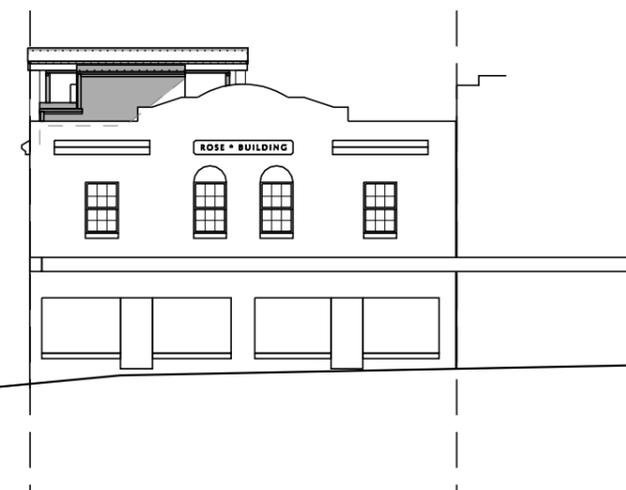


DEVELOPMENT APPLICATION

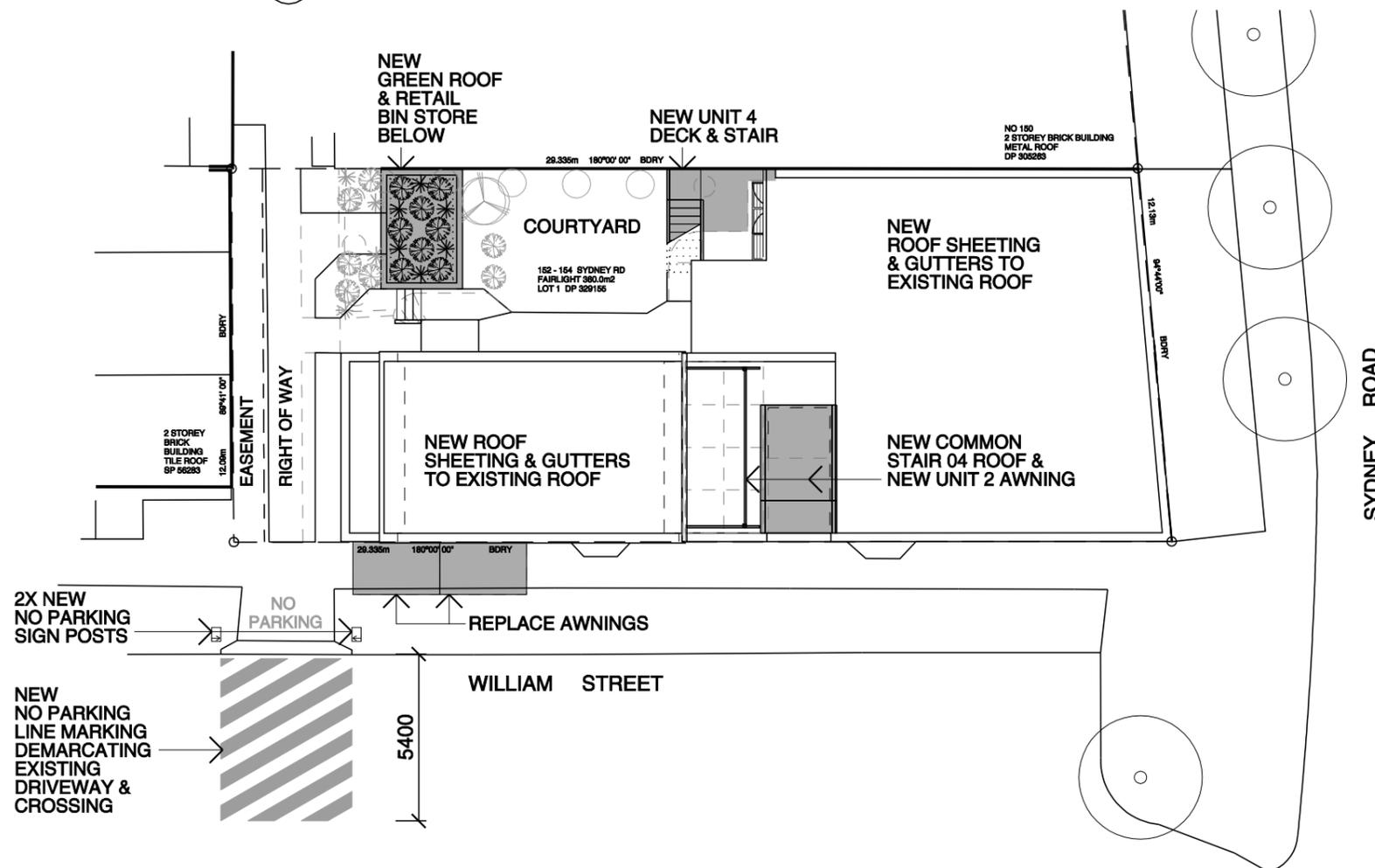
ADDITIONAL BUILDING AREA



02 ELEVATION WEST
SCALE 1:200



03 ELEVATION SOUTH
SCALE 1:200



01 SITE PLAN
SCALE 1:200



04 ELEVATION NORTH
SCALE 1:200

DA SUBMISSION

A	DA SUBMISSION	081222
Issue	Amendment	Date

FOR EXISTING AND NEW BUILDING WORKS
CONFIRM ALL DIMENSIONS LEVELS SQUARE
PLUMB & BOUNDARIES ON SITE.
DIMENSIONS SHOW FINISHED WALL THICKNESS
USE FIGURED DIMENSIONS ONLY DO NOT SCALE

PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 & 4 & COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094
LOT 1 DP 329155
FOR PHILIP & NIGEL ROSE

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Title	NOTIFICATION PLAN
Scale @ A3	1 : 200
Project Ref No	SRSF 22104
Drawing no.	DA00 A
Revision	

