



NUMBER	SHEET NAME	REV DATE	REVISION DESCRIPTION
DA-000	COVER PAGE	11/12/2020	DA SUBMISSION
DA-001	SITE ANALYSIS AND ROOF PLAN	11/12/2020	DA SUBMISSION
DA-100	EXISTING AND DEMOLITION GROUND PLAN	11/12/2020	DA SUBMISSION
DA-110	EXISTING AND DEMOLITION FIRST PLAN	11/12/2020	DA SUBMISSION
DA-120	EXISTING AND DEMOLITION SECOND PLAN	11/12/2020	DA SUBMISSION
DA-130	EXISTING AND DEMOLITION THIRD PLAN	11/12/2020	DA SUBMISSION
DA-200	PROPOSED GROUND FLOOR PLAN	11/12/2020	DA SUBMISSION
DA-210	PROPOSED FIRST FLOOR PLAN	11/12/2020	DA SUBMISSION
DA-220	PROPOSED SECOND FLOOR PLAN	11/12/2020	DA SUBMISSION
DA-230	PROPOSED THIRD FLOOR PLAN	11/12/2020	DA SUBMISSION
DA-300	THE CORSO ELEVATION	11/12/2020	DA SUBMISSION
DA-310	MARKET LANE ELEVATION	11/12/2020	DA SUBMISSION
DA-320	EAST ELEVATION	11/12/2020	DA SUBMISSION
DA-330	WEST ELEVATION	11/12/2020	DA SUBMISSION
DA-400	LONG SECTION LIGHTWELL A	11/12/2020	DA SUBMISSION
DA-410	LONG SECTION LIGHTWELL B	11/12/2020	DA SUBMISSION
DA-420	CROSS SECTION LIGHTWELL A	11/12/2020	DA SUBMISSION
DA-430	CROSS SECTION LIGHTWELL B	11/12/2020	DA SUBMISSION
DA-500	SCHEDULE OF COLOURS AND MATERIALS	11/12/2020	DA SUBMISSION
DA-510	CONSTRUCTION WASTE MANAGEMENT SITE PLAN	11/12/2020	DA SUBMISSION
DA-511	PROPOSED WASTE MANAGEMENT SITE PLAN	11/12/2020	DA SUBMISSION
DA-512	HERITAGE CONSERVATION	11/12/2020	DA SUBMISSION
DA-513	HERITAGE INTERIOR SCOPE	11/12/2020	DA SUBMISSION

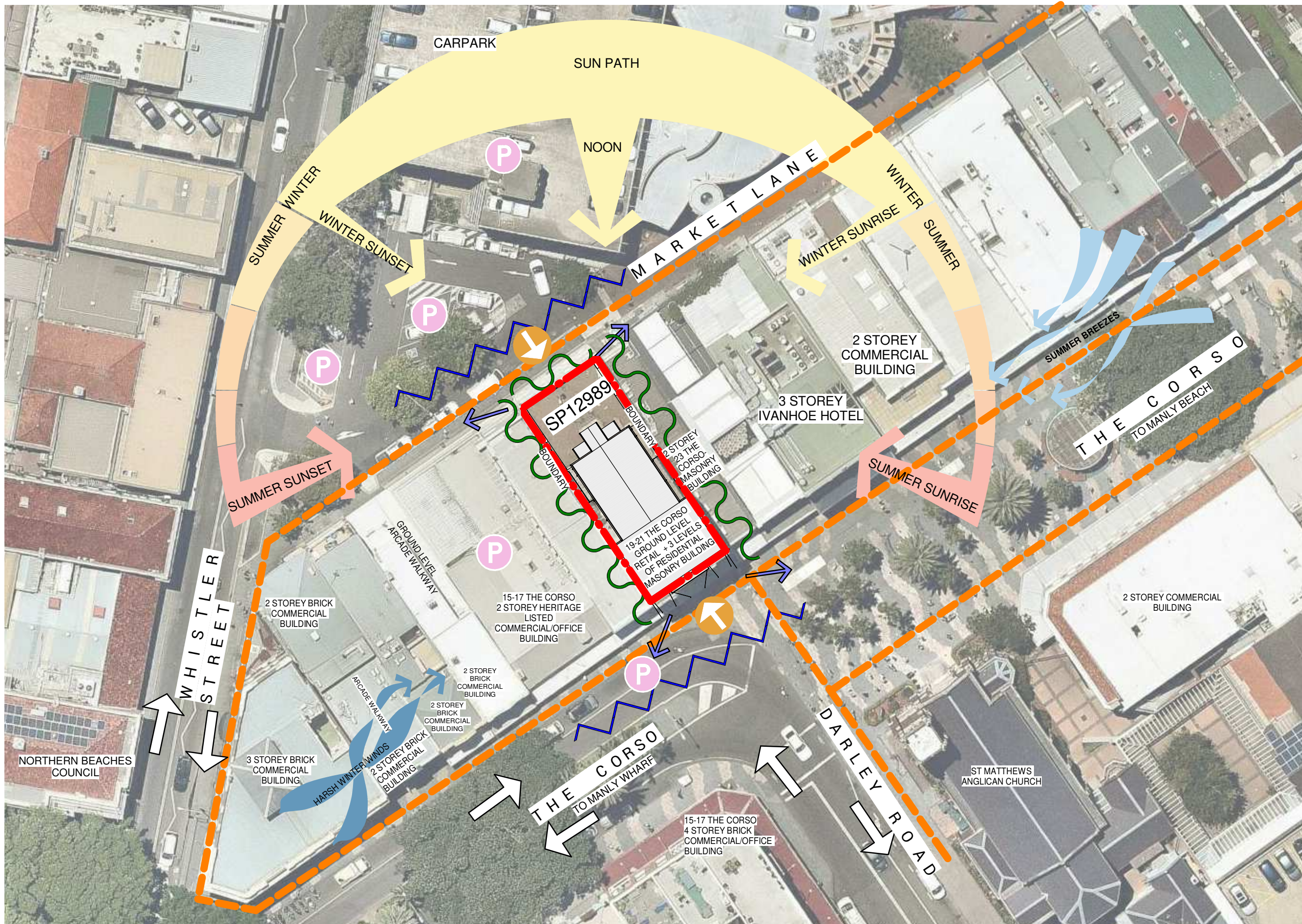
Issue			
No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS

Drawing Title
COVER PAGE

Project
MANLY CORSO APARTMENTS
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at
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Revision
A



LEGEND

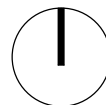
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- VIEWS
- SUN PATH DIAGRAM
- PREVAILING WIND DIRECTION
- BOUNDARY
- PRIVATE ACCESS PEDESTRIANS
- PARKING SYMBOL
- TRAFFIC NOISE
- PEDESTRIAN WALKWAY

Issue	No.	Date	Description	Chkd
A	1	11/12/2020	DA SUBMISSION	AS

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SITE ANALYSIS AND ROOF PLAN

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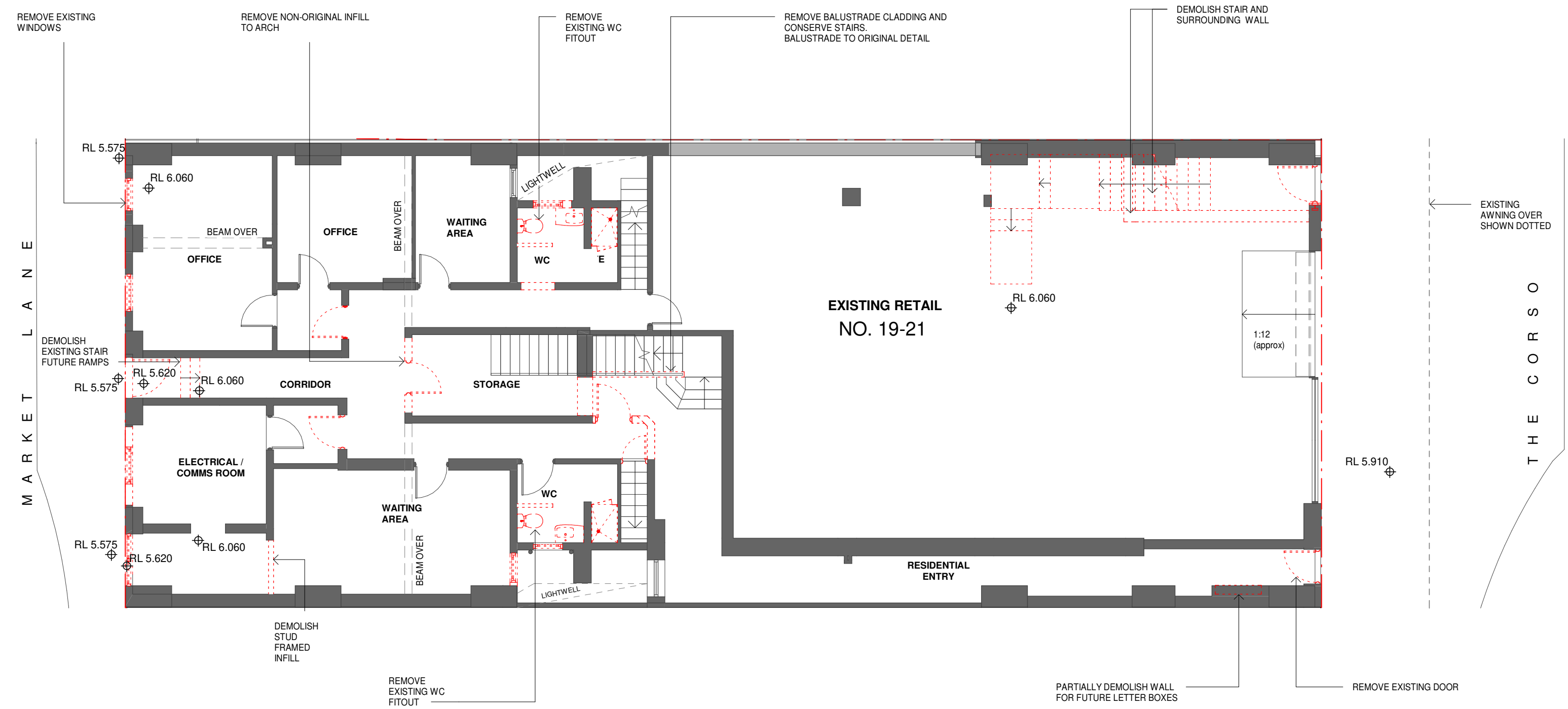


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Drawing Reference
17349-NBRS-A-DA-001

