

LEGEND	
	BUILDING
	CONCRETE SURFACE
	PAVED AREA
	GRASS AREA
	WALL
	COVERED AREA
X36.63	SURVEY SHOT R.L.
39.60V	UNDERSIDE OF VERANDAH R.L.
42.07UG	UNDERSIDE OF GUTTER R.L.
35.90W	DRIVEWAY R.L.
36.77TD	TOP OF DOOR R.L.
36.47TW	TOP OF WALL/RETAINING WALL R.L.

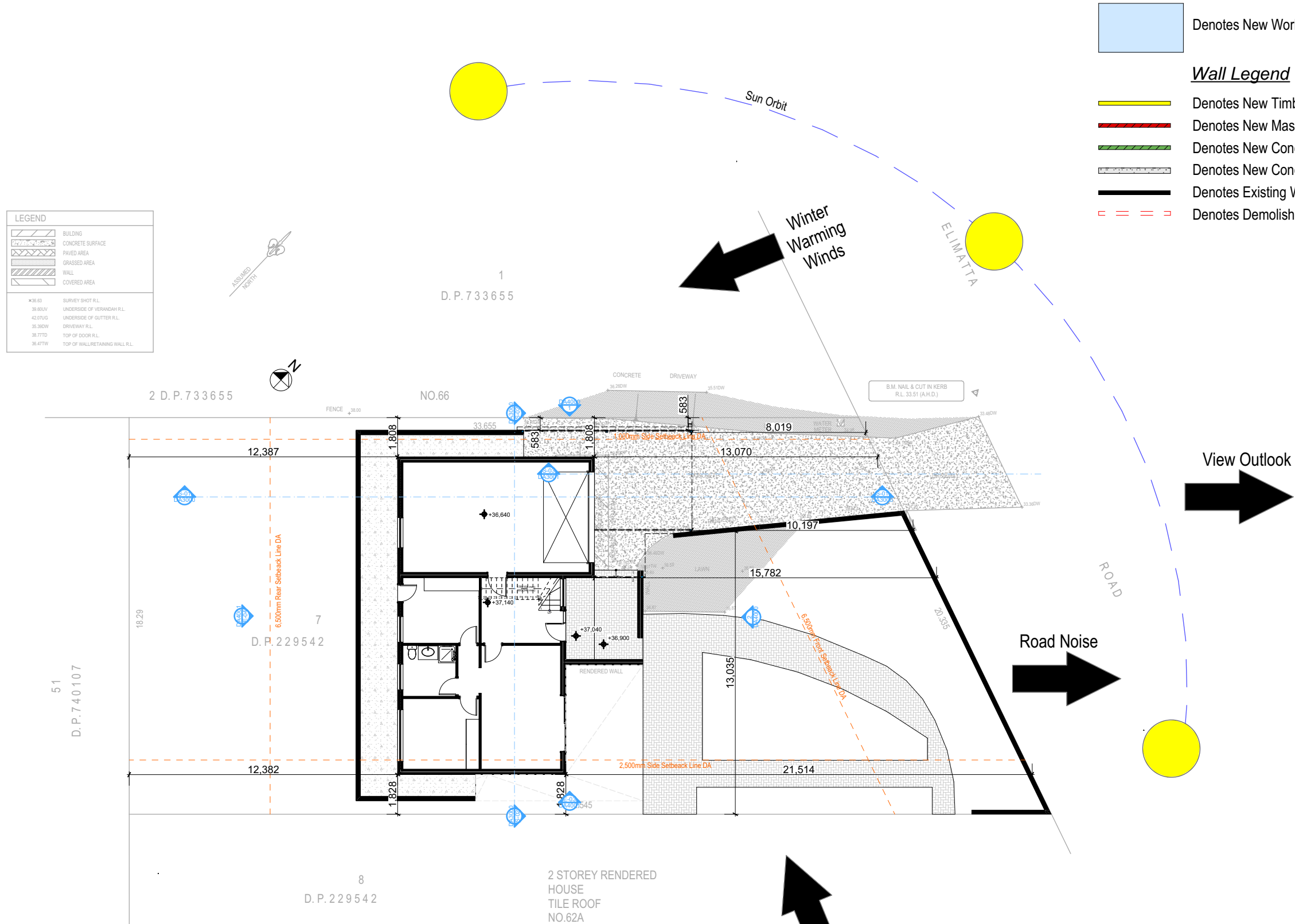
1.
-

SITE PLAN
1:200



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/0134



Denotes New Works

Wall Legend



Denotes New Timber Framed Wall



Denotes New Masonry Wall



Denotes New Concrete Block Wall



Denotes New Concrete



Denotes Existing Wall



Denotes Demolished Item



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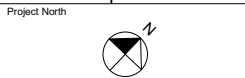
NOTES
64 Elimatta Road Mona Vale NSW 2103 is zoned E4 - Environmental Living
64 Elimatta Road Mona Vale NSW 2103 is not considered a heritage item
New Works to be constructed shown in ShadedBlue

