850 (AHD) DATUM POINT 385mm BELOW FINISHED FLOOR LEVEL. EXTENT OF EXCAVATION AND BATTERS TO BE DETERMINED ON SITE.

PROPOSED EXCAVATION

**SITE PLAN**  
1:200

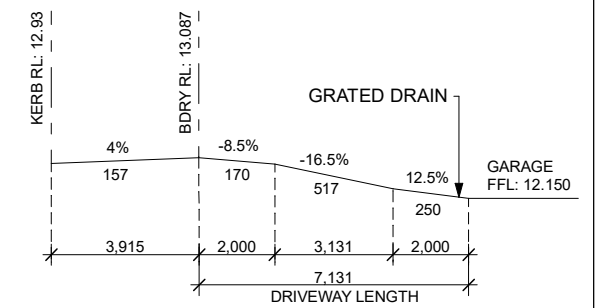
NOTE: 2M RADIUS FROM THE CENTER OF THE SEWER MANHOLE TO BE CLEARED OF PIERS.



**'G'** EASEMENT FOR ELECTRICITY & OTHER PURPOSES 3.3 WIDE (G)  
**'N'** EASEMENT FOR ELECTRICITY PURPOSES VARIABLE WIDTH (N)  
**'Q'** THAT PART LOT 12 BENEFITED BY EASEMENT FOR ELECTRICITY PURPOSES VARIABLE WIDTH (N) & BURDENED BY POSITIVE COVENANT No.11  
**'V'** EASEMENT TO DRAIN WATER 2 WIDE (V)  
**'W'** EASEMENT FOR ACCESS, MAINTENANCE & SUPPORT 0.9 WIDE (W)

**DRIVEWAY PROFILE**

AS2890.1-2004



**northern beaches council**

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2020/0273**

REFER TO LANDSCAPE PLAN BY 'WISDOM POOLS & LANDSCAPES' FOR ALL LANDSCAPING DETAILS.



**SIGNATURE ESSENTIALS**

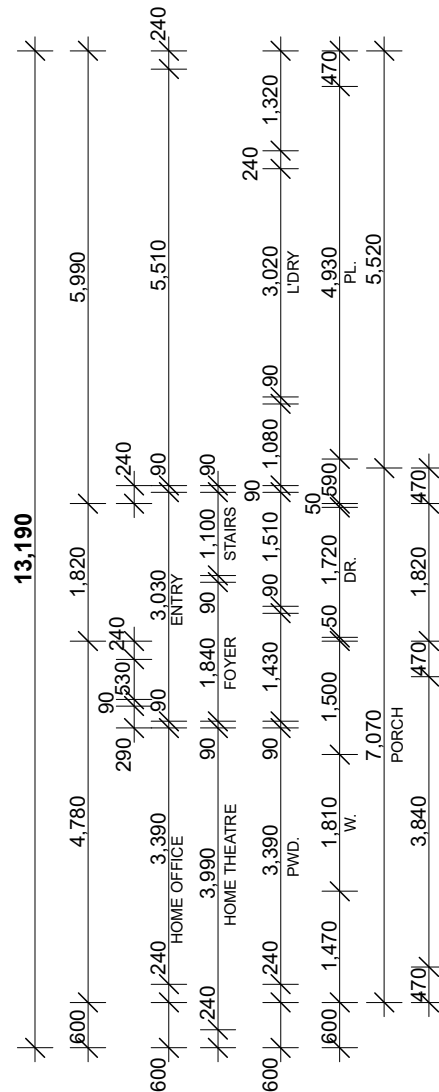
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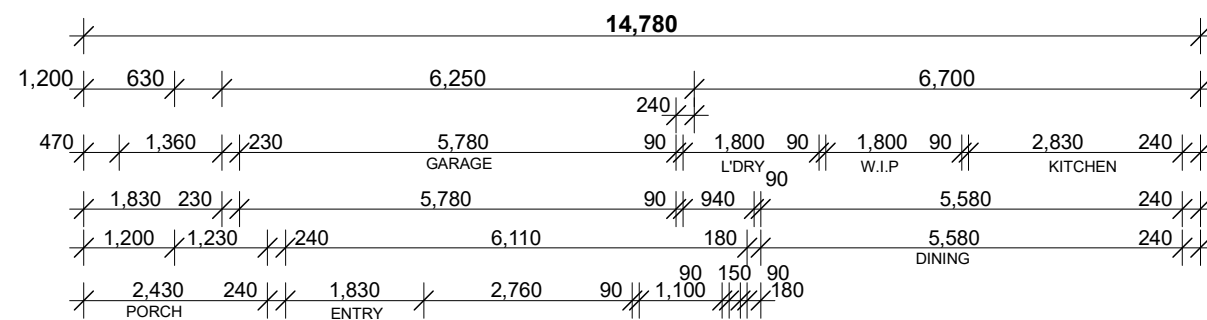
<p>1300 855 775 wisdomhomes.com.au</p>	PROJECT: PROPOSED BRICK VENEER DWELLING	EXHAUST FAN SMOKE ALARM AS 3786-1993	NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.	REVISION SCHEDULE				JOB No: <b>190036</b>	DRAWN: DW
	CLIENT: <b>MISS ALEGRE</b>	LODGEMENT: <b>D.A/C.C</b>		DP No: <b>1206507</b>	ISSUE B-7 AMENDMENTS A-2 AMENDMENTS 2/07/19 A-3 AMENDED ROOM NAMES A-4 LIVE TENDER A-5 LIVE TENDER D1 B-6 SUBMISSION PLAN	DESCRIPTION JD DW DW JD AES DW	DRAWN JD DW DW AES DW	DATE 11/2/20 18/07/19 1/08/19 2/8/19 05.08.19 17/1/20	PLOT DATE: 11/02/2020
ADDRESS: <b>Lot No. 8 WARRIEWOOD ROAD WARRIEWOOD</b>	*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C.		DESIGN: IMPRESSION 32	FACADE: AVANTI	SHEET: <b>2</b>	V18			

