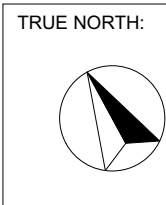


LOT 4	
DP 17910	
SITE AREA = 1210 m ²	
AS BUILT FLOOR AREA - STUDIO	26.91m ²
AS BUILT FLOOR AREA - GARAGE	37.23m ²

AS-BUILT SITE PLAN



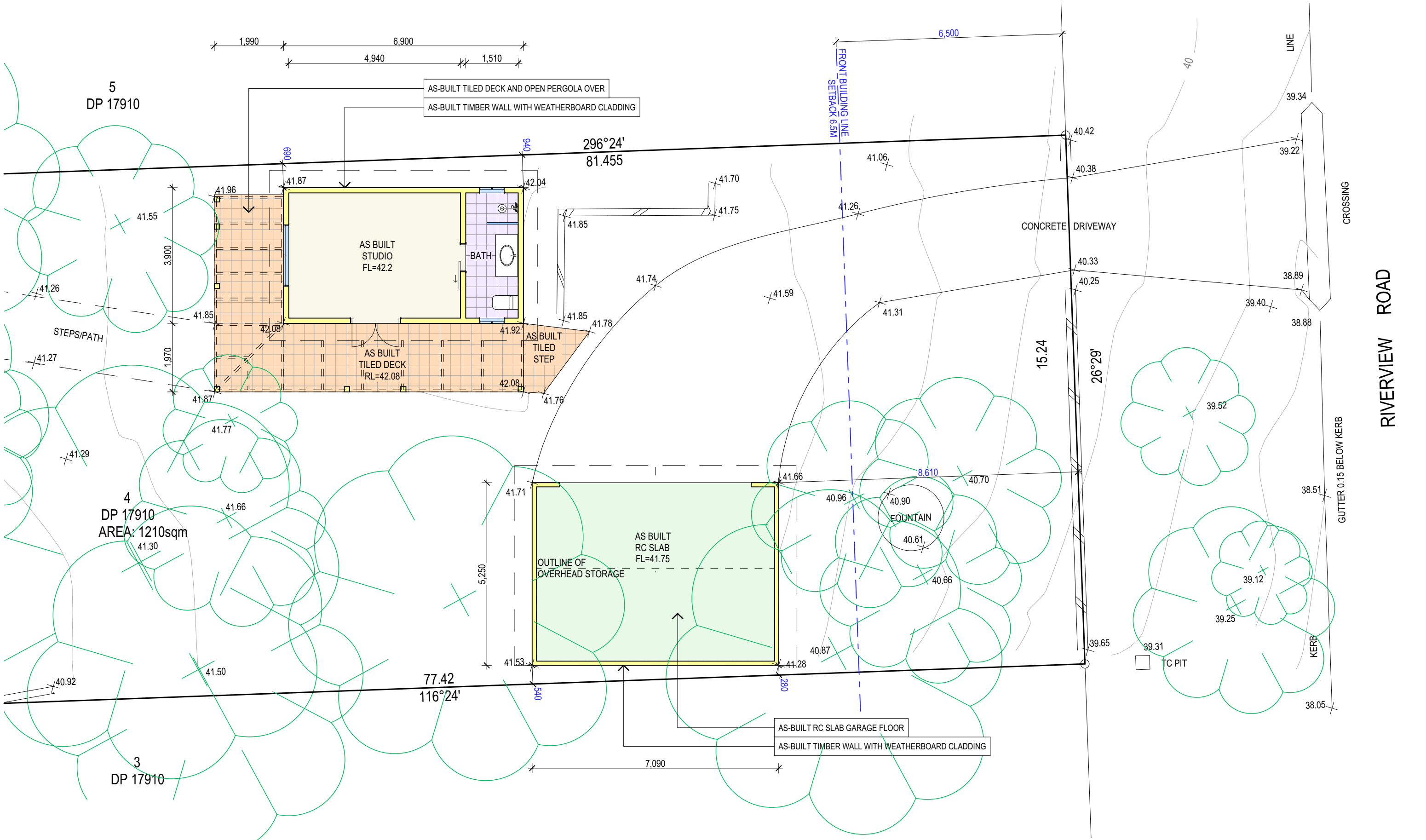
- NOTES** (E & OE)
- All structures including stormwater & drainage to engineer's details.
 - Do not obtain dimensions by scaling drawings.
 - All dimensions are to be checked on site prior to starting work.
 - These drawings are to be read in conjunction with all other consultant's drawings and specifications.
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 - Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

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REV:	DATE:	DESCRIPTION:
A	13/11/23	REVISED BIC DRAWINGS

PROJECT: AS BUILT 45 RIVERVIEW ROAD AVALON BEACH NSW 2107 CLIENT: ANDREW GOLDSMITH	DRAWING TITLE: AS-BUILT SITE PLAN
---------------------------------------------------------------------------------------------	--------------------------------------

DATE: SEP/22	DRAWN BY: DK	SCALE: 1:300 @ A3
JOB No: 1069/22	CHECKED BY: JJ	DRAWING No: AS-BUILT.01



AS BUILT FLOOR AREA - STUDIO	26.91m²
AS BUILT FLOOR AREA - GARAGE	37.23m²

AS BUILT STUDIO&GARAGE FLOOR PLAN

TRUE NORTH:

NOTES (E & OE)

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A	13/11/23	REVISED BIC DRAWINGS