NORTHERN BEACHES COUNCIL (FORMER MANLY) DEVELOPMENT APPLICATION SUMMARY

SITE AREA - 152-154 SYDNEY ROAD FAIRLIGHT = 360.0 m²

DENSITY SUBZONE B1 NEIGHBOURHOOD CENTER

MIN. SITE AREA 250m²

PERMISSIBLE FLOOR SPACE RATIO 1.0 :1

MAXIMUM ALLOWABLE FLOOR SPACE = 360.0m²

LEVEL 1 EXISTING GROSS FLOOR AREA

= 37.2 RETAIL + 7.0 RESIDENTIAL = 44.2m²

LEVEL 2 EXISTING GROSS FLOOR AREA

= 38.4+60.6 RETAIL + 35.9+9.2+80.4 RESIDENTIAL = 224.5m²

LEVEL 3 EXISTING GROSS FLOOR AREA

= 0.0 RETAIL + 71.9+56.0+78.4 RESIDENTIAL = 206.3m²

LEVEL 4 EXISTING GROSS FLOOR AREA

= 0.0 RETAIL + 5.2+43.3 RESIDENTIAL = 48.5m²

TOTAL EXISTING GROSS FLOOR AREA

= 136.2m² RETAIL + 387.3m² RESIDENTIAL = 523.5m²

PROPOSED LEVEL 1 GROSS FLOOR AREA

= 37.2 + 6.5 RETAIL + 7.0 RESIDENTIAL = 50.7m²

PROPOSED LEVEL 2 GROSS FLOOR AREA

= 30.7+60.6 RETAIL + 43.9+9.2+80.4 RESIDENTIAL = 224.8m²

PROPOSED LEVEL 3 GROSS FLOOR AREA

= 0.0 RETAIL + 71.9+56.0+78.4 RESIDENTIAL = 206.3m²

PROPOSED LEVEL 4 GROSS FLOOR AREA

= 0.0 RETAIL + 40.8 RESIDENTIAL = 40.8m²

TOTAL PROPOSED GROSS FLOOR AREA

= 135.0m² RETAIL + 387.6m² RESIDENTIAL = 522.6m²

TOTAL GROSS FLOOR AREA REDUCTION

= -1.2m² RETAIL + 0.3m² RESIDENTIAL = -0.9m²

PROPOSED SITE : FLOOR SPACE RATIO

= 360.0m² / 522.6m² = 146% = NON-COMPLIANT

REQUIRED TOS TOTAL OPEN SPACE AREA OS3 +3m

= 360.0 X 0.55 = 198.0m²

EXISTING TOS TOTAL OPEN SPACE AREA +3m MIN WIDTH

= 109.8+18.6 = 128.4m² = 35.6% = NON COMPLIANT

PROPOSED TOS TOTAL OPEN SPACE AREA +3m MIN WIDTH

= 51.1+39.8+18.6 = 109.5m²

= 30.4% = NON COMPLIANT

REQUIRED LANDSCAPE OPEN SPACE AREA OS4 +0.5m MIN WIDTH

= 198.0 X 35% = 69.3m²

PROPOSED LANDSCAPE OPEN SPACE +0.5m MIN WIDTH

= 13.3+5.0+3.4+4.0+30.6m² = 56.3m² = NON COMPLIANT

MAX TOS TOTAL OPEN SPACE ABOVE GROUND

= MAX 25% OF REQ'D TOS = 198.0 X 0.25 = 49.5m²

PROPOSED TOTAL OPEN SPACE ABOVE GROUND

= 18.6m² = COMPLIANT

EXISTING PERVIOUS AREA = 13.5+7.6+5.9+52.2 = 79.2m²

EXISTING IMPERVIOUS AREA = 360.0-79.2 = 280.8m²

PROPOSED PERVIOUS AREA = 13.5+5.0+3.4+4.0+41.2 = 67.1m²

PROPOSED IMPERVIOUS AREA = 360.0 - 67.1 = 292.9m²

IMPERVIOUS AREA INCREASE = 292.9 - 290.8 = 12.1m²

IMPERVIOUS AREA % OF SITE AREA

= 292.9 / 360.0 = 81.4%

NORTHERN BEACHES COUNCIL OSD CHECKLIST_APPENDIX 16

REGION 3 ZONE 1 PART 4.3.2.2 - DEVELOPMENT PROPOSAL FOR

ALTERATIONS & ADDITIONS TO EXISTING DWELLINGS

POST DEVELOPMENT IMPERVIOUS AREA IS LESS THAN 50m²

POST DEVELOPMENT IMPERVIOUS AREA EXCEEDS 60% SITE AREA

ON SITE STORMWATER DETENTION REQUIRED

WILLIAM STREET

TOWNHOUSES
NO 2 WILLIAM ST

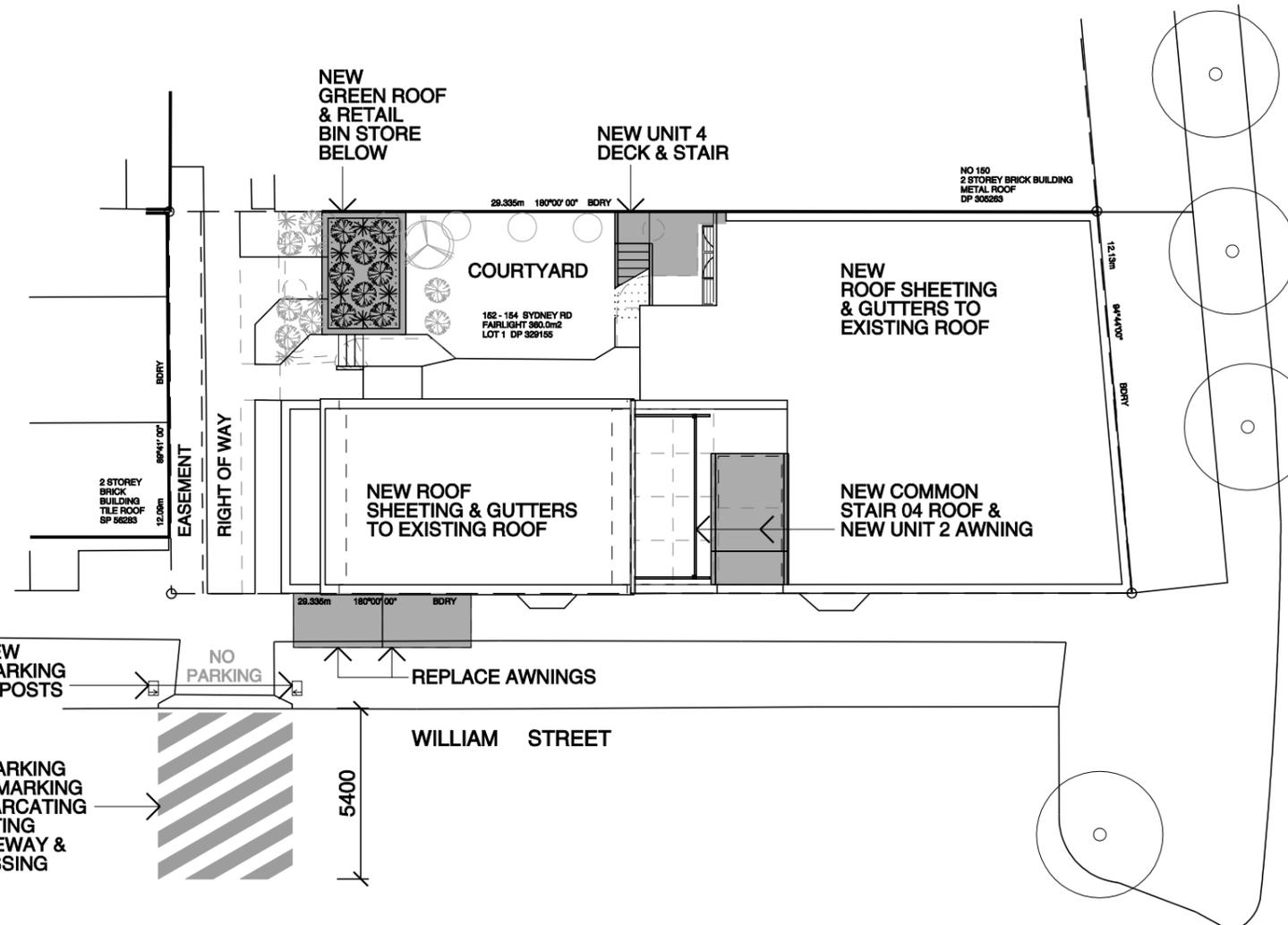
SUBJECT SITE
152-154 SYDNEY RD
FAIRLIGHT
MIXED USE



SYDNEY ROAD

150 SYDNEY RD
FAIRLIGHT
MIXED USE

02 LOCATION PLAN
SCALE nts



2X NEW
NO PARKING
SIGN POSTS

NO PARKING

REPLACE AWNINGS

NEW
NO PARKING
LINE MARKING
DEMARCATING
EXISTING
DRIVEWAY &
CROSSING

01 SITE PLAN
SCALE 1:200

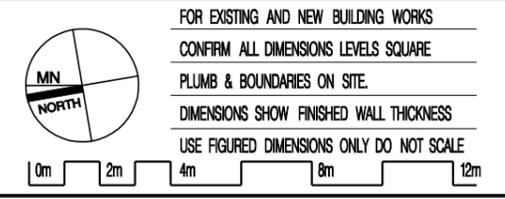
- DA01 SITE PLAN
- DA02 EXISTING PLANS
- DA03 EXISTING ELEVATIONS
- DA04 EXISTING SECTIONS
- DA05 SITE ANALYSIS SHADOWS & LANDSCAPE PLAN
- DA10 LEVEL 1 PLAN
- DA11 LEVEL 2 PLAN
- DA12 LEVEL 3 PLAN
- DA13 LEVEL 4 PLAN
- DA14 ROOF PLAN
- DA20 ELEVATIONS 01
- DA21 ELEVATIONS 02
- DA22 ELEVATIONS 03
- DA25 SECTIONS 01
- DA26 SECTIONS 02
- DA95 STATEMENT OF ENVIRONMENTAL EFFECTS
- DA96 WASTE MANAGEMENT PLAN

ARCHITECTURAL DOCUMENT LIST

DEVELOPMENT APPLICATION

DA SUBMISSION

A	DA SUBMISSION	08/222
P3	PRE DA MEETING	22/108
P2	ISSUED FOR CO-ORDINATION	05/022
P1	INITIAL ISSUE	12/0922
Issue Amendment	Date	



PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 & 4 & COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094
LOT 1 DP 329155
FOR PHILIP & NIGEL ROSE

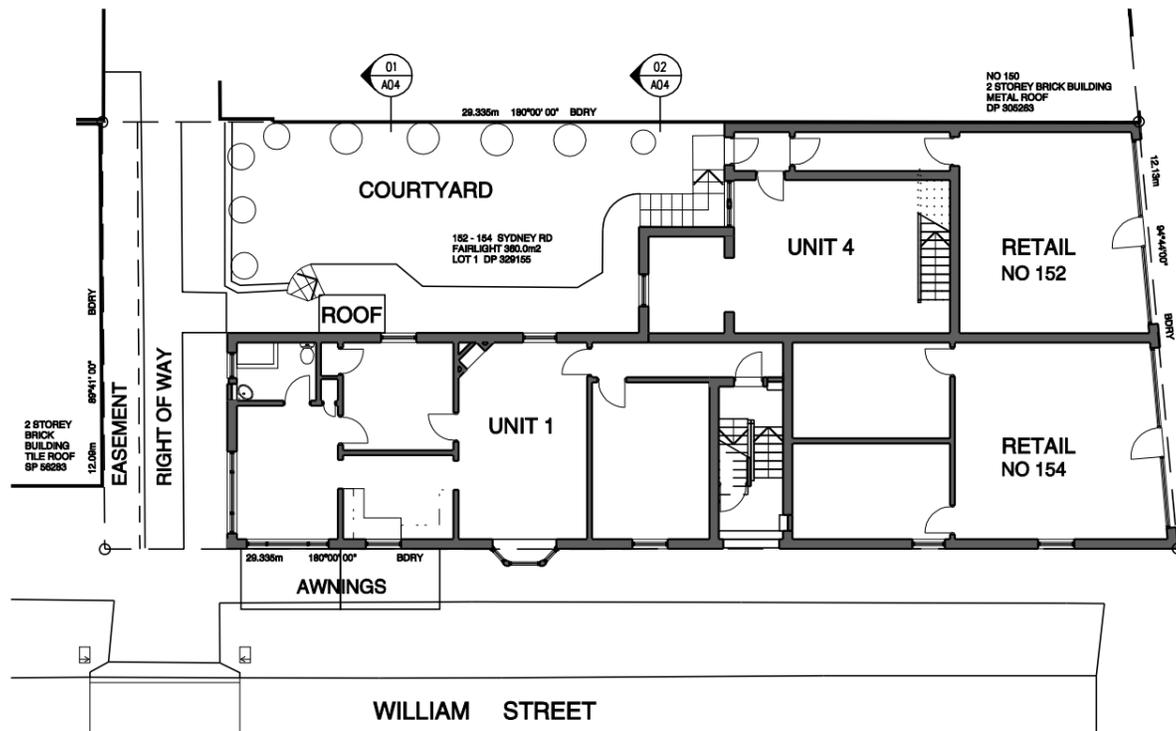
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Title	SITE PLAN
Scale @ A3	1 : 200
Project Ref No	SRSF 22104
Drawing no.	DA01 A
Revision	

