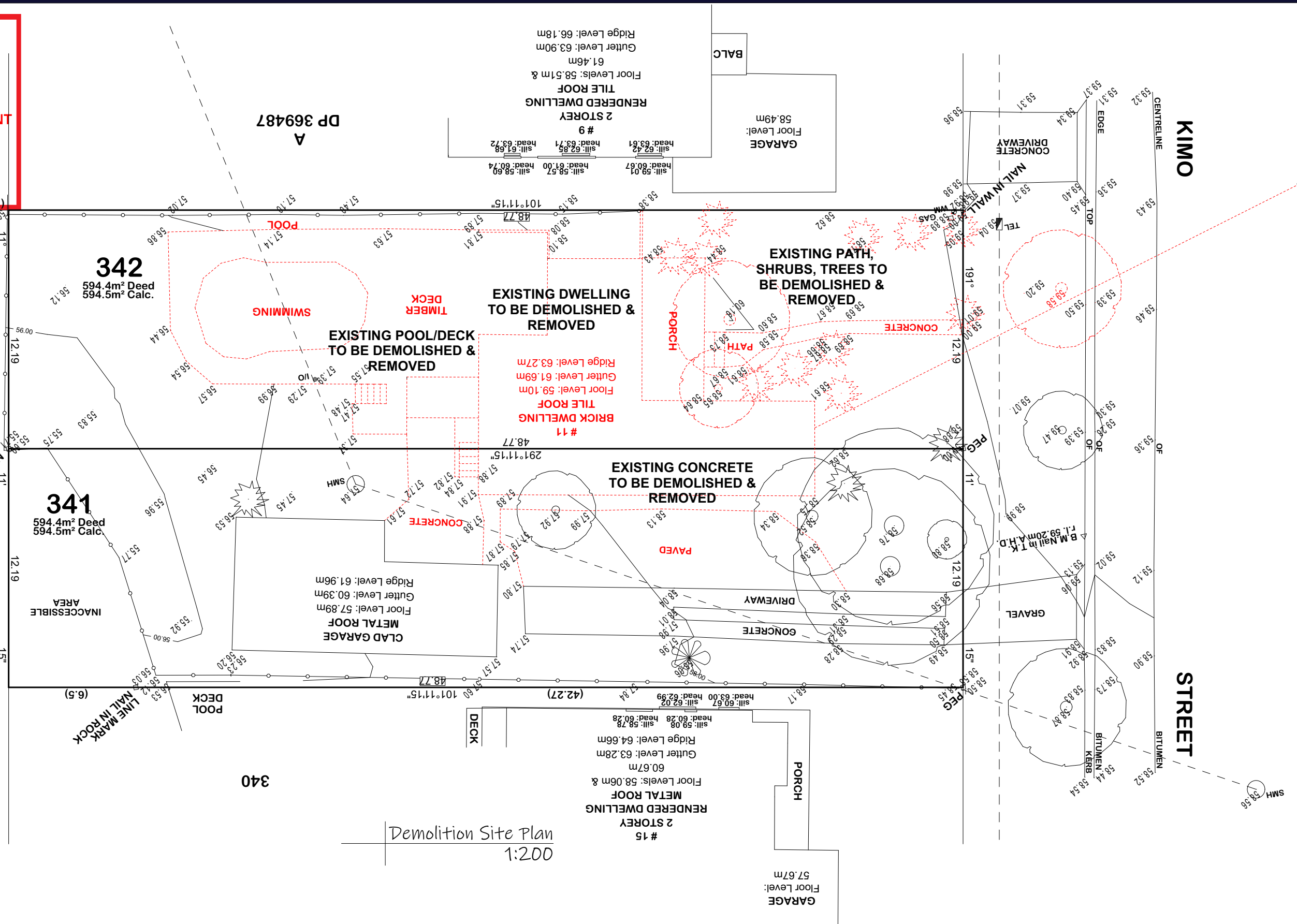
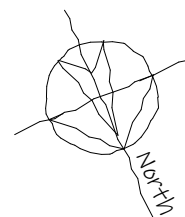