PROJECT: AS BUILT
45 RIVERVIEW ROAD AVALON BEACH NSW 2107

CLIENT:
ANDREW GOLDSMITH

DRAWING TITLE:
AS-BUILT STUDIO & GARAGE FLOOR PLAN

DATE:
SEP/22

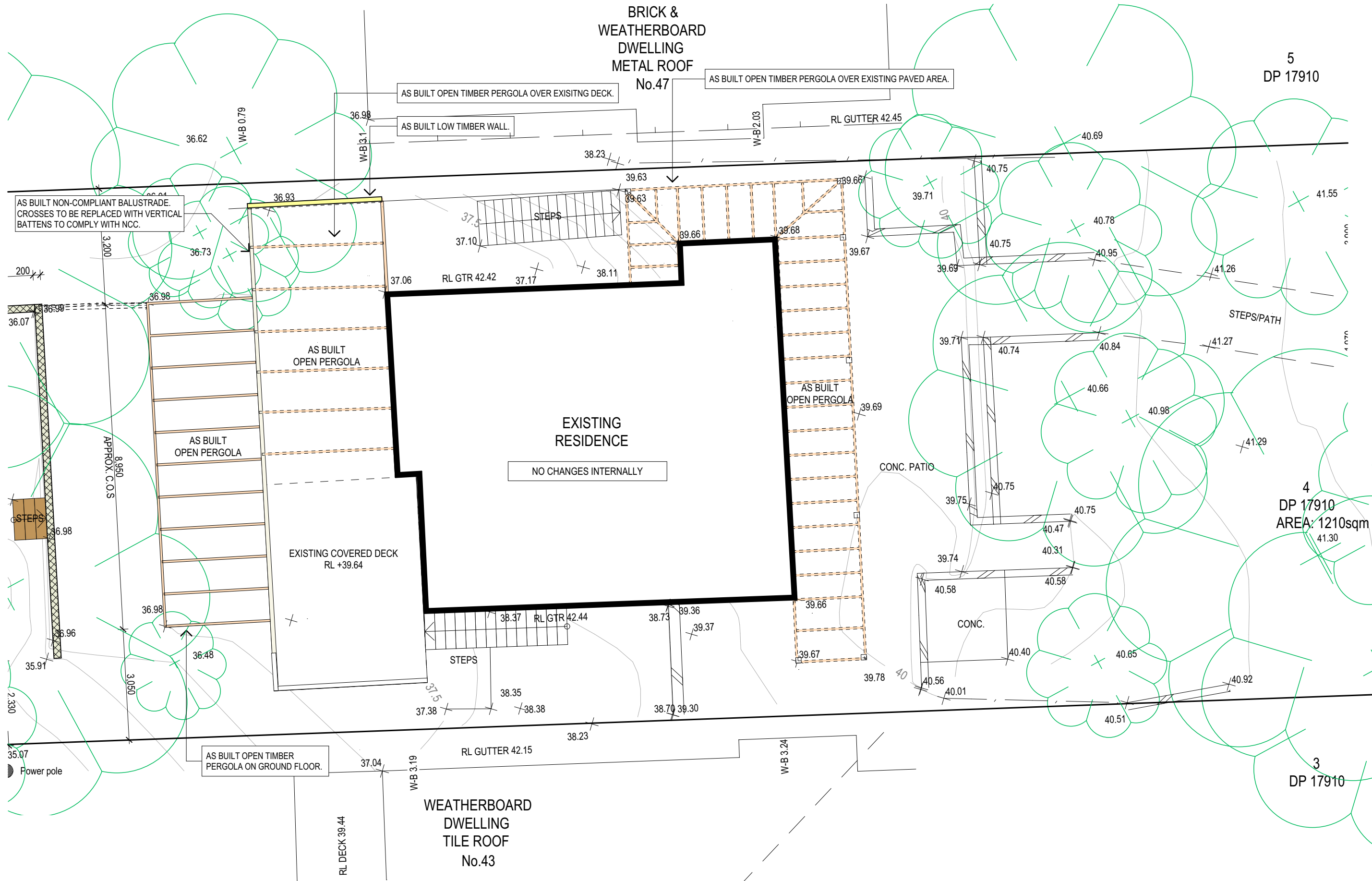
JOB No:
1069/22

DRAWN BY:
DK

CHECKED BY:
JJ

SCALE:
1:100 @ A3

DRAWING No:
AS-BUILT.02



TRUE NORTH:



NOTES (E & OE)

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PROJECT: AS BUILT
45 RIVERVIEW ROAD AVALON BEACH NSW 2107

CLIENT:
ANDREW GOLDSMITH

DRAWING TITLE:
AS BUILT OPEN PERGOLA PLAN

DATE:
SEP/22

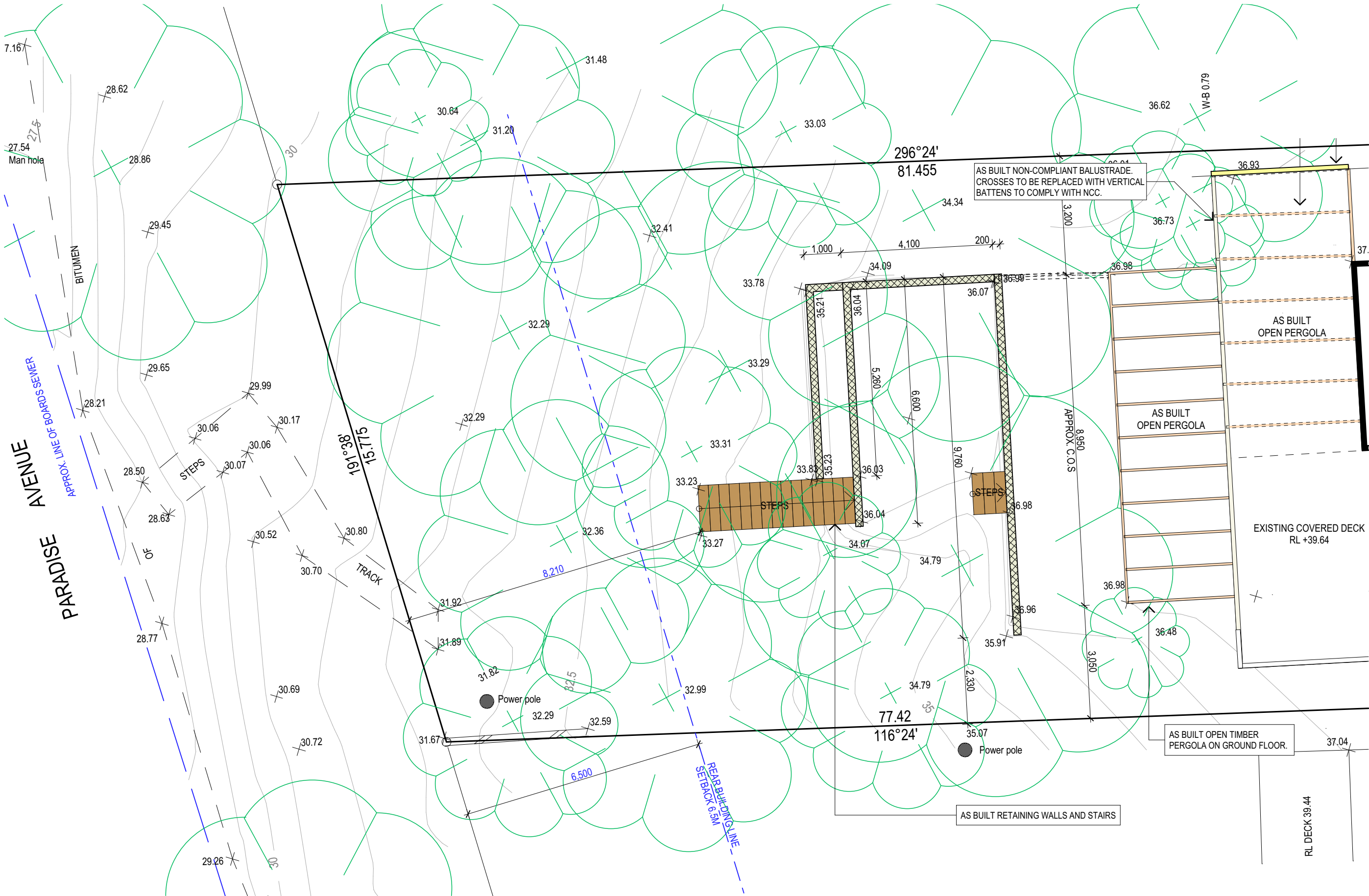
JOB No:
1069/22

DRAWN BY:
DK

CHECKED BY:
JJ

SCALE:
1:100 @ A3

DRAWING No:
AS-BUILT.03



AS BUILT RETAINING WALL PLAN

TRUE NORTH:



