

LOT 4 DP 17910 SITE AREA = 1210 m<sup>2</sup>

**AS-BUILT SITE PLAN** 

AS BUILT FLOOR AREA - STUDIO	26.91m <sup>2</sup>
AS BUILT FLOOR AREA - GARAGE	37.23m²

## TRUE NORTH:

- NOTES (E & OE)

  All structures including stormwater & drainage to engineer's details.

  Do not obtain dimensions by scaling drawings.
  All dimensions are to be checked on site prior to starting work.
- specifications.

   All workmanship & materials shall be in accordance with the requirements of current editions New materials are to be used throughout unless otherwise noted.
   Concrete footings, slab, structural beams or any other structural members are to be designed.
- by a practicing engineer.

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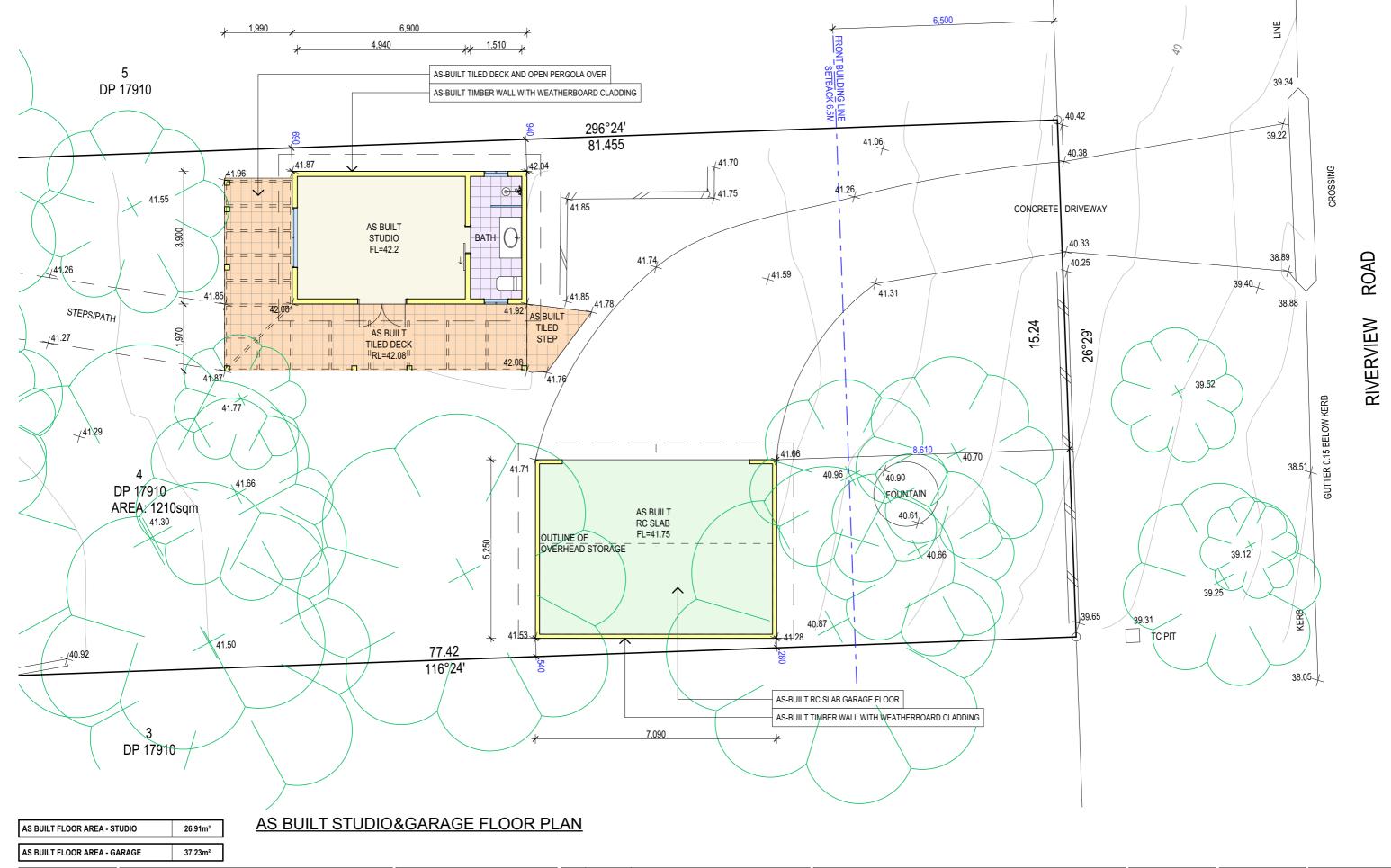
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DESCRIPTION:	PROJECT: AS BUILT	DA
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	CLIENT:	IL_
	ANDREW GOLDSMITH	
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	DRAWING TITLE:	ll
	AS-BUILT SITE PLAN	

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JOB No:	CHECKED BY:	DRAWING No:
1069/22	JJ	AS-BUILT.0





NOTES (E & OE)