Area	m2
LOWER FLOOR	123.55
UPPER FLOOR	133.03
PORCH	11.02
BALCONY FRONT	11.16
GARAGE	35.02

**NOTE:**  
RECESSED SLAB TO  
LAUNDRY & POWDER ROOM

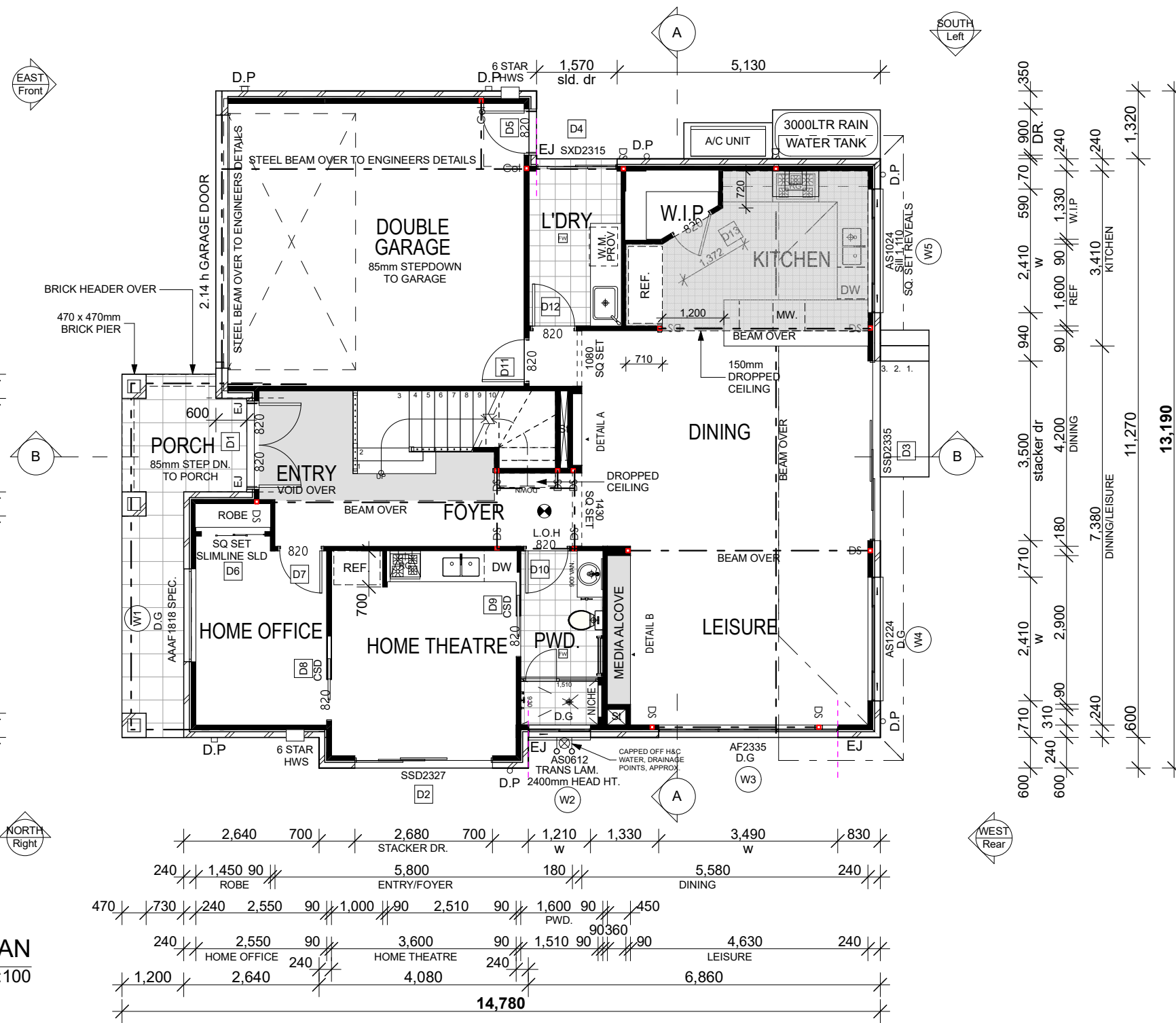


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RECESSED SLAB TO  
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**NOTE:**  
- APPLIANCES ARE INDICATIVE, REFER TO SELECTIONS FOR DETAILS.  
- ALL CABINERY DESIGN AND LAYOUT TO BE AS PER SUPPLIER'S DETAILS.  
- IN CASE OF ANY DISCREPANCY SUPPLIER'S DETAILS WILL PREVAIL.