56.26
55.88
11°
(1)
LINE MARK
NAIL IN CONC

11'
NAIL IN TOP OF WALL

Lot 342
594.50m²
DP: 12316



Proposed Residence
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 Icon Job Number: J/0938

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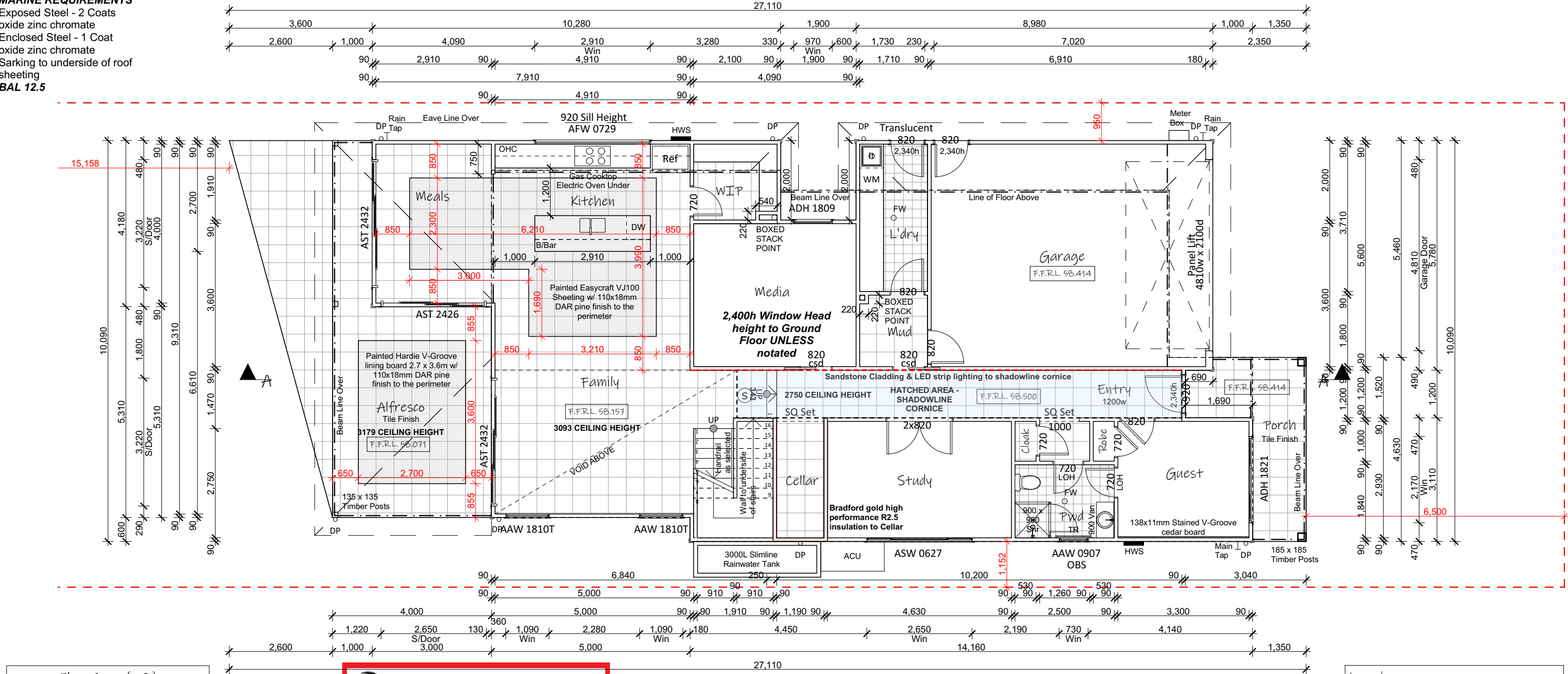
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NOTE
WIND CLASSIFICATION

Frame & Trusses to be engineered for 'N2' wind category (33m/sec wind bracing)