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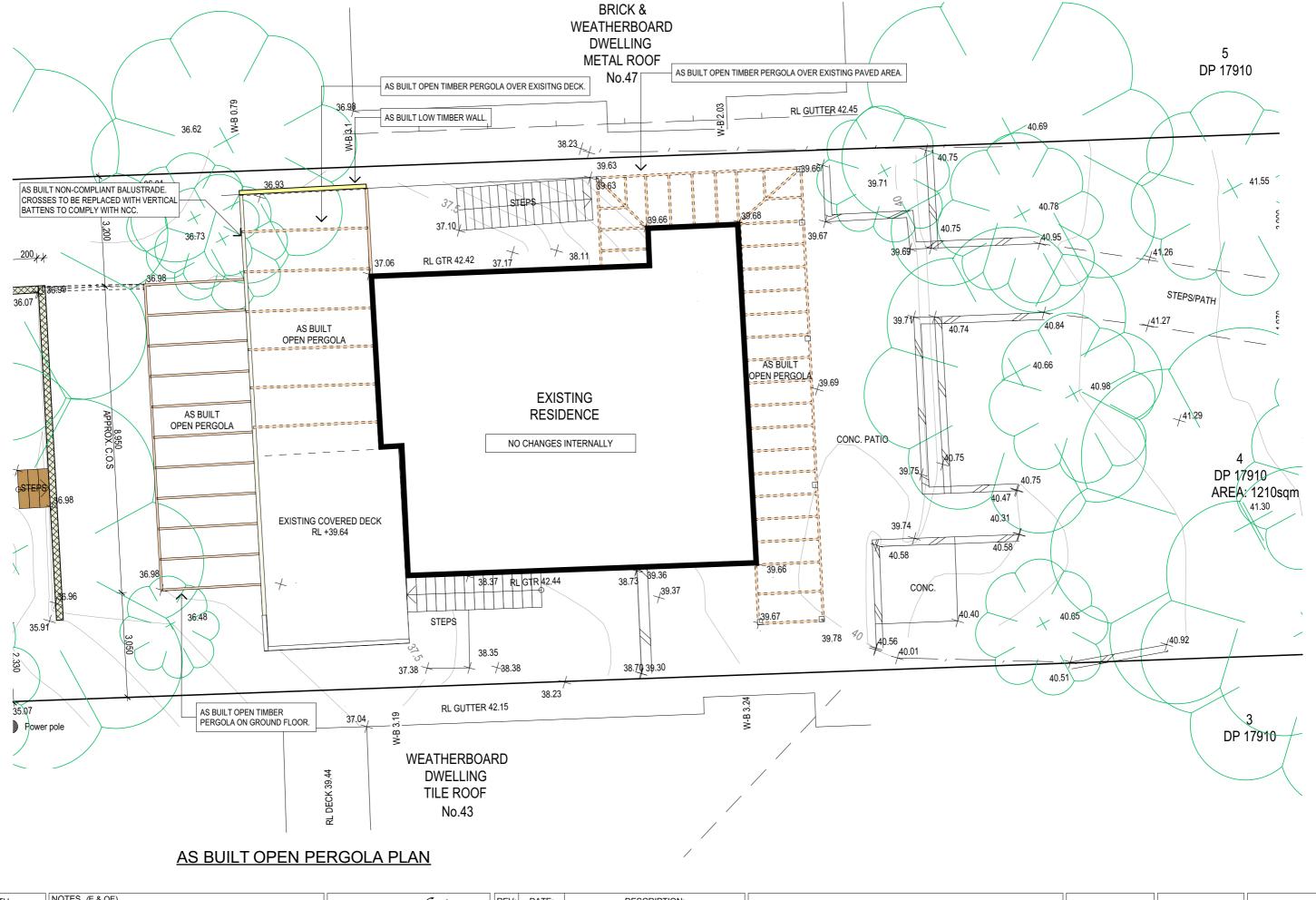
PROJECT: AS BUILT 45 RIVERVIEW ROAD AVALON BEACH NSW 2107 CLIENT:	DATE: SEP/22	DRAWN BY:
ANDREW GOLDSMITH	JOB No:	CHECKED BY:
DRAWING TITLE: AS-BUILT STUDIO & GARAGE FLOOR PLAN	1069/22	JJ

SCALE:

1:100 @ A3

**AS-BUILT.02** 

DRAWING No:





## NOTES (E & OE)

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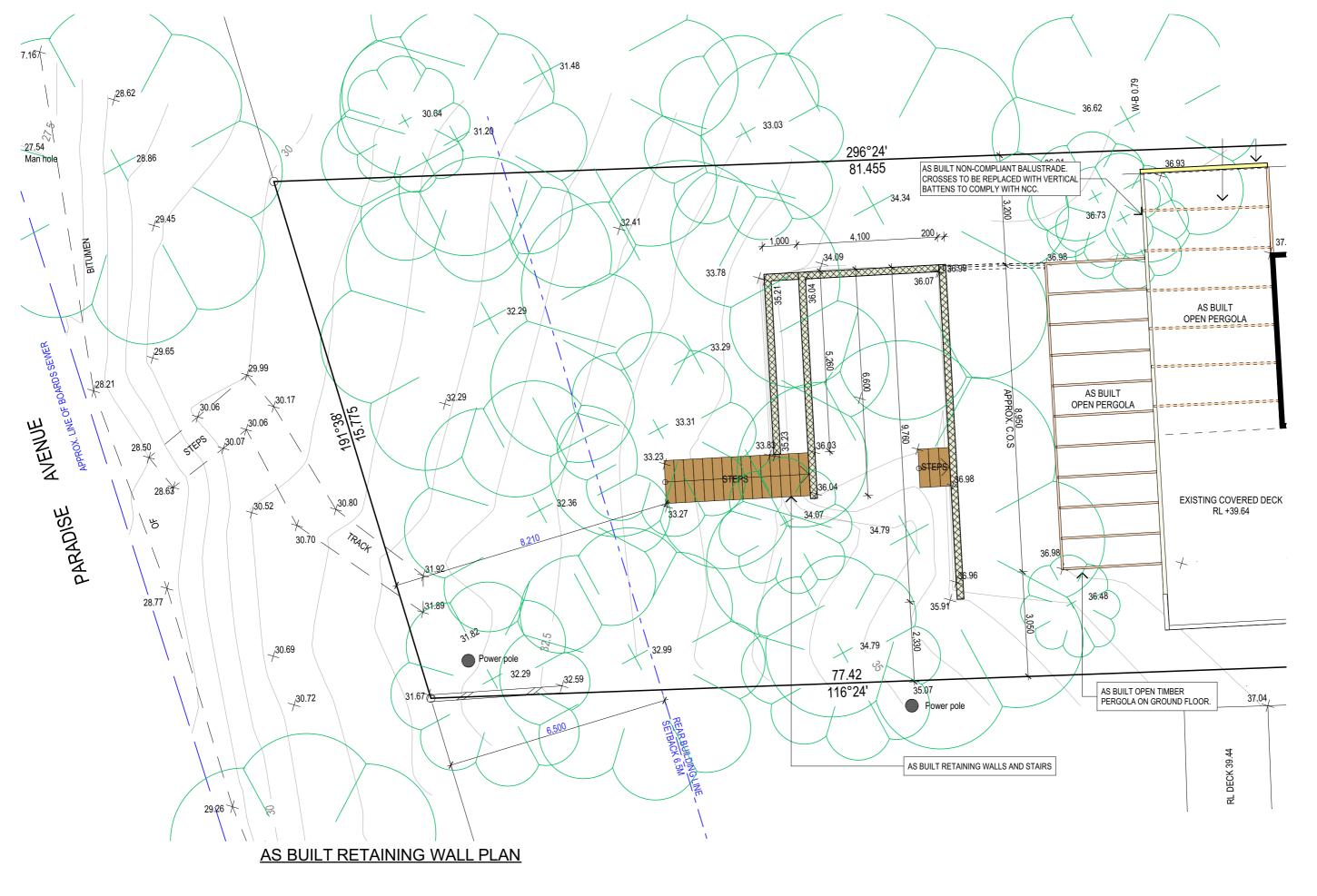
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PROJECT: AS BUILT 45 RIVERVIEW ROAD AVALON BEACH NSW 2107
CLIENT: ANDREW GOLDSMITH
DRAWING TITLE: AS BUILT OPEN PERGOLA PLAN