DEVELOPMENT APPLICATION

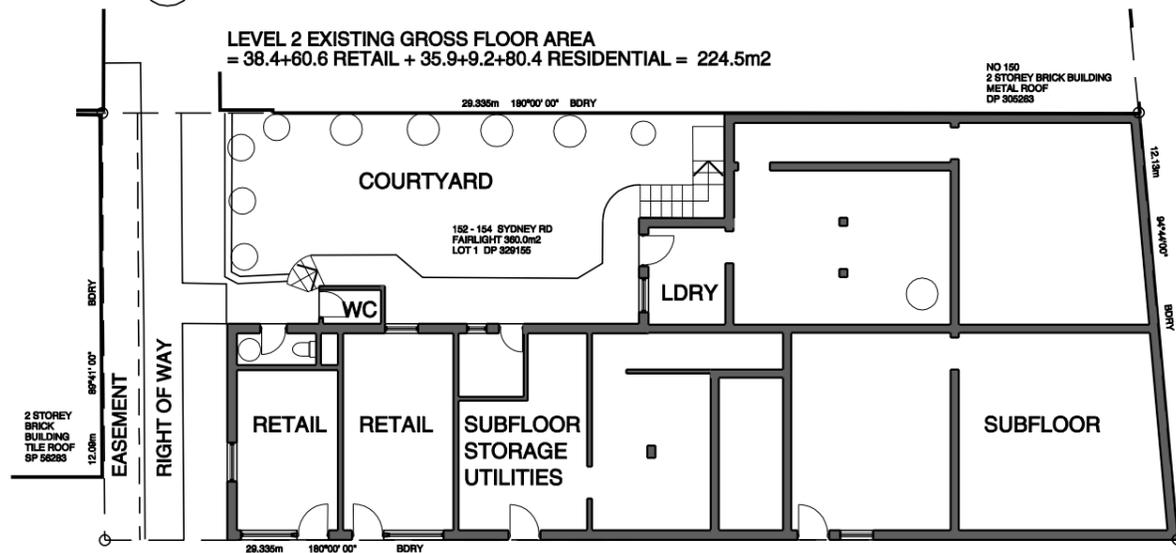
EXISTING WALL



02 LEVEL 2 PLAN - EXISTING

SCALE 1:200

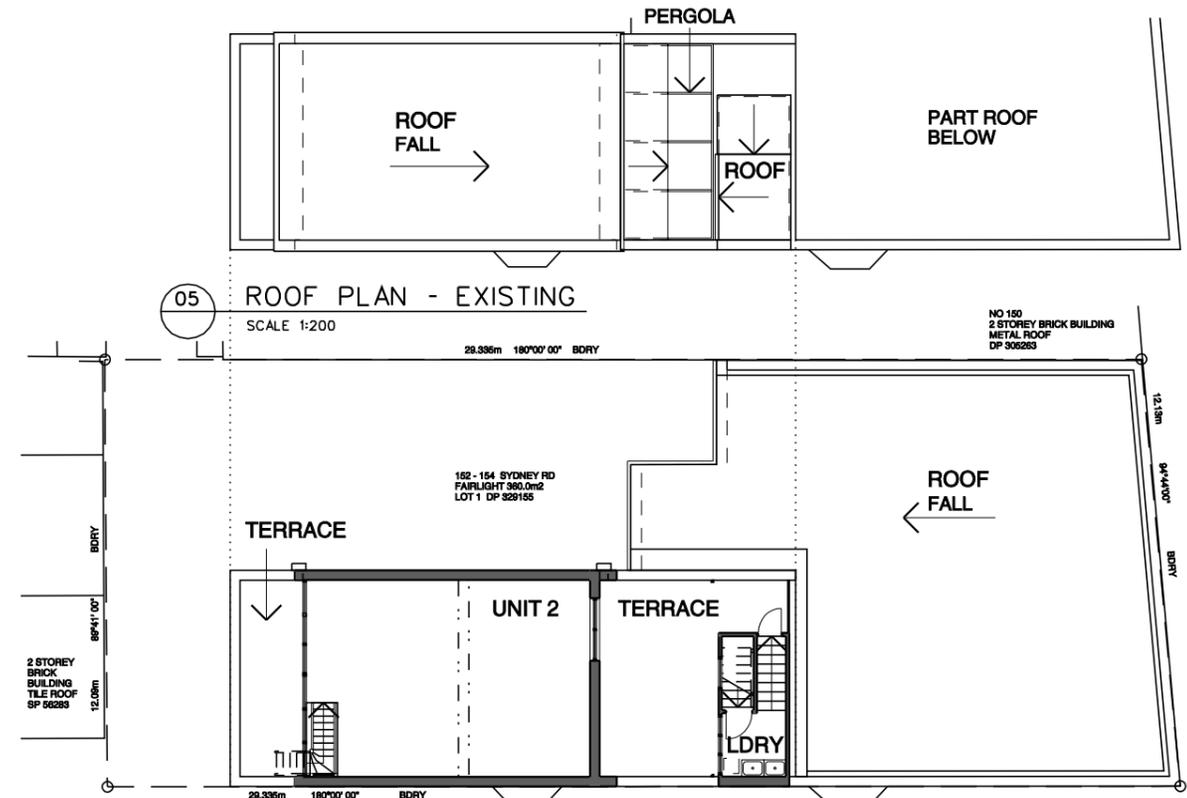
LEVEL 2 EXISTING GROSS FLOOR AREA = 38.4+60.6 RETAIL + 35.9+9.2+80.4 RESIDENTIAL = 224.5m²



01 LEVEL 1 PLAN - EXISTING

SCALE 1:200

LEVEL 1 EXISTING GROSS FLOOR AREA = 37.2 RETAIL + 7.0 RESIDENTIAL = 44.2m²



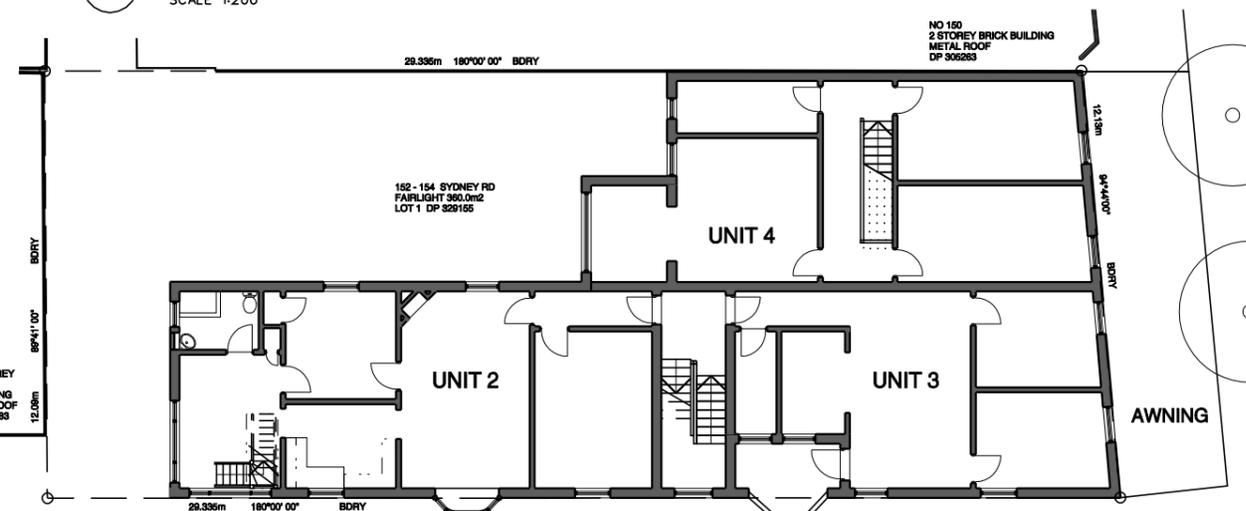
05 ROOF PLAN - EXISTING

SCALE 1:200

04 LEVEL 4 PLAN - EXISTING

SCALE 1:200

LEVEL 4 EXISTING GROSS FLOOR AREA = 0.0 RETAIL + 5.2+43.3 RESIDENTIAL = 48.5m²



03 LEVEL 3 PLAN - EXISTING

SCALE 1:200

LEVEL 3 EXISTING GROSS FLOOR AREA = 0.0 RETAIL + 71.9+56.0+78.4 RESIDENTIAL = 206.3m²

TOTAL EXISTING GROSS FLOOR AREA = 136.2m² RETAIL + 387.3m² RESIDENTIAL = 523.5m²

NOTE:
THE DRAWING INFORMATION SHOWN REPRESENTS A COMPILATION & INTERPRETATION OF SURVEY DATA & EXISTING CONDITION INFORMATION PROVIDED BY OTHERS + SITE INFORMATION OBTAINED BY COSTELLO + GRAHAM DESIGN CONFIRM THE EXISTING CONDITION ON SITE AS DISCREPANCIES BETWEEN DATA MAY HAVE OCCURED

DA SUBMISSION

A	DA SUBMISSION	081222
P5	PRE DA MEETING	221108
P4	ISSUED FOR CO-ORDINATION	051022
P3	ISSUE FOR REVIEW	210722
	Issue Amendment	Date



0m 2m 4m 8m 12m

FOR EXISTING AND NEW BUILDING WORKS
CONFIRM ALL DIMENSIONS LEVELS SQUARE
PLUMB & BOUNDARIES ON SITE.
DIMENSIONS SHOW FINISHED WALL THICKNESS
USE FIGURED DIMENSIONS ONLY DO NOT SCALE

PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 & COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094
LOT 1 DP 329155
FOR PHILIP & NIGEL ROSE

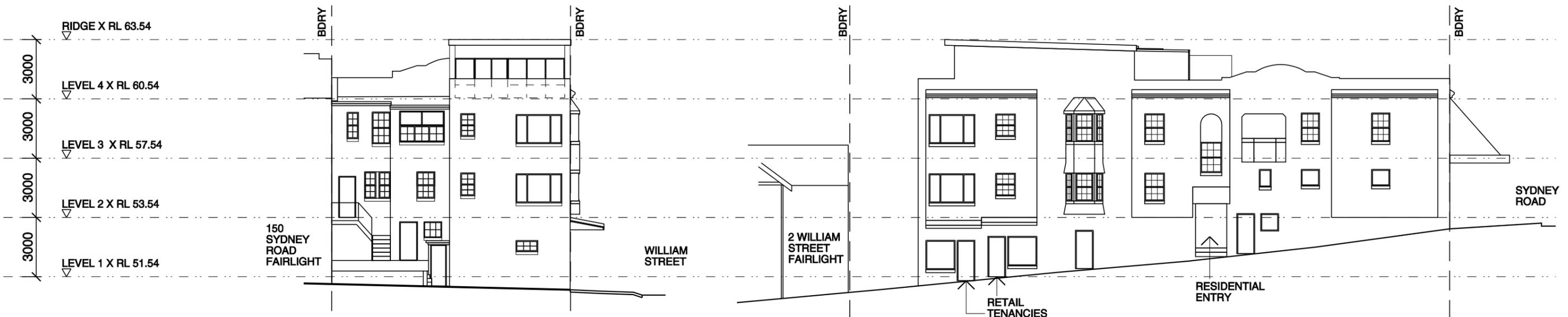
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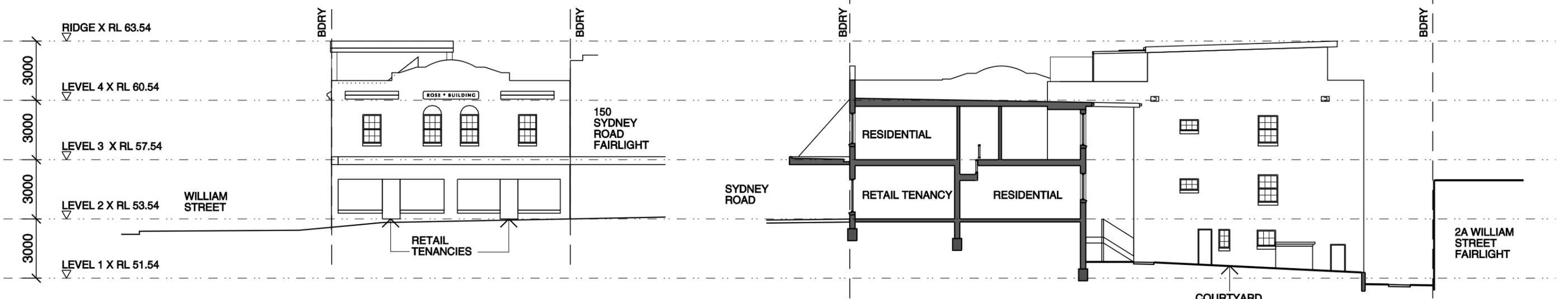
Title	EXISTING PLANS
Scale @ A3	1:200
Project Ref No	SRSF 22104
Drawing no.	DA02 A
Revision	

DEVELOPMENT APPLICATION



02 ELEVATION NORTH - EXISTING
SCALE 1:200

04 ELEVATION WEST - EXISTING - WILLIAM STREET
SCALE 1:200



03 ELEVATION SOUTH - EXISTING - SYDNEY ROAD
SCALE 1:200

03 ELEVATION EAST - EXISTING
SCALE 1:200



152 SYDNEY RD
UNIT LOCATED AT REAR
OF BLOCK



LOCATION
CNR SYDNEY RD & WILLIAM ST



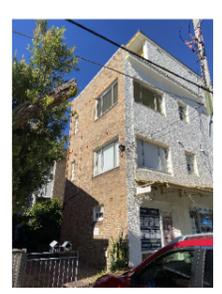
WEST ELEVATION
WILLIAM ST



ENTRANCE
WILLIAM ST



NORTH WEST VIEW
FROM WILLIAM ST



NORTH ELEVATION

DA SUBMISSION

A	DA SUBMISSION	081222
P4	PRE DA MEETING	221108
P3	ISSUED FOR CO-ORDINATION	051022
P2	SURVEY DATA ADDED	180722
P1	INITIAL ISSUE	100622
Issue Amendment	Date	