MARINE REQUIREMENTS

Exposed Steel - 2 Coats oxide zinc chromate
Enclosed Steel - 1 Coat oxide zinc chromate
Sarking to underside of roof sheeting
BAL 12.5



Floor Area (m2)	
Front Balcony	6.25
Porch	8.60
Alfresco no roof	12.34
Alfresco	25.42
Garage	41.50
Living	149.76
Upper Living	135.85
	379.72 m ²

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2022/1820

Legend:	
ACU - Air Conditioning Unit	OBS - Obscure
AJ - Articulation Joint	OHC - Over Head Cupboard
B/Bar - Breakfast Bar	P - Pantry
DP - Downpipe	R - Robe
DW - Dishwasher	RHS - Rolled Hollow Steel
Ens - Ensuite	S - Smoke Alarm
F/P - Fire Place	Shr - Shower
FW - Floor Waste	TR - Towel Rail
HWS - Hot Water System	Van - Vanity
L - Linen	w.i.l. - Walk in Linen
LC - Laundry Chute	w.i.r. - Walk in Robe
LOH - Lift off Hinge	w.i.p. - Walk in Pantry
LT - Laundry Tub	w.c. - Wash Closet
MH - Manhole	WM - Washing Machine
MW - Microwave Oven	

ISSUE: K
DRAWING: 21192-11
SHEET: 11/20
DATE: 28-03-23
PAPER: A3
LOT: 342
DP: 12316

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NOTE

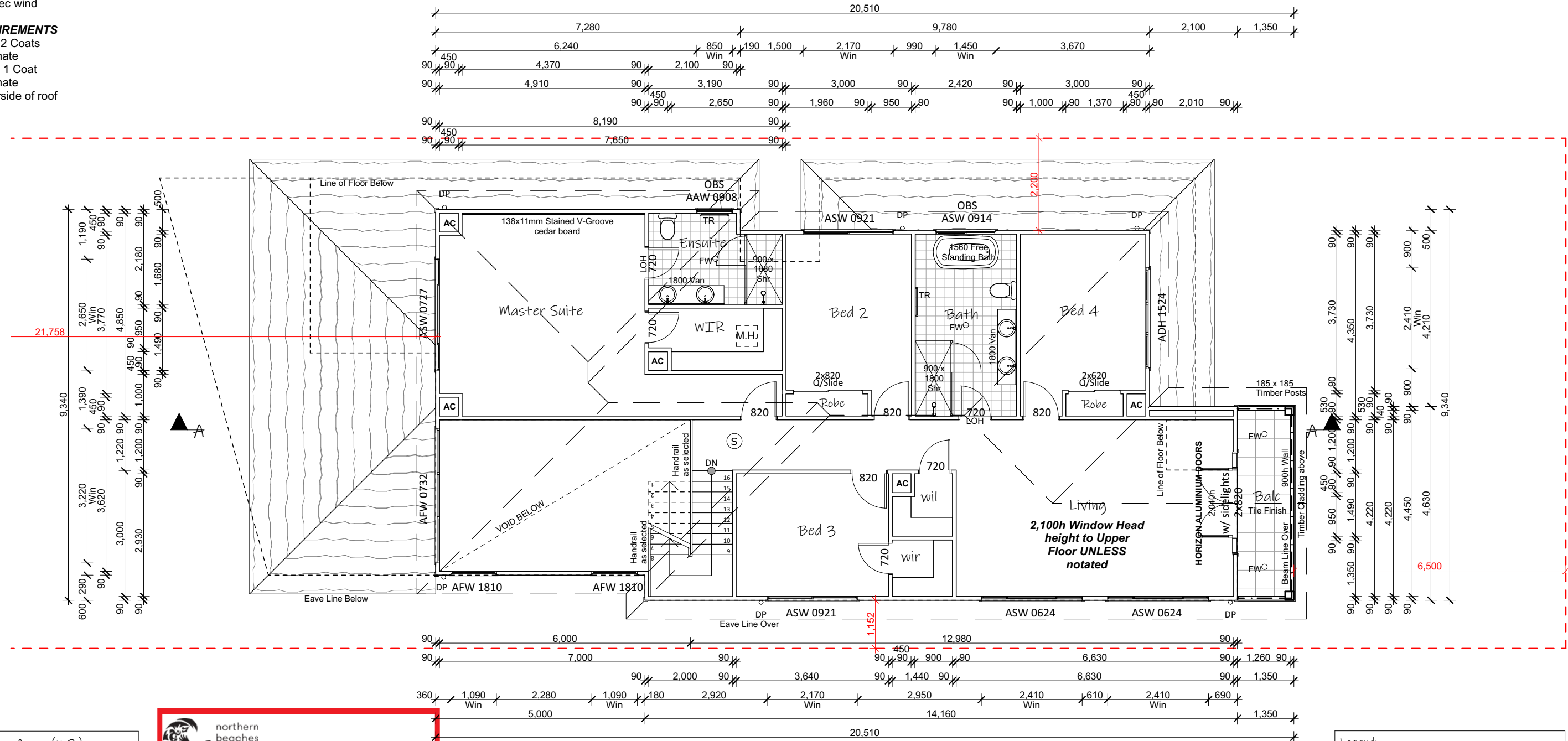
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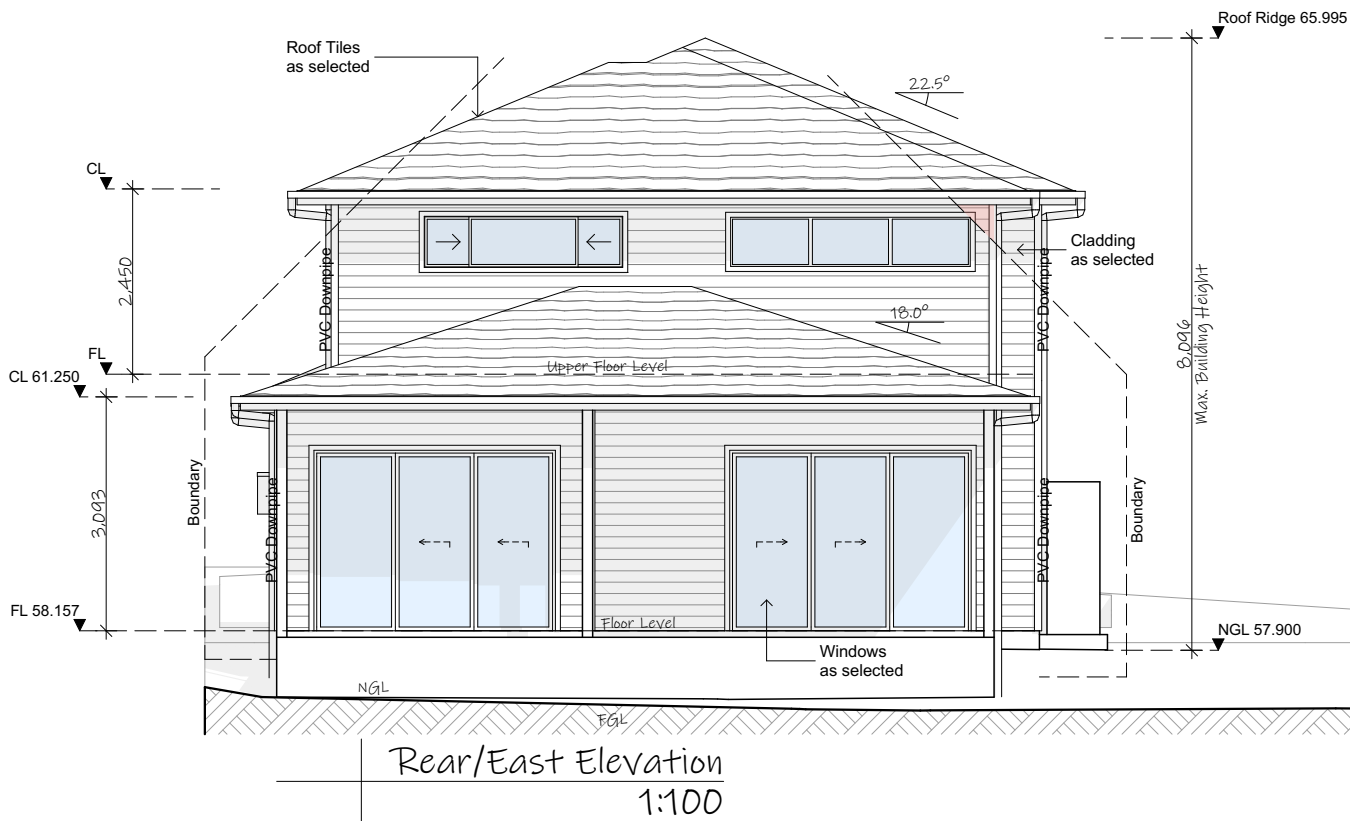
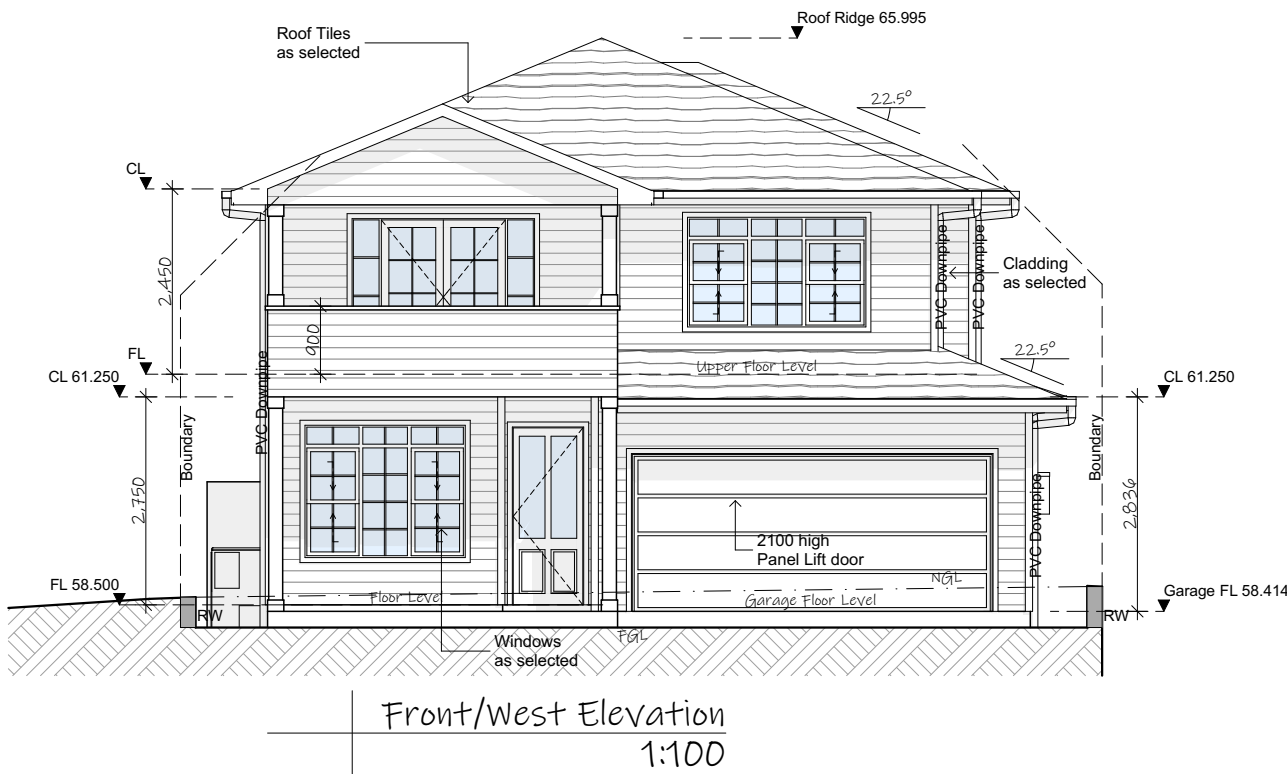
note: all works to be carried out in conjunction with the construction notes on sheet 2