DATE: SEP/22 DRAWN BY: SCALE: 1:100 @ A3	JOB No: 1069/22	CHECKED BY:	DRAWING No:  AS-BUILT.03





- NOTES (E & OE)

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   All workmanship & materials shall be in accordance with the requirements of current editions
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- All working among a materials stall be in accordance with the requirements or correct educins including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
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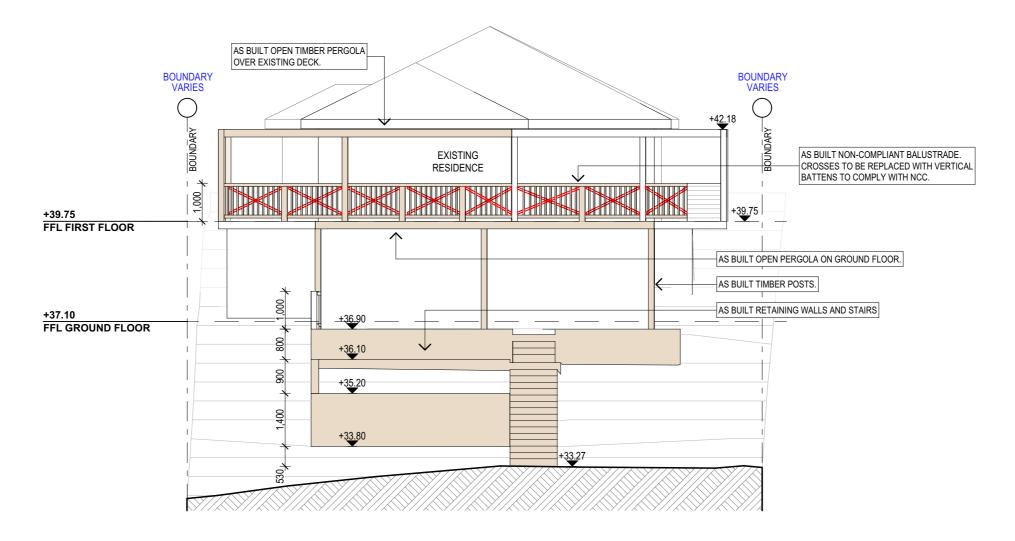
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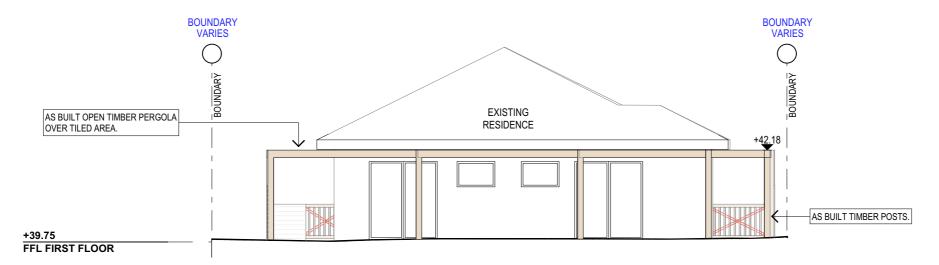
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PROJECT: AS BUILT 45 RIVERVIEW ROAD AVALON BEACH NSW 2107	
CLIENT: ANDREW GOLDSMITH	
DRAWING TITLE: AS-BUILT RETAINING WALL PLAN	

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## **AS-BUILT RETAINING WALL - WEST ELEVATION**



## AS BUILT OPEN PERGOLA - EAST ELEVATION

NOTES (E & OE)

• All structures including stormwater & drainage to engineer's details.

• Do not obtain dimensions by scaling drawings.