FOR EXISTING AND NEW BUILDING WORKS
 CONFIRM ALL DIMENSIONS LEVELS SQUARE
 PLUMB & BOUNDARIES ON SITE.
 DIMENSIONS SHOW FINISHED WALL THICKNESS
 USE FIGURED DIMENSIONS ONLY DO NOT SCALE

PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 &
 COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094
 LOT 1 DP 329155
 FOR PHILIP & NIGEL ROSE

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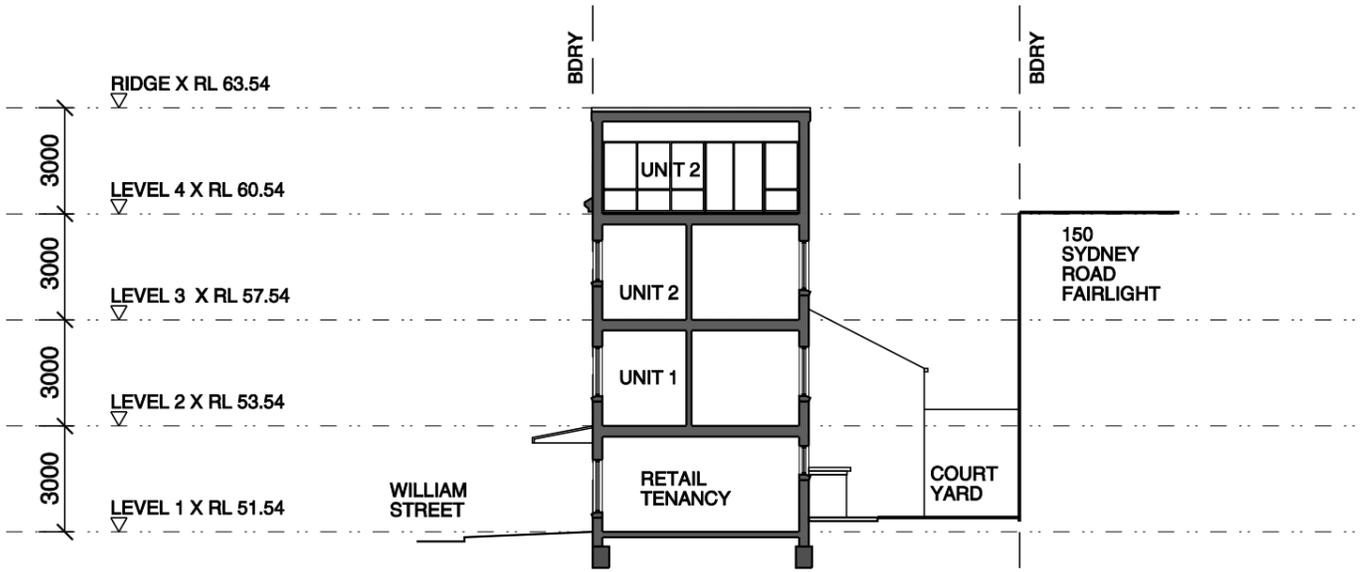


Title	EXISTING ELEVATIONS
Scale @ A3	1 : 200
Project Ref No	SRSF 22104
Drawing no.	DA03 A
Revision	

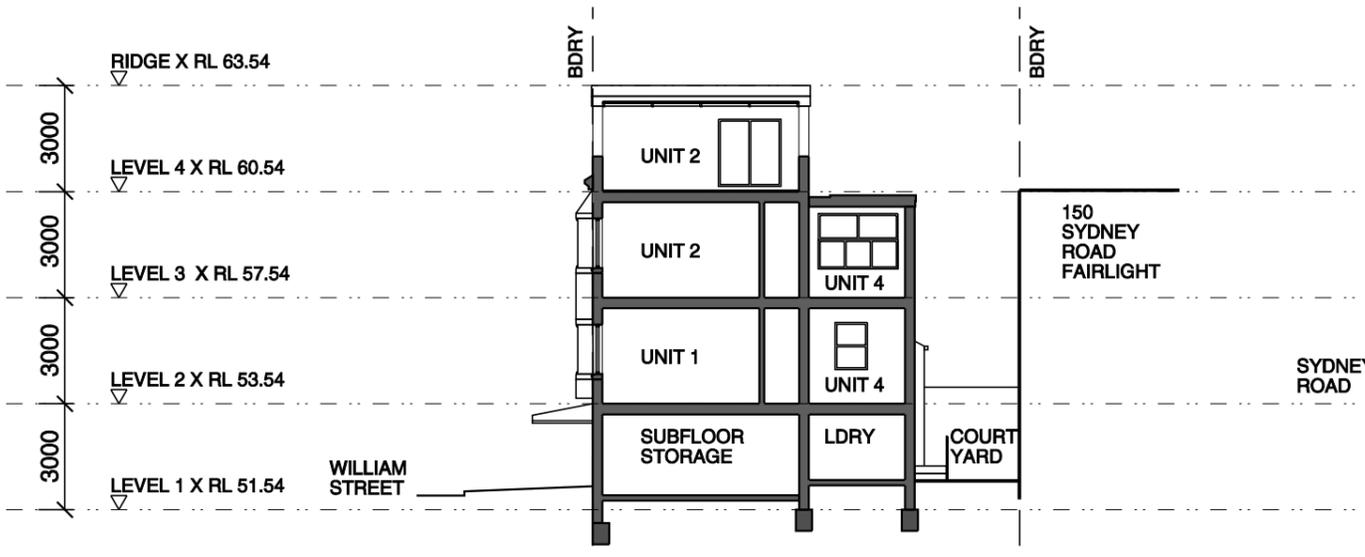
EXISTING WALL

DEVELOPMENT APPLICATION

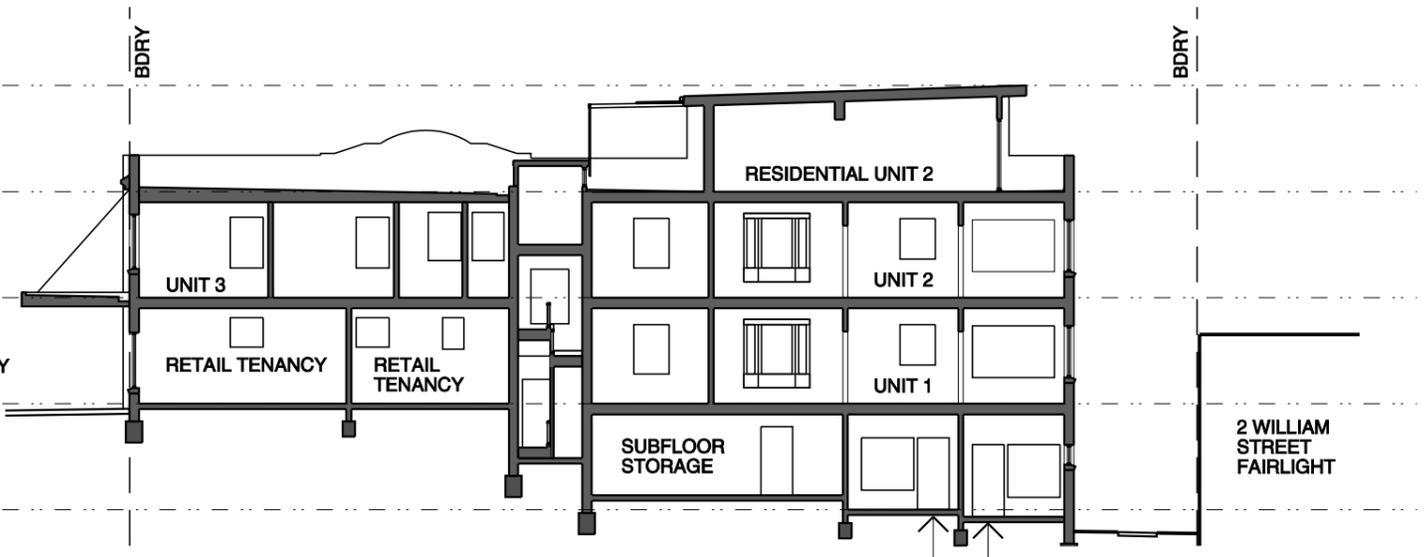
NOTE:
THE DRAWING INFORMATION SHOWN REPRESENTS A COMPILATION & INTERPRETATION OF SURVEY DATA & EXISTING CONDITION INFORMATION PROVIDED BY OTHERS + SITE INFORMATION OBTAINED BY COSTELLO + GRAHAM DESIGN CONFIRM THE EXISTING CONDITION ON SITE AS DISCREPANCIES BETWEEN DATA MAY HAVE OCCURED



01 SECTION EAST 01 - EXISTING
SCALE 1:200



02 SECTION EAST 02 - EXISTING
SCALE 1:200



03 SECTION NORTH 01 - EXISTING
SCALE 1:200

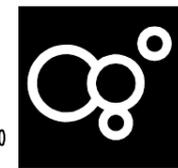
DA SUBMISSION

A	DA SUBMISSION	081222
P4	PRE DA MEETING	221108
P3	ISSUED FOR CO-ORDINATION	051022
P2	ISSUE FOR REVIEW	210722
P1	INITIAL ISSUE	180722
Issue Amendment	Date	

FOR EXISTING AND NEW BUILDING WORKS
CONFIRM ALL DIMENSIONS LEVELS SQUARE
PLUMB & BOUNDARIES ON SITE.
DIMENSIONS SHOW FINISHED WALL THICKNESS
USE FIGURED DIMENSIONS ONLY DO NOT SCALE