Construction
Steel Frame Structure With Composite Sheet Metal Roofing Panels
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Furniture Management to BCA and AS 3660.1
Glazing to BCA and AS 1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Site Information	Prop.	Comp.
Site Area	696.73m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Min. side bdy setback (Min.)	1m & 2.5m	Yes
Building envelope	3m@ 45Deg	Yes
% of landscape open space (60% min)	54%	Yes
Impervious area (m ²)	43%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 30/03/2020
Project NO. RP08198UL
Project Status DA Rev1

Client Jim Bullough

Site: 64 Elimatta Road Mona Vale NSW 2103

DRAWING TITLE :
SITE AND LOCATION
SITE PLAN

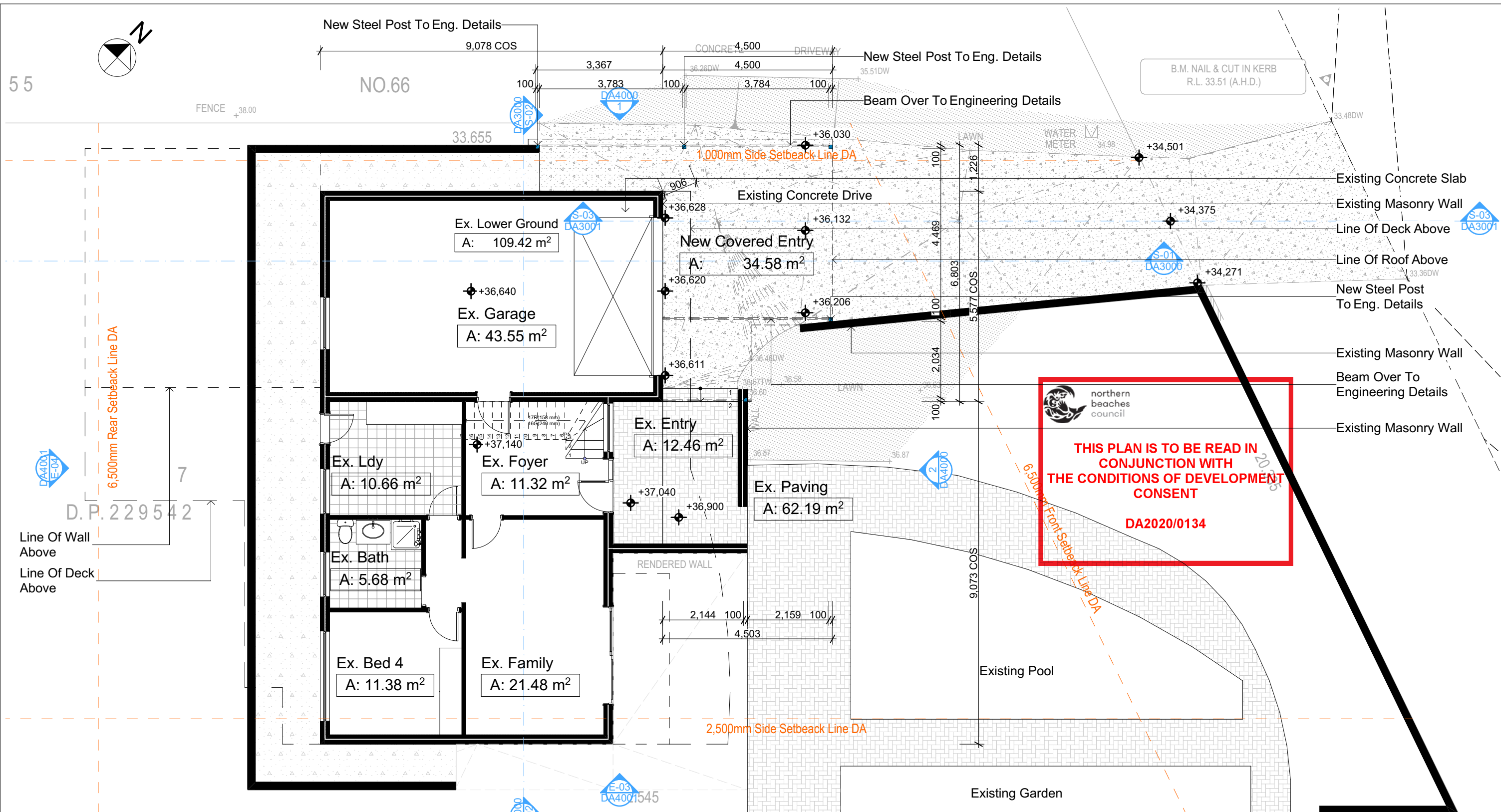
PROJECT NAME :
New Covered Entry

REVISION NO.