**northern beaches council**

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**DA2020/0273**

**NOTE** PROVIDE DOUBLE GLAZING TO ENTIRE HOME

**NOTE** PROVIDE SQUARE SET CORNICES TO GROUND FLOOR AND FIRST FLOOR

**NOTE** PROVIDE SQUARE SET WINDOWS AND SLIDING DOOR REVEALS THROUGHOUT

**SIGNATURE ESSENTIALS**

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**GROUND FLOOR PLAN**  
1:100

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**PROJECT:**  
PROPOSED BRICK VENEER DWELLING

**CLIENT:**  
**MISS ALEGRE**

**ADDRESS:**  
**Lot No. 8 WARRIEWOOD ROAD  
WARRIEWOOD**

**LODGEMENT:**  
**D.A/C.C**

**DP No:**  
**1206507**

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A-4	LIVE TENDER	JD	2/8/19
A-5	LIVE TENDER D1	AES	05.08.19
B-6	SUBMISSION PLAN	DW	17/1/20

**JOB No:**  
**190036**

**DRAWN:**  
**DW**

**PLOT DATE:**  
**11/02/2020**

**LGA:**  
**PITTWATER**

**SLAB CLASS:**  
**'H1' CLASS**

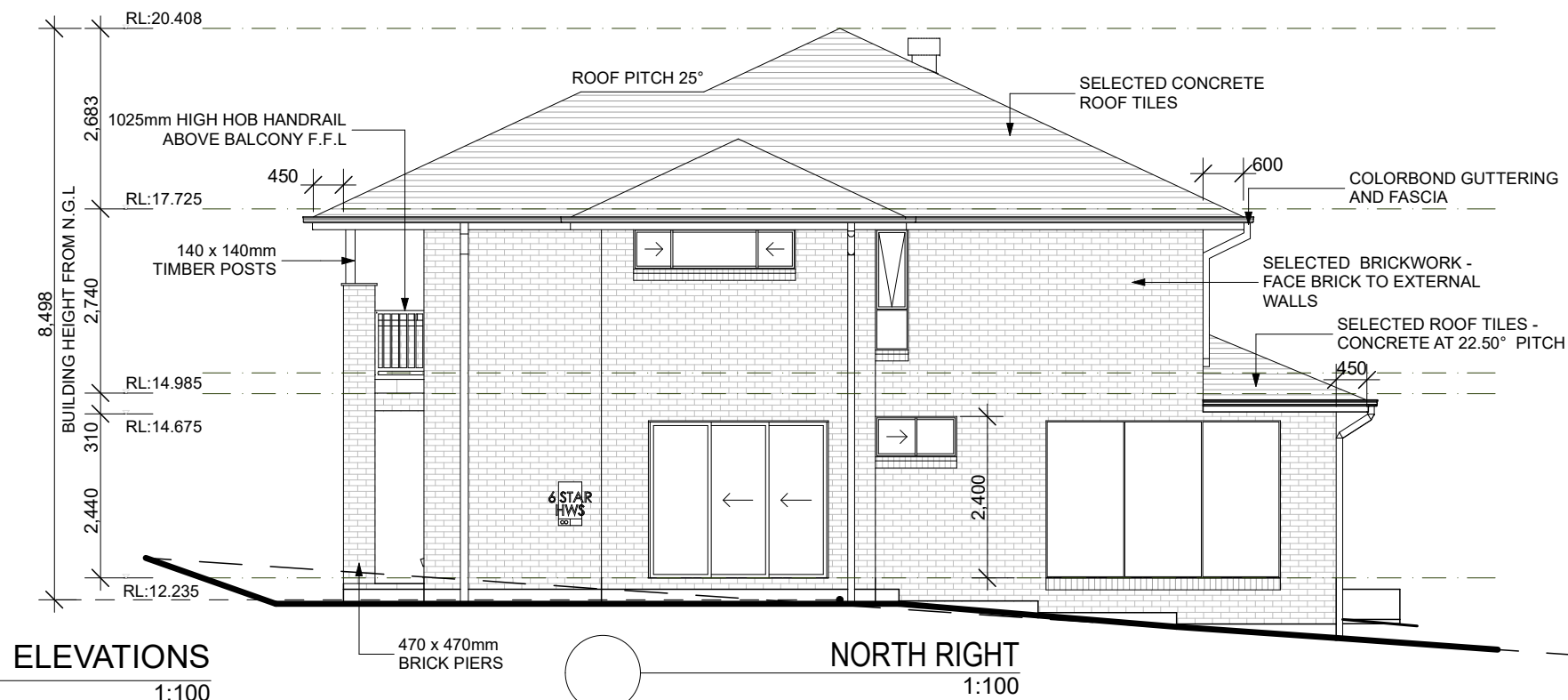
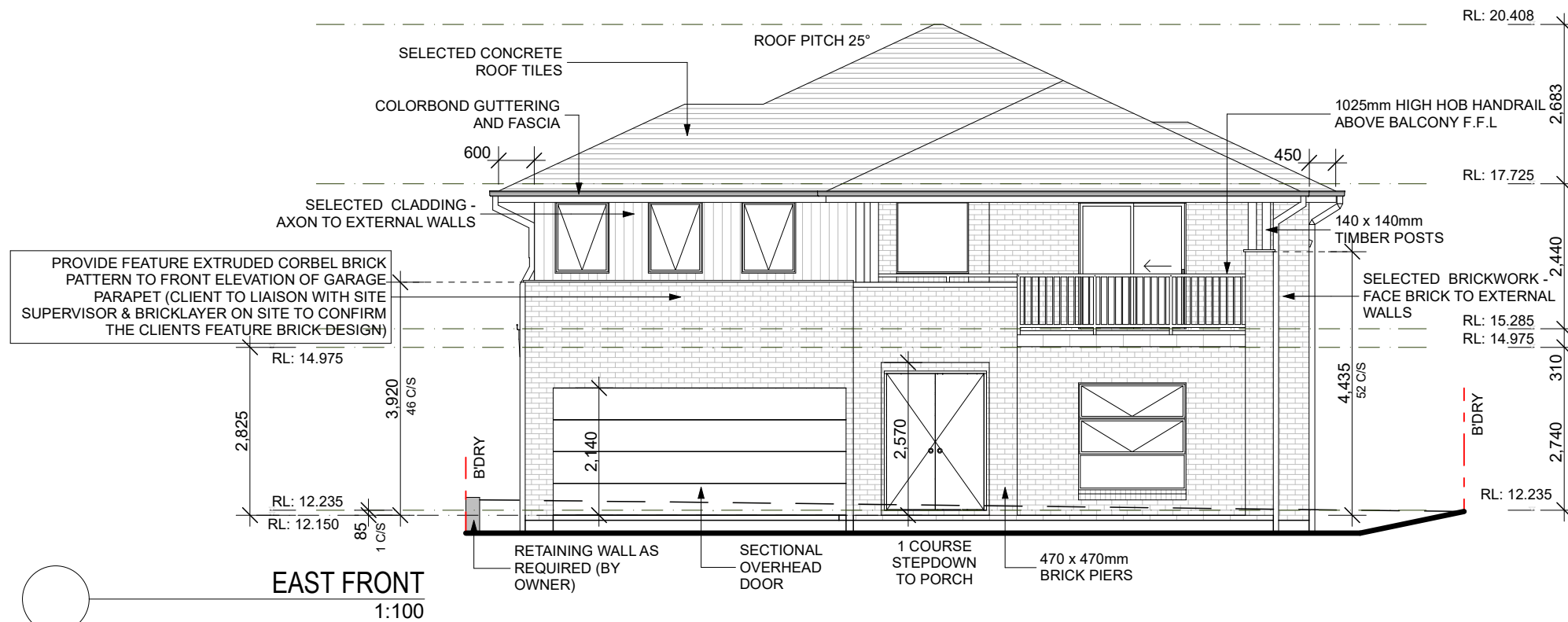
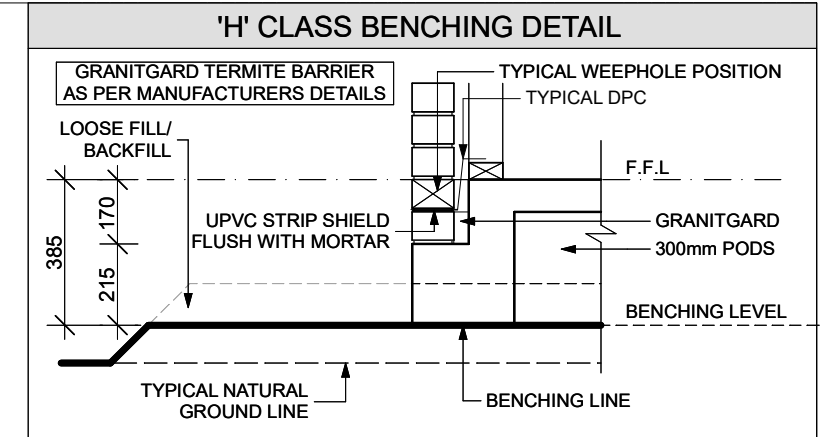
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**IMPRESSION 32**

**SHEET:**  
**5**

**FACEADE:**  
**AVANTI**



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**WISDOM**  
1300 855 775  
wisdomhomes.com.au

