

DEVELOPMENT APPLICATION FOR NEW HOUSING SEPP HSPD  
12 + 14 PONSONBY PARADE SEAFORTH

PLOT DATE 19/02/21



PONSONBY PARADE

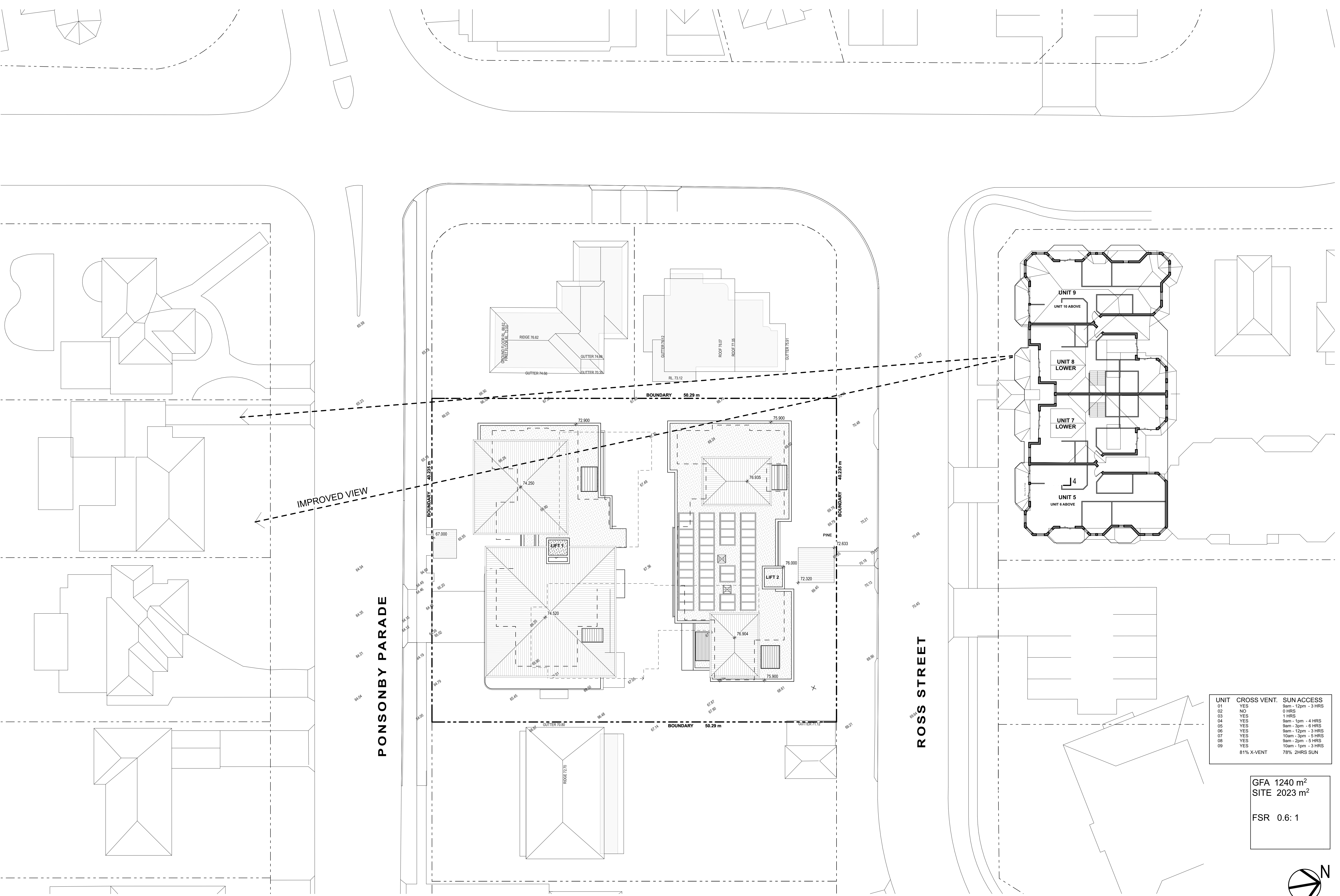
DEVELOPMENT APPLICATION DRAWING LIST	
No:	Drawing Name
DA01	COVER PAGE
DA02	SITE ANALYSIS PLAN
DA03	SITE PLAN
DA04	BASEMENT PLAN
DA05	GROUND FLOOR
DA06	LEVEL 01 PLAN
DA07	ELEVATIONS NORTH + SOUTH
DA08	ELEVATIONS EAST + WEST
DA09	SECTIONS
DA10	SHADOW DIAGRAMS
DA11	FLOOR AREA CALCULATIONS
DA12	CHARACTER ANALYSIS PONSONBY PARADE
DA13	CHARACTER ANALYSIS ROSS STREET
DA14	NEIGHBOURS VIEW ANALYSIS