NOTES (E & OE)

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PROJECT: AS BUILT
45 RIVERVIEW ROAD AVALON BEACH NSW 2107
CLIENT:
ANDREW GOLDSMITH

DRAWING TITLE:
AS-BUILT RETAINING WALL PLAN

DATE:
SEP/22

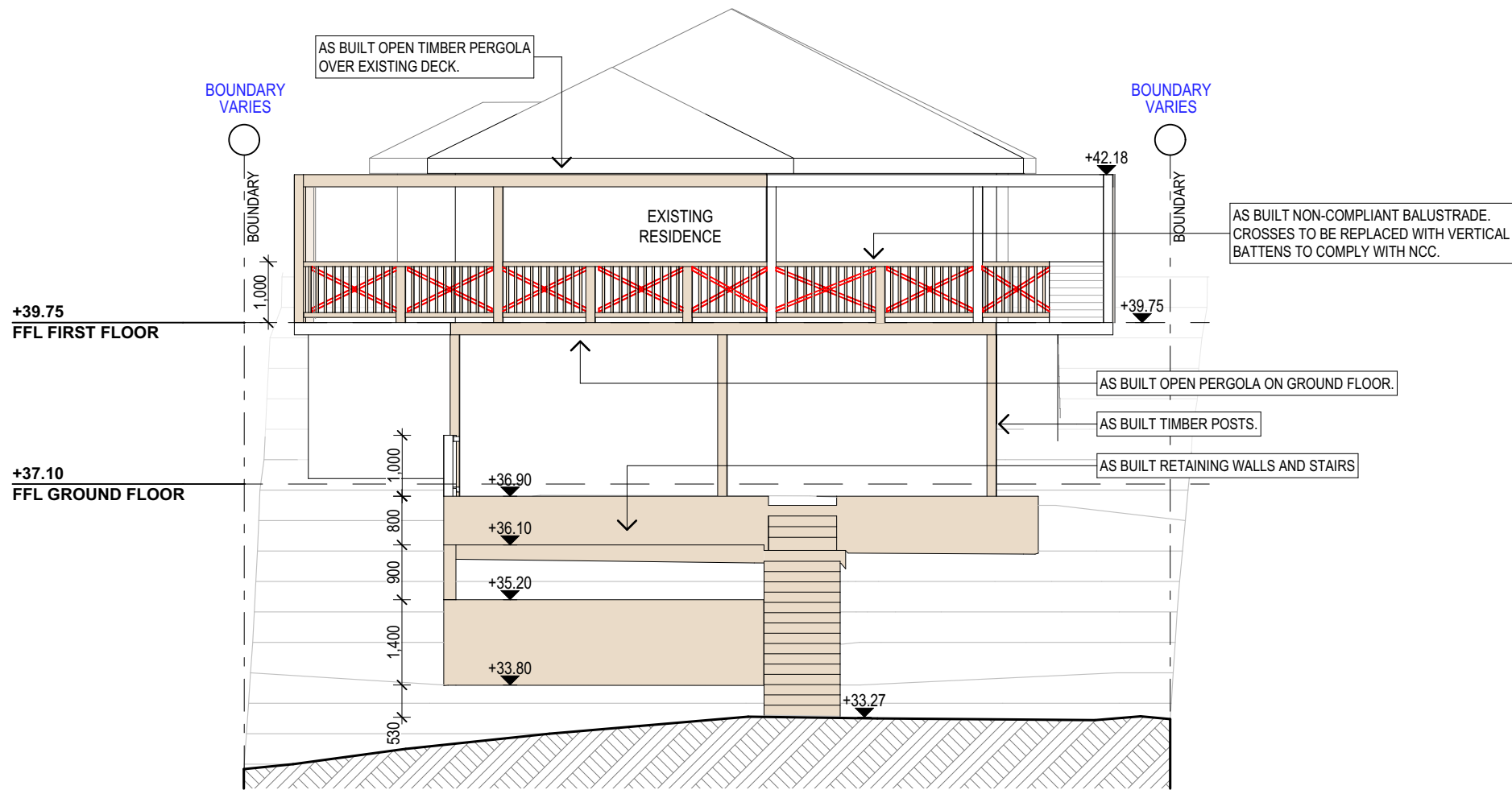
JOB No:
1069/22

DRAWN BY:
DK

CHECKED BY:
JJ

SCALE:
1:100 @ A3

DRAWING No:
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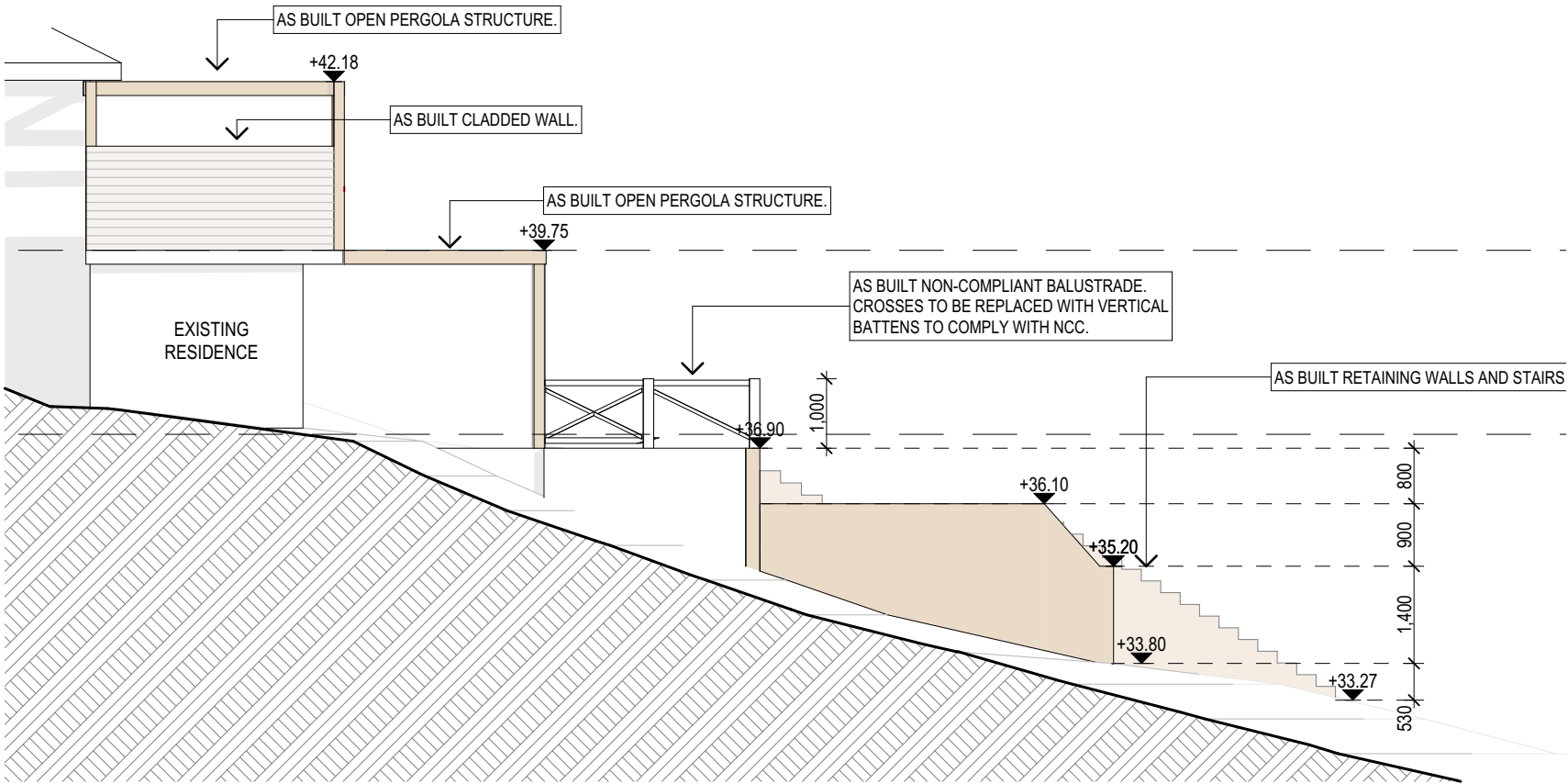