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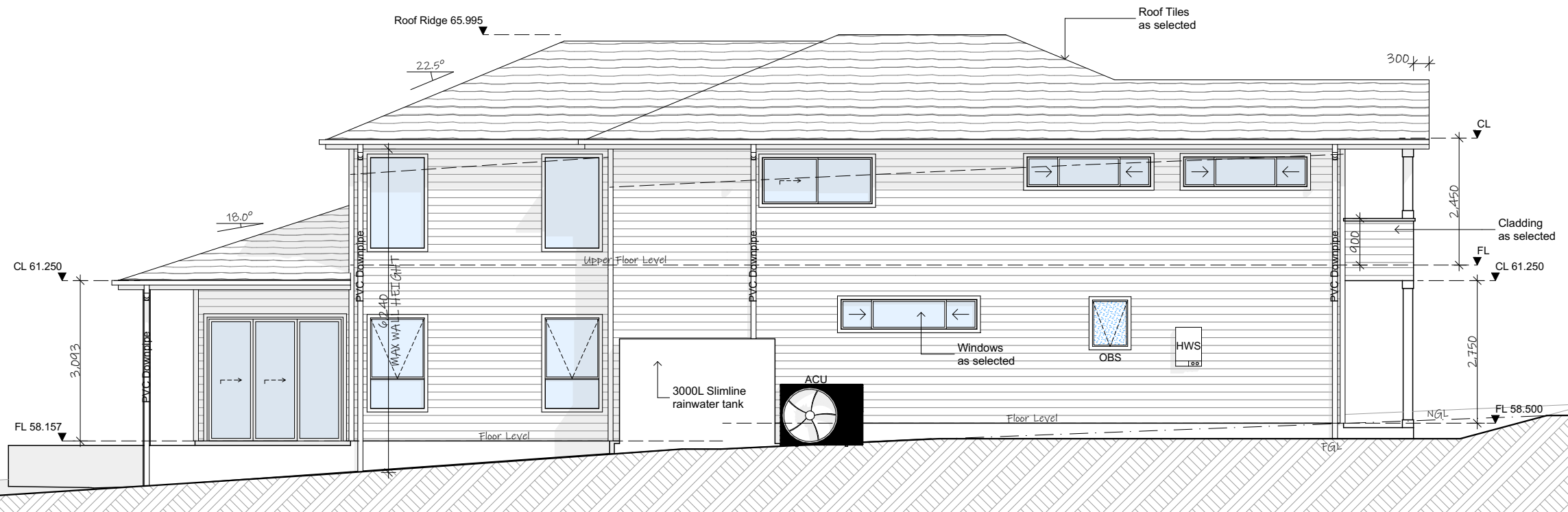
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Side/North Elevation
1:100