Revision
A

0 10 20 30 40 50



1 EXISTING AND DEMOLITION GROUND FLOOR PLAN
1 : 100

Issue No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS

EXISTING WALLS

NEW WORKS

WASTE MANAGEMENT

WORKS AS PART OF FIRE & SAFETY UPGRADE

TO BE DEMOLISHED

BOUNDARY LINE

Drawing Title
EXISTING AND DEMOLITION
GROUND PLAN

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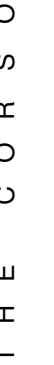
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17349-NBRS-A-DA-100

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A

0 10 20 30 40 50

 1 : 100

 EXISTING WALLS
 NEW WORKS


 WASTE MANAGEMENT

 WORKS AS PART
OF FIRE &
SAFETY
UPGRADE

----- TO BE DEMOLISHED

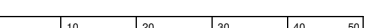
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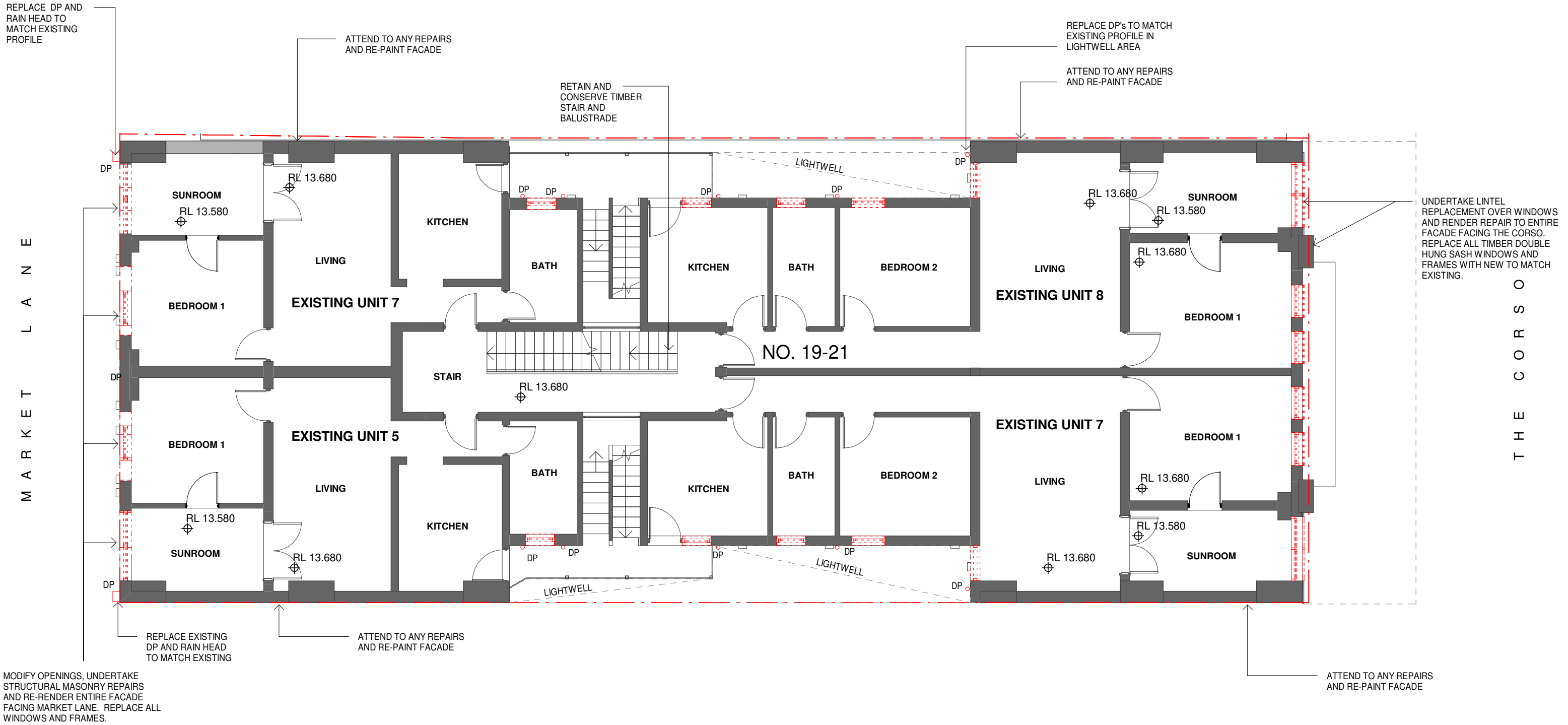
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Drawing Reference
17349-NBRS-A-DA-110

A





1 EXISTING AND DEMOLITION SECOND PLAN

Issue No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS

- EXISTING WALLS
- NEW WORKS
- WASTE MANAGEMENT

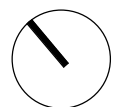
- WORKS AS PART OF FIRE & SAFETY UPGRADE

- TO BE DEMOLISHED
- BOUNDARY LINE

Drawing Title
EXISTING AND DEMOLITION
SECOND PLAN

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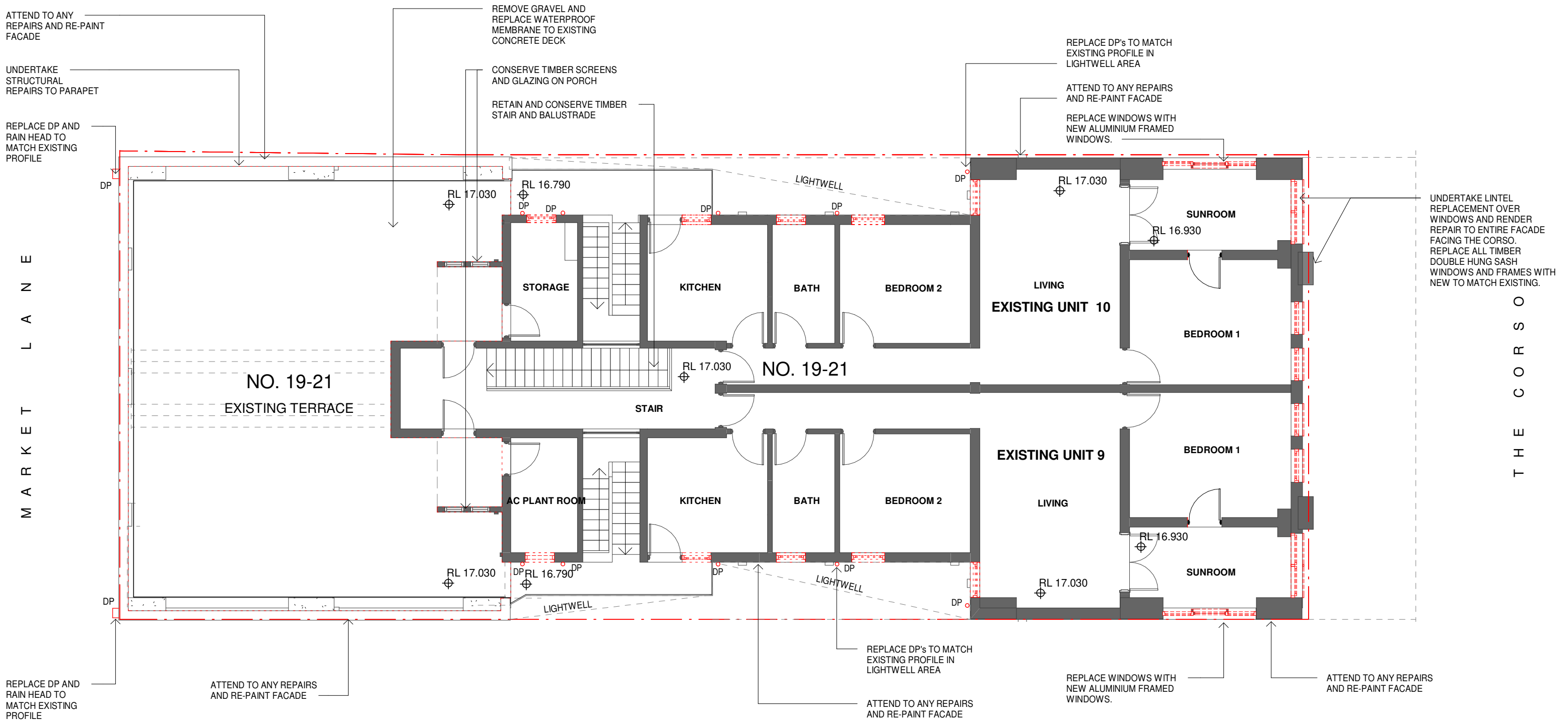