AS-BUILT RETAINING WALL - WEST ELEVATION

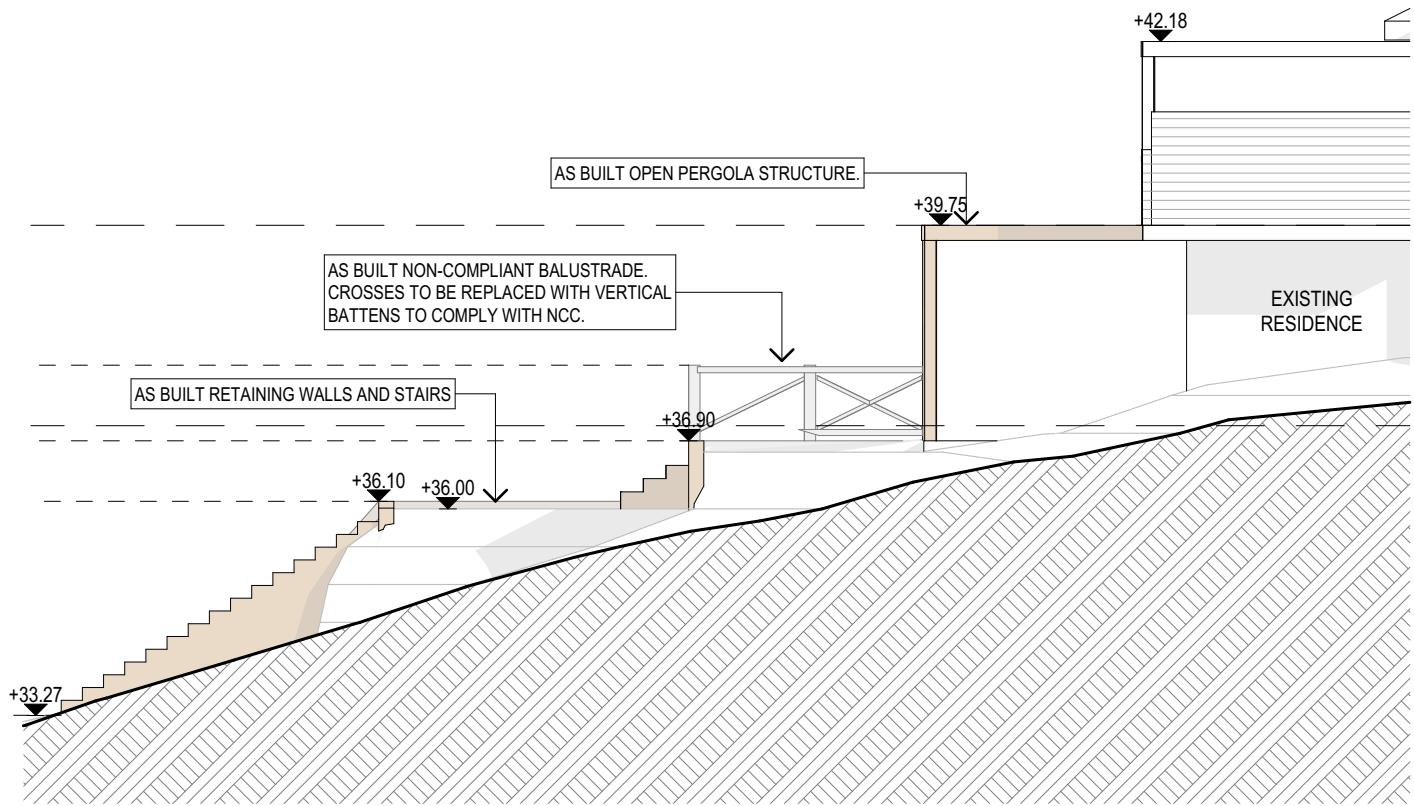


AS BUILT OPEN PERGOLA - EAST ELEVATION

<div>NOTES (E & OE)</div> <div><ul style="list-style-type: none">• All structures including stormwater & drainage to engineer's details.• Do not obtain dimensions by scaling drawings.• All dimensions are to be checked on site prior to starting work.• These drawings are to be read in conjunction with all other consultant's drawings and specifications.• All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.• New materials are to be used throughout unless otherwise noted.• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.</div>	<div>JJ Drafting</div> <div>Australia P/L.</div> <div>26/90 Mona Vale Road, Mona Vale, NSW, 2103</div> <div>PO Box 687, Dee Why, NSW, 2099</div> <div>Mob. 0414 717 541 Email. enquiries@jjdrafting.com.au</div> <div>www.jjdrafting.com.au</div> <div>ACN 651 693 346</div>	<div>REV:</div> <div>A</div>	<div>DATE:</div> <div>13/11/23</div>	<div>DESCRIPTION:</div> <div>REVISED BIC DRAWINGS</div>	<div>PROJECT: AS BUILT</div> <div>45 RIVERVIEW ROAD AVALON BEACH NSW 2107</div> <div>CLIENT:</div> <div>ANDREW GOLDSMITH</div>	<div>DATE:</div> <div>SEP/22</div>	<div>DRAWN BY:</div> <div>DK</div>	<div>SCALE:</div> <div>1:100 @ A3</div>		
						<div>JOB No:</div> <div>1069/22</div>	<div>CHECKED BY:</div> <div>JJ</div>	<div>DRAWING No:</div> <div>AS-BUILT.05</div>		
							<div>DRAWING TITLE:</div> <div>AS BUILT OPEN PERGOLA ELEVATIONS</div>			