ROSS STREET





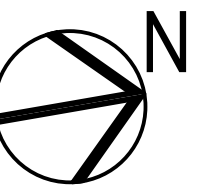




PONSONBY PARADE

ROSS STREET





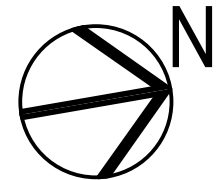


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PONSONBY PARADE

ROSS STREET



GARTNERTROVATO

ARCHITECTS  
LEVEL 01 PLAN  
12 + 14 PONSONBY PARADE  
SEAFOORTH NSW 2002  
LOTS 21 & 22 DP 7577

Issue Date	Rev	Description	Drawn	Checked
10/12/20	A	ISSUE FOR DA		
19/04/21	B	AMENDED DA		

PROJECT  
NEW HOUSING SEPP HSPD  
12 + 14 PONSONBY PARADE  
SEAFOORTH NSW 2002  
LOTS 21 & 22 DP 7577

DRAWING TITLE  
LEVEL 01 PLAN  
SCALE  
1:100 @ A1  
PROJECT NO.  
2029  
DRAWING NO.  
DA06  
DATE  
19/04/21  
DRAWN BY  
DH  
REVISION  
B

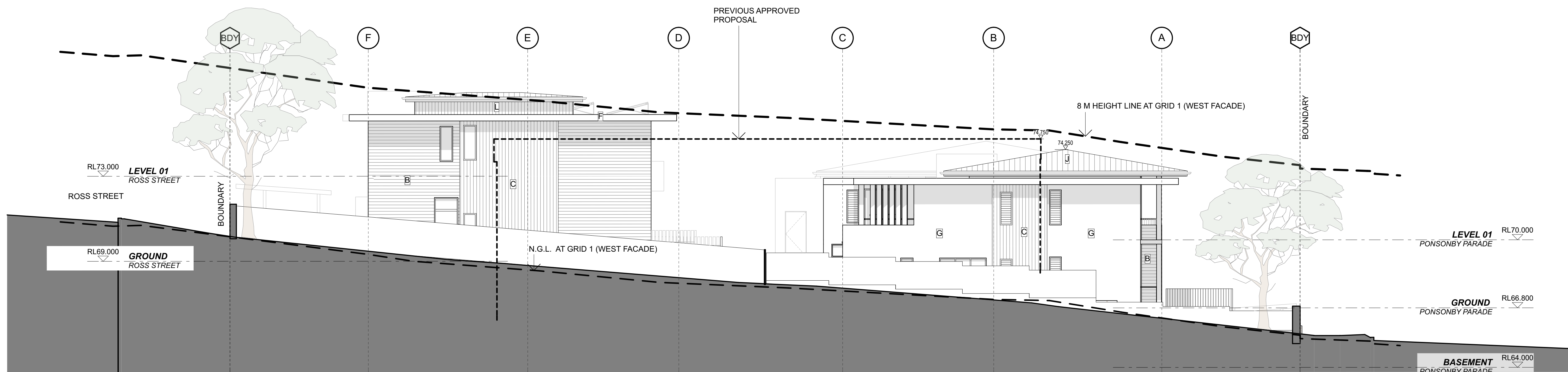


Architectural elevation drawing of a proposed building facade on Ponsonby Parade. The drawing shows a two-story building with a gabled roof, large windows, and a stone-clad ground floor. Key features include:

- Level 01 (Ponsonby Parade):** RL70.000
- Ground (Ponsonby Parade):** RL66.800
- Basement (Ponsonby Parade):** RL64.000
- Previous approved proposal:** Shown in light grey.
- Boundary lines:** Indicated by dashed lines.
- 8 M height line at Grid A (South Facade):** Indicated by a dashed line.
- Glass balustrade:** Indicated by a dashed line.
- N.G.L. at Grid A (South Facade):** Indicated by a dashed line.
- Grid lines and elevations:** 74.750, 74.250, 73.120, 70.000, 66.800, 64.000.
- Address labels:** 16 Ponsonby Parade, 9 Ross Street, 14 Ross Street, 10 Ponsonby Parade.