DRAWING NO.
DA1003

Plot Date: 30/03/2020

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans



1 GARAGE
1:100

**DA APPLICATION
ONLY**
NOT FOR CONSTRUCTION

NOTES
64 Elmatta Road Mona Vale NSW 2103 is zoned E4 - Environmental Living
New Works to be constructed shown in Shaded/Blue
64 Elmatta Road Mona Vale NSW 2103 is not considered a heritage item

Certifying
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Construction
Steel Frame Structure With Composite Sheet Metal Roofing Panels
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All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.73m²	Yes	Building envelope	3m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (60% min)	54%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m²)	43%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.5m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1m & 2.5m	Yes			



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Lot 7 D P 229542

Prior to Commencement
Builder to Check and Confirm all Measurements Prior to Commencement of any works.
Immediately Report any Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

GBJ
30/03/2020
RP0819BUL
DA Rev1
Client
Site:
Jim Bullough
64 Elmatta Road Mona Vale NSW 2103

DRAWING TITLE :

PLANS
GARAGE & DRIVEWAY

PROJECT NAME :

New Covered Entry

REVISION NO.

DRAWING NO.

DA2001

'E'WAY R.L.
OF DOOR R.L.
OF WALL/RETAINING WALL R.L.

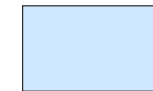


**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/0134

2 D.P.733655

NO.66



Denotes New Works

Wall Legend



Denotes New Timber Framed Wall



Denotes New Masonry Wall



Denotes New Concrete Block Wall



Denotes New Concrete



Denotes Existing Wall



Denotes Demolished Item



Rapid Plans
Building Design and Architectural Drafting
PO Box 4239 Rydges Forest NSW 2103
Tel: (02) 9505-8545 Mobile: 0414-545-024
Email: info@rapidplans.com.au

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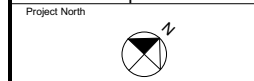
NOTES
64 Elmatta Road Mona Vale NSW 2103 is zoned E4 - Environmental Living
64 Elmatta Road Mona Vale NSW 2103 is not considered a heritage item
New Works to be constructed shown in ShadedBlue

Construction
Steel Frame Structure With Composite Sheet Metal Roofing Panels
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Furniture Management to BCA and AS 3660.1
Glazing to BCA and AS2042
Waterproofing to BCA and AS 3747
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Site Information	Prop.	Comp.
Site Area	696.73m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
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Rear Setback (Min.)	6.5m	Yes
Min. side bdy setback (Min.)	1m & 2.5m	Yes
Building envelope	3m@ 45Deg	Yes
% of landscape open space (60% min)	54%	Yes
Impervious area (m ²)	43%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 30/03/2020
Project NO: RP08198UL
Project Status DA Rev1

Client Jim Bullough

Site: 64 Elmatta Road Mona Vale NSW 2103

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DRAWING TITLE:
PLANS
GROUND FLOOR

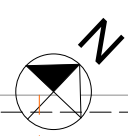
PROJECT NAME:
New Covered Entry

REVISION NO.

DRAWING NO.
DA2002

Plot Date: 30/03/2020

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Rapid Plans - DA Plans Rev 1.0