PROJECT:  
**PROPOSED BRICK VENEER DWELLING**

CLIENT:  
**MISS ALEGRE**

ADDRESS:  
**Lot No. 8 WARRIEWOOD ROAD  
 WARRIEWOOD**

EXHAUST FAN  
 SMOKE ALARM AS 3786-1993

LODGEMENT: **D.A/C.C**  
 DP No: **1206507**

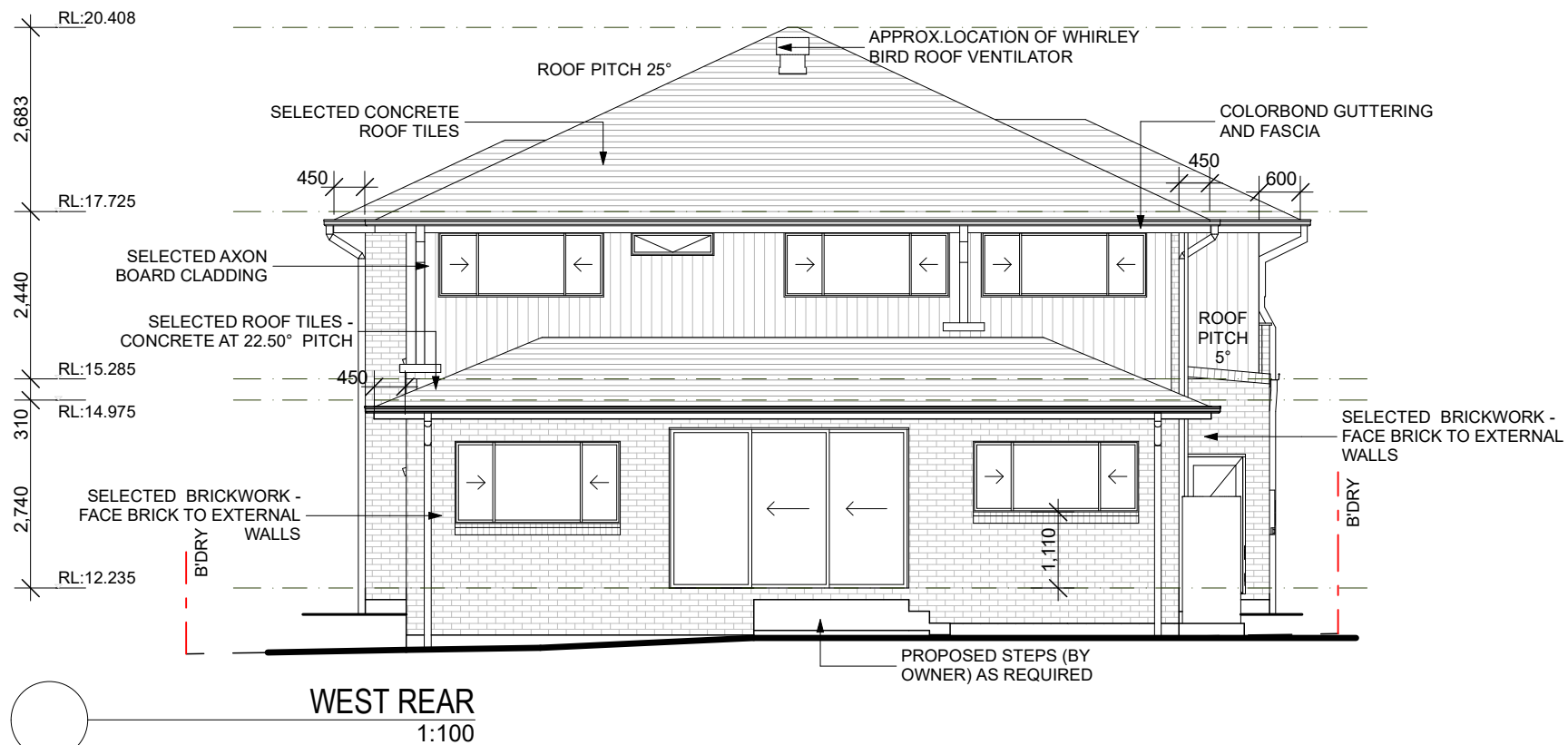
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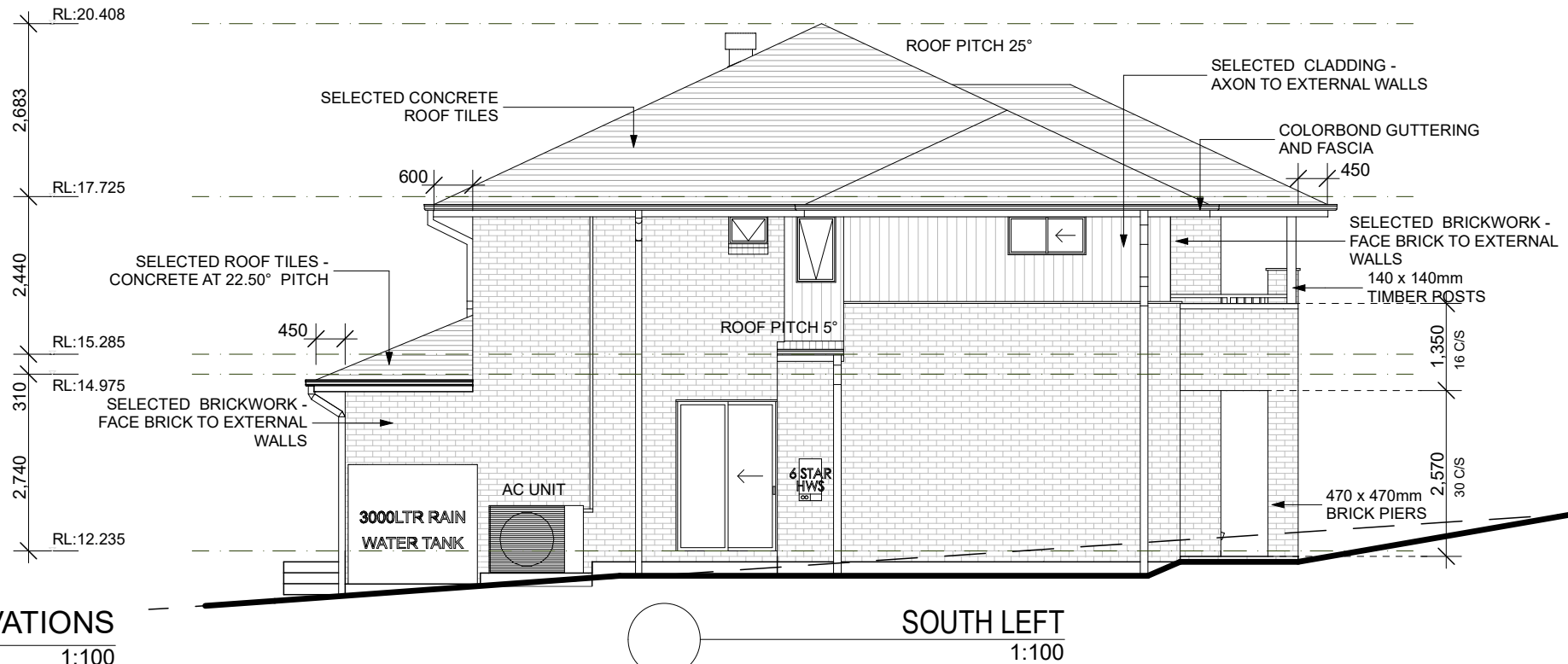