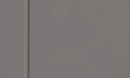
Issue Date	Rev	Description	Drawn	Checked	PROJECT	DRAWING TITLE	SCALE	DRAWN BY	DATE
18/12/20	A	ISSUE FOR DA			<b>NEW HOUSING SEPP HSPD</b>	<b>ELEVATIONS NORTH + SOUTH</b>	1:150 @ A1	DM	19/04/21
19/04/21	B	AMENDED DA			12 + 14 PONSONBY PARADE SEAFOORTH NSW 2092 LOTS 21 & 22 DP 7577				REVISED TO
							PROJECT NO.	DRAWING NO.	
							2029	DA07	B





NOTE: FINISHES AND IMAGES SHOWN ARE INDICATIVE OF DESIGN INTENT ONLY

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**C WEATHERBOARD**  
VERTICAL WIDE  
PAINT MID GREY

## STONE CLADDING



## RENDERED WALLS




**G PAINTED RENDER**  
COLOUR - LIGHT GREY

## FACADE COLUMNS


## BOOF FINISHES

## ROOF FINISHES



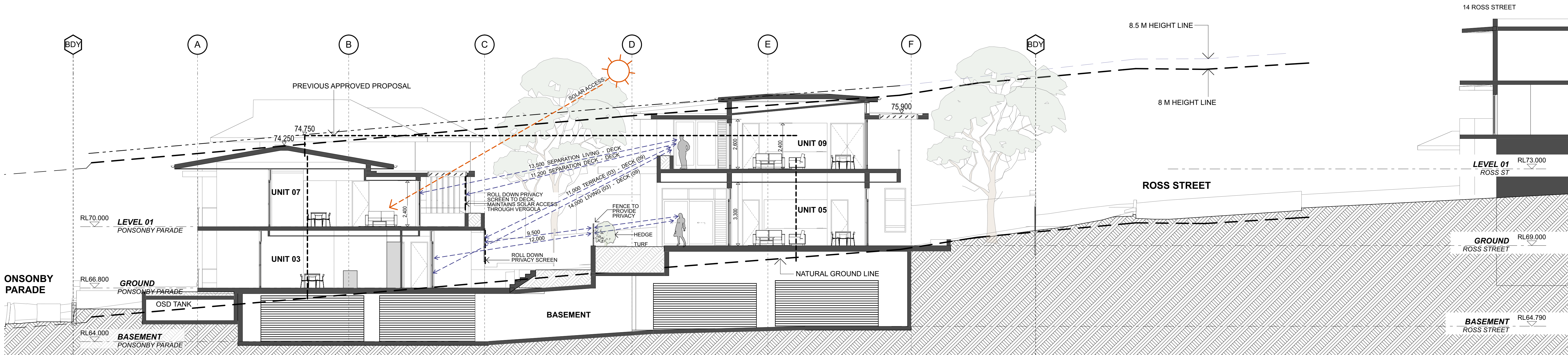
**K** PEBBLE ROOF BALAST  
RIVER PEBBLE

METAL WALL CLADDED

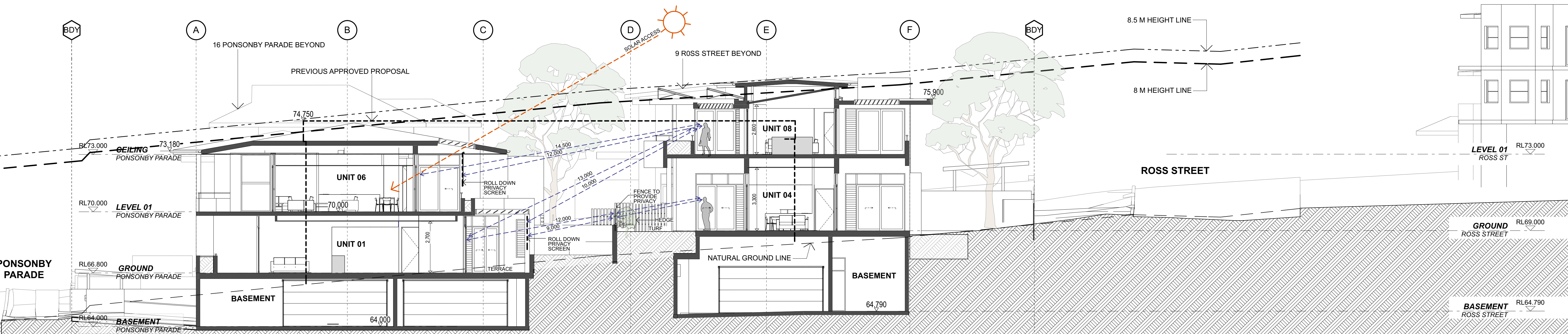


**L** **STANDING SEAM**  
COLORBOND MONUMENT

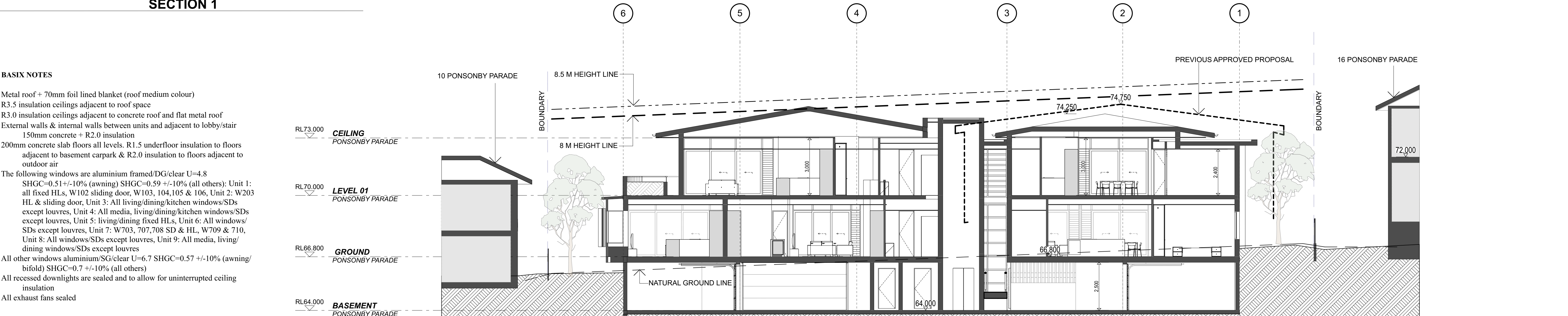




SECTION 4



SECTION 1



SECTION 2

BASIX NOTES

- Metal roof + 70mm foil lined blanket (roof medium colour)
- R3.5 insulation ceilings adjacent to roof space
- R3.0 insulation ceilings adjacent to concrete roof and flat metal roof
- External walls & internal walls between units and adjacent to lobby/stair
- 150mm concrete + R2.0 insulation