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• These drawings are to be read in conjunction with all other consultant's drawings and

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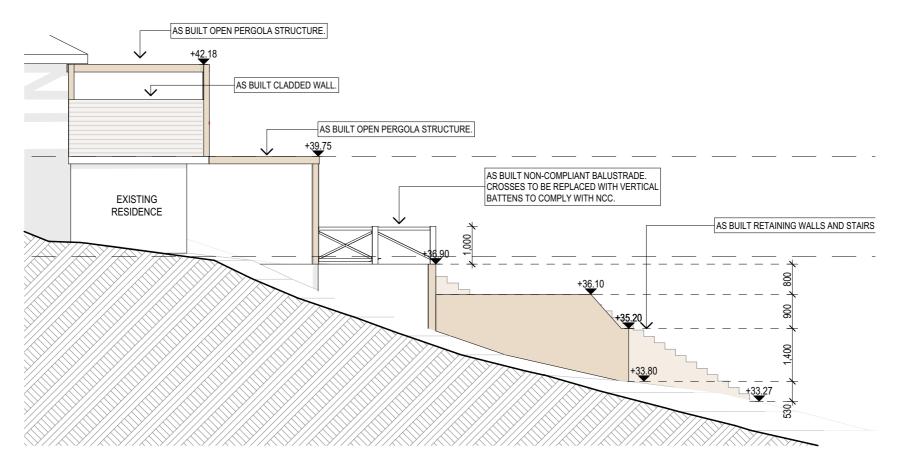
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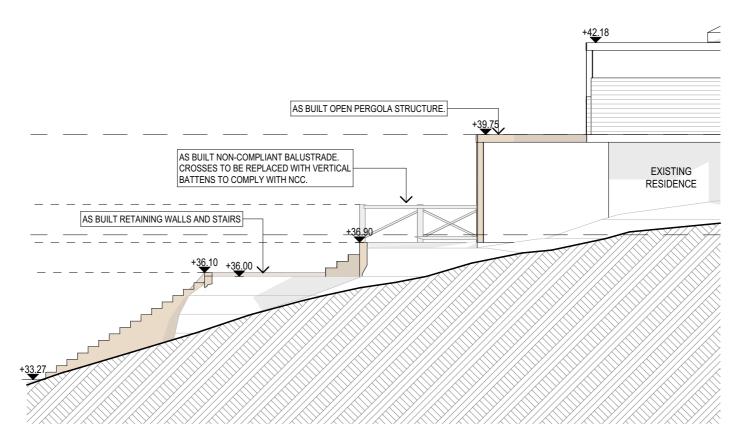
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PROJECT: AS BUILT 45 RIVERVIEW ROAD AVALON BEACH NSW 2107 CLIENT: ANDREW GOLDSMITH
DRAWING TITLE: AS BUILT OPEN PERGOLA ELEVATIONS

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## **AS-BUILT RETAINING WALL - NORTH ELEVATION**



## **AS-BUILT RETAINING WALL - SOUTH ELEVATION**

- NOTES (E & OE)

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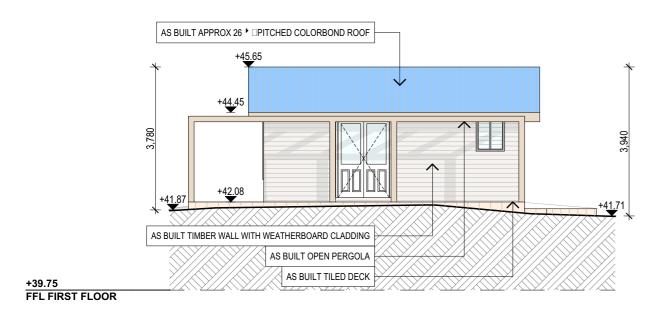
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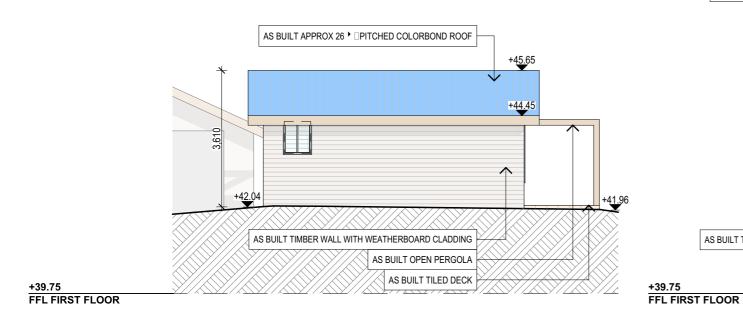
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PROJECT: AS BUILT 45 RIVERVIEW ROAD AVALON BEACH NSW 2107
CLIENT: ANDREW GOLDSMITH
DRAWING TITLE: AS-BUILT RETAINING WALL ELEVATIONS SHEET

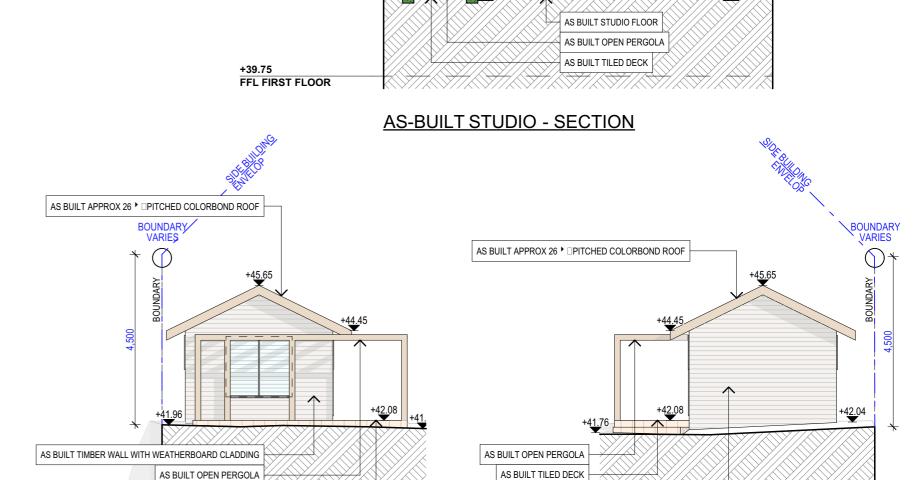
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## **AS-BUILT STUDIO - SOUTH ELEVATION**



