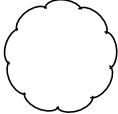
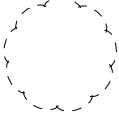


LEGEND:

 EXISTING TREE TO REMAIN

 EXISTING TREE TO BE REMOVED BY OWNER

 GATE TO MATCH FENCING

 LETTERBOX. REFER TO NOTE 2.

 BIN STORE

 BRICK EDGING

 SELECTED AUSTRALIAN NATIVE, DROUGHT TOLERANT PLANTS

 1.8m LAP & CAP TREATED PINE TIMBER FENCING TO SIDE, REAR BOUNDARIES AND BLOCK-OFF

 TURF (SIR WALTER BUFFALO)

 PERMEABLE PEBBLE AND SUBSTRATA

 MULCH

LANDSCAPED AREA	
TOTAL SITE AREA:	583.0m ²
TOTAL LANDSCAPE AREA: (EXCLUDES HARD SURFACES)	240.0m ² 41.16%
MIN. REQUIRED:	40%

PLANT SCHEDULE:

CODE	BOTANICAL NAME	COMMON NAME	NATIVE OR EXOTIC	No.	POT SIZE
SHURBS					
WZE	<i>Westingia 'Zena'</i>	Coastal rosemary	NATIVE	12	250mm
GROUND COVERS & GRASSES					
DC	<i>Dianella revoluta</i>	Little RevCultivar	NATIVE	19	150mm
TURF					
	<i>Stenotaphrum secundatum</i>	Sir Walter Buffalo Turf	EXOTIC	-	-

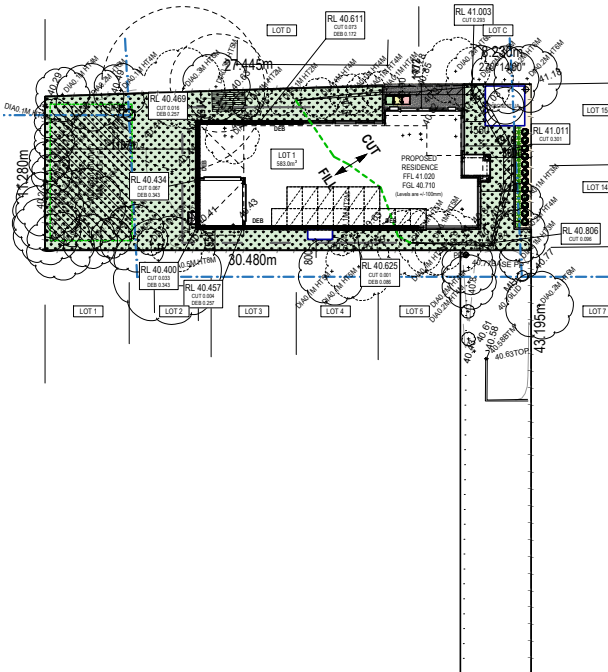
MAINTENANCE PROCEDURES

- 1) LAWN TO BE FERTILISED TWICE A YEAR IN THE WARM MONTHS, MOWING WEEKLY IN SUMMER MONTHS AND FORTNIGHTLY OR MONTHLY AS REQUIRED IN THE WINTER MONTHS.
- 2) PLANTS TO BE FERTILISED A MINIMUM OF TWICE A YEAR AT THE SAME TIME OF PRUNING, TO DO THIS USE A COMPLETE FERTILISER. KEEP MULCH CLEAR OF TREE TRUNK AREA. AFTER PLANT/SHURBS AND TREES ARE PLANTED CONTINUE TO WATER WELL ONCE A WEEK.
- 3) PRUNE HEDGE PLANTS A MINIMUM OF 2 - 3 TIMES A YEAR, IN THE WARMER MONTHS. WAIT FOR AT LEAST 10MM OF NEW GROWTH BEFORE PRUNING AGAIN TO PROMOTE HEALTHY NEW GROWTH.

NOTES:

- 1) SIDE & REAR BOUNDARY FENCING SHOULD BE TREATED PINE TIMBER LAP AND CAP PALING FENCE. GATES TO MATCH FENCE MATERIALS.
- 2) LETTERBOX PROVIDED TO AUSTRALIA POST REQUIREMENTS CLEARLY DISPLAYING HOUSE NUMBER.
- 3) ALL LANDSCAPED AREAS TO HAVE A MINIMUM 1:100 FALL TOWARDS STORM WATER DRAINS. OR AWAY FROM THE BUILDING FOR POSSIBLE OVERLAND WATER DRAINAGE.
- 4) A TREE PROTECTION ZONE (TPZ) SHALL BE ESTABLISHED FOR THE DURATION OF ANY WORKS NEAR ANY EXISTING TREES, AS PER THE METHOD OUTLINED IN THE CURRENT AS4970-2009. PERMISSION FROM THE COUNCIL ARBORIST IS REQUIRED FOR ACTIVITIES THAT DO NOT COMPLY WITH THE CURRENT AUSTRALIAN STANDARDS.
- 5) DRIVEWAY LAYOUT TO BE CONSTRUCTED FROM ARCHITECTURAL CONSTRUCTION DRAWINGS.
- 6) RETAINING WALLS ALONG SIDE BOUNDARIES BETWEEN LOTS TO BE FINALISED ON SITE AFTER BENCHING.
- 7) ALL RETAINING WALLS VISIBLE FROM THE STREET TO BE MASONRY WITH COLOURS MATCHING THOSE ON THE FRONT FACADE OF THE DWELLING.
- 8) ALL IMPORTED SOIL TO GARDEN AREAS TO BE OF PREMIUM GARDEN MIX STANDARD AT 300MM DEPTH .
- 9) TURF TO BE LAID ON A 150MM MINIMUM BASE OF 80% SAND 20% SOIL MIX. REFER TO DETAIL.
- 10) ALL GARDEN AREAS TO BE COVERED WITH A MINIMUM OF 75MM OF 14MM PINE BARK MULCH.
- 11) GARDEN EDGING IS TO BE INSTALLED BETWEEN ALL ADJOINING SOFT LANDSCAPE FINISHES. REFER TO DETAIL.