Side/South Elevation
1:100

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SHEET:

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DP:

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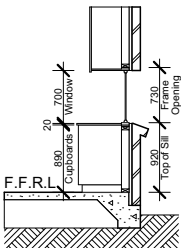
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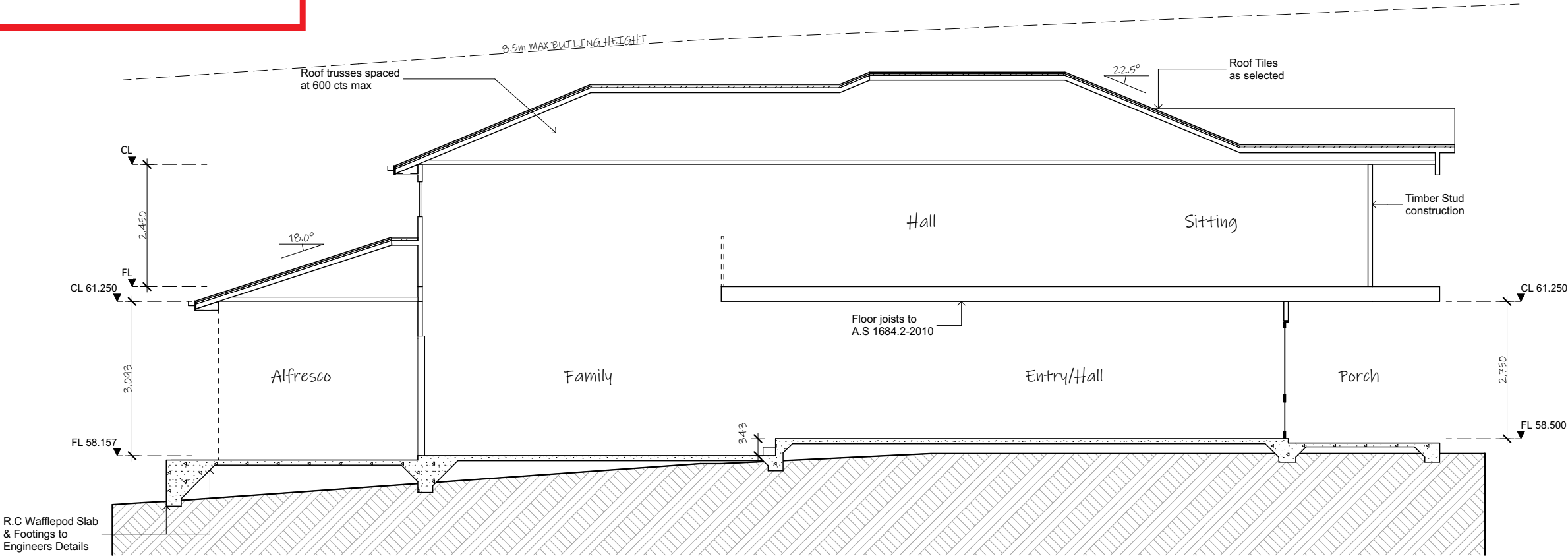


Kitchen Sill Detail
1:100

Legend:

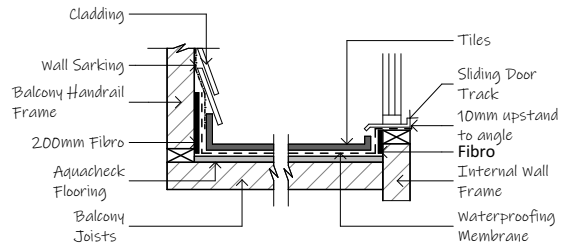
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BAL 12.5	Construction requirements
5.4.1	no ext. wall is >400mm from n.g.l.
5.4.2	all joints to be >3mm
5.4.3	weephole mesh to have 2mm aperture corrosive resistant steel when weepholes are < 3mm
5.5.1A	screens for doors/windows will have mesh with 2mm aperture of corrosive resistant steel & frames to be made from metal
5.5.3	ext. hung doors to be solid timber and to have bushfire shutters and are to tight fitted and are to have weather strips to the base
5.5.4	Sliding Doors to have Grade A safety glass to AS 1288 and to be metal framed
5.5.5	lower part of vehicle access to be made from non combustible material and have weather strips and have no ventilation slots
5.6.1	sheeting to be non combustible, roof/wall junction to be sealed gable vents to be fitted with non combustible materials
5.6.2	Sheeting to be full sarked and have a flame index <5 under battens & to cover entire roof area & have no gaps where sarking meet
5.6.4	porch to comply with clause 5.6.2
5.6.5	all penetrations to be sealed and have no gap >3mm
5.6.6	gables to comply with clause 5.4 eave penetrations to comply with clause 5.6.5
5.7.1	concrete patio complies
5.8	above ground pipes to be metal



Section A-A
1:100

Horizontal Cladding
Note: Location of angle to be marked by supervisor



Balcony Waterproofing Detail
1:25

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