FENCE +38.00

33.655

CONCRETE

DRIVEWAY

36.26DW

36.43DW

New Colourbond Guttering

Line Of Post Below

Existing Masonry Wall

Line Of Roof Above

New Sheet Metal Composite Roof Panels To Manufacturers Details. Pitch 3°

Line Of Post Below

Existing Concrete Slab

Existing Pool

Ex. Kitchen
A: 34.16 m²

Ex. Lounge
A: 18.76 m²

Ex. Sitting
A: 18.99 m²

Exist. Balcony
A: 31.49 m²

Ex. Deck Area
A: 30.10 m²

Ex. Ldy
A: 4.37 m²

Dr Tub WM

Ex. WC
A: 2.21 m²

Ex. Bath
A: 3.68 m²

Ex. Bed 2
A: 9.82 m²

Ex. Bed 3
A: 29.72 m²

Ex. Master
A: 110.06 m²

Ex. En

Ex. Paving
A: 62.21 m²

2,500mm Side Setback Line DA

6,500mm Front Setback Line DA

D.P. 229542

6,500mm Rear Setback Line DA

GROUND FLOOR
1:100

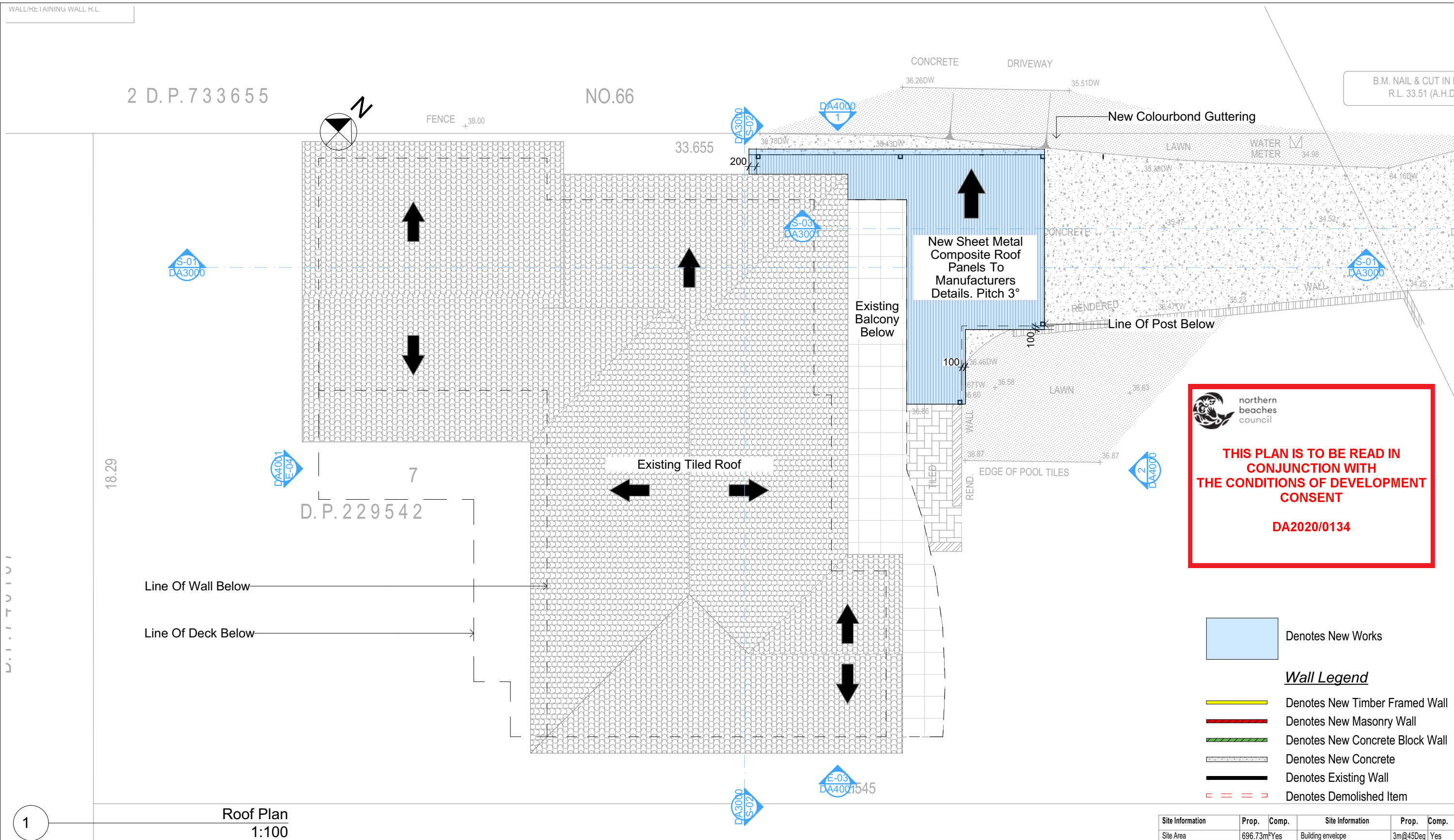
2

STAGE DENIED

2 D.P.733655

NO.66

B.M. NAIL & CUT IN I
R.L. 33.51 (A.H.D)



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0134

- Denotes New Works
- Wall Legend**
- Denotes New Timber Framed Wall
 - Denotes New Masonry Wall
 - Denotes New Concrete Block Wall
 - Denotes New Concrete
 - Denotes Existing Wall
 - Denotes Demolished Item

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.73m²	Yes	Building envelope	3m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (60% min)	54%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m²)	43%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.5m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1m & 2.5m	Yes			

1

Roof Plan
1:100

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
64 Elimatta Road Mona Vale NSW 2103 is zoned E4 - Environmental Living
New Works to be constructed shown in Shaded/Blue
64 Elimatta Road Mona Vale NSW 2103 is not considered a heritage item

Certifying
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Construction
Steel Frame Structure With Composite Sheet Metal Roofing Panels
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All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps