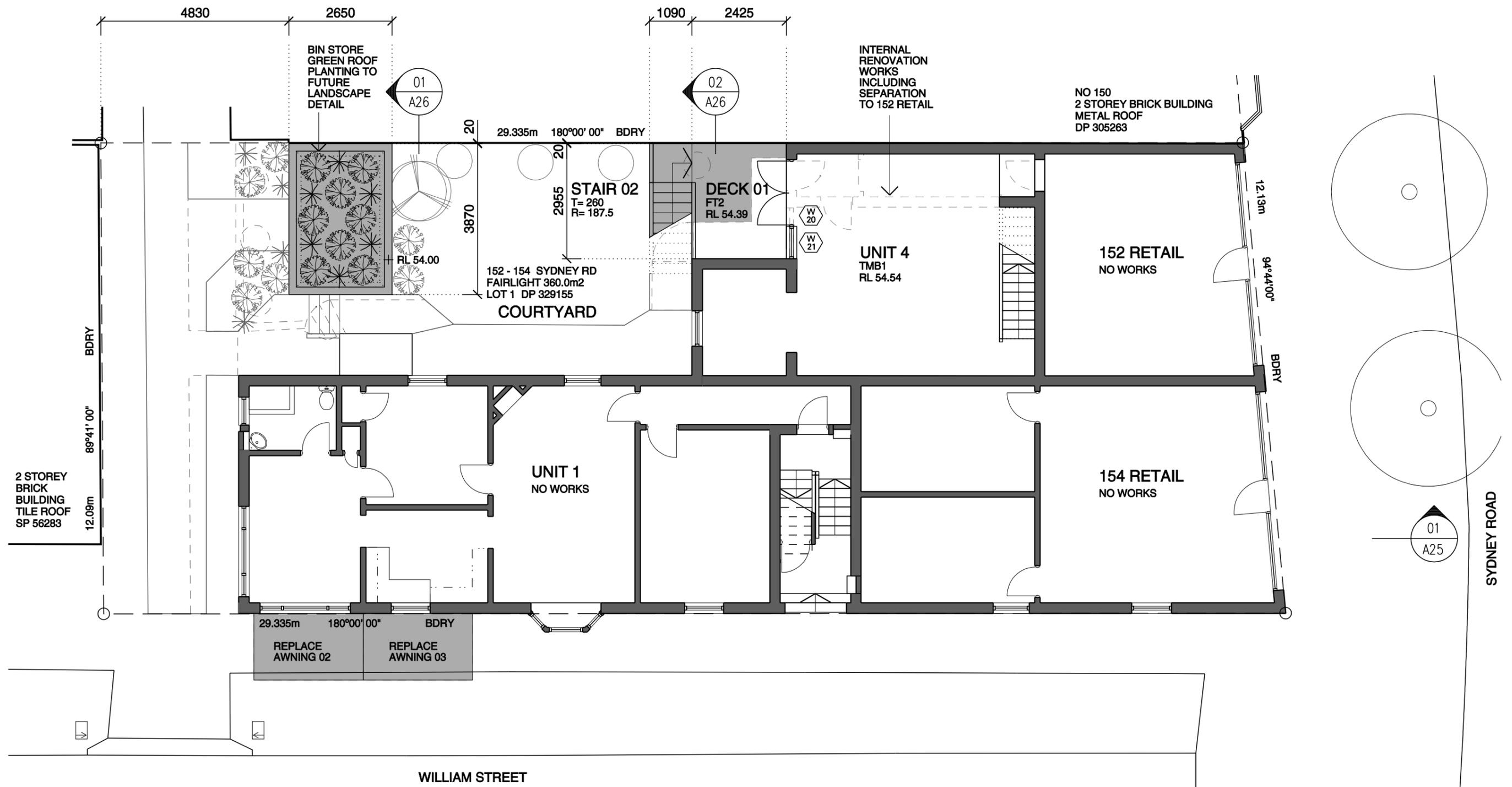
PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 & COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094
LOT 1 DP 329155
FOR PHILIP & NIGEL ROSE

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Title	EXISTING SECTIONS
Scale @ A3	1 : 200
Project Ref No	SRSF 22104
Drawing no.	DA04 A
Revision	

DEVELOPMENT APPLICATION

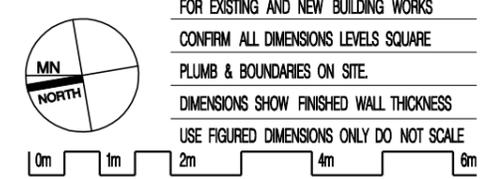


01 LEVEL 2 FLOOR PLAN
SCALE 1:100

LEVEL 2 EXISTING GROSS FLOOR AREA = 38.4+60.6 RETAIL + 35.9+9.2+80.4 RESIDENTIAL = 224.5m²
 PROPOSED LEVEL 2 GROSS FLOOR AREA = 30.7+60.6 RETAIL + 43.9+9.2+80.4 RESIDENTIAL = 224.8m²

DA SUBMISSION

A	DA SUBMISSION	081222
P3	PRE DA MEETING	221108
P2	ISSUED FOR CO-ORDINATION	051022
P1	INITIAL ISSUE	090922
Issue Amendment		Date



PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 & COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094
 LOT 1 DP 329155
 FOR PHILIP & NIGEL ROSE

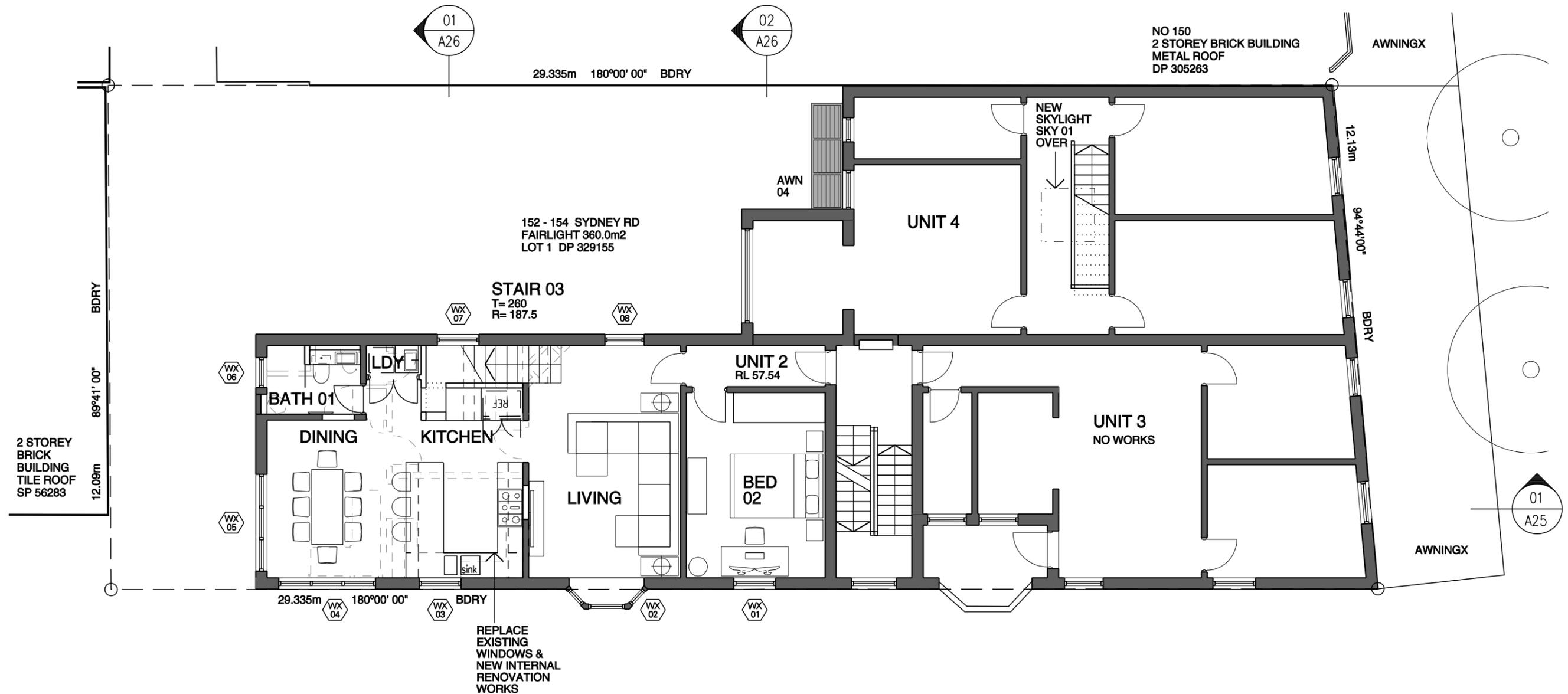
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Title	LEVEL 2 PLAN
Scale @ A3	1 : 100
Project Ref No	SRSF 22104
Drawing no.	DA11 A
Revision	

NEW WALL EXISTING WALL REMOVE EXISTING ADDITIONAL BUILDING AREA

DEVELOPMENT APPLICATION



01 LEVEL 3 FLOOR PLAN
SCALE 1:100

LEVEL 3 EXISTING GROSS FLOOR AREA
= 0.0 RETAIL + 71.9+56.0+78.4 RESIDENTIAL = 206.3m²

PROPOSED LEVEL 3 GROSS FLOOR AREA
= 0.0 RETAIL + 71.9+56.0+78.4 RESIDENTIAL = 206.3m²

DA SUBMISSION

A	DA SUBMISSION	081222
P3	PRE DA MEETING	221108
P2	ISSUED FOR CO-ORDINATION	051022
P1	INITIAL ISSUE	090922
Issue	Amendment	Date



FOR EXISTING AND NEW BUILDING WORKS
CONFIRM ALL DIMENSIONS LEVELS SQUARE
PLUMB & BOUNDARIES ON SITE.
DIMENSIONS SHOW FINISHED WALL THICKNESS
USE FIGURED DIMENSIONS ONLY DO NOT SCALE



PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 & 4 & COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094
LOT 1 DP 329155
FOR PHILIP & NIGEL ROSE

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Title	LEVEL 3 PLAN
Scale @ A3	1 : 100
Project Ref No	SRSF 22104
Drawing no.	DA12 A
Revision	

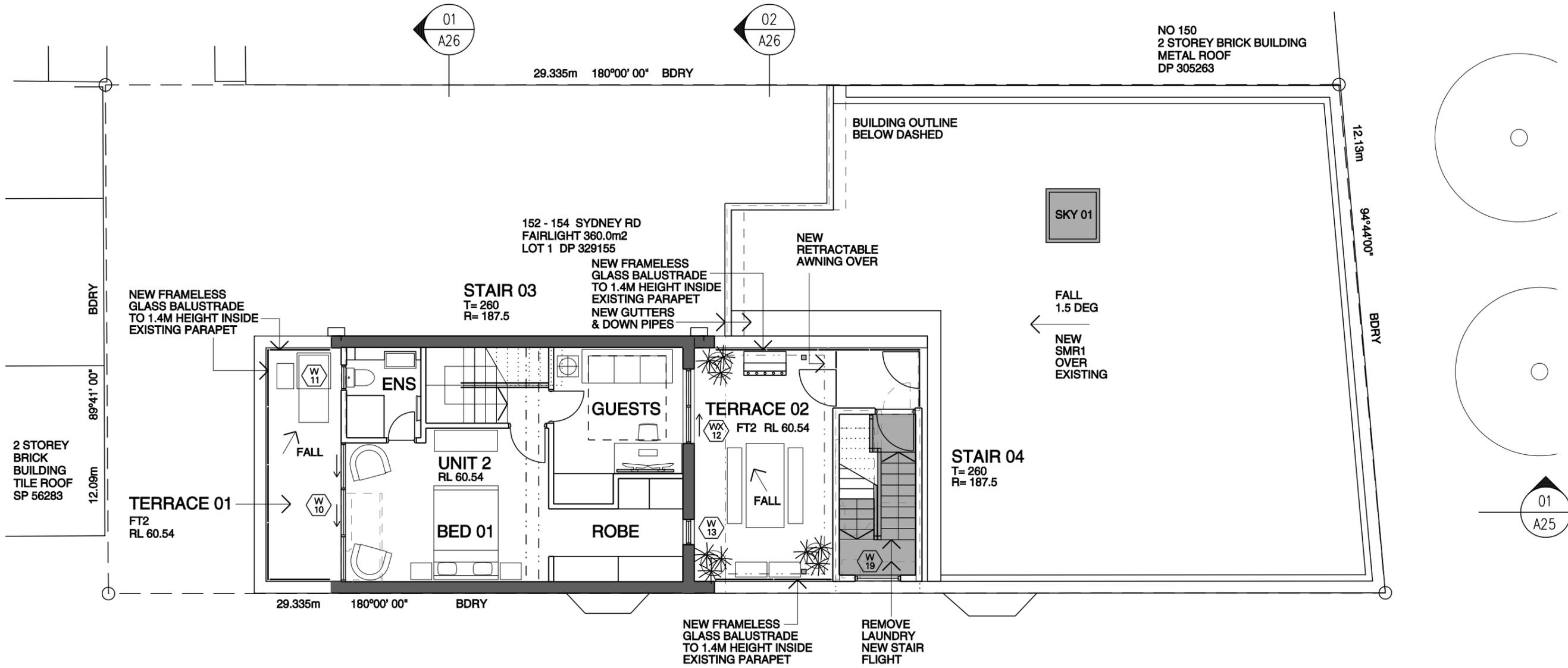
DEVELOPMENT APPLICATION

NEW WALL

EXISTING WALL

REMOVE EXISTING

ADDITIONAL BUILDING AREA



01 LEVEL 4 FLOOR PLAN
SCALE 1:100

LEVEL 4 EXISTING GROSS FLOOR AREA
= 0.0 RETAIL + 5.2+43.3 RESIDENTIAL = 48.5m²

PROPOSED LEVEL 4 GROSS FLOOR AREA
= 0.0 RETAIL + 40.8 RESIDENTIAL = 40.8m²

DA SUBMISSION

A	DA SUBMISSION	081222
P4	PRE DA MEETING	221108
P3	ISSUED FOR CO-ORDINATION	051022
P2	ISSUE FOR REVIEW	300922
P1	INITIAL ISSUE	090922
Issue Amendment	Date	