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JOB No: <b>190036</b>	DRAWN: <b>DW</b>
PLOT DATE: <b>11/02/2020</b>	LGA: <b>PITTWATER</b>
DESIGN: <b>IMPRESSION 32</b>	SHEET: <b>7</b>
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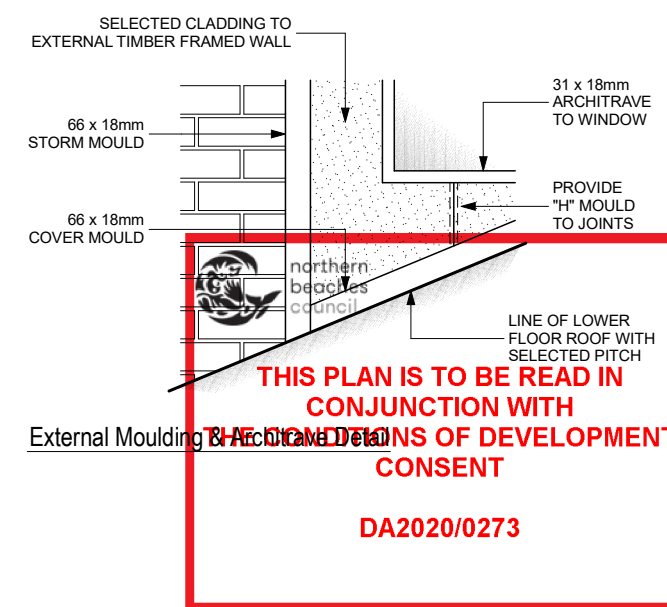
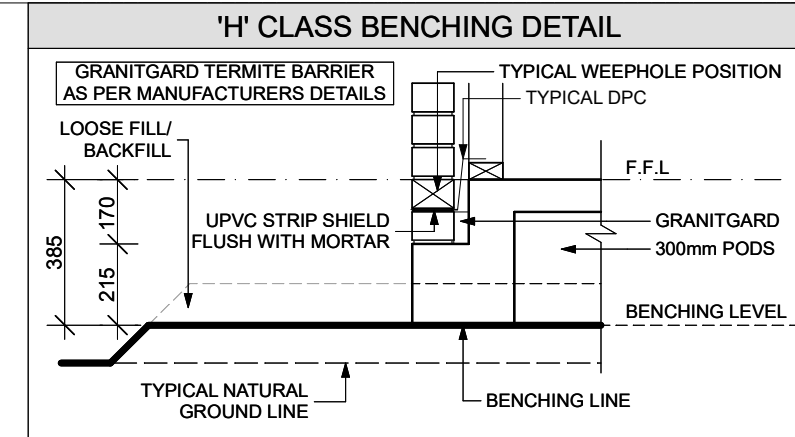