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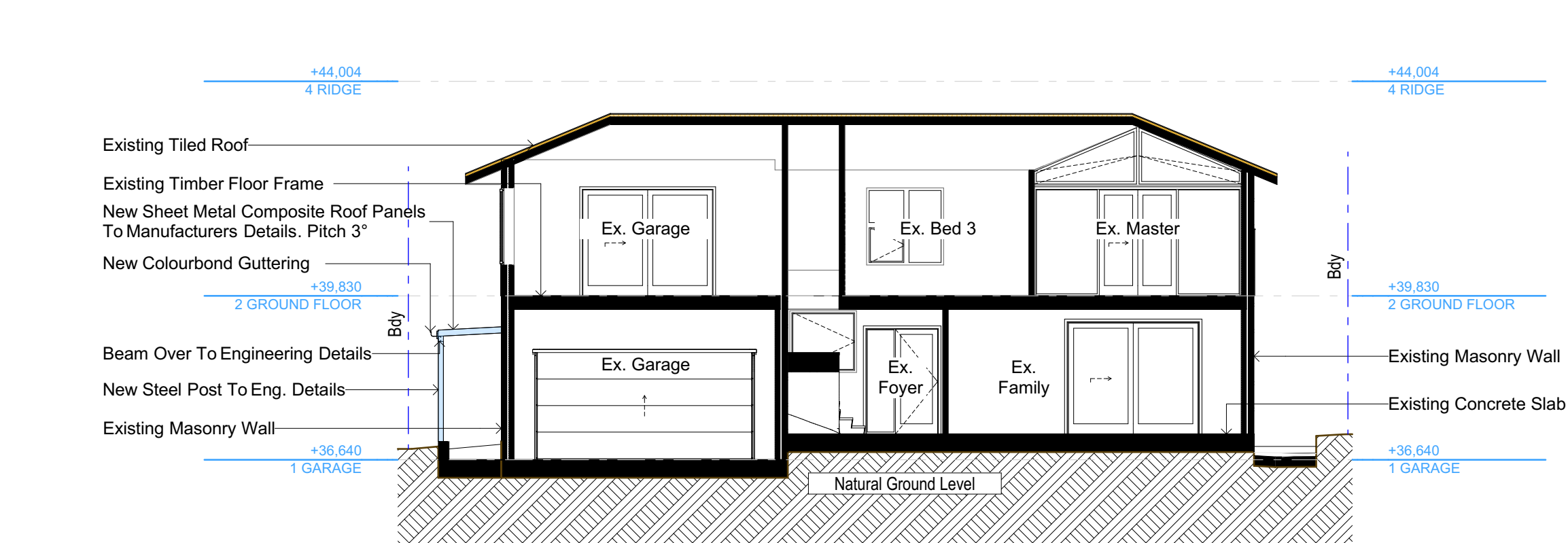
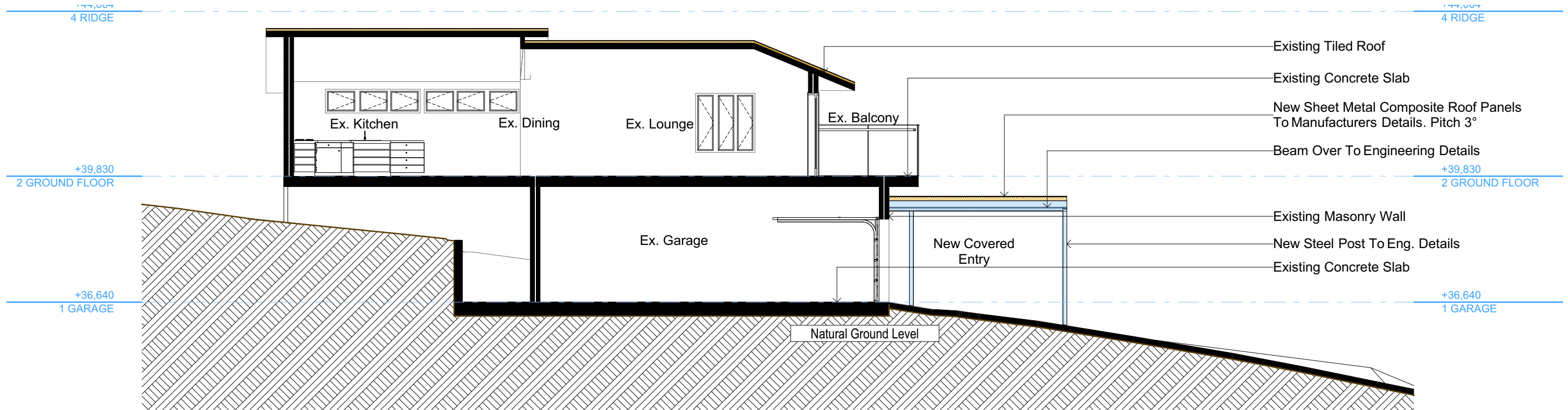