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17349-NBRSPARTNERS-A-DA-120

Revision
A

0 10 20 30 40 50



1 EXISTING AND DEMOLITION THIRD PLAN
1 : 100

Issue No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS

- EXISTING WALLS
- NEW WORKS
- WASTE MANAGEMENT

WORKS AS PART OF FIRE & SAFETY UPGRADE

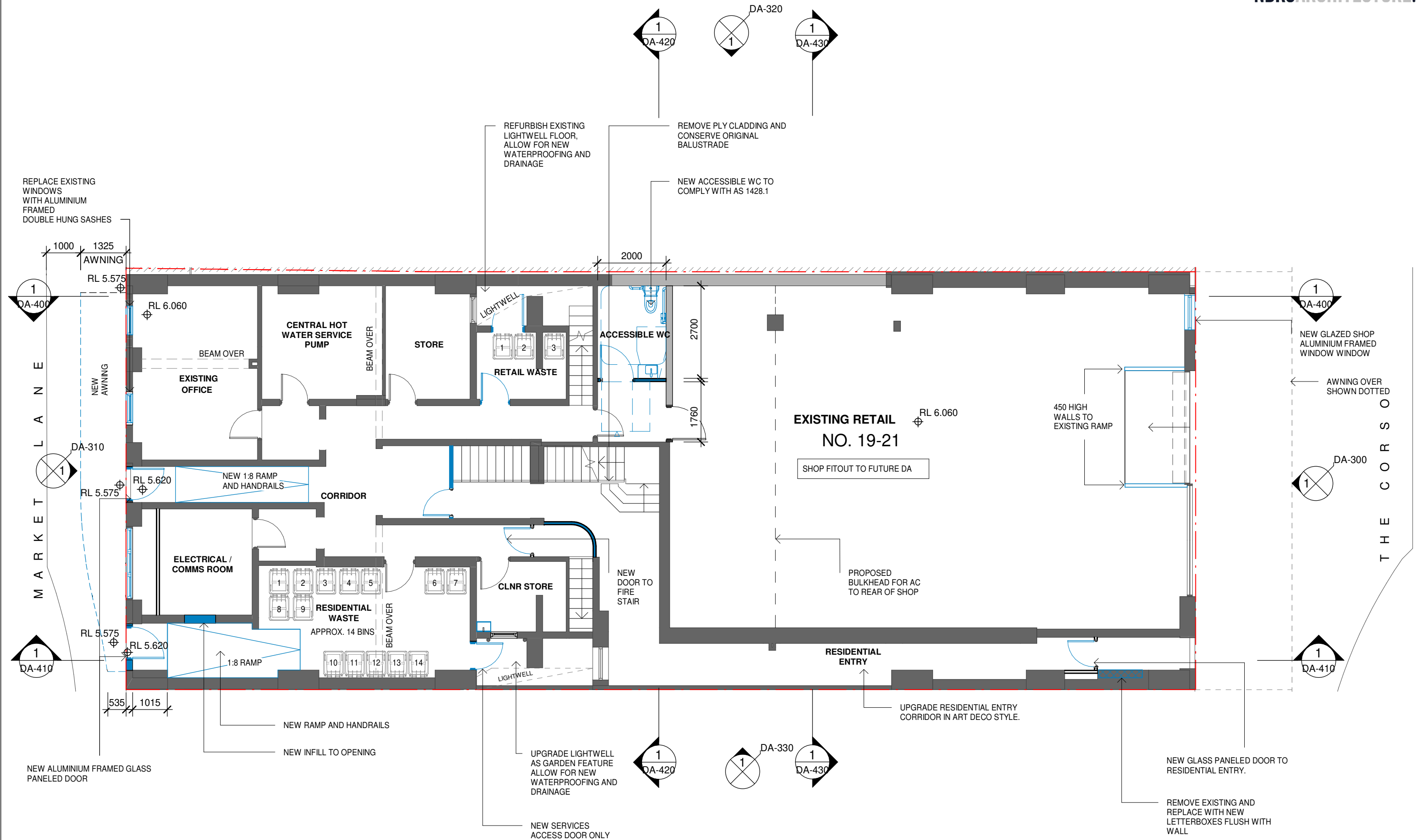
- TO BE DEMOLISHED
- BOUNDARY LINE

Drawing Title
EXISTING AND DEMOLITION THIRD PLAN

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REFURBISHMENT + ADDITIONS
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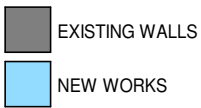
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1 PROPOSED GROUND FLOOR PLAN
1 : 100

Issue No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS



WORKS AS PART OF FIRE & SAFETY UPGRADE

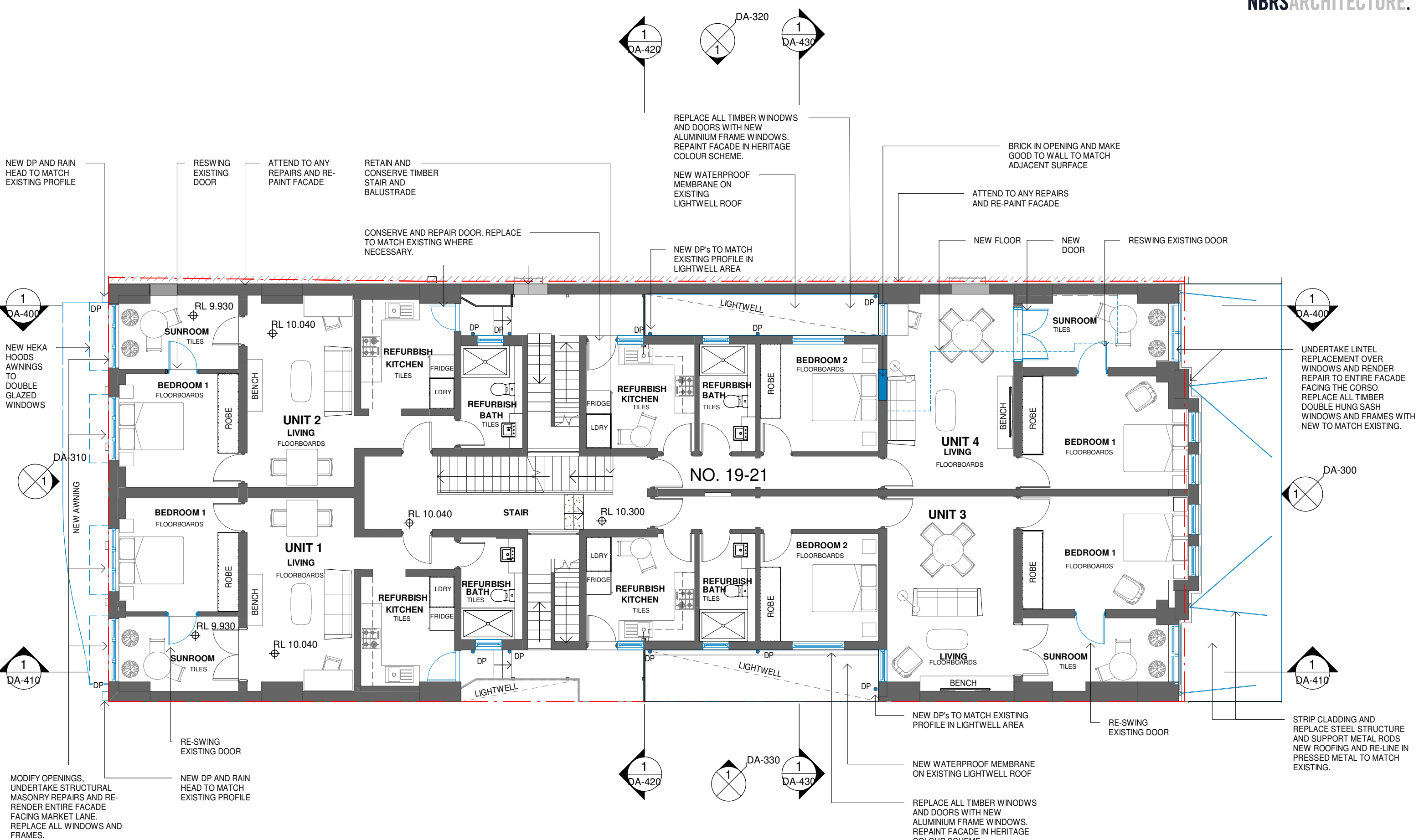
TO BE DEMOLISHED
BOUNDARY LINE

Drawing Title
PROPOSED GROUND FLOOR PLAN

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Revision
A



1

PROPOSED FIRST FLOOR PLAN

1 : 100

Issue	No.	Date	Description	Chkd
A	1	11/12/2020	DA SUBMISSION	AS

EXISTING WALLS

NEW WORKS

WASTE MANAGEMENT

WORKS AS PART OF FIRE & SAFETY UPGRADE

TO BE DEMOLISHED

BOUNDARY LINE

Drawing Title

PROPOSED FIRST FLOOR PLAN

Project

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Drawing Reference		Revision
17349-NBRS-A-DA-220		A



1 : 100

Issue			
No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS

 EXISTING WALLS
 NEW WORKS

 WASTE MANAGEMENT

 WORKS AS PART
OF FIRE &
SAFETY
UPGRADE

--- TO BE DEMOLISHED

— - — BOUNDARY LINE

Drawing Title
PROPOSED THIRD FLOOR PLAN

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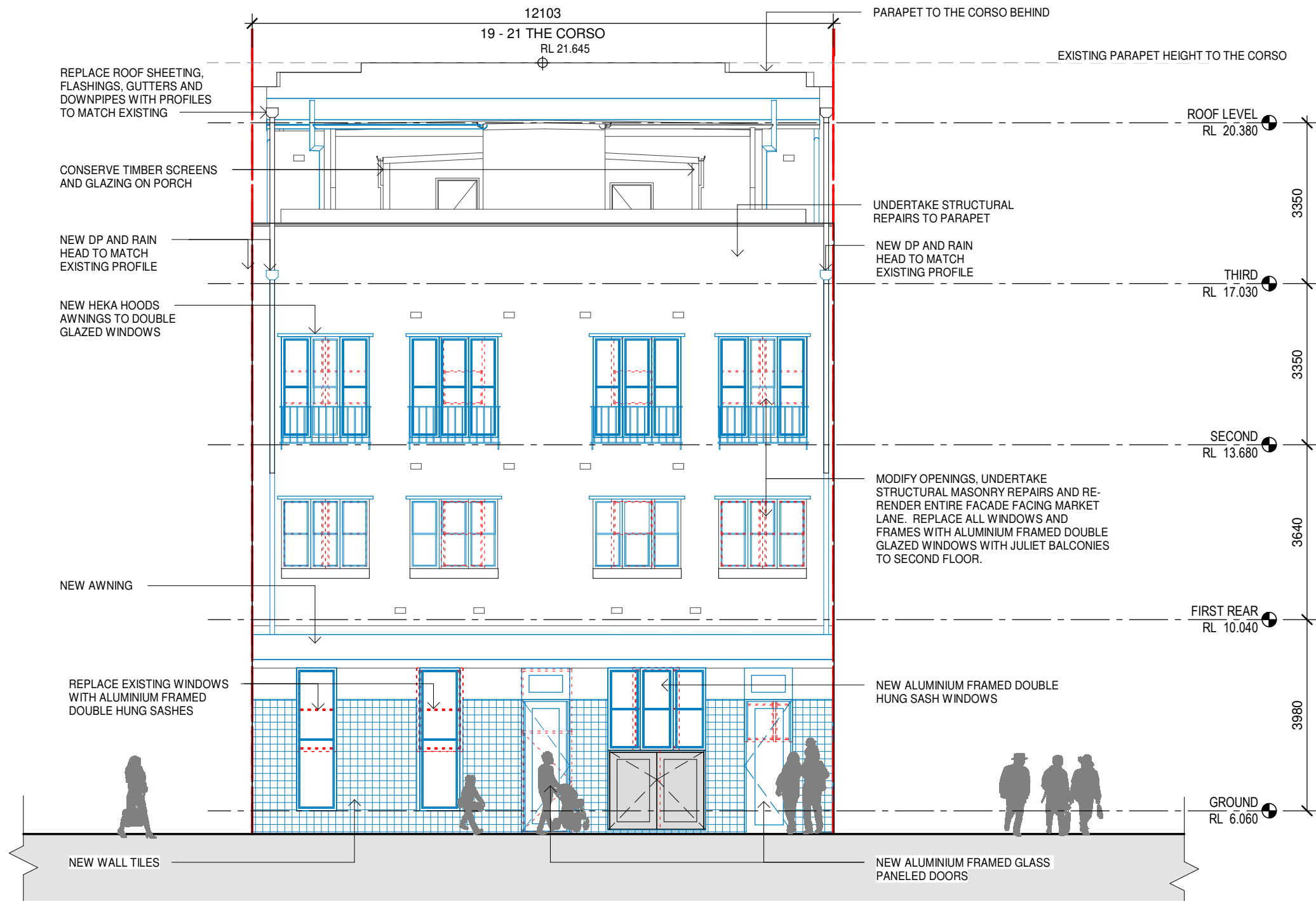
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 Revision A