SITE LOCATION PLAN NTS



SOLDIERS AVENUE

LOCATION OF SEWER MANHOLE

APPROX LOCATION OF SEWER MAIN

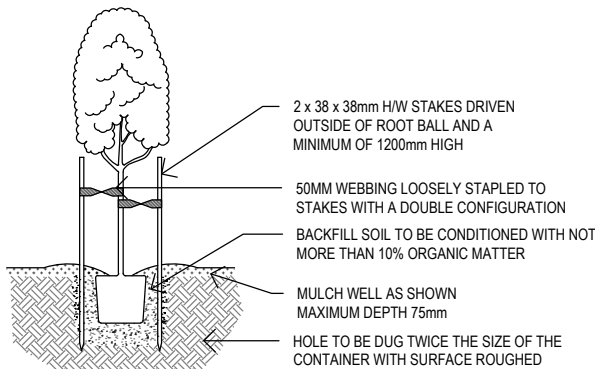
BUILDING WITHIN THIS ZONE MAY REQUIRE ENCASUREMENT

LOCATION OF OUTDOOR CLOTHESLINE (BY OWNER)

METER BOX

ABOVE GROUND RAIN WATER TANK

LETTERBOX AT THE END OF DRIVEWAY

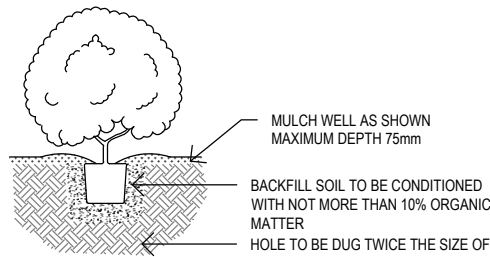


NOTES:

- 1) AFTER PLANTING WATER IN PLANT WELL USING FOUR TIMES THE PLANT CONTAINER CAPACITY OF WATER.
- 2) FOR TREES 50lt AND ABOVE INSERT A 60mm DIA AG PIPE UNDER PLANT IN BACKFILL TO PROMOTE GOOD AERATION IN SOIL.
- 3) TREES SHALL NOT BE TIED UNLESS SUPPORT IS ESSENTIAL.

TYPICAL TREE PLANTING DETAIL

SCALE: N.T.S.

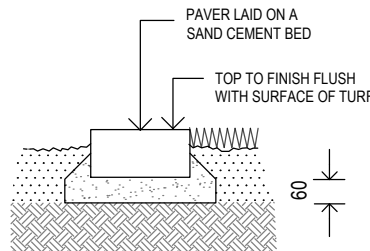


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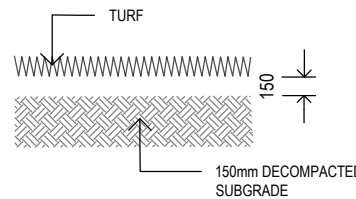
TYPICAL SHRUB PLANTING DETAIL

SCALE: N.T.S. Tube, 150mm, 200mm, 250mm Pot Size



BRICK GARDEN EDGE DETAIL

SCALE: N.T.S.



TURF DETAIL

SCALE: N.T.S.



LANDSCAPE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE NORTHERN BEACHES WARRINGAH DCP.

REV	ISSUE / DESCRIPTION	DATE	CHECKED
A	Initial design for DA	03.07.23	KR

myard
LANDSCAPE DESIGN

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Glendenning NSW 2761

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GENERAL NOTES:

Prior to being used for construction, the Principal Contractor must ensure that they are in possession of a Construction Certificate and all other required Council approvals. All works are to comply with B.C.A. Statutory Authorities and relevant Australian Standards. Contractors must verify all dimensions on site before commencing fabrication or preparation of workshop drawings, and verify all errors and omissions with the Architect. Use figured dimensions only. Do not scale from drawings. Position of all services on site to be confirmed prior to commencement of construction.

PLAN DRAWINGS PREPARED FOR DEVELOPMENT APPLICATION ONLY. PLAN IS NOT TO BE USED FOR CONSTRUCTION PURPOSES

SCALE: 1:200@A3

DRAWING NO. LP-24965

CLIENT NO: 652201

COUNCIL: NORTHERN BEACHES

DRAWN: AVS

PAGE NO: 1/1

REVISION

A

NORTH



DRAWING TITLE: DA LANDSCAPE PLAN

CLIENT: MOJO HOMES

ADDRESS: LOT 1, DP 954849, NO.74 SOLDIERS AVENUE, FRESHWATER NSW 2096.