AS-BUILT RETAINING WALL - NORTH ELEVATION



AS-BUILT RETAINING WALL - SOUTH ELEVATION

NOTES (E & OE)

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PROJECT: AS BUILT
45 RIVERVIEW ROAD AVALON BEACH NSW 2107
CLIENT:
ANDREW GOLDSMITH

DRAWING TITLE:
AS-BUILT RETAINING WALL ELEVATIONS SHEET

DATE:
SEP/22

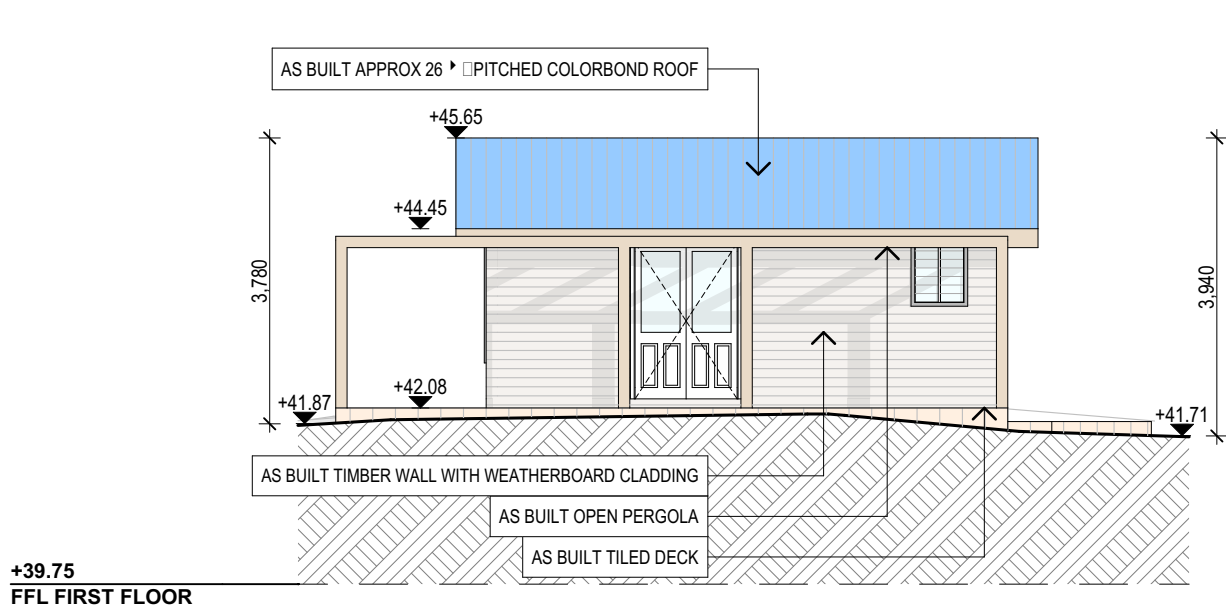
JOB No:
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DRAWN BY:
DK

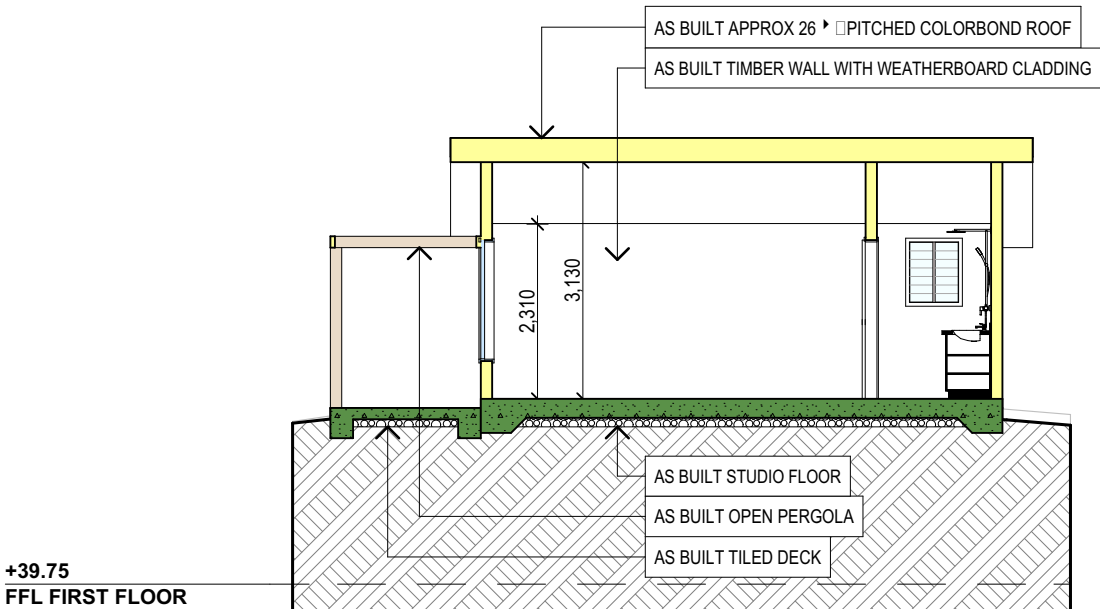
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JJ