**AS-BUILT STUDIO - NORTH ELEVATION** 



## AS-BUILT STUDIO - WEST ELEVATION

AS BUILT OPEN PERGOLA

AS BUILT TILED DECK

## **AS-BUILT STUDIO - EAST ELEVATION**

AS BUILT APPROX 26 • □PITCHED COLORBOND ROOF

AS BUILT TIMBER WALL WITH WEATHERBOARD CLADDING

- NOTES (E & OE)

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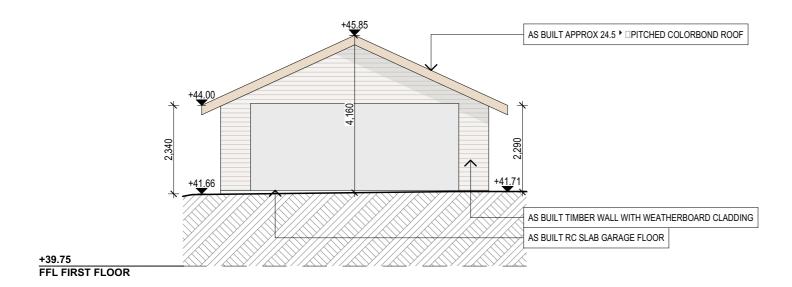
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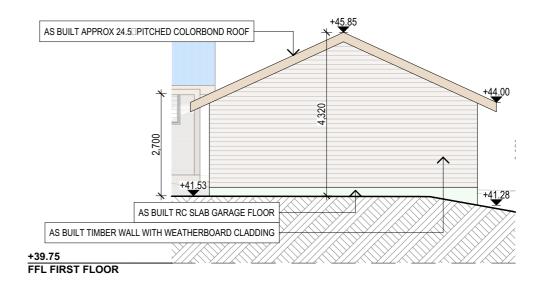
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ANDREW GOLDSMITH	JOB No:	CHECKED BY:	DRAWING No:
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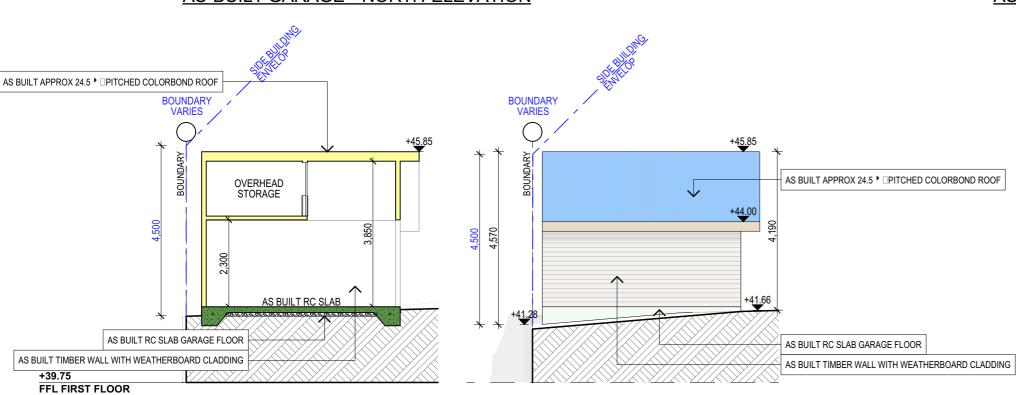
AS BUILT TIMBER WALL WITH WEATHERBOARD CLADDING

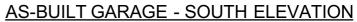
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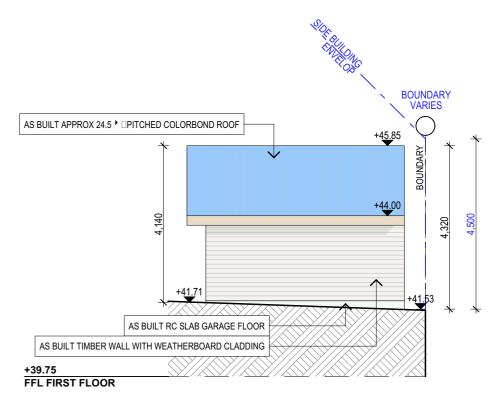




## **AS-BUILT GARAGE - NORTH ELEVATION**







**AS-BUILT GARAGE - SECTION** 

**AS-BUILT GARAGE - EAST ELEVATION** 

DESCRIPTION:

## **AS-BUILT GARAGE - WEST ELEVATION**

SCALE:

DRAWING No: **AS-BUILT.08** 

1:100 @ A3

## NOTES (E & OE)

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CLIENT: ANDREW GOLDSMITH	JOB No:	CHECKED BY:
DRAWING TITLE: AS-BUILT GARAGE ELEVATIONS SHEET	1069/22	JJ

## **SPECIFICATION NOTES**

- PROVIDE PLASTERBOARD LINING
- INSTALL TO MANUFACTURERS SPECIFICATIONS & AS 2589

- EXTERNAL WALLS:
   BRICK VENEER WALLS WITH SELECTED BRICKS TO DWELLING.
- ALL EXTERNAL WALL CLADDINGS MUST BE COMPLIANT WITH THE REQUIREMENTS OF NCC 2022 ABCB HOUSING PROVISIONS PART 7 AS1684 AND ALL RELEVANT CODEMARK CERTIFICATES.
- ROOF AND WALL CLADDING INSTALLATION TO NCC 2022 ABCB HOUSING PROVISIONS PART 7 & AS 1562 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING.