ision





1 ELEVATION - MARKET LANE
1 : 100

Issue No.	Date	Description	Chkd
A	17/12/2020	DA SUBMISSION	AS

	EXISTING WALLS
	NEW WORKS
	WASTE MANAGEMENT

	WORKS AS PART OF FIRE & SAFETY UPGRADE
---	--

	TO BE DEMOLISHED
	BOUNDARY LINE

Drawing Title
MARKET LANE ELEVATION

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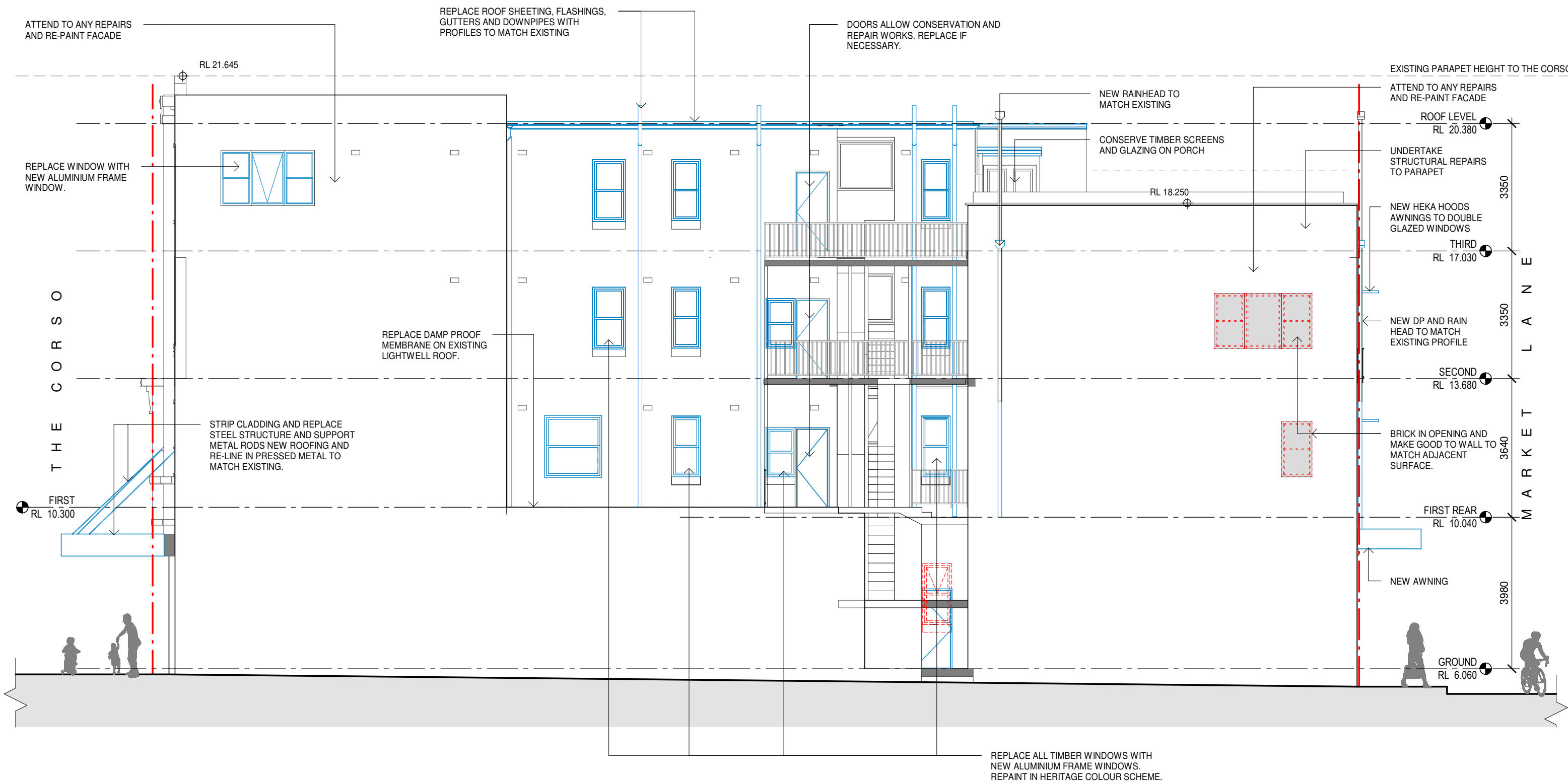
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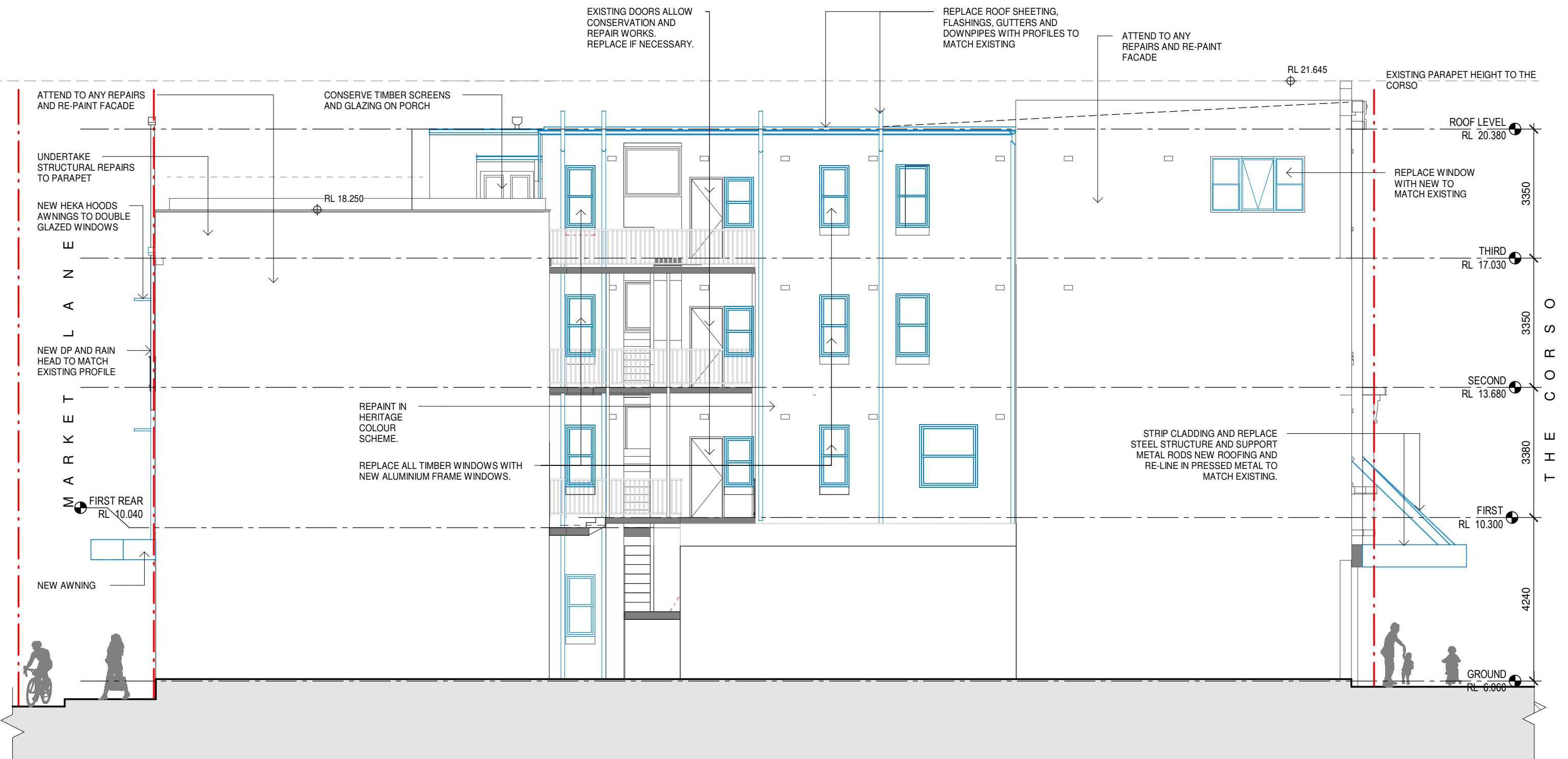
Drawing Reference
17349-NBRSPARTNERS-A-DA-310