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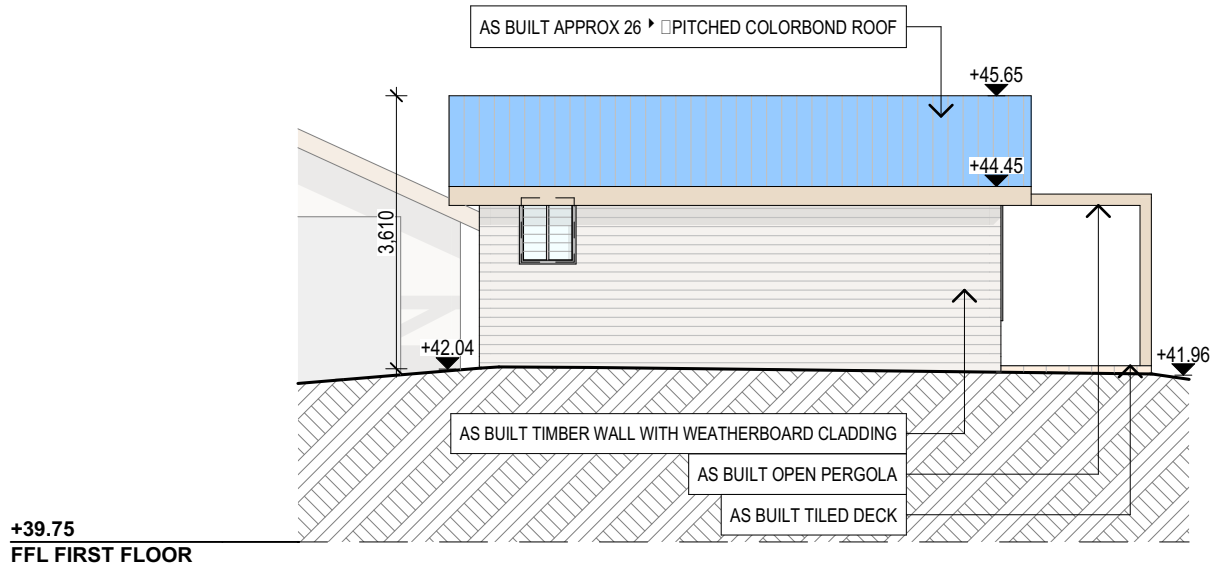
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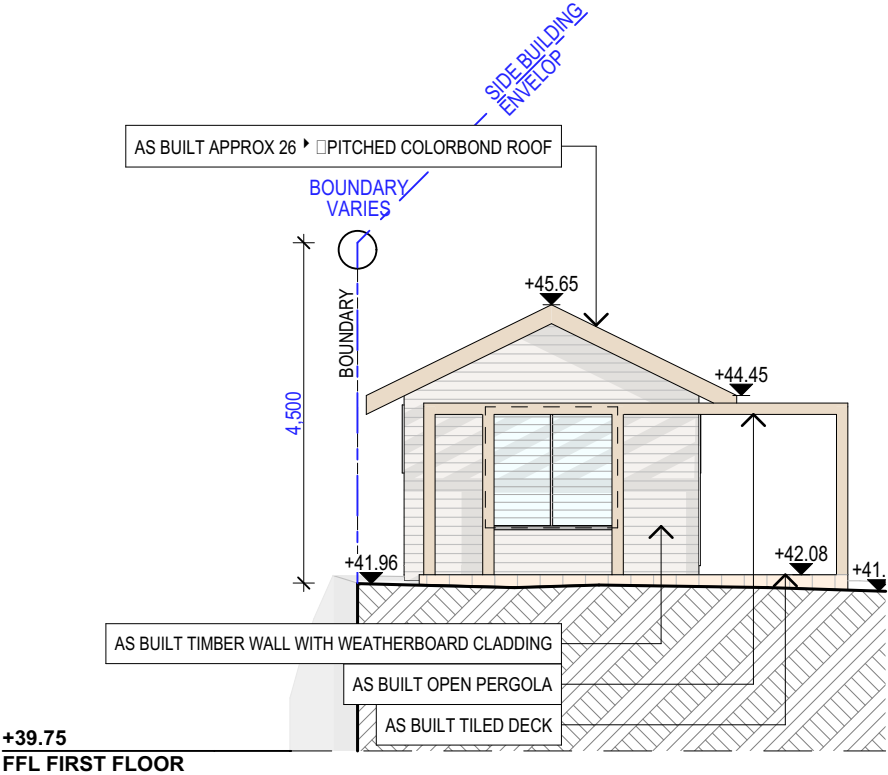
AS-BUILT STUDIO - SOUTH ELEVATION