- 200mm concrete slab floors all levels. R1.5 underfloor insulation to floors adjacent to basement carpark & R2.0 insulation to floors adjacent to outdoor air
- The following windows are aluminium framed/DG/clear U=4.8 SHGC=0.51+/-10% (awning) SHGC=0.59 +/-10% (all others): Unit 1: all fixed HLs, W102 sliding door, W103, 104,105 & 106, Unit 2: W203 HL & sliding door, Unit 3: All living/dining/kitchen windows/SDs except louvres, Unit 4: All media, living/dining/kitchen windows/SDs except louvres, Unit 5: living/dining fixed HLs, Unit 6: All windows/SDs except louvres, Unit 7: W703, 707,708 SD & HL, W709 & 710, Unit 8: All windows/SDs except louvres, Unit 9: All media, living/ dining windows/SDs except louvres
- All other windows aluminium/SG/clear U=6.7 SHGC=0.57 +/-10% (awning/ bifold) SHGC=0.7 +/-10% (all others)
- All recessed downlights are sealed and to allow for uninterrupted ceiling insulation
- All exhaust fans sealed



A large, two-story house with a gabled roof and a balcony, surrounded by a high hedge and a driveway. The house has a light-colored exterior and a dark roof. A white balcony with a railing is visible on the upper floor. A large, dark bush is in front of the house, and a high, green hedge runs along the front. A driveway leads to the house, and a car is parked on the street in front.