Revision
A

0 10 20 30 40 50






1 ELEVATION - EAST
1 : 100




1 ELEVATION - WEST
1 : 100

EXISTING SEWER

Issue			
No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS

 EXISTING WALLS
 NEW WORKS
 WASTE MANAGEMENT

 WORKS AS PART
OF FIRE &
SAFETY
UPGRADE

--- TO BE DEMOLISHED

— - — BOUNDARY LINE

Drawing Title
WEST ELEVATION

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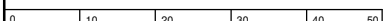
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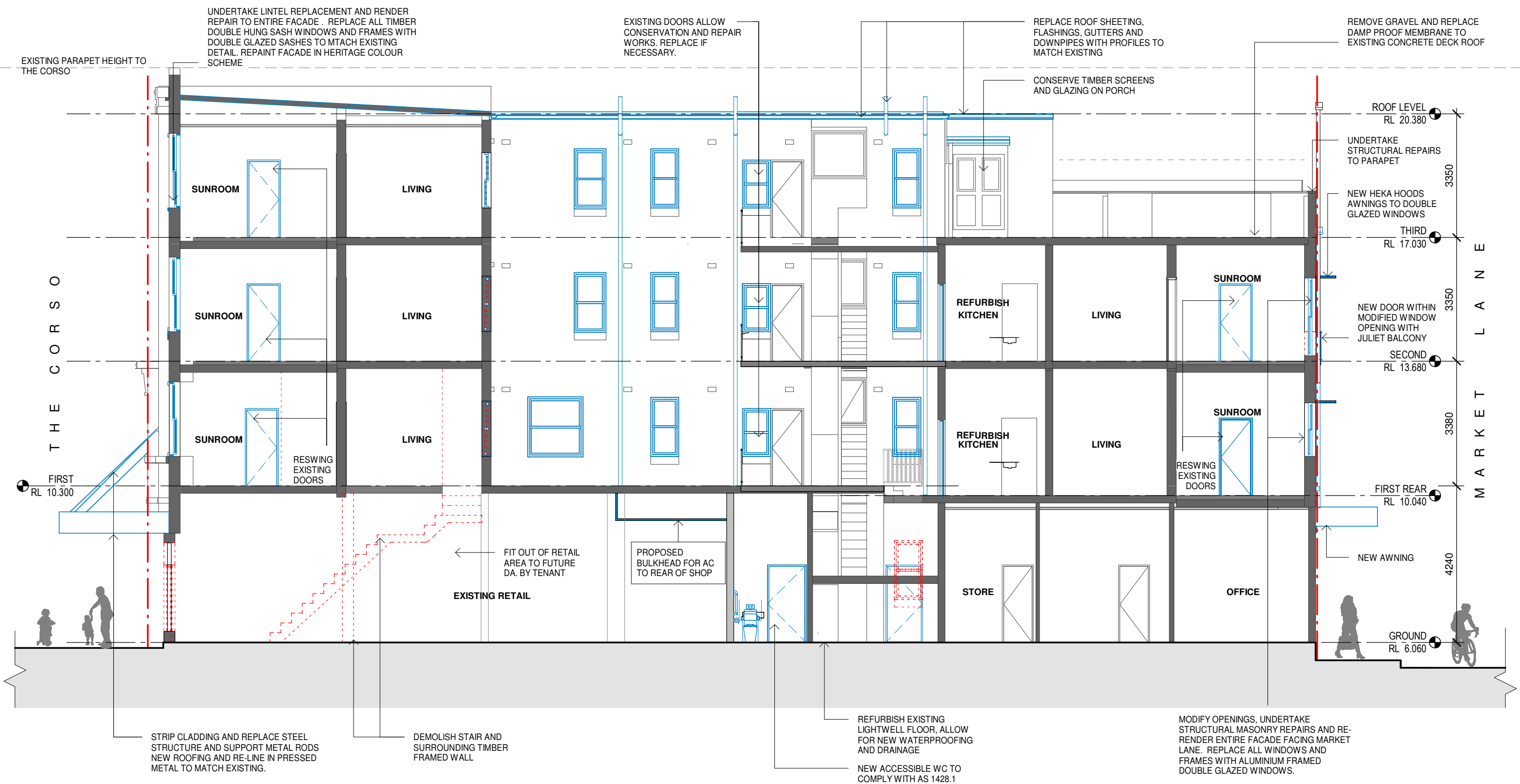
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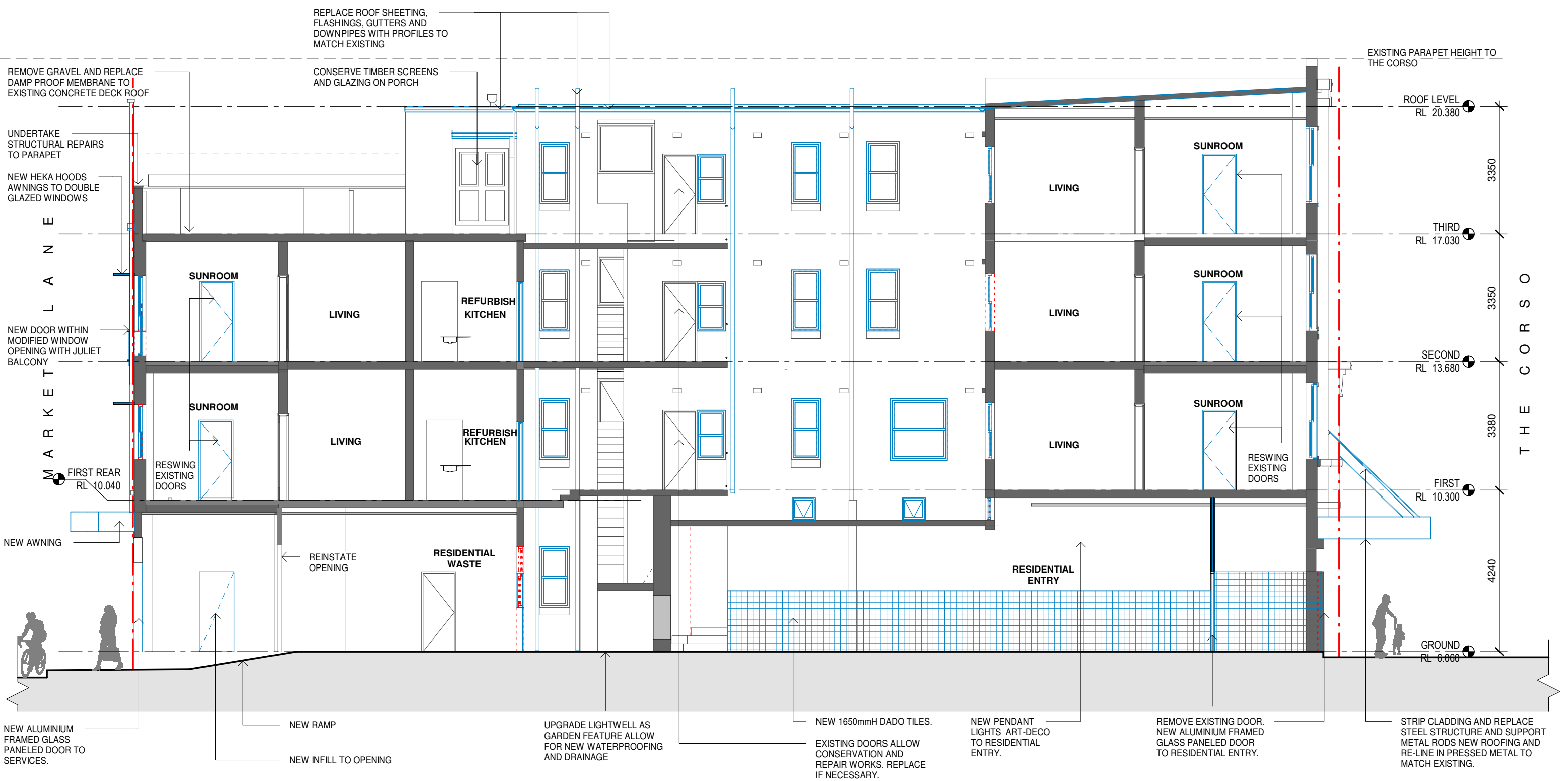
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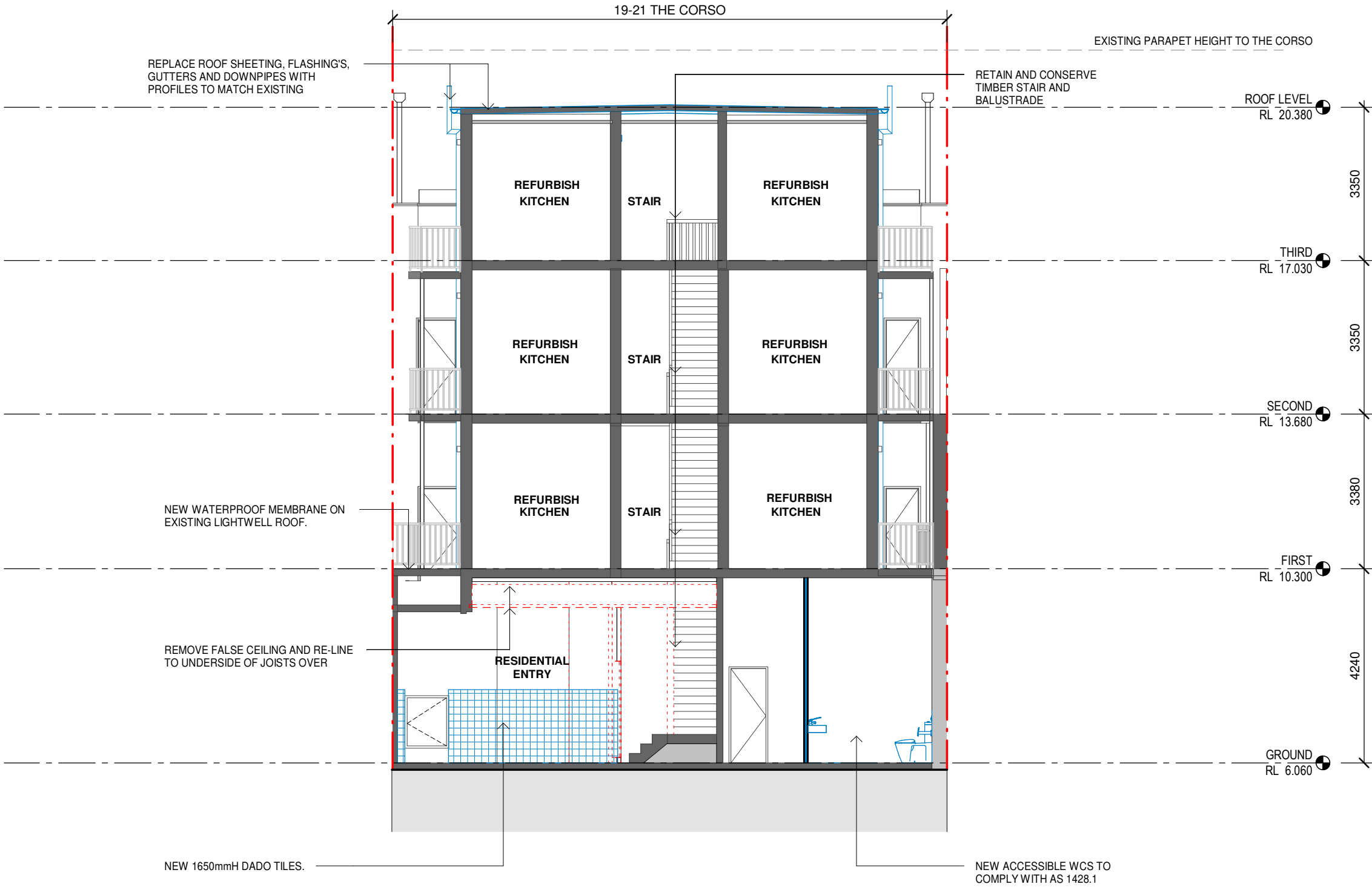
Revision
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1 LIGHTWELL - LONG SECTION A
1 : 100