0m 1m 2m 4m 6m

FOR EXISTING AND NEW BUILDING WORKS
CONFIRM ALL DIMENSIONS LEVELS SQUARE
PLUMB & BOUNDARIES ON SITE.
DIMENSIONS SHOW FINISHED WALL THICKNESS
USE FIGURED DIMENSIONS ONLY DO NOT SCALE

PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 &
COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094
LOT 1 DP 329155
FOR PHILIP & NIGEL ROSE

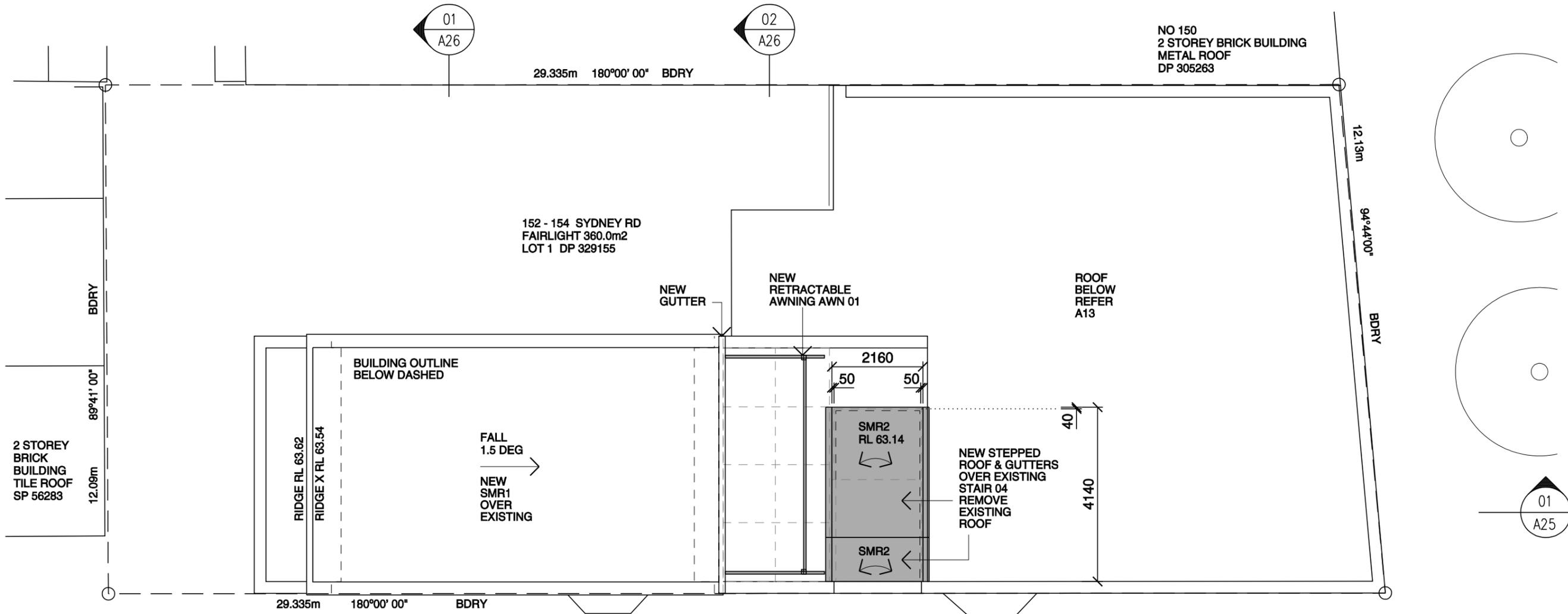
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ARCHITECTS



Title	LEVEL 4 PLAN
Scale @ A3	1 : 100
Project Ref No	SRSF 22104
Drawing no.	DA13 A
Revision	

NEW WALL
 EXISTING WALL
 REMOVE EXISTING
 ADDITIONAL BUILDING AREA

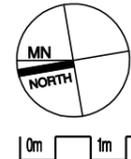
DEVELOPMENT APPLICATION



01 ROOF PLAN
SCALE 1:100

DA SUBMISSION

A	DA SUBMISSION	081222
P5	STAIR 04 ROOF HEIGHT LOWERED	221116
P4	PRE DA MEETING	221108
P3	ISSUED FOR CO-ORDINATION	051022
Issue	Amendment	Date

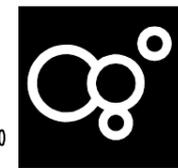


FOR EXISTING AND NEW BUILDING WORKS
 CONFIRM ALL DIMENSIONS LEVELS SQUARE
 PLUMB & BOUNDARIES ON SITE.
 DIMENSIONS SHOW FINISHED WALL THICKNESS
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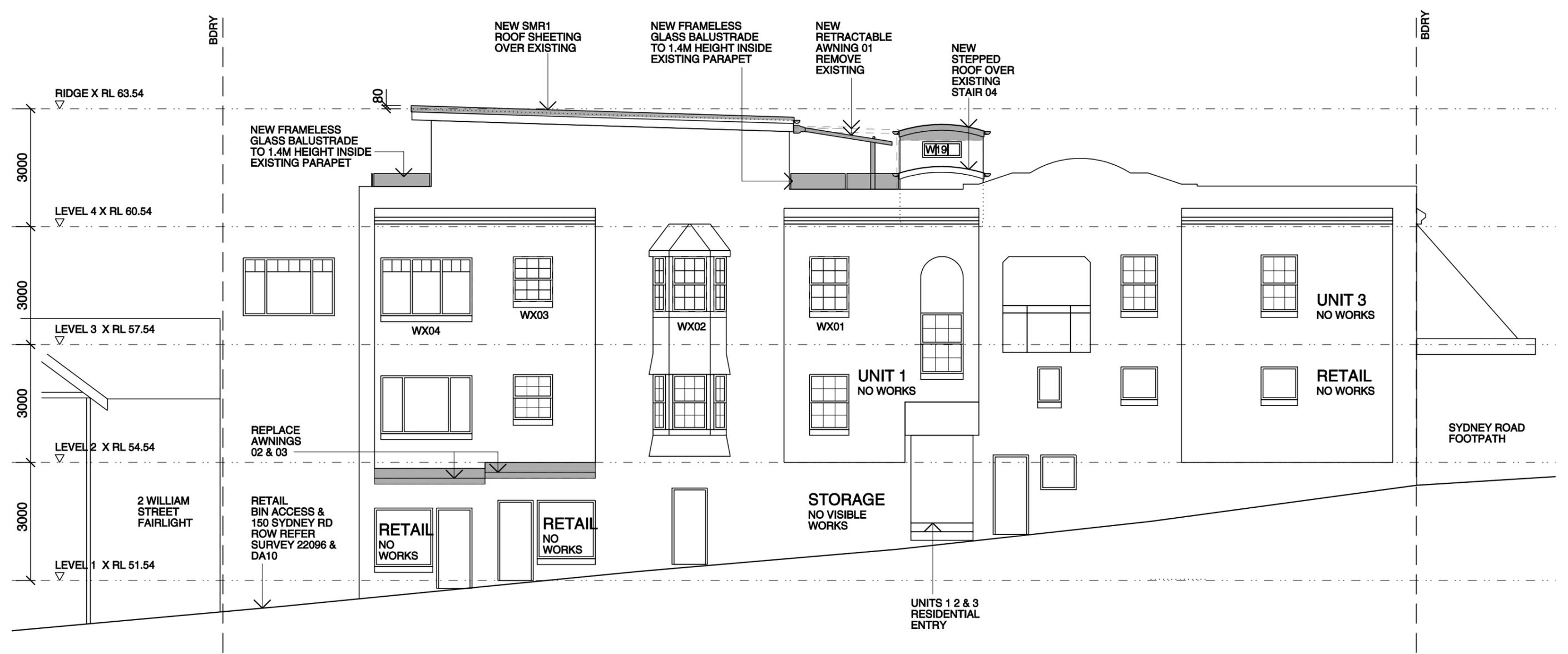
PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 &
 COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094
 LOT 1 DP 329155
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 ARCHITECTS



Title	ROOF PLAN
Scale @ A3	1 : 100
Project Ref No	SRSF 22104
Drawing no.	DA14 A
Revision	

DEVELOPMENT APPLICATION



01 ELEVATION WEST
SCALE 1:100

DA SUBMISSION

A	DA SUBMISSION	081222
P5	STAIR 05 ROOF LOWERED	221116
P4	PRE DA MEETING	221108
P3	ISSUED FOR CO-ORDINATION	051022
Issue	Amendment	Date

FOR EXISTING AND NEW BUILDING WORKS
 CONFIRM ALL DIMENSIONS LEVELS SQUARE
 PLUMB & BOUNDARIES ON SITE.
 DIMENSIONS SHOW FINISHED WALL THICKNESS
 USE FIGURED DIMENSIONS ONLY DO NOT SCALE

0m
 1m
 2m
 4m
 6m

PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 &
 COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094
 LOT 1 DP 329155
 FOR PHILIP & NIGEL ROSE