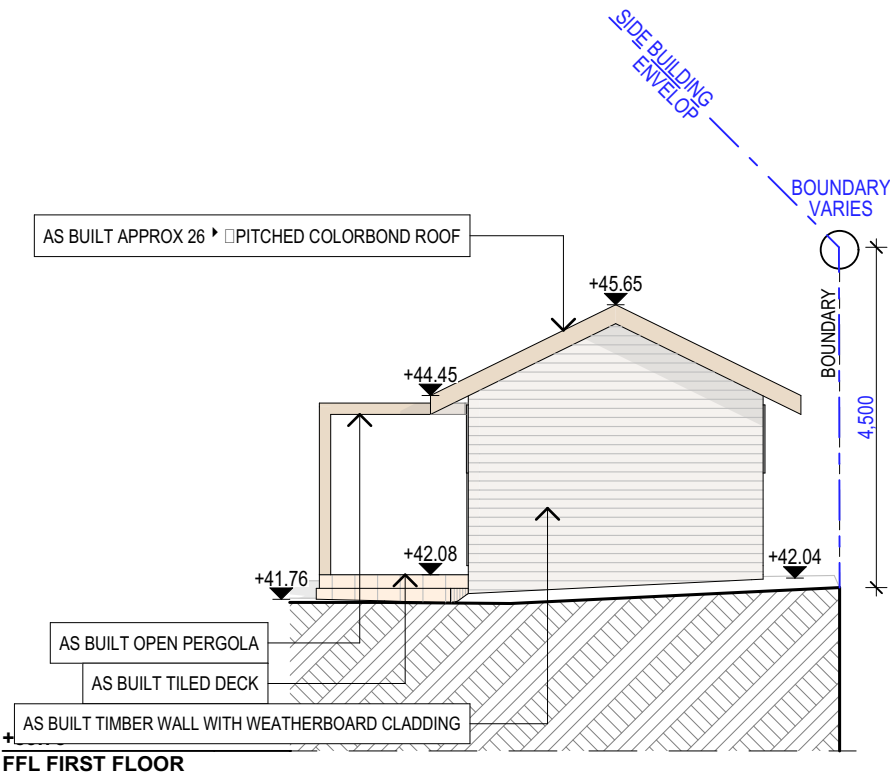
AS-BUILT STUDIO - SECTION



AS-BUILT STUDIO - NORTH ELEVATION



AS-BUILT STUDIO - WEST ELEVATION



AS-BUILT STUDIO - EAST ELEVATION

NOTES (E & OE)	
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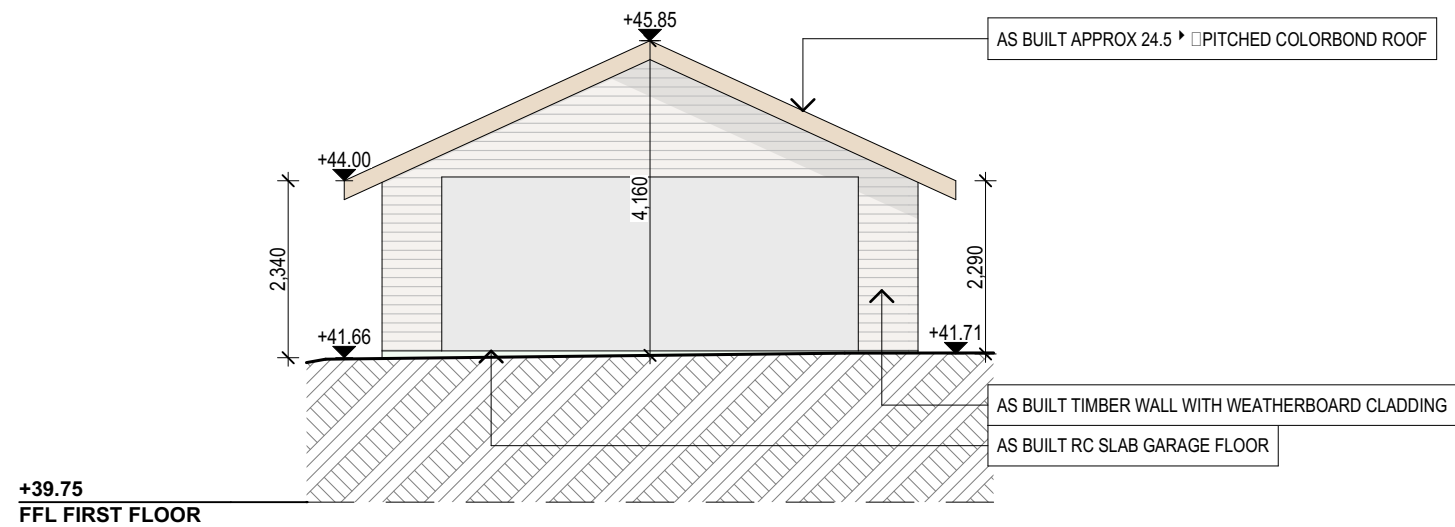
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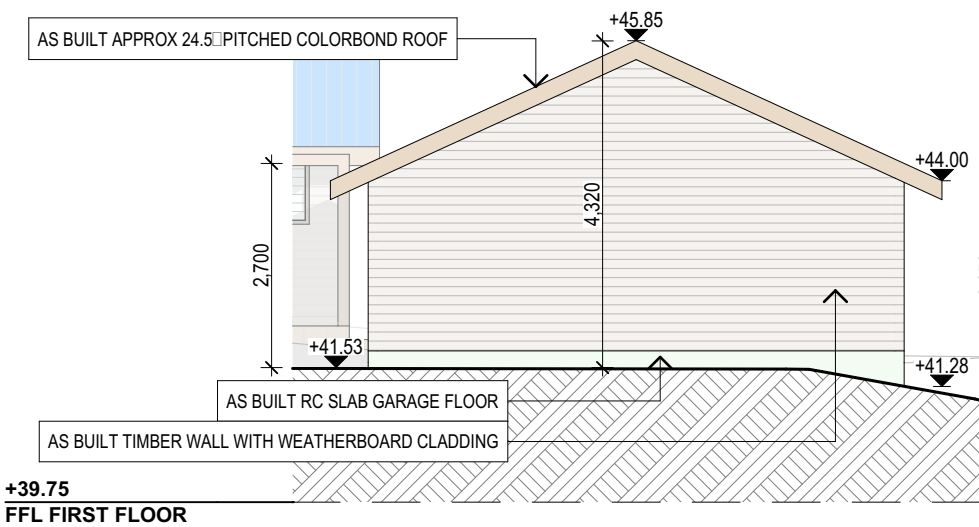
REV:	DATE:	DESCRIPTION:
A	13/11/23	REVISED BIC DRAWINGS

PROJECT: AS BUILT 45 RIVERVIEW ROAD AVALON BEACH NSW 2107 CLIENT: ANDREW GOLDSMITH	DRAWING TITLE: AS-BUILT STUDIO ELEVATIONS SHEET
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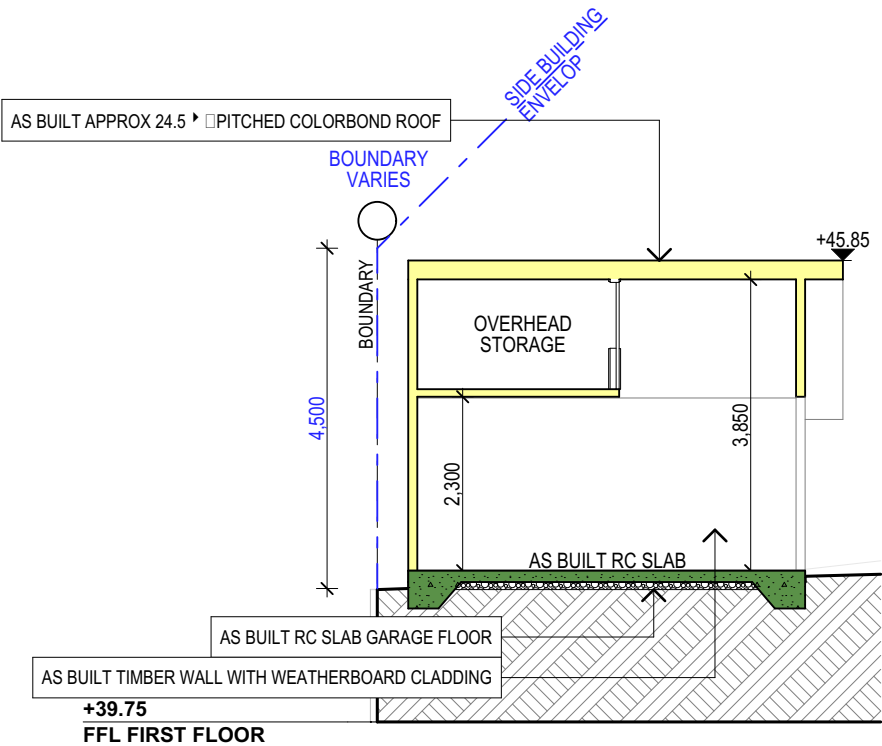
DATE: SEP/22	DRAWN BY: DK	SCALE: 1:100 @ A3
JOB No: 1069/22	CHECKED BY: JJ	DRAWING No: AS-BUILT.07