1 LIGHTWELL - LONG SECTION B
1 : 100



1 LIGHTWELL - CROSS SECTION A
1 : 100

Issue	No.	Date	Description	Chkd
A	1	11/12/2020	DA SUBMISSION	AS

EXISTING WALLS

NEW WORKS

WASTE MANAGEMENT

WORKS AS PART
OF FIRE &
SAFETY
UPGRADE

TO BE DEMOLISHED

BOUNDARY LINE

Drawing Title
CROSS SECTION LIGHTWELL A

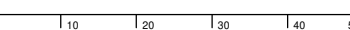
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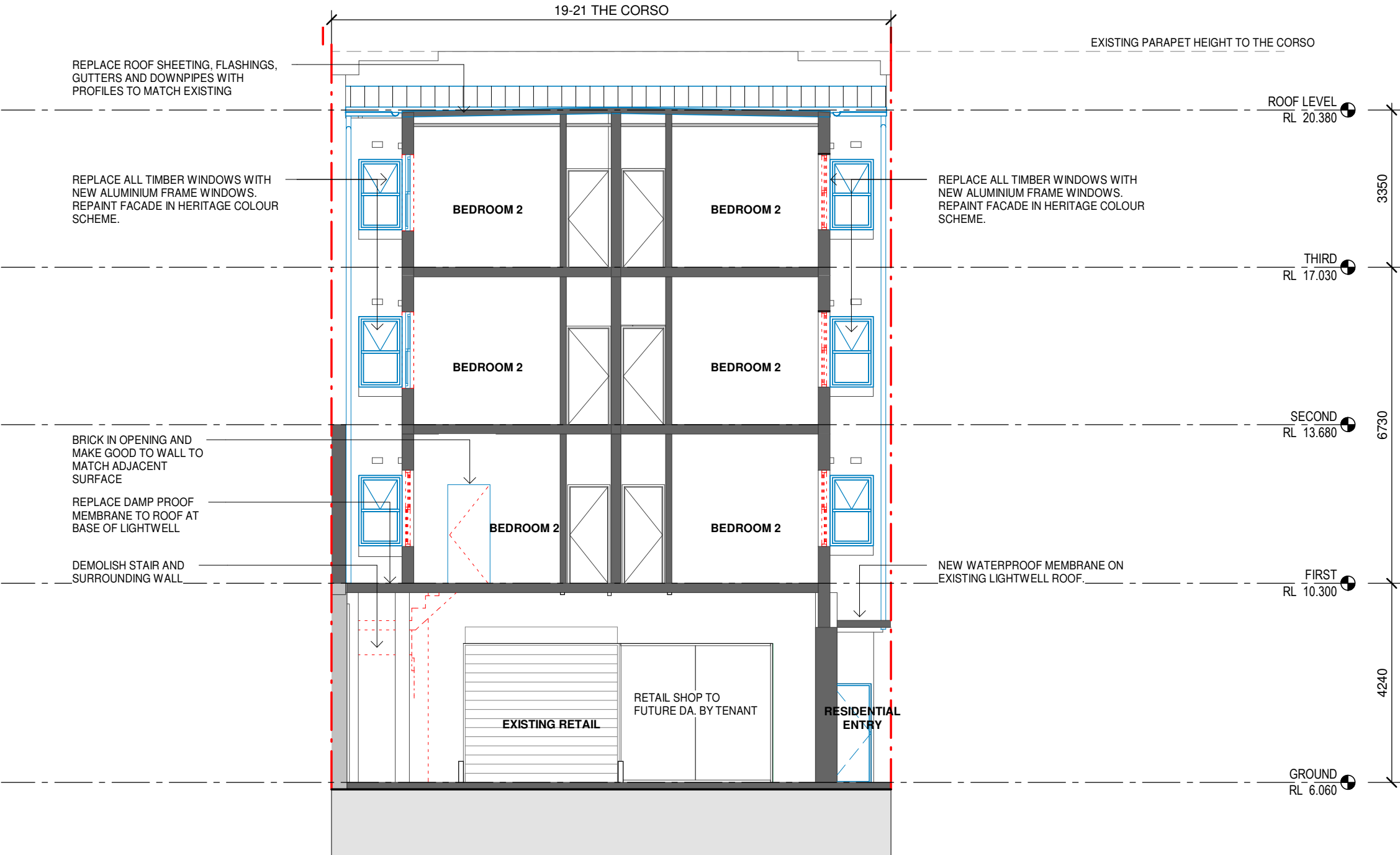
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Revision
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1 LIGHTWELL - CROSS SECTION B
1 : 100

Issue	No.	Date	Description	Chkd
A	1	17/12/2020	DA SUBMISSION	AS

EXISTING WALLS
NEW WORKS

WORKS AS PART
OF FIRE &
SAFETY
UPGRADE

WASTE MANAGEMENT

TO BE DEMOLISHED
BOUNDARY LINE

Drawing Title
CROSS SECTION LIGHTWELL B





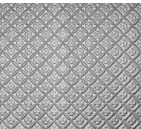



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Revision
A

LOCATION	MATERIAL	COLOUR	IMAGE
Skirting/Plinth tile	152x152 mm glazed porcelain tile	Gloss Black	
Wall tile	152x152 mm glazed porcelain tile	Blue / Aqua	
Wall border tile	152 x 76 mm glazed porcelain capping tile	Gloss black	
Door and Window frame	Extruded aluminium and timber frame	Dulux Beige	 <small>Beige G8</small>
Awning lining	'Carlton' pressed metal panel	Dulux Pale Vellum	
Awning lining and features		Dulux Pale Vellum	 <small>Pale Vellum G62</small>
Awning fascia	Timber signboard – marine ply	Dulux Earth	 <small>Earth G43</small>
External walls	Rendered brickwork	Dulux Regency White	 <small>Regency White G102</small>

LOCATION	IMAGE	LOCATION	IMAGE
Tiled Floors		Panelled ceiling with led lighting along access corridor	
Wallpaper above dado height in corridors		Heka Hood awnings to double glazed windows	
Wall with dado panels Between 1650 or 1800 high. TBC		Juliet Balconies	

Issue	No.	Date	Description	Chkd
A	1	11/12/2020	DA SUBMISSION	AS

Drawing Title
SCHEDULE OF COLOURS AND MATERIALS

Project
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REFURBISHMENT + ADDITIONS
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S.P. 12989
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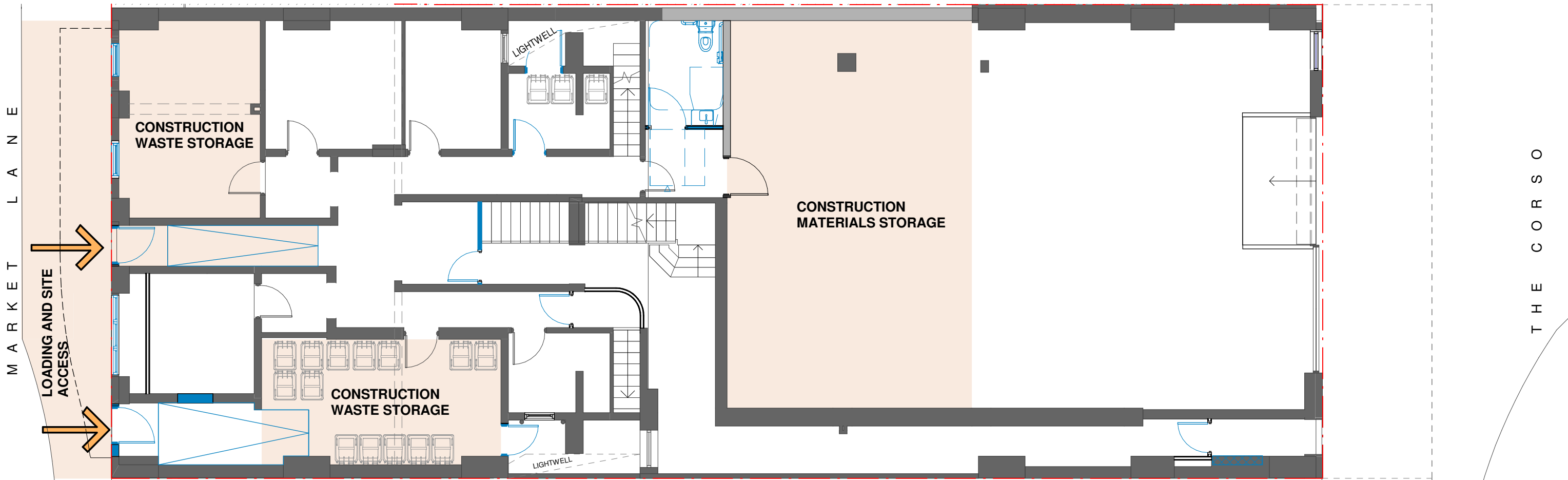
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Drawing Reference
17349-NBRSEARCHITECTURE-A-DA-500
Revision
A





1 SITE ACCESS PLAN CONSTRUCTION AND WASTE
1 : 3000



2 CONSTRUCTION WASTE MANAGEMENT PLAN
1 : 100

Issue	No.	Date	Description	Chkd
A	1	11/12/2020	DA SUBMISSION	AS

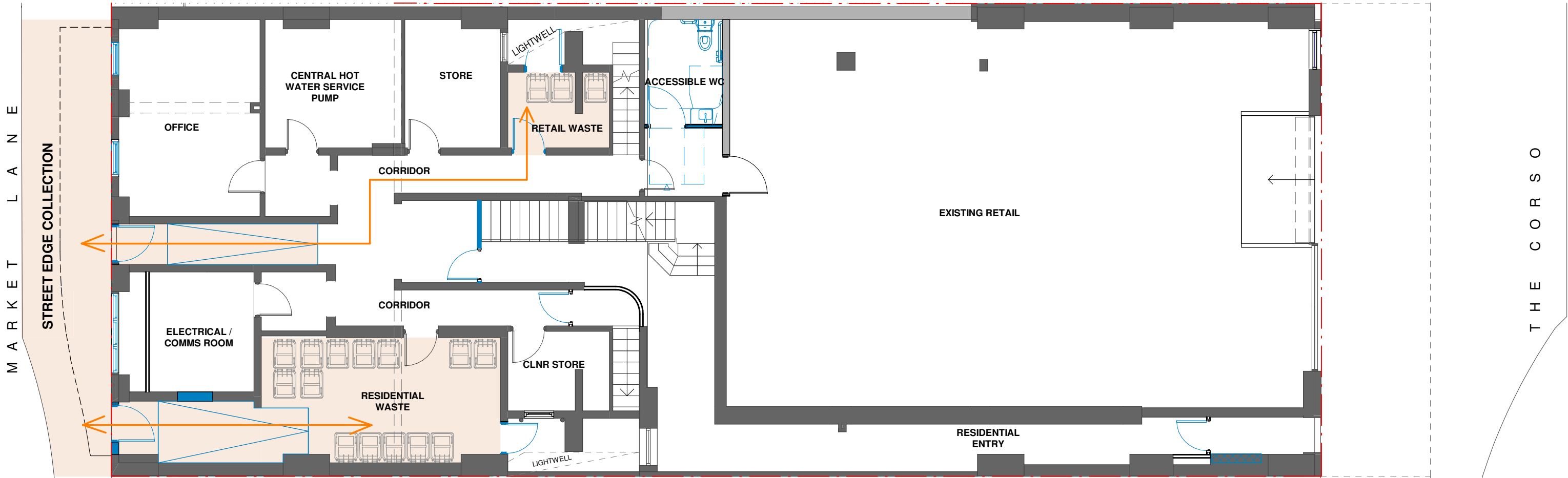
EXISTING WALLS	WORKS AS PART OF FIRE & SAFETY UPGRADE	TO BE DEMOLISHED
NEW WORKS		BOUNDARY LINE
WASTE MANAGEMENT		