Prior to Commencement
Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

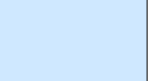






Checked Plot Date: 30/03/2020
Project NO: RP0819BUL
DA Rev1
Client Site: Jim Bullough
64 Elimatta Road Mona Vale NSW 2103

DRAWING TITLE :
PLANS ROOF
PROJECT NAME :
New Covered Entry

REVISION NO.
DRAWING NO.
DA2003



 **THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**
DA2020/0134

-  Denotes New Works
- Wall Legend**
-  Denotes New Timber Framed Wall
 -  Denotes New Masonry Wall
 -  Denotes New Concrete Block Wall
 -  Denotes New Concrete
 -  Denotes Existing Wall
 -  Denotes Demolished Item

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
64 Elimatta Road Mona Vale NSW 2103 is zoned E4 - Environmental Living
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Construction
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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.73m²	Yes	Building envelope	3m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (60% min)	54%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m²)	43%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.5m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1m & 2.5m	Yes			



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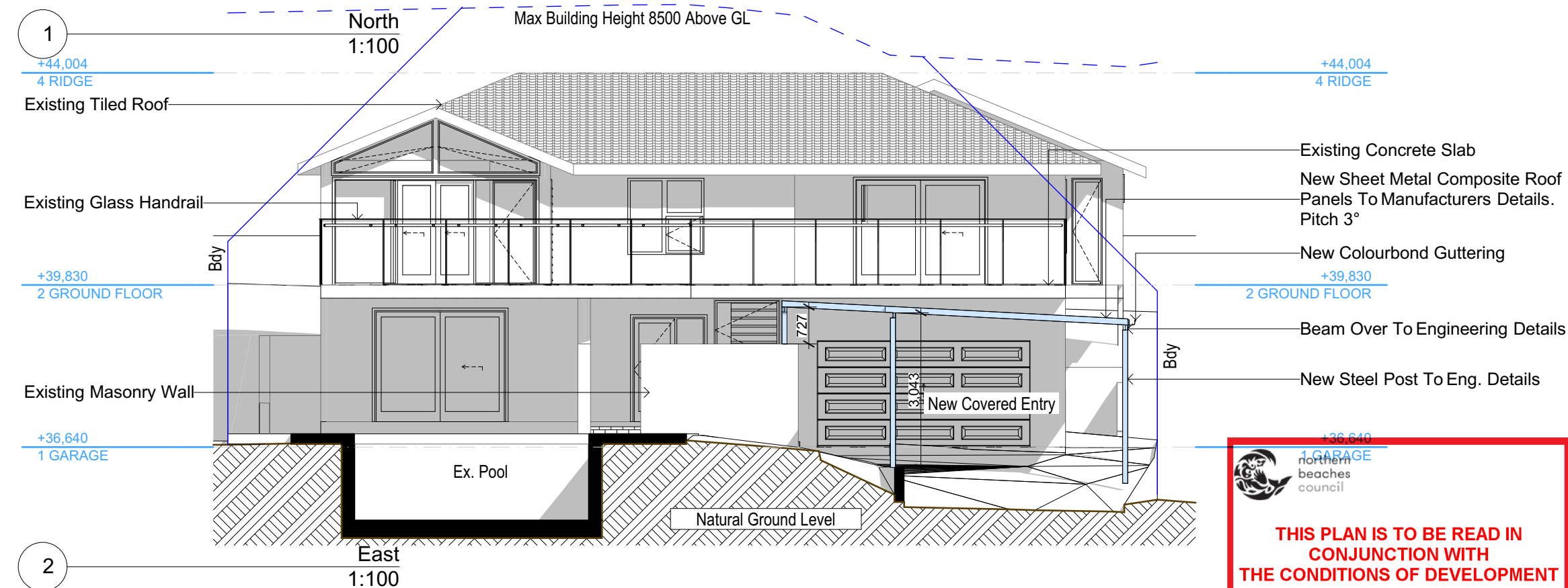
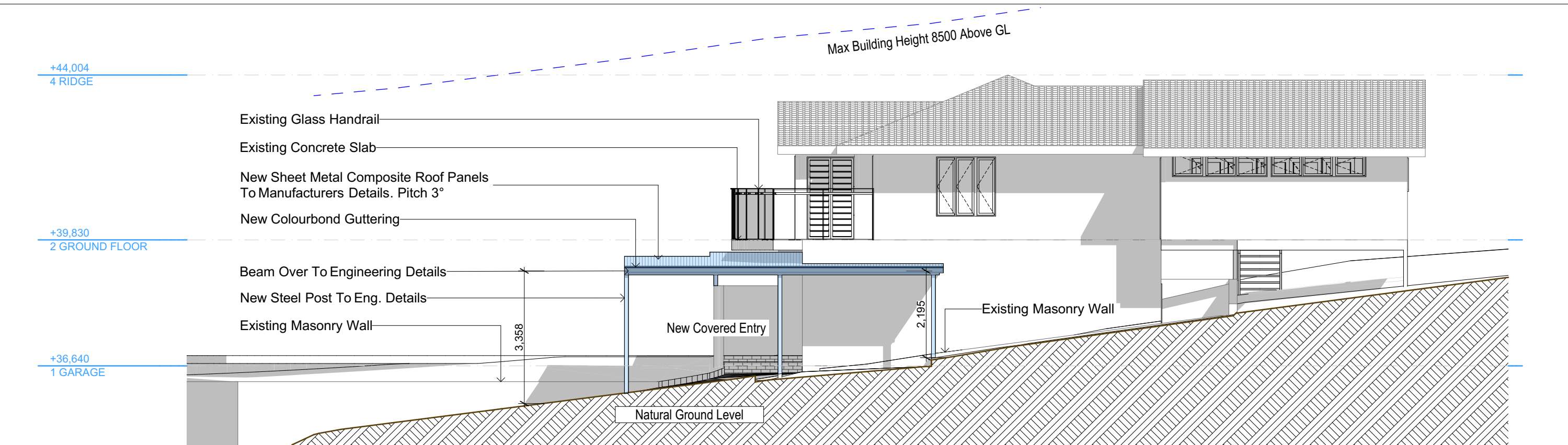
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Let 7 D P 22942
Prior to Commencement
Builder to Check and Confirm all Measurements and Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North
Checked Plot Date: 30/03/2020
Project NO: RP0819BUL
Project Status: DA Rev1
Client Site: Jim Bullough
64 Elimatta Road Mona Vale NSW 2103