#### CONDENSATION MANAGEMENT:

CONDENSATION MANAGEMENT MUST BE ADHERED TO IN ACCORDANCE WITH NCC 2022 - HOUSING PROVISIONS PART 10.8.

FLOOR:
- GROUND FLOOR TO BE REINFORCED CONCRETE SLAB IN ACCORDANCE WITH AS2870.

- FIRST FLOOR TO BE TIMBER FRAMED FINISHED WITH T&G HARDWOOD FLOORING.

- WET AREAS:
   ALL WATERPROOFING TO NCC 2022 ABCB HOUSING PROVISIONS PART 10, AS3740 AND PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS & SHOWER WALLS TO MANUFACTURED SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.
- WATERPROOF INSTALLATION NCC (2022): HOUSING PROVISIONS PART 10, AS 3740 WATERPROOFING OF DOMESTIC WET AREAS (INTERNAL) & AS 4654 WATERPROOF MEMBRANES FOR EXTERNAL USE.

BEARERS AND JOISTS:
- SHALL BE INSTALLED TO COMPLY WITH AS1684 AS AMENDED FOR TIMBER COMPONENTS OR AS3620 FOR LIGHTWEIGHT STEEL FRAMING SECTIONS OR AS PER THE NASH ALTERNATIVES TO AS 3623.

ANT CAPS:
- SHALL BE INSTALLED IN ACCORDANCE WITH AS3660.

- COLORBOND ROOF CLADDING
- METAL ROOF DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH NCC 2022 ABCB HOUSING PROVISIONS PART 7, AS 1562.

## ROOF TILES OR SHINGLES:

- NCC VOL.2 PART 3.5.2.

- SHALL BE IN ACCORDANCE WITH NCC VOL.1 PART B1.4 OR VOL.2 PART 3.2.3. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE

#### BRICK AND BLOCKWORK:

- MASONRY STRUCTURES TO NCC 2022 - ABCB HOUSING PROVISIONS PART 5 & AS 3700 MASONRY STRUCTURES.

- FOOTINGS TO BE IN ACCORDANCE WITH AS1480
- FOOTINGS TO BE IN ACCORDANCE WITH NCC VOL.2 PARTS 3.2.3, 3.2.4 AND 3.2.5
- ALL REINFORCEMENTS SHALL CONFORM TO AS1302, AS1303 AND AS1304.
   RESIDENTIAL SLABS, FOOTINGS AND CONCRETE STRUCTURES TO NCC 2022 ABCB HOUSING PROVISIONS PART 3 & 4, AS 2870 RESIDENTIAL SLABS AND FOOTING & AS 3600 CONCRETE STRUCTURES.

#### CARPENTRY

- TIMBER TO COMPLY WITH AS1170.2 OR AS4055.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS1684 AND 1720 AS APPLICABLE.
- -TERMITE MANAGEMENT INSTALLATION OF PERIMETER & COLLARS TO NCC 2022 ABCB HOUSING PROVISIONS PART 3.4 & AS 3660.1 TERMITE MANAGEMENT - NEW BUILDING WORK. TIMBER FRAMING
- -ALL EXTERNAL TIMBER FRAMED WALLS TO BE WRAPPED IN A BREATHABLE VAPOUR PERMEABLE MEMBRANE THAT COMPLIES, INSTALLED WITH AS/NZS 4200.1 & AS/NZS 4200.2.- TO COMPLY WITH NCC VOL.2 PART 3.4
- -TIMBER FRAMING INSTALLATION TO NCC 2022 ABCB HOUSING PROVISIONS PART 6, AS 1684
- RESIDENTIAL TIMBER FRAMED CONSTRUCTION & AS/NZS 1170 STRUCTURAL DESIGN ACTIONS - GROUND FLOOR TIMBERS SHALL BE ONLY OF HARDWOOD, CYPRESS PINE OR PRESSURE TREATED RADIATA OR CANADA PINE BELOW A HEIGHT OF 300mm ABOVE FINISHED GROUND LEVEL AND MUST NOT
- BE BUILT INTO BRICKWORK. - SUBFLOOR VENTILATION SHALL CONFORM TO NCC VOL.2 PART 3.4.1.
- IN BUSHFIRE PRONE AREAS SPECIAL CONDITIONS APPLY.
- WHERE TERMITE BARRIERS NEED TO BE INSPECTED, 400mm CLEARANCE IS REQUIRED BETWEEN THE UNDERSIDE OF BEARER AND GROUND SURFACE
- USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY
- DO NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED LOCATION. PROVIDE STRUCTURE BRACING IN ACCORDANCE WITH AS1684.
- PROVIDE STRUCTURE TIEDOWN IN ACCORDANCE WITH AS1684
- USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER.

-ALL STEEL FRAMING TO NCC 2022 - ABCB HOUSING PROVISIONS PART 6, AS 4100 STEEL STRUCTURES, AS/NZS 4600 COLD-FORMED STEEL STRUCTURES & NASH STANDARD.

## TERMITE CONTROL:

- TO BE IN ACCORDANCE WITH TO AS3660.1
- SHALL BE IN ACCORDANCE WITH NCC VOL.2 PART 3.1.4 OR VOL.1 PART B1.4.