Drawing Title
CONSTRUCTION WASTE
MANAGEMENT SITE PLAN

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Revision
A
0 10 20 30 40 50



1 PROPOSED WASTE MANAGEMENT PLAN
1 : 100

Issue No.	Date	Description	Chkd
A	11/12/2020	DA SUBMISSION	AS

EXISTING WALLS
NEW WORKS

WORKS AS PART OF FIRE & SAFETY UPGRADE

WASTE MANAGEMENT

TO BE DEMOLISHED
BOUNDARY LINE

Drawing Title
PROPOSED WASTE MANAGEMENT SITE PLAN

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Open-up render and investigate extent of cracking. Rectify cracking to structural engineer and heritage architect's advice and reapply render to match original detail



Open-up render and investigate extent of cracking. Rectify cracking to structural engineer and heritage architect's advice and reapply render to match original detail



Open up render over all windows and investigate corrosion of lintels. Replace or rectify lintels to structural engineer and heritage architect's advice and reapply render to match original detail



Investigate level of decay of existing windows to determine extent of works. In cases of minor rot, splice in new timbers to replace rotten segments. Where deemed necessary by Heritage Architect, replace windows and frames in timber to match original detail. New glazing shall be provided to all windows to incorporate (20mm max) double glazing units for thermal and acoustic insulation (Thermawood) as directed by heritage architect.



Open up and investigate cracking to pediment. Rectify cracking to structural engineer and heritage architect's advice and reinstate rendered detail to match original.



Investigate damp to building façade. Rectify cause and remove any salt laden render. Replace render to match original detail.



Reconstruct window to match original detailing.



Allow to repaint entire façade and masonry returns to The Corso in heritage colour scheme based on paint scrape evidence performed on site once access to façade is provided. Paint shall be Dulux Acratex Acraseal or similar to heritage architect's approval.



Retain and conserve existing shopfront awning. Open up and investigate possibility of any extant remnant original awning finishes. Rectify awning structure as required to structural engineer's advice. Reconstruct roof, fascia and soffit to match original detail if evident. (Allow for pressed metal soffit, marine ply fascia with timber trim, metal decking to roof and box gutter to building line)



Door Type 1

Description:
Three panel timber door with original hardware

Location: Door typically extant to bedrooms and kitchen (internally)

Conservation works:

- Retain original doors in situ where possible
- Carry out necessary repairs to door and door hardware
- Sand, prepare and paint to new colour scheme



Door Type 2 (Note: Door type 2 is atypical.)

Description:
Timber door with four glazed panel to upper door and three timber panels below, original hardware

Location: First floor unit 3 (TBC)

Conservation works:

- Retain original door in situ
- Carry out necessary repairs to door and door hardware
- Sand, prepare and paint to new colour scheme



Door Type 3 (modified)

Description: Double multi-pane door with fixed multi-pane highlight.

Location: Located in most openings to former porches. (The door illustrated has been modified with a later door and fixed sidelight. The image illustrates the original frame and highlight window.)

Conservation works:

- Retain existing frame and highlight and original double multi-pane glazed doors in situ
- Where modified, retain existing frame and highlight and provide new glazed doors to match original
- Where doors are missing, provide new doors, frames and highlights to be detailed to match original.
- Retain all original hardware and provide new similar hardware where not extant.



Skirting (original) – where existing

Description: Moulded timber skirting

Location: Most units (not all areas)

Conservation works:

- Retain original skirting in situ
- New skirting shall be made to match original profile in rooms where substantial original fabric exists
- New skirting in other areas can be of a simple contemporary detail



Architrave (original) where existing

Description: Moulded timber architrave

Location: Most units (not all areas)

Conservation Works:

- Original architraves shall remain in situ
- New architraves shall be made to match original profile in rooms where substantial original fabric exists
- New architraves in other areas can be of a simple contemporary detail



Cornices (new/replacement)

Description: Provide new (Note: No original ceilings and cornices are extant)

Location: All units, stairwell and entry corridor

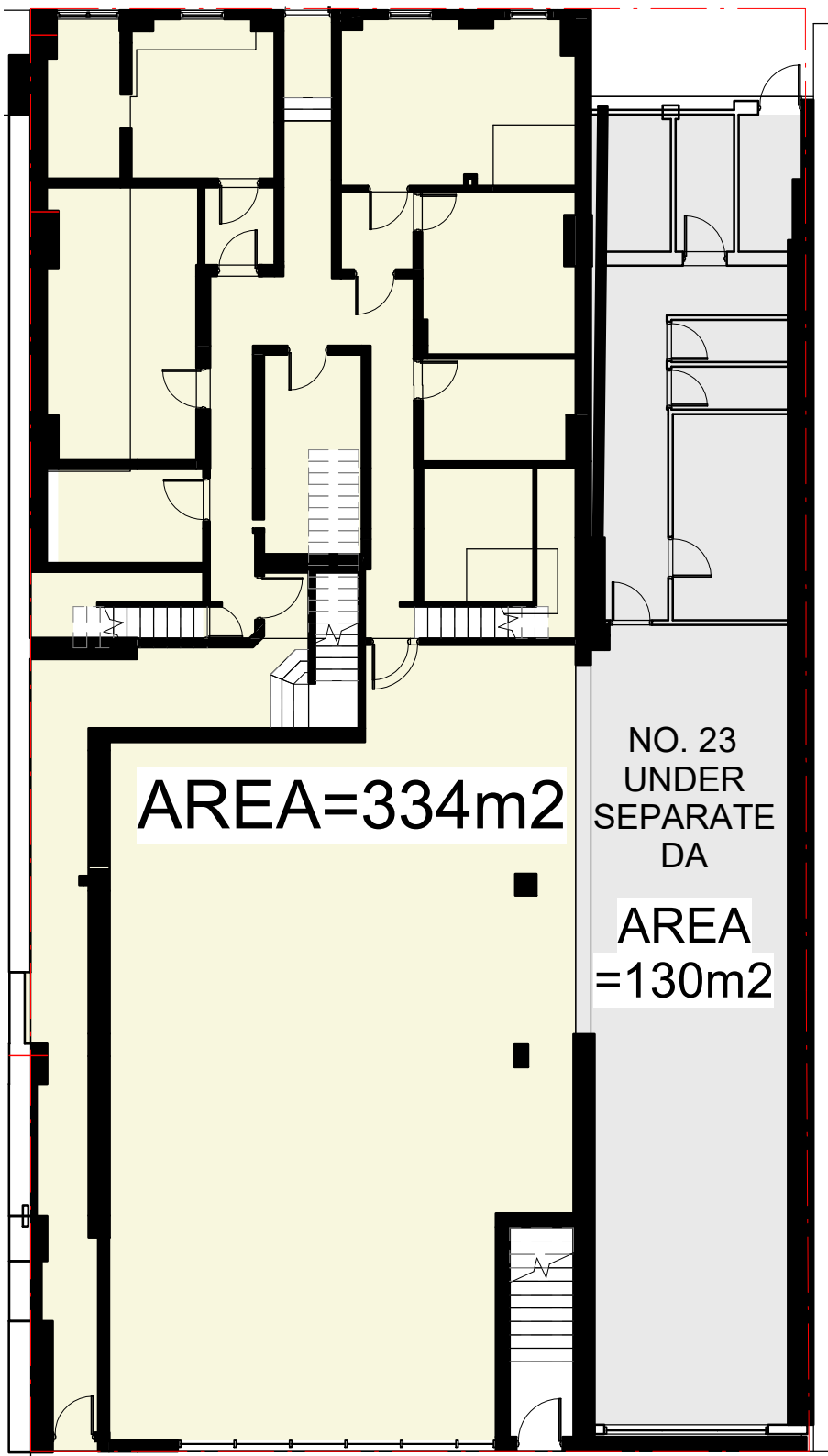
Conservation works:

- Replace with new plaster cornice such as Baileys BCC252 or similar simple detailing.