DRAWING TITLE :
SECTIONS 1
PROJECT NAME :
New Covered Entry
REVISION NO.
DRAWING NO.
DA3000



- Denotes New Works
- Wall Legend**
- Denotes New Timber Framed Wall
 - Denotes New Masonry Wall
 - Denotes New Concrete Block Wall
 - Denotes New Concrete
 - Denotes Existing Wall
 - Denotes Demolished Item

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/0134

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.73m²	Yes	Building envelope	3m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (60% min)	54%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m²)	43%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.5m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1m & 2.5m	Yes			

**DA APPLICATION
ONLY**
NOT FOR CONSTRUCTION

NOTES
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Construction
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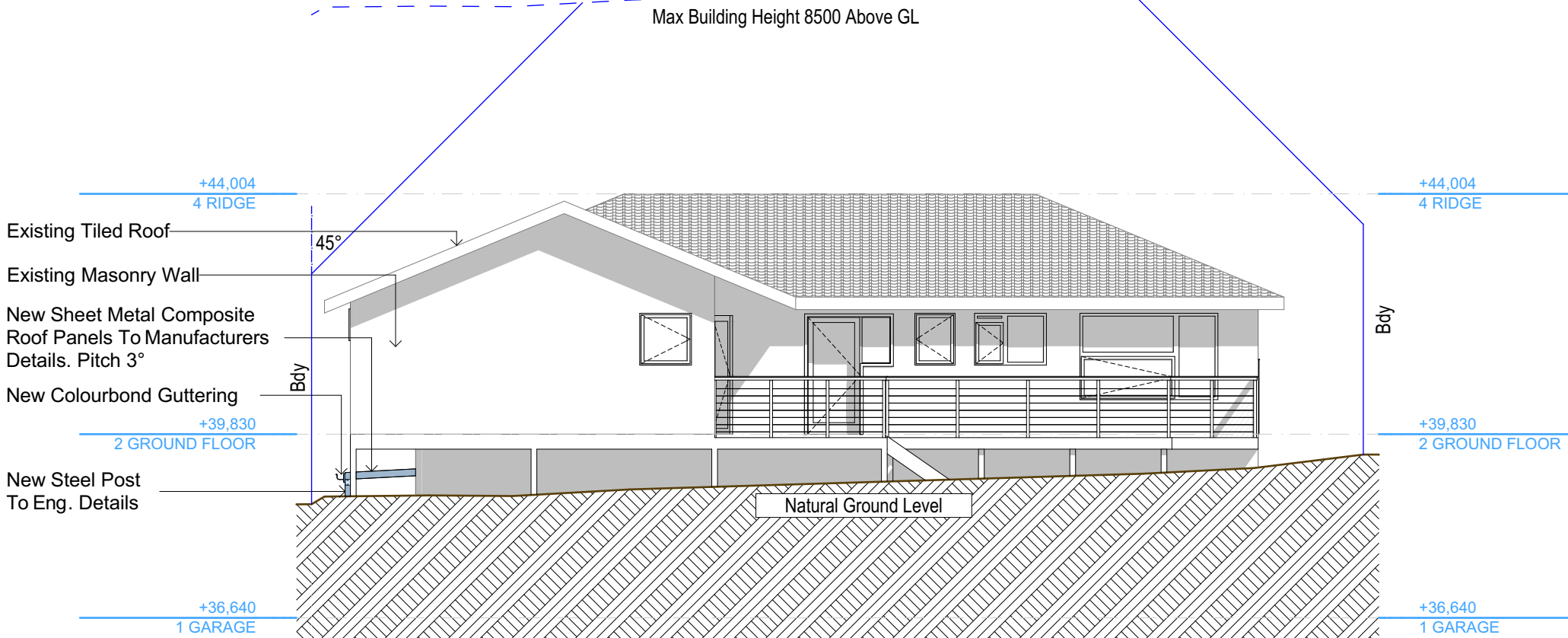