A large, two-story house with a dark brown tiled roof and light-colored brickwork. The house features a prominent front porch with white columns and a dark roof. The windows are white-framed. The house is surrounded by a well-manicured lawn and various shrubs and trees, including a large palm tree in the foreground. A low concrete wall separates the lawn from the street.

PONSONBY PARADE EXISTING

**GARTNERTROVATO**  
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<b>Issue Date</b>	<b>Rev</b>	<b>Description</b>	<b>Drawn</b>	<b>Checked</b>	<b>PROJECT</b>	<b>DRAWING TITLE</b>	<b>SCALE</b>	<b>DRAWN BY</b>	<b>DATE</b>
18/12/20	A	ISSUE FOR DA			<b>NEW HOUSING SEPP HSPD</b>	<b>CHARACTER ANALYSIS</b>	1:241 @ A1	DH	19/04/21
19/04/21	B	AMENDED DA			12 + 14 PONSOMBY PARADE SEAFORTH NSW 2092 LOTS 21 & 22 OF F7577	<b>PARADEWAY PARADE</b>			
					<b>PROJECT NO.</b>	<b>DRAWING NO.</b>	1:241	DA12	B





ROSS STREET NORTH EAST CHARACTER ANALYSIS



ROSS STREET NORTH CHARACTER ANALYSIS



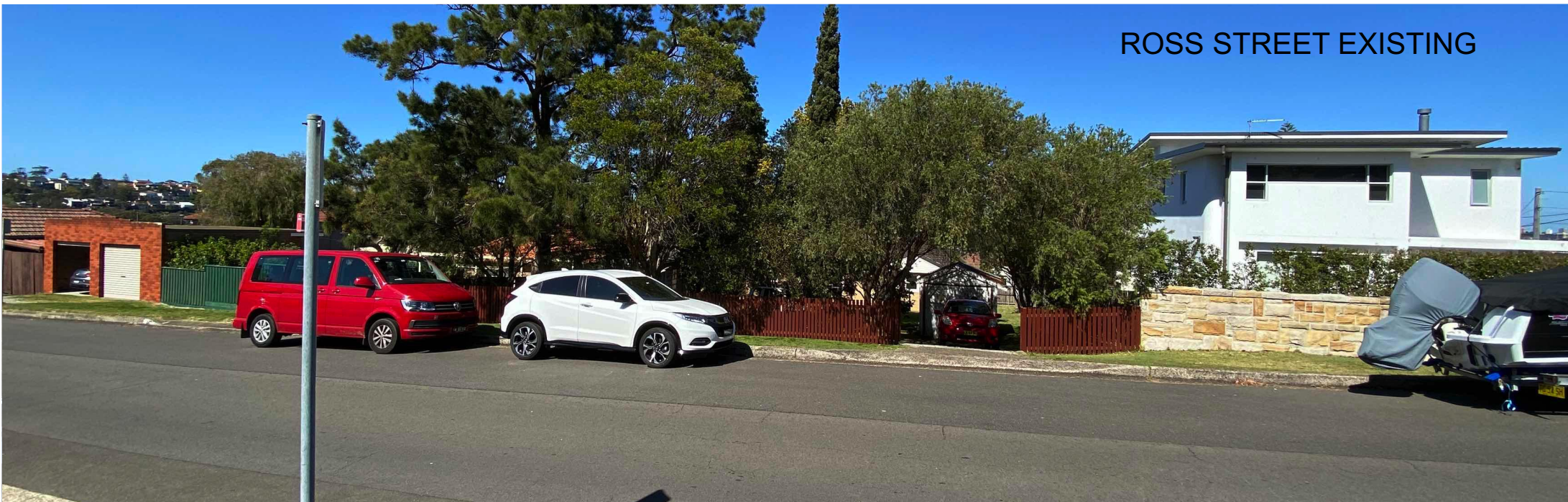
ROSS STREET NORTH WEST CHARACTER ANALYSIS