## FLASHING AND CAPPINGS:

- SELECTION AND INSTALLATION OF METAL RAINWATER GOODS REFER TO AS2180 FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING OF AN APRON
- FLASHING AND OVER FLASHING, WITH AT LEAST 100mm OVERLAP. - PROVIDE FOR INDEPENDENT MOVEMENT BETWEEN ROOF AND PROJECTION.
- DAMP PROOF COURSE AND FLASHINGS TO NCC 2022 ABCB HOUSING PROVISIONS PART 5, 7 & 12 & AS/NZS 2904 DAMP-PROOF COURSES AND FLASHINGS.

CONCRETE BLOCKS OR BRICKS:
- TO COMPLY WITH TO AS4455 MASONRY BUILDING BLOCKS/PAVER.

 $\,$  - 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS

#### **DOORS & WINDOWS**

- ALL FRAMED WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH AS2047-48 FOR ALUMINIUM WINDOWS AND AS2047 FOR TIMBER WINDOWS
- ALUMINIUM FRAMED WINDOWS AND DOORS.
- WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS.
- ALL WINDOWS ARE TO BE RESTRICTED IN ACCORDANCE WITH NCC 2022 ABCB HOUSING PROVISIONS PART 11.3.7 & PART 11.3.8 PROTECTION OF OPENABLE WINDOWS WHERE SURFACE BELOW IS MORE
- PROVIDE LIFT-OFF HINGES WHERE THE TOILET PAN IS WITHIN 1.2 METRES OF THE HINGED SIDE OF THE DOOR IN ACCORDANCE WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 10.4.

#### STAIRS, HANDRAILS AND BALUSTRADES:

- RELATIONSHIP OF RISER TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED OR AS PERMITTED IN
- BALUSTRADES SHALL BE PROVIDED TO ALL LANDINGS, RAMPS, DECKS, ROOFS AND OTHER ELEVATED PLATFORMS WHERE THE VERTICAL DISTANCE FROM THAT LEVEL IS MORE THAN 1m ABOVE THE ADJOINING FLOOR OR FINISHED GROUND LEVEL.
- THE HEIGHT OF BALUSTRADE MUST BE A MINIMUM OF 1m HIGH ABOVE LANDING AND NOT LESS THAN 865mm ABOVE THE NOSINGS OF ANY STAIR TREADS OR FLOOR RAMP AND HAVE NO OPENING GREATER
- THE HEIGHT OF BALUSTRADE TO THE NEW STAIRCASES IS TO BE MEASURED A MINIMUM 865mm ABOVE THE NOSING LINE AND HAVE NO OPENING GREATER NO OPENING GREATER THAN 125mm.
- ALL BALUSTRADES & PRIVACY SCREENS TO COMPLY WITH NCC 2022 ABCB HOUSING PROVISIONS PART 11, AS 1684, AS 1170, AS 1288 & AS/NZS 2208

#### SLIP RESISTANCE:

- MATERIALS TO BE USED FOR SURFACES OF FLOORS, STAIR LANDING, STEPS AND NOSINGS SHALL BE IN ACCORDANCE WITH THE CLASSIFICATIONS FOR SLIP RESISTANCE AS APPLY IN AS4586 AND HB198 - ALL STAIRS PROVIDING ACCESS TO COMPLY WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 11, AS 4586 INCLUDING SLIP RESISTANCE P3 / R10 FOR DRY OR P4 / R11 FOR WET.

## EAVES GUTTERS, VALLEY GUTTERS AND DOWPIPES

- TO COMPLY WITH AS/NZS 2179 FOR METAL AND AS1273 FOR UPVC COMPONENTS. IN ACCORDANCE WITH NCC VOL 2 PART  $3.5.3\,$
- NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE
- COLORBOND GUTTERS AND DOWNPIPES
- MINIMUM SLOPE OF EAVES AND GUTTERS 1:200

- NCC VOL.1 PARTS B 1.4. D 3.12. F1.13 OR NCC VOL.2 PART 3.6
- -ALL WINDOW GLAZING AND DOOR GLAZING TO BE INSTALLED IN ACCORDANCE TO NCC 2022 ABCB HOUSING PROVISIONS PART 8, AS 1288 GLASS IN BUILDINGS, AS/NZS 2208 SAFETY GLAZING MATERIALS IN BUILDINGS & AS 2047 WINDOWS AND EXTERNAL DOORS IN BUILDINGS.
- SHOWER SCREEN/MIRRORS / WARDROBE GLASS INSTALLATION TO NCC 2022 HOUSING PROVISIONS PART 8, AS 1288 & AS/NZS 2208.
- GLASS BALUSTRADE INSTALLATION TO NCC 2022 HOUSING PROVISIONS PART 11, AS 1288 GLASS IN BUILDINGS, AS/NZS 2208 SAFETY GLAZING MATERIALS IN BUILDINGS & AS 1170 STRUCTURAL DESIGN ACTIONS.

#### WATERPROOFING FOR EXTERNAL TILED BALCONIES:

WATERPROOFING TO COMPLY WITH AS4654

#### FIRE SAFETY, SMOKE DETECTORS/ALARMS:

- PROVIDE HARDWIRED & INTERCONNECTED SMOKE ALARM DEVICES COMPLYING WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT ACT AND/OR STATE OR TERRITORY REGULATIONS MUST BE FITTED IN THE LOCATIONS REQUIRED AND APPROVED BY THE AUTHORITY. SMOKE ALARMS TO BE INSTALLED TO NCC 2022 - ABCB HOUSING PROVISIONS PART 9.5, NSW 9.5.1 & AS 3786
- INSTALLATIONS IN BUILDINGS OTHER THAN CLASS 1 AND 10 MUST BE INSTALLED AND MANAGED TO COMPLY WITH NCC SPEC. E2.2a.
- FIRE SEPARATING WALL. A WALL WITHIN 900MM OF BOUNDARY INSTALLATION CERTIFICATE (FRL60/60/60) INCL ACOUSTIC SOUND (RW) + CTR50 TO NCC 2022 - ABCB HOUSING PROVISIONS PART 9 & PART 10.7, AS 1530 ALL PARTS.
- BUSHFIRE-PRONE AREAS CERTIFICATE FOR BUILDING NCC 2022 VOL. 2 PART NSW H7D4 CONSTRUCTION IN BUSHFIRE PRONE AREAS - AS 3959 CONSTRUCTION OF BUILDING IN BUSHFIRE-PRONE AREAS & PLANNING FOR BUSHFIRE PROTECTION 2019.