**WEST REAR**  
1:100



**ELEVATIONS**  
1:100

**SOUTH LEFT**  
1:100



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DESIGN: <b>IMPRESSION 32</b>	SHEET: <b>8</b>
FACADE: <b>AVANTI</b>	V18

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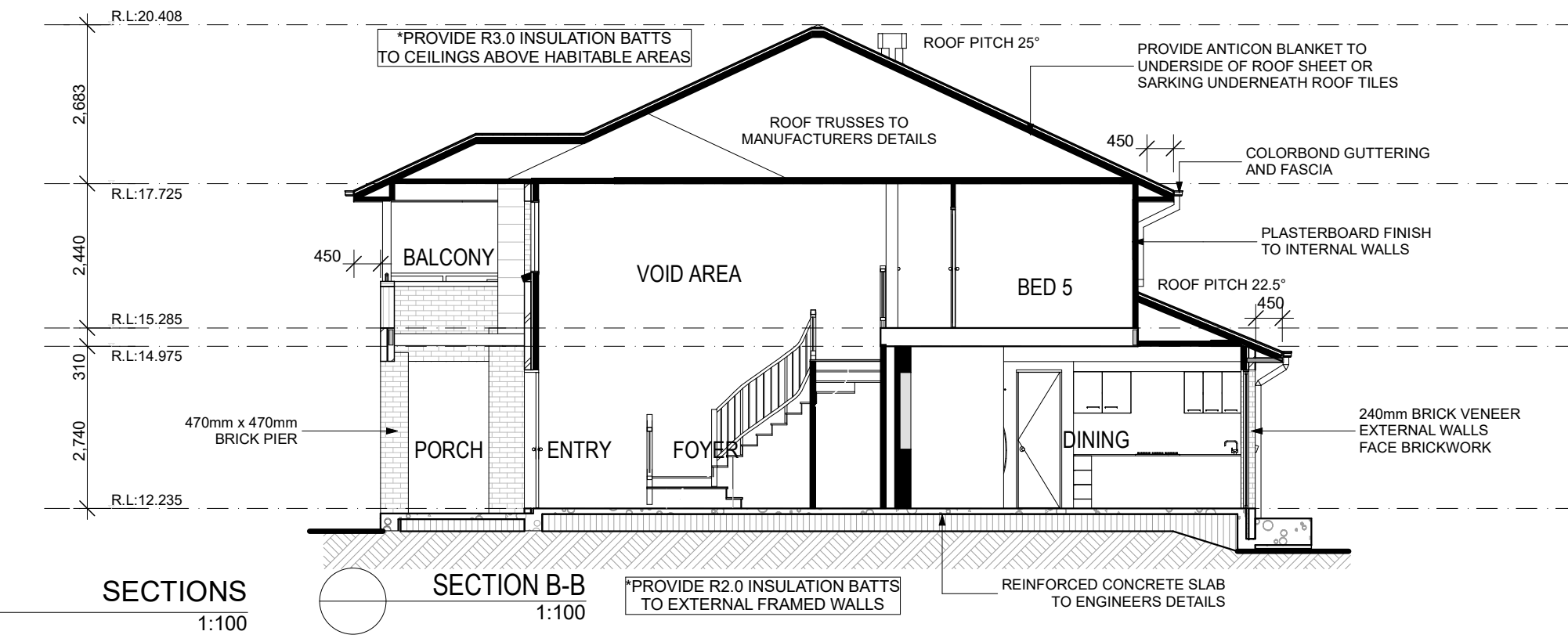
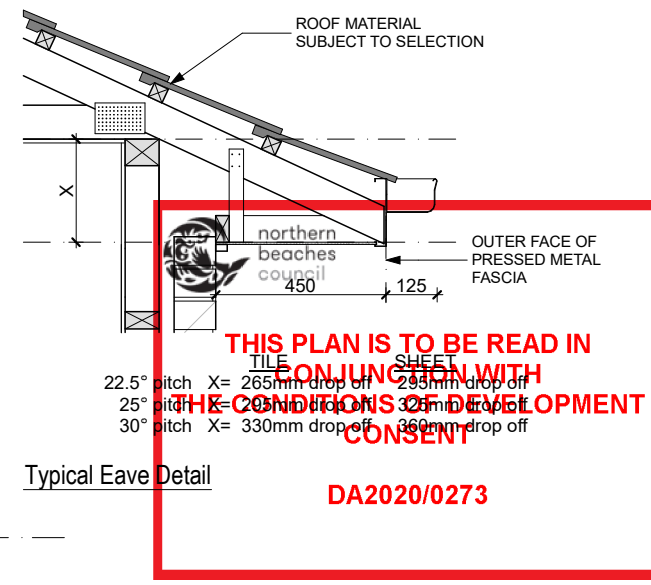
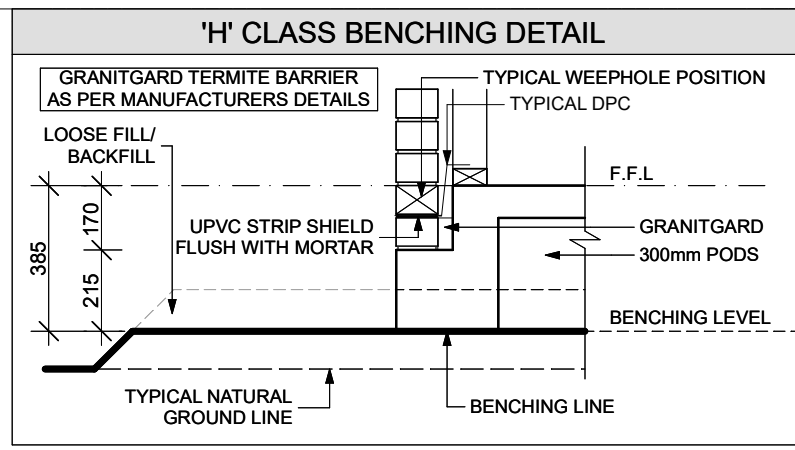