ROSS STREET GARAGE  
OF 10 PONSONBY PARADE



9 ROSS STREET



ROSS STREET EXISTING





VIEW FROM 14 ROSS STREET



VIEW FROM 10 PONSONBY PARADE

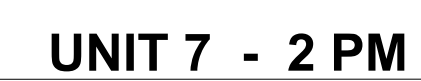
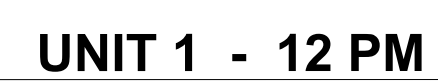
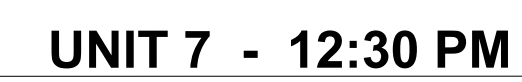
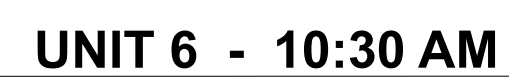
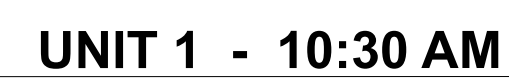
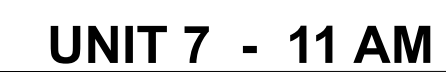
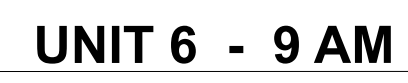
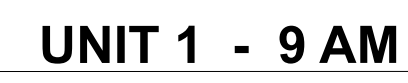