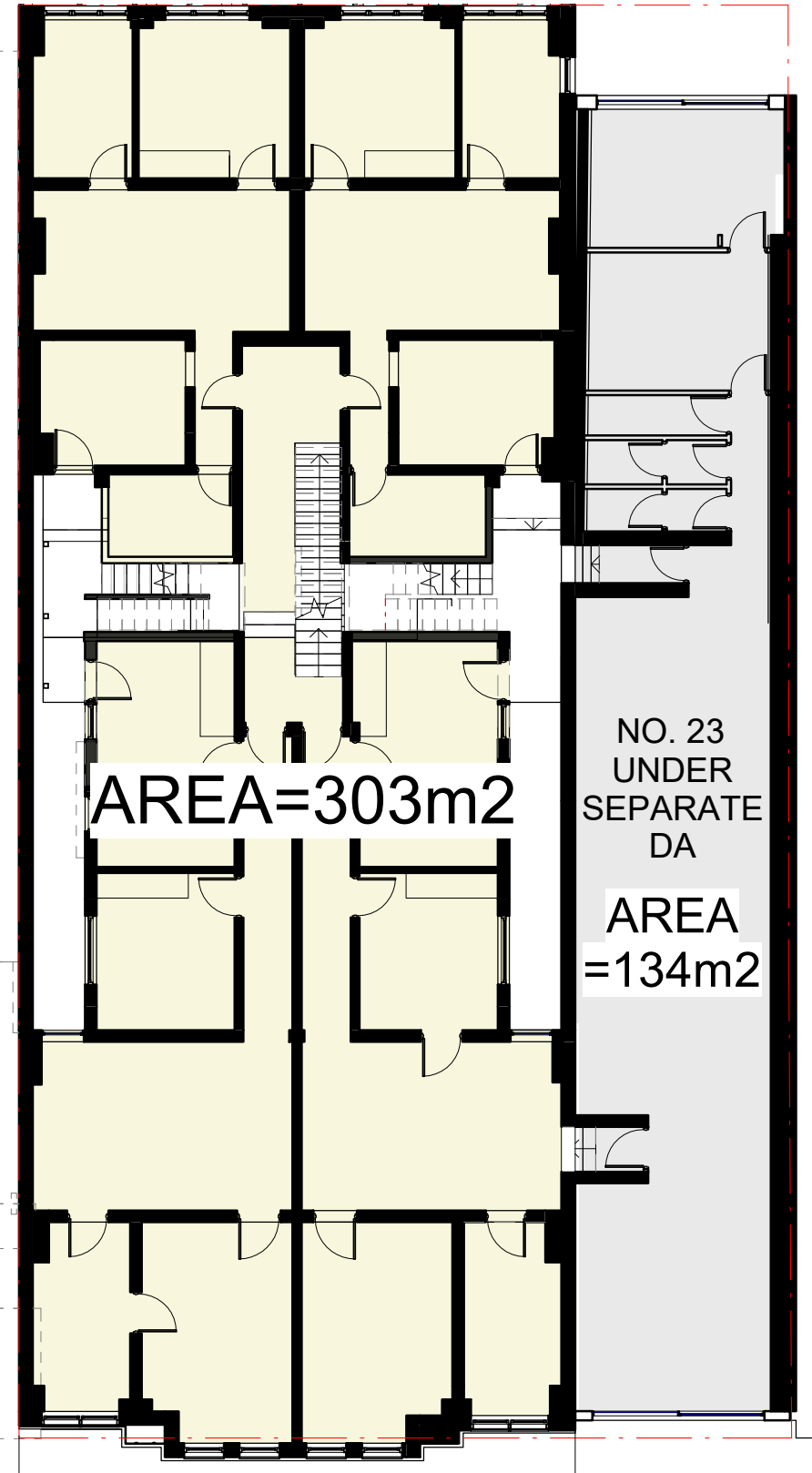
SITE AREA APPROX=
524m2

EXISTING GFA
19-21 The Corso =
1133m2
23 The Corso =
264m2
Total = 1397

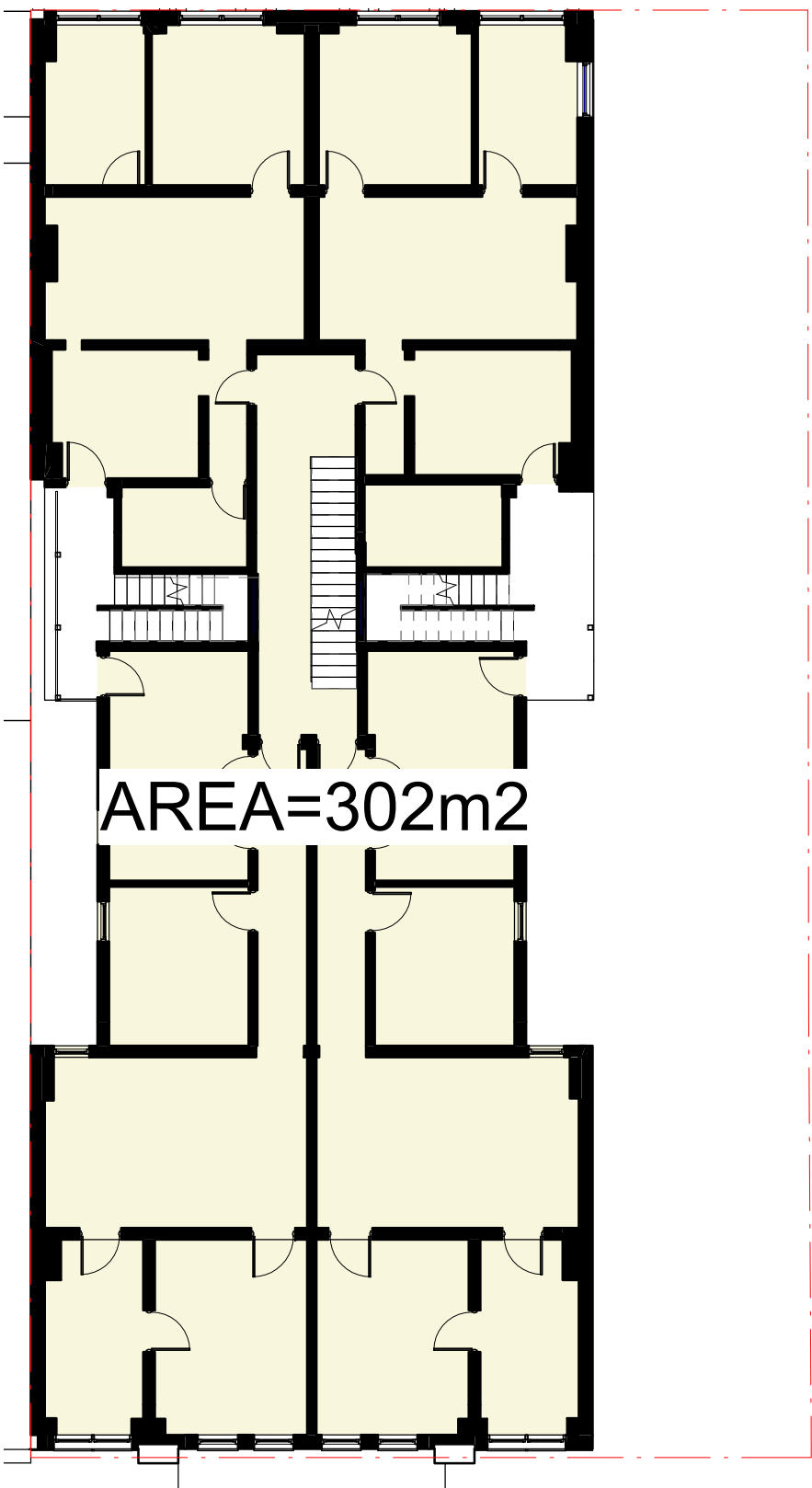
FSR = 2.66:1



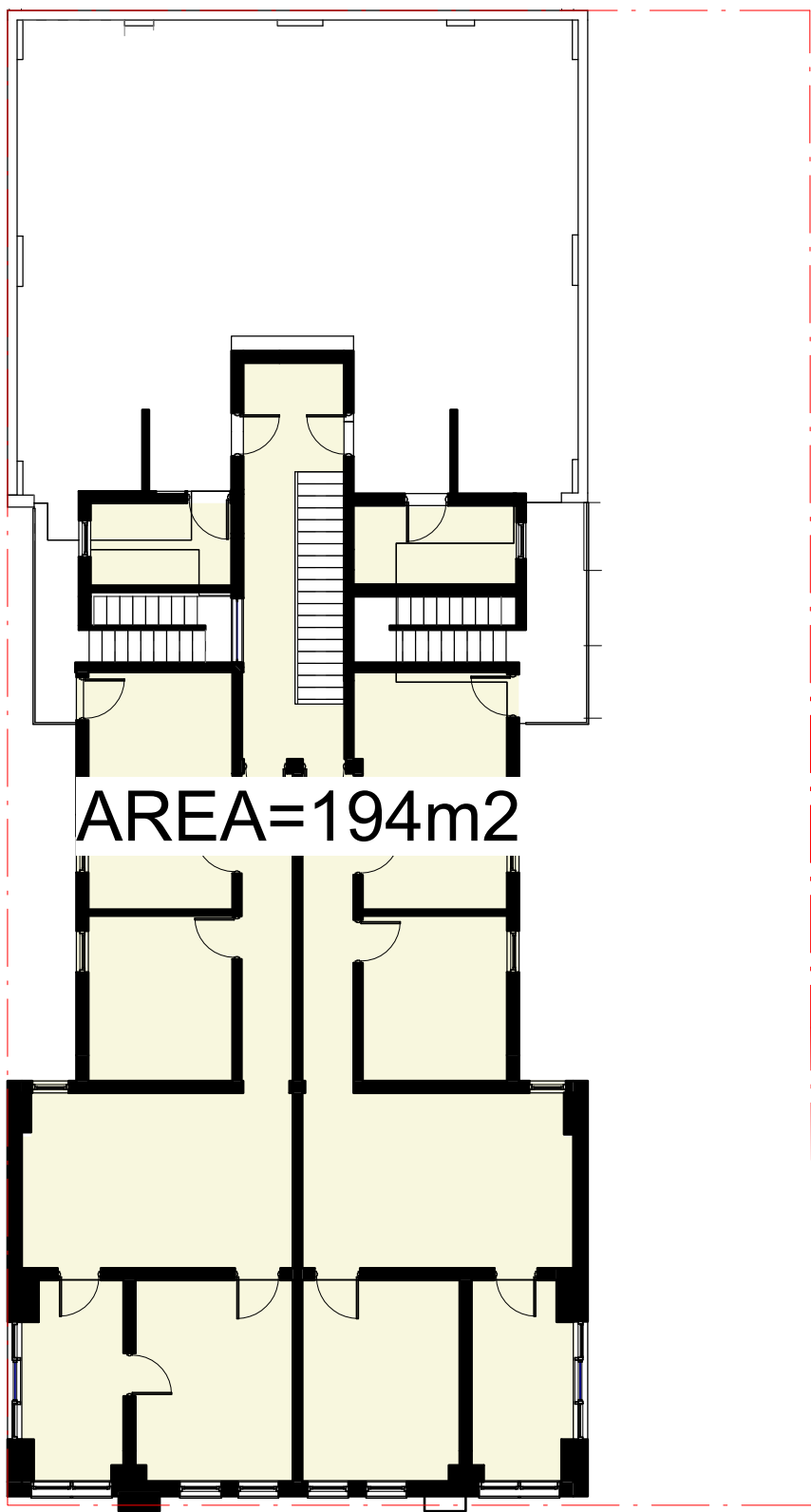
1 EXISTING GROUND FLOOR - FSR
1 : 150



2 EXISTING FIRST FLOOR - FSR
1 : 150



3 EXISTING SECOND FLOOR - FSR
1 : 150



4 EXISTING THIRD FLOOR - FSR
1 : 150

Issue No.	Date	Description	Chkd
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Drawing Title
AREA PLANS - FSR

Project
MANLY CORSO APARTMENTS
REFURBISHMENT +
CONSERVATION WORKS
S.P. 12989
19-21 THE CORSO, MANLY
for
HILROK PROPERTIES PTY LTD

Architect
NBRSARCHITECTURE.
Sydney
61 2 9922 2344
nbrsarchitecture.com
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Nominated Architects:
Geoffrey Deane 3766; Andrew Duffin; Garry Hoddinett 5286
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Date 11/12/2020 2:06:34 PM
Scale 1 : 150 @ A1

Drawing Reference
DA--

Revision

0 1 2 3 4 5 6 7 8 9 10