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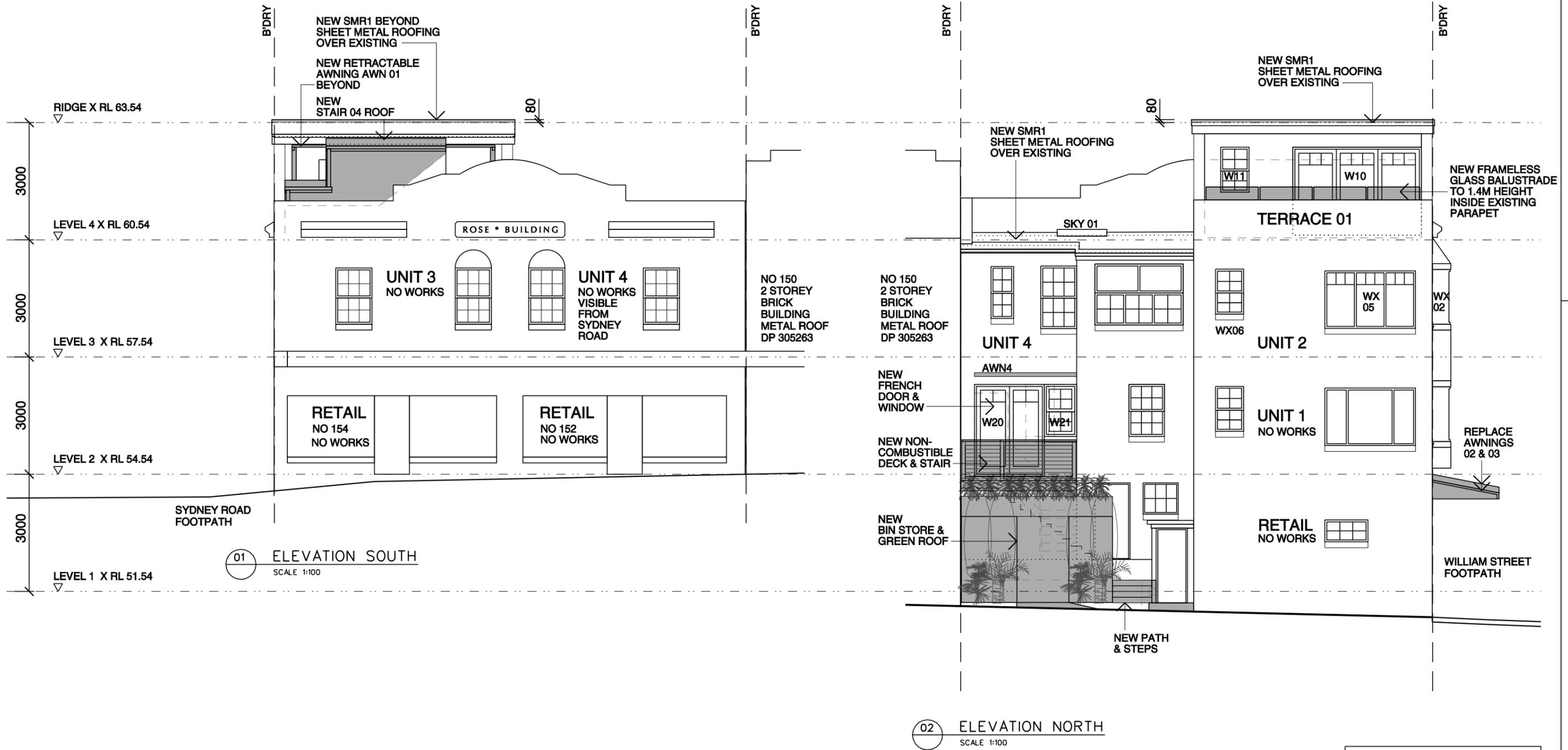
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 Email: office@costellograhamdesign.com.au
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 ARCHITECTS



Title	ELEVATIONS 01
Scale @ A3	1 : 100
Project Ref No	SRSF 22104
Drawing no.	DA20 A
Revision	

DEVELOPMENT APPLICATION

NEW WALL
 EXISTING WALL
 REMOVE EXISTING
 ADDITIONAL BUILDING AREA



DA SUBMISSION

A	DA SUBMISSION	081222
P3	PRE DA MEETING	221108
P2	ISSUED FOR CO-ORDINATION	051022
P1	INITIAL ISSUE	090922
Issue	Amendment	Date

FOR EXISTING AND NEW BUILDING WORKS
 CONFIRM ALL DIMENSIONS LEVELS SQUARE
 PLUMB & BOUNDARIES ON SITE.
 DIMENSIONS SHOW FINISHED WALL THICKNESS
 USE FIGURED DIMENSIONS ONLY DO NOT SCALE

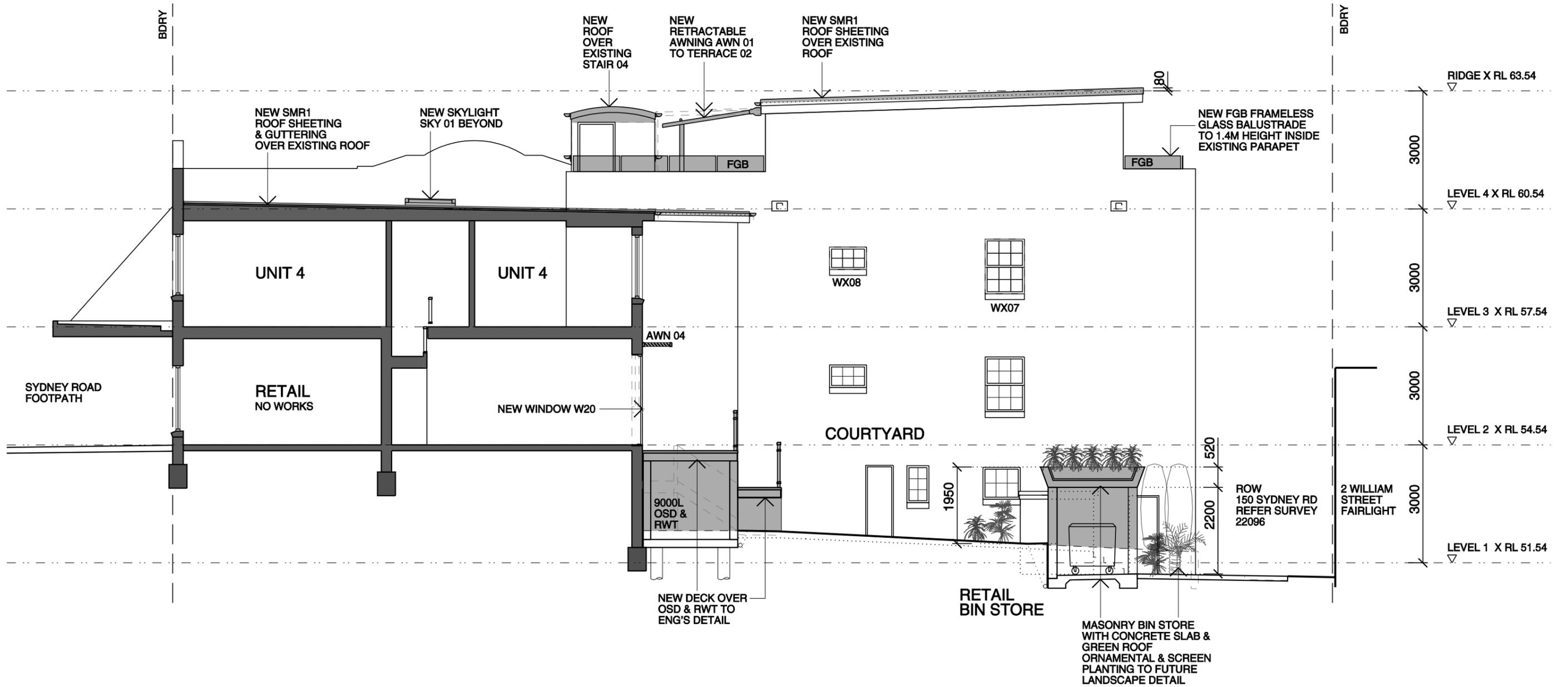
PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 &
 COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094
 LOT 1 DP 329155
 FOR PHILIP & NIGEL ROSE

COSTELLO+GRAHAM DESIGN
 Suite 3 /36 Sydney Road, Manly NSW 2095 ©
 Sydney, Australia
 Telephone (02) 9977 1981
 Email: office@costellograhamdesign.com.au
 Robert Costello Nominated Architect Registration NSW 6610
 ARCHITECTS



Title	ELEVATIONS 02
Scale @ A3	1 : 100
Project Ref No	SRSF 22104
Drawing no.	DA21 A
Revision	

DEVELOPMENT APPLICATION



01 ELEVATION EAST
SCALE 1:100

DA SUBMISSION

A	DA SUBMISSION	081222
P4	STAIR 04 ROOF LOWERED	221116
P3	PRE DA MEETING	221108
P2	ISSUED FOR CO-ORDINATION	051022
P1	INITIAL ISSUE	090922
Issue	Amendment	Date

FOR EXISTING AND NEW BUILDING WORKS
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PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 &
 COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094
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Title	ELEVATIONS 03
Scale @ A3	1 : 100
Project Ref No	SRSF 22104
Drawing no.	DA22 A
Revision	