VIEW FROM 9 ROSS STREET









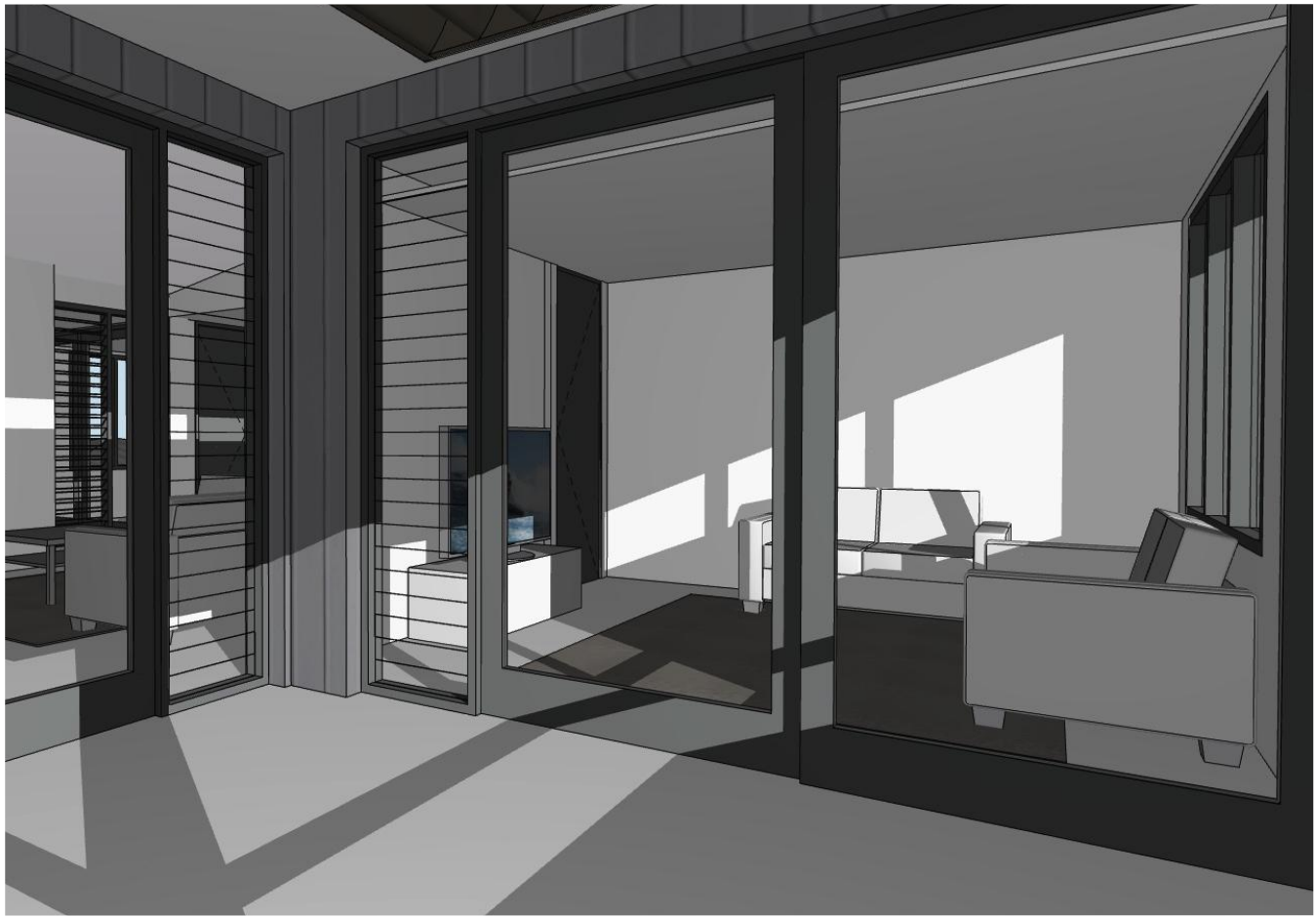




UNIT 4 - 9 AM



UNIT 5 - 9 AM



UNIT 8 - 9 AM



UNIT 9 - 10:30 AM



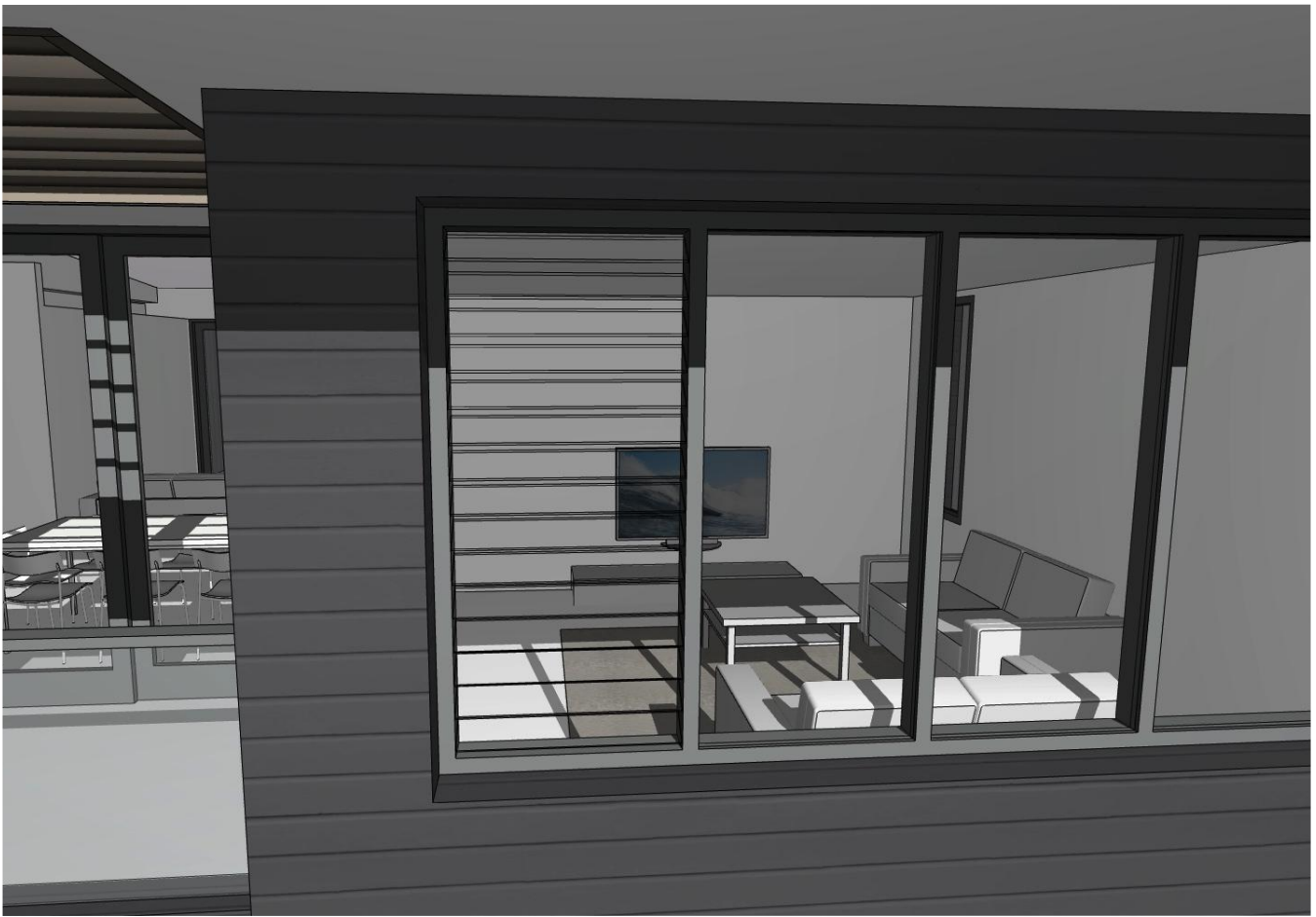