#### WASTE MANAGEMENT:

- ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT.
- ALL WASTE SHALL BE COVERED DURING TRANSPORTATION.
- WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE.

- A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER SYSTEM.

### **SWIMMING POOLS & SAFETY:**

- -POOL PLUMBING/CIRCULATION TO COMPLY WITH NCC 2022 PART NSW H7D2, AS 1926.3 SWIMMING POOL SAFETY - WATER RECIRCULATION SYSTEMS
- ALL POOL FENCING TO BE INSTALLED TO: NCC 2022 NSW H7D2, AS 1926.1 2012 SAFETY BARRIERS FOR SWIMMING POOLS, AS 1926.2 - 20007 - LOCATION OF SAFETY BARRIERS FOR SWIMMING POOLS, AS 1170 STRUCTURAL DESIGN ACTIONS AND IF GLASS POOL FENCING TO ADDITIONALLY COMPLY WITH AS 1288 - 2021 GLASS IN BUILDINGS, AS/NZS 2208 - SAFETY GLASS,
- AS 2783 USE OF REINFORCED CONCRETE FOR SMALL SWIMMING POOLS

## MISCELLANEOUS ITEMS:

- ALLOW FOR SEPARATE TAPS FOR THE WASHING MACHINE AND KEEP THEM SEPARATE FROM THOSE OF THE LAUNDRY TUB. A DEDICATED LAUNDRY SPACE COMPRISING OF ONE WASHTUB AND A SPACE FOR A WASHING MACHINE MUST BE PROVIDED IN ACCORDANCE WITH NCC 2022 – ABCB HOUSING PROVISIONS
- GAS FIRE SUPPLY AND INSTALLATION TO COMPLY WITH NCC 2022 ABCB HOUSING PROVISIONS PART 12.4, AS/NZS 5601 GAS INSTALLATIONS.

ALL PLANS ARE TO BE READ IN CONJUNCTION AND COMPLY WITH THE BASIX CERTIFICATE, BUSHFIRE AND GEOTECH REPORTS

NOTES (E & OE)

- water & drainage to engineer's details
- All structures including stormwater & drainage to engineer's de
  Do not obtain dimensions by scaling drawings.
  All dimensions are to be checked on site prior to starting work
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.

These drawings are to be read in conjunction with all other consultant's drawings and

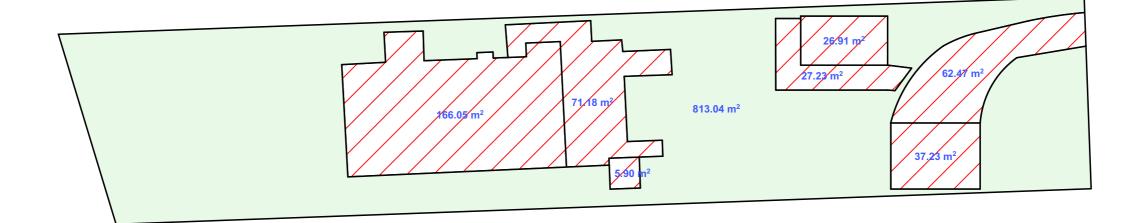
- New materials are to be used throughout unless otherwise noted.
   Concrete footings, slab, structural beams or any other structural members are to be designed.
- JJ Drafting Australia P/L. 26/90 Mona Vale Road, Mona Vale, NSW, 2103

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- REV: DATE: DESCRIPTION: PROJECT: AS BUILT A 13/11/23 REVISED BIC DRAWINGS ANDREW GOLDSMITH DRAWING TITLE: **SPECIFICATIONS**
- 45 RIVERVIEW ROAD AVALON BEACH NSW 2107

DATE: DRAWN BY SCALE: SEP/22 @ A3 JOB No: CHECKED BY DRAWING No: 1069/22 JJ AS-BUILT.09



## LANDSCAPED AREA CALCULATION PLAN

CALCULATIONS			
SITE AREA			1210m²
LANDSCAPE CONTROL		60%	726m²
LANDSCAPED AREA		67.19%	813.04m <sup>2</sup>
HARD SURFACE AREA		32.81%	396.97m <sup>2</sup>

## TRUE NORTH:



- NOTES (E & OE)

   All structures including stormwater & drainage to engineer's details.

   Do not obtain dimensions by scaling drawings.

   All dimensions are to be checked on site prior to starting work.

   These drawings are to be read in conjunction with all other consultant's drawings and specifications.

   All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.

   New materials are to be used throughout unless otherwise noted.

   Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

- JJ Drafting

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www.jjdrafting.com.au		
ACN 651 693 346		

DATE: 13/11/23	DESCRIPTION: REVISED BIC DRAWINGS	PROJECT: AS BUILT 45 RIVERVIEW ROAD AVALON BEACH NSW 2107
		CLIENT: ANDREW GOLDSMITH
		DRAWING TITLE:
		LANDSCAPED AREA CALCULATION PLAN
		LANDOCAFED AREA CALCULATION PLAN

JOB No: 1069/22	CHECKED BY:	DRAWING No:  AS-BUILT.10
DATE: SEP/22	DRAWN BY:	SCALE: 1:1, 1:300 @ A3