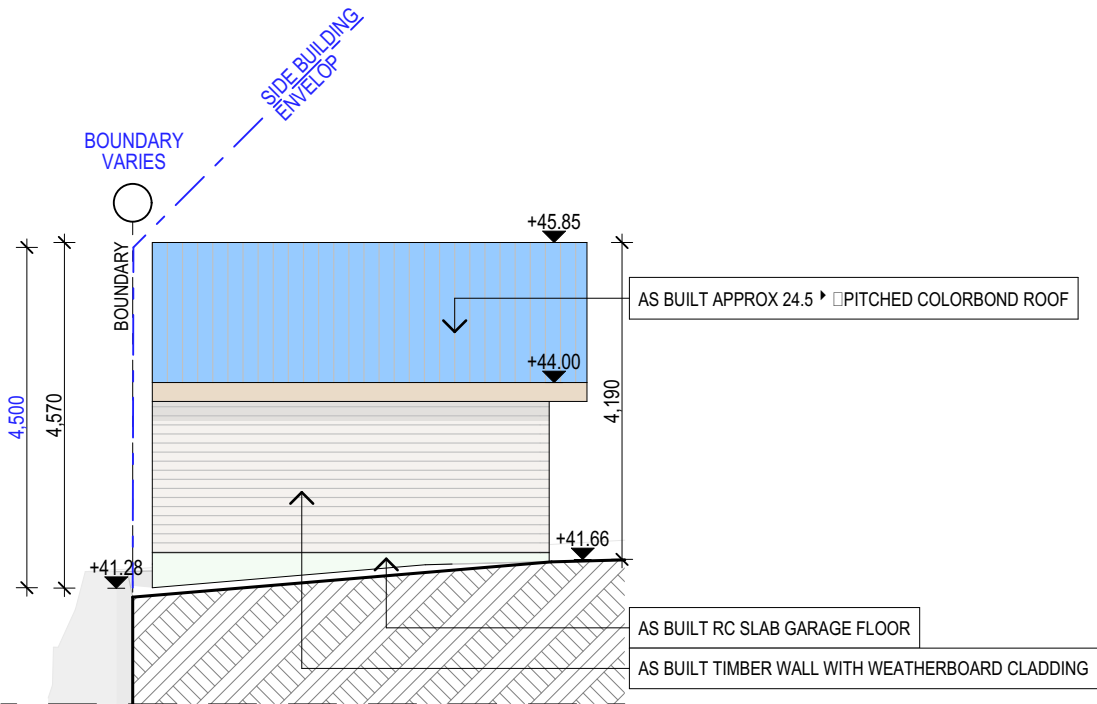
AS-BUILT GARAGE - NORTH ELEVATION



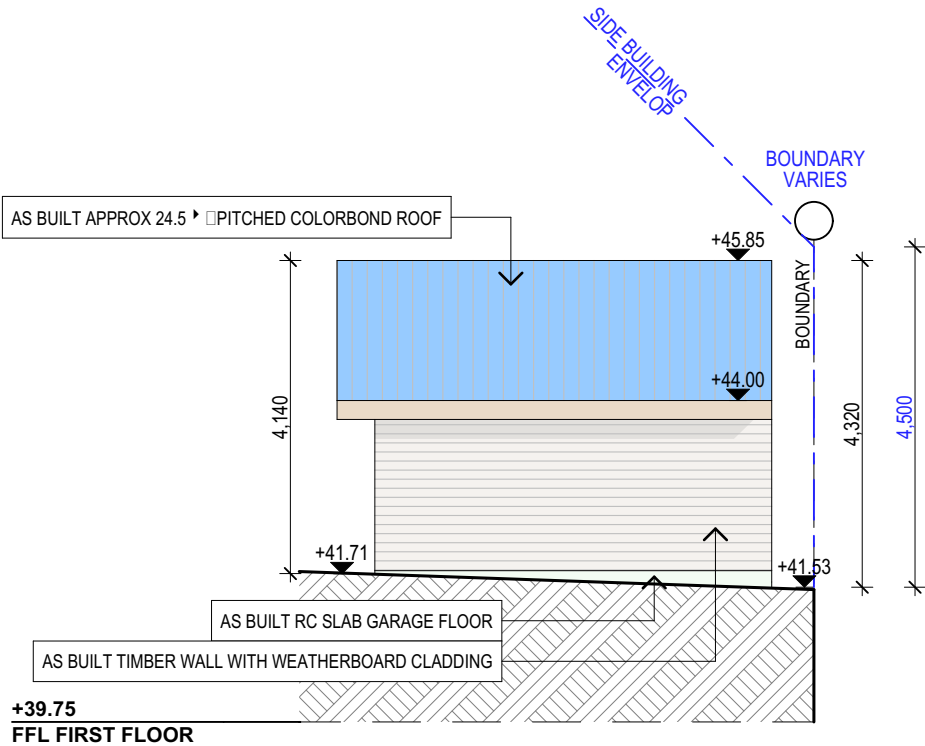
AS-BUILT GARAGE - SOUTH ELEVATION



AS-BUILT GARAGE - SECTION



AS-BUILT GARAGE - EAST ELEVATION



AS-BUILT GARAGE - WEST ELEVATION

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PROJECT: AS BUILT
45 RIVERVIEW ROAD AVALON BEACH NSW 2107

CLIENT:
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DRAWING TITLE:
AS-BUILT GARAGE ELEVATIONS SHEET

DATE:
SEP/22

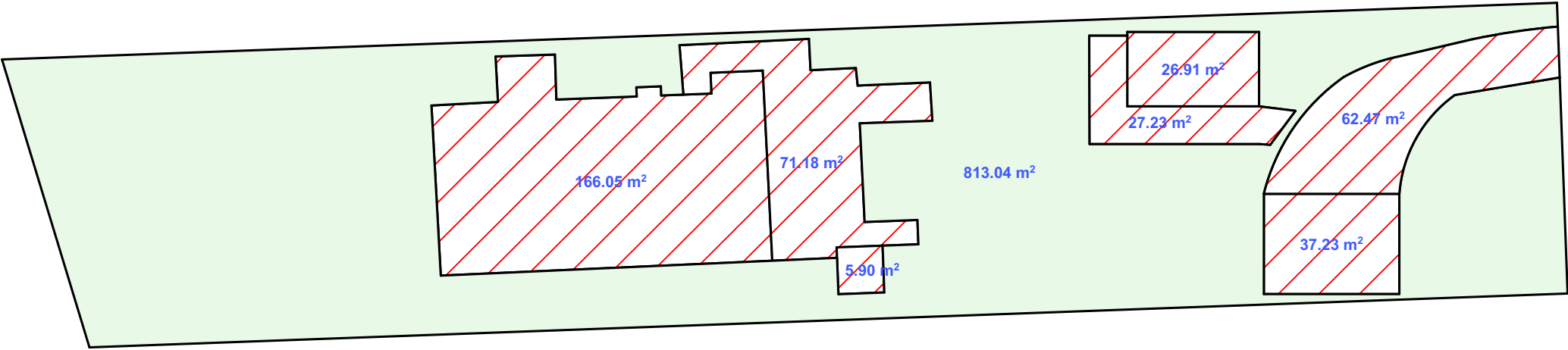
JOB No:
1069/22

DRAWN BY:
DK

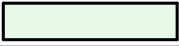

CHECKED BY:
JJ

SCALE:
1:100 @ A3


DRAWING No:
AS-BUILT.08



LANDSCAPED AREA CALCULATION PLAN

CALCULATIONS			
SITE AREA			1210m ²
LANDSCAPE CONTROL	60%		726m ²
LANDSCAPED AREA		67.19%	813.04m ²
HARD SURFACE AREA		32.81%	396.97m ²

TRUE NORTH:



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PROJECT: AS BUILT
45 RIVERVIEW ROAD AVALON BEACH NSW 2107
CLIENT:
ANDREW GOLDSMITH

DRAWING TITLE:
LANDSCAPED AREA CALCULATION PLAN

DATE: SEP/22	DRAWN BY: DK	SCALE: 1:1, 1:300 @ A3
JOB No: 1069/22	CHECKED BY: JJ	DRAWING No: AS-BUILT.10