DEVELOPMENT APPLICATION

— NEW WALL

█ EXISTING WALL

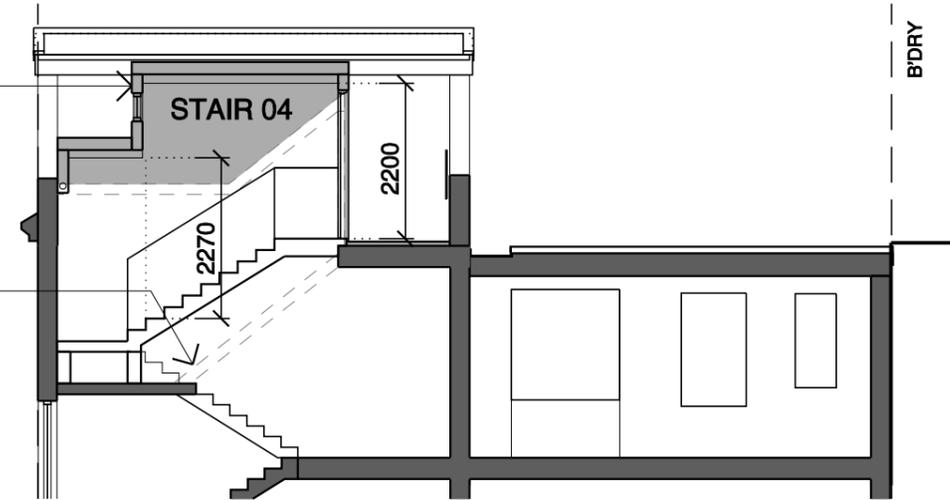
- - - REMOVE EXISTING

█ ADDITIONAL BUILDING AREA

NEW ROOF INSET FROM EXISTING PARAPET CURVED FORM TO BE SIMILIAR TO PARAPET CURVE

REMOVE NON-COMPLIANT STAIR

03 PART SECTION E03
SCALE 1:100

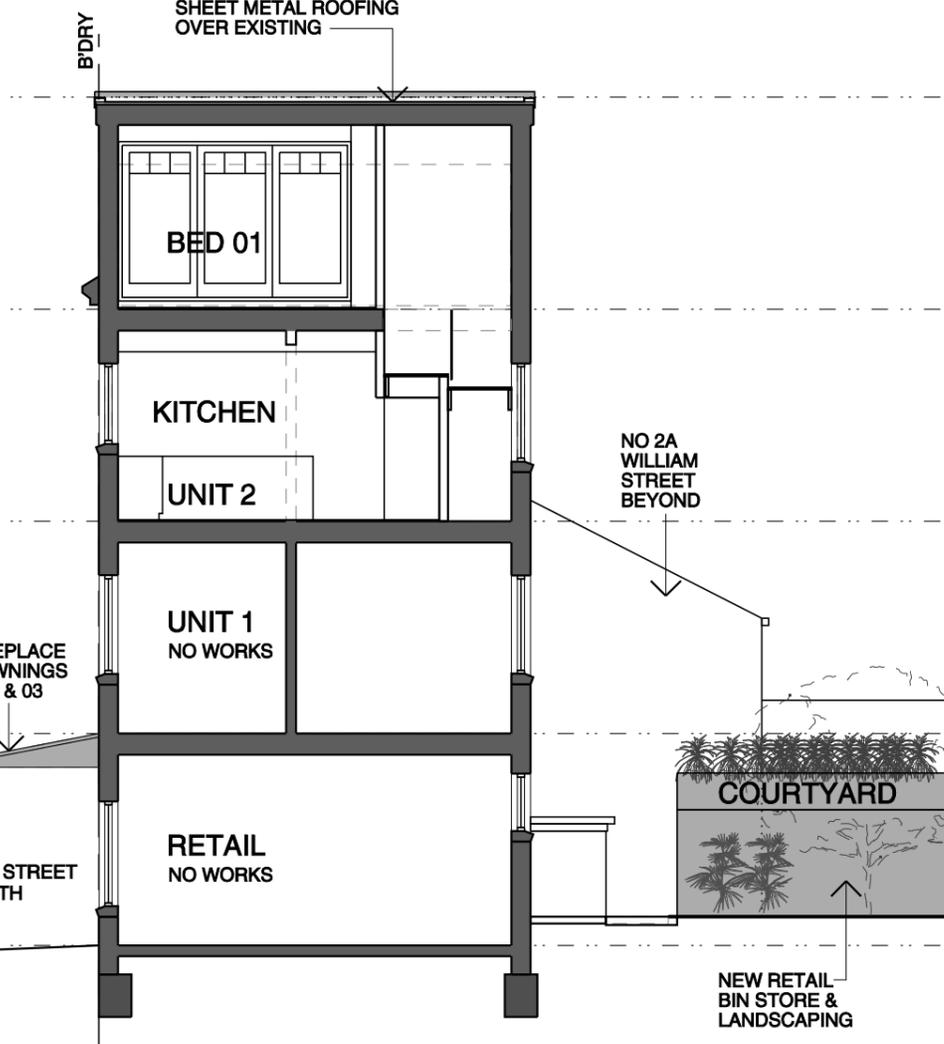


NEW SMR1 SHEET METAL ROOFING OVER EXISTING

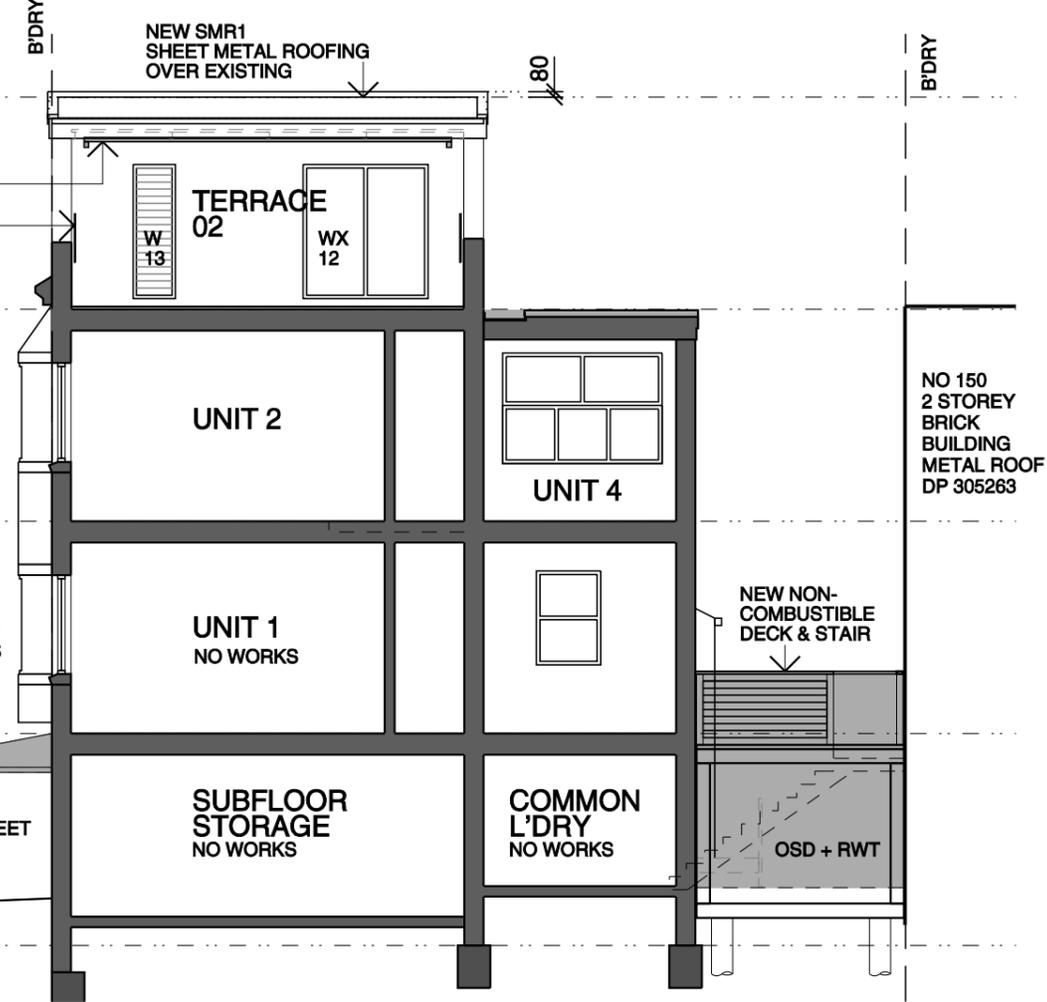
NEW RETRACTABLE AWNING AWN 01 REMOVE EXISTING

NEW 1.4M HIGH FRAMELESS GLASS BALUSTRADE INSIDE EXISTING PARAPET

NEW SMR1 SHEET METAL ROOFING OVER EXISTING



01 SECTION EAST 01
SCALE 1:100



02 SECTION EAST 02
SCALE 1:100

DA SUBMISSION

A	DA SUBMISSION	081222
	STAIR 04 SECTION ADDED	
P5	STAIR 04 ROOF HEIGHT LOWERED	221116
P4	PRE DA MEETING	221108
P3	ISSUED FOR CO-ORDINATION	051022
Issue	Amendment	Date

FOR EXISTING AND NEW BUILDING WORKS
CONFIRM ALL DIMENSIONS LEVELS SQUARE
PLUMB & BOUNDARIES ON SITE.
DIMENSIONS SHOW FINISHED WALL THICKNESS
USE FIGURED DIMENSIONS ONLY DO NOT SCALE



PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 & 4 & COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094
LOT 1 DP 329155
FOR PHILIP & NIGEL ROSE

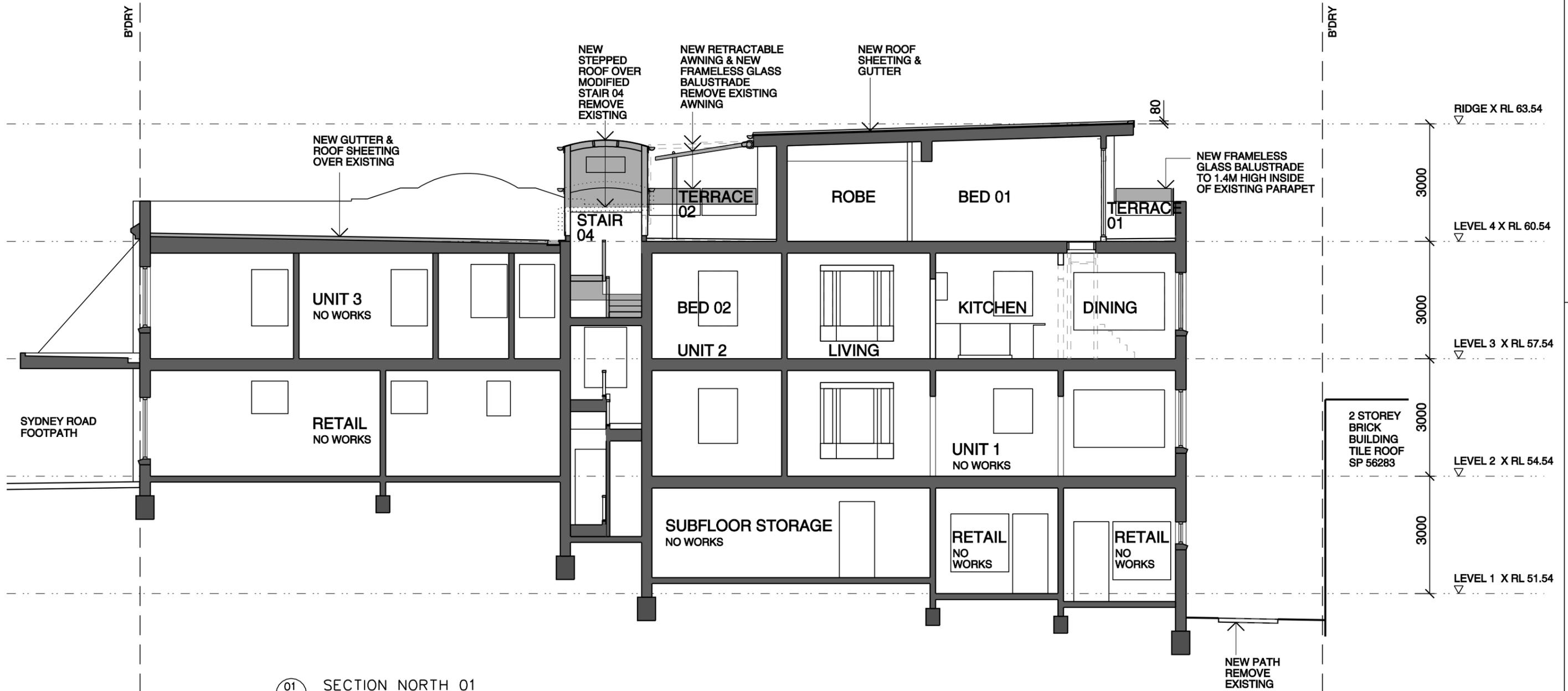
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Robert Costello Nominated Architect Registration NSW 6610 ARCHITECTS



Title	SECTIONS 02
Scale @ A3	1 : 100
Project Ref No	SRSF 22104
Drawing no.	DA26 A
Revision	

DEVELOPMENT APPLICATION



01 SECTION NORTH 01
 SCALE 1:100

DA SUBMISSION

A	DA SUBMISSION	081222
P5	STAIR 04 ROOF LOWERED	221116
P4	PRE DA MEETING	221108
P3	ISSUED FOR CO-ORDINATION	051022
Issue	Amendment	Date

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PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 & 4 &
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Title	SECTIONS 01
Scale @ A3	1 : 100
Project Ref No	SRSF 22104
Drawing no.	DA25 A
Revision	