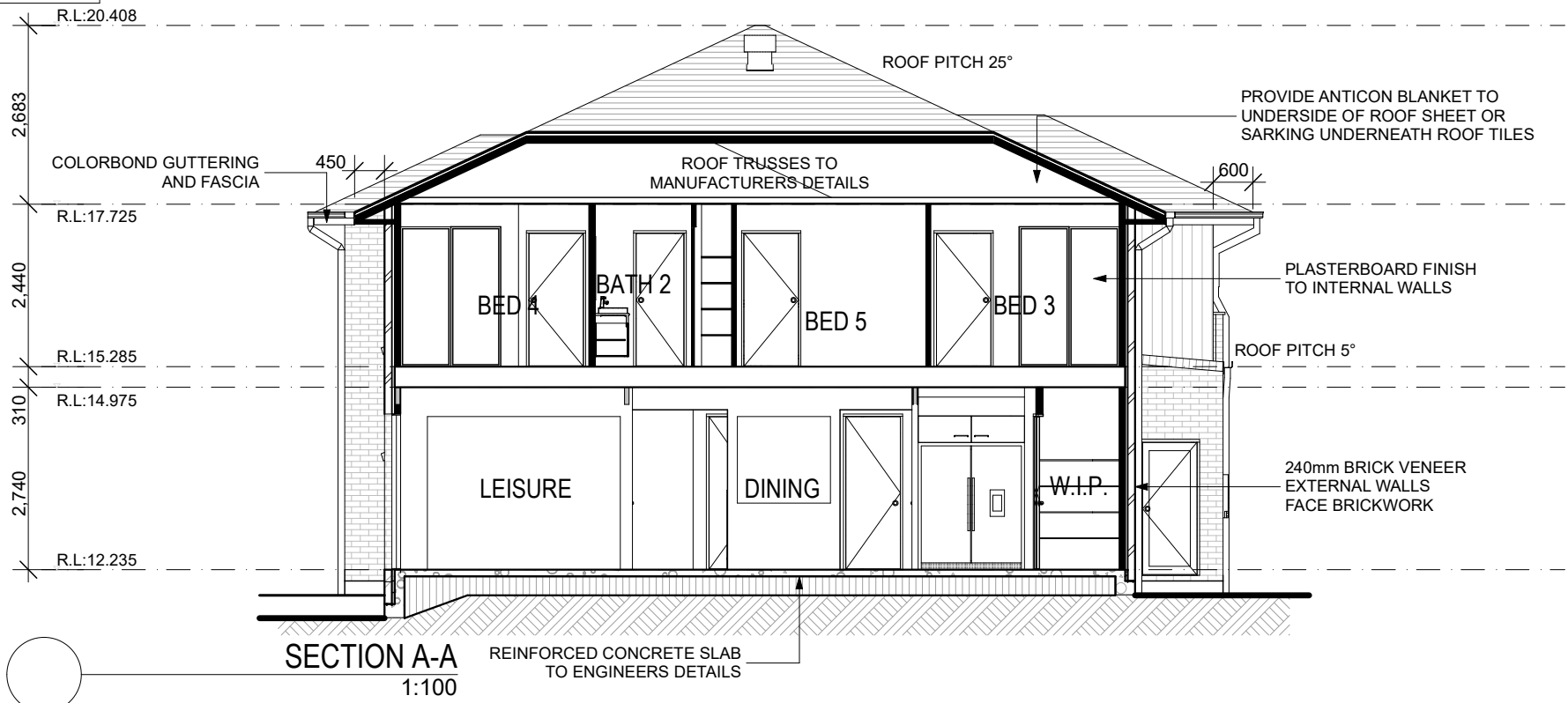
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 ADDRESS:  
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EXHAUST FAN  
 SMOKE ALARM AS 3786-1993  
 LODGEMENT: **D.A/C.C** DP No: **1206507**

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<b>DRAWN:</b> DW <b>PLOT DATE:</b> 11/02/2020 <b>SLAB CLASS:</b> 'H1' CLASS <b>SHEET:</b> 9	<b>V18</b>