Prior to Commencement
Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Checked Plot Date: Project NO. Project Status
Client Site: Jim Bullough 64 Elimatta Road Mona Vale NSW 2103

DRAWING TITLE :
ELEVATIONS 1
PROJECT NAME :
New Covered Entry

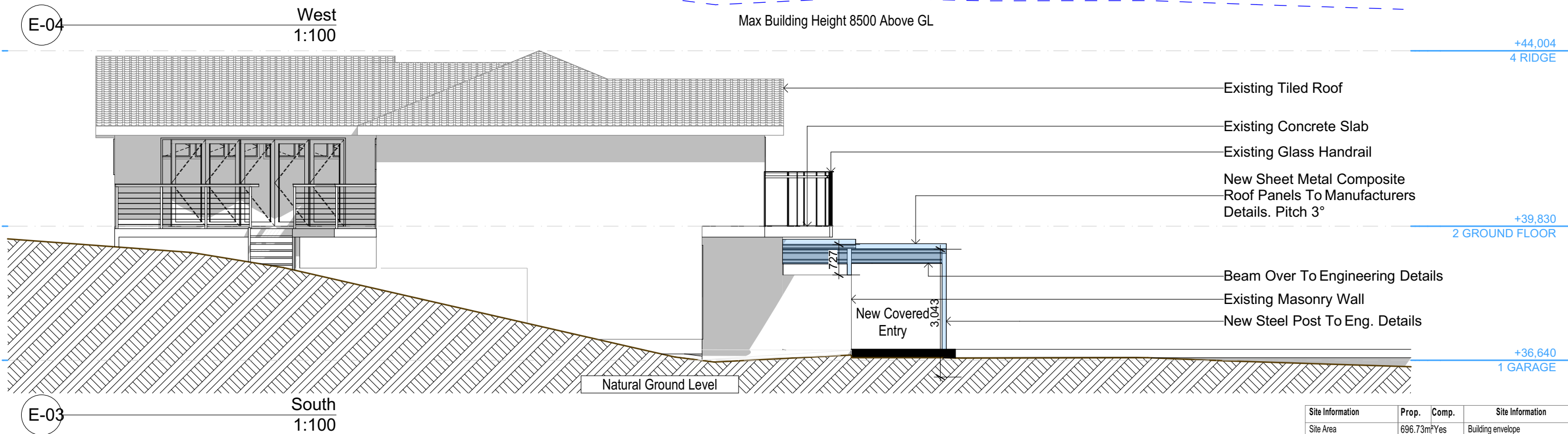
REVISION NO.
DRAWING NO.
DA4000



- Denotes New Works
- Wall Legend**
- Denotes New Timber Framed Wall
 - Denotes New Masonry Wall
 - Denotes New Concrete Block Wall
 - Denotes New Concrete
 - Denotes Existing Wall
 - Denotes Demolished Item

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0134



DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
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Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	696.73m²	Yes	Building envelope	3m@45Deg	Yes
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Min. side bdy setback (Min.)	1m & 2.5m	Yes			



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Prior to Commencement
Builder to Check and Confirm all Measurements and Dimensions to Rapid Plans
Immediately Report any Discrepancies to Rapid Plans

Checked Plot Date: 30/03/2020
Project NO: RP0819BUL
Project Status: DA Rev1
Client Site: Jim Bullough
64 Elimatta Road Mona Vale NSW 2103

DRAWING TITLE :
ELEVATIONS 2
PROJECT NAME :
New Covered Entry

REVISION NO.
DRAWING NO.
DA4001