UNIT 4 - 10:30 AM



UNIT 5 - 10:30 AM



UNIT 8 - 10:30 AM



UNIT 9 - 12 PM



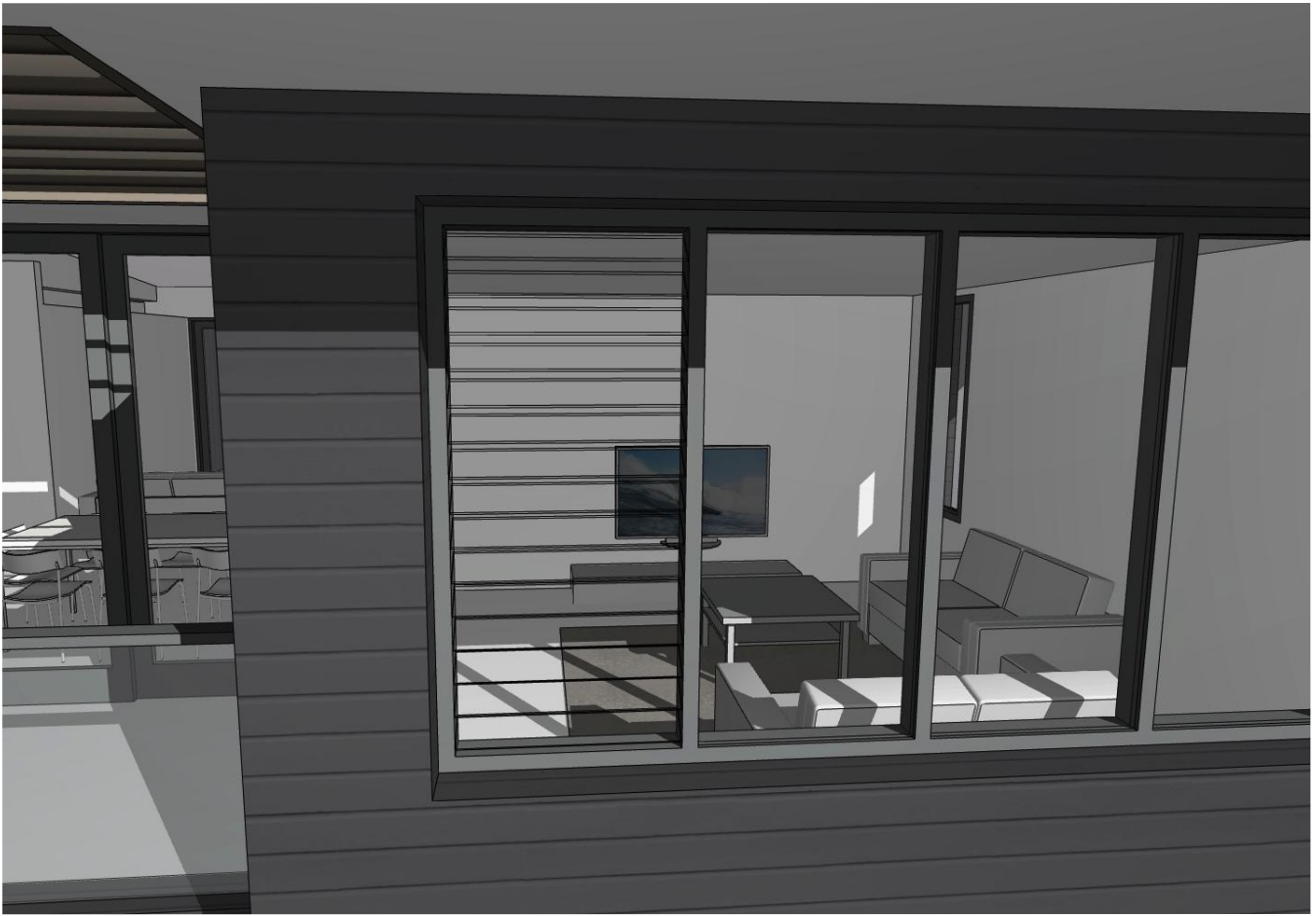
UNIT 4 - 12 PM



UNIT 5 - 12 PM



UNIT 8 - 12 PM



UNIT 9 - 1:30 PM