

# DEVELOPMENT APPLICATION

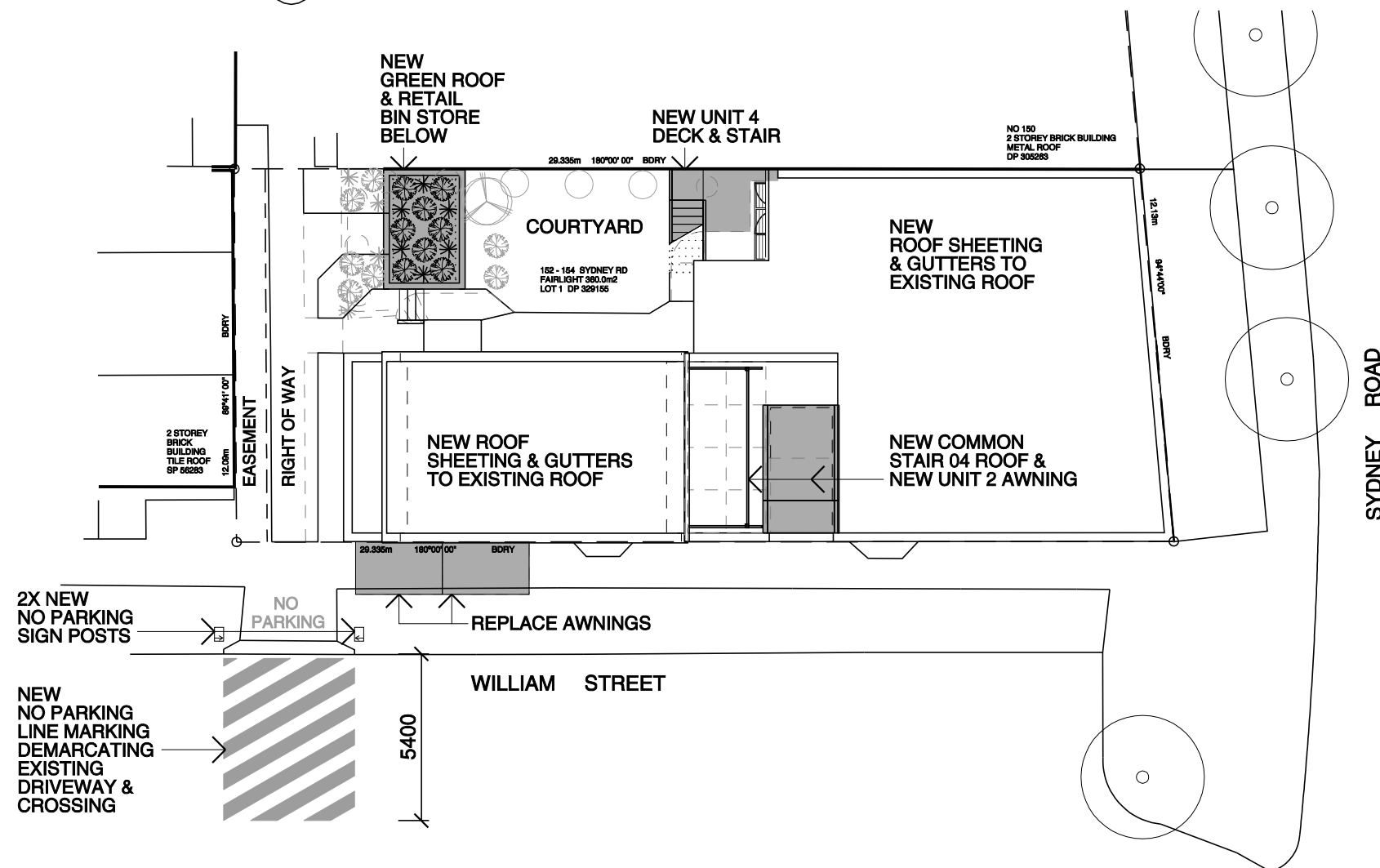
ADDITIONAL BUILDING AREA



02 ELEVATION WEST  
SCALE 1:200



03 ELEVATION SOUTH  
SCALE 1:200



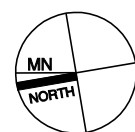
01 SITE PLAN  
SCALE 1:200



04 ELEVATION NORTH  
SCALE 1:200

DA SUBMISSION

|       |               |        |
|-------|---------------|--------|
| A     | DA SUBMISSION | 08/222 |
| Issue | Amendment     | Date   |



FOR EXISTING AND NEW BUILDING WORKS  
CONFIRM ALL DIMENSIONS LEVELS SQUARE  
PLUMB & BOUNDARIES ON SITE.  
DIMENSIONS SHOW FINISHED WALL THICKNESS  
USE FIGURED DIMENSIONS ONLY DO NOT SCALE

0m 2m 4m 8m 12m

PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 &  
COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094  
LOT 1 DP 329155  
FOR PHILIP & NIGEL ROSE

COSTELLO+GRAHAM DESIGN

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Sydney, Australia  
Telephone (02) 9977 1981  
Email: office@costellograhamdesign.com.au  
Robert Costello Nominated Architect Registration NSW 6610  
ARCHITECTS



|                |                   |
|----------------|-------------------|
| Title          | NOTIFICATION PLAN |
| Scale @ A3     | 1 : 200           |
| Project Ref No | SRSF 22104        |
| Drawing no.    | DA00 A            |
| Revision       |                   |

NORTHERN BEACHES COUNCIL (FORMER MANLY) DEVELOPMENT APPLICATION SUMMARY

SITE AREA - 152-154 SYDNEY ROAD FAIRLIGHT = 360.0 m2  
DENSITY SUBZONE B1 NEIGHBOURHOOD CENTER  
MIN. SITE AREA 250m2  
PERMISSIBLE FLOOR SPACE RATIO 1.0 :1  
MAXIMUM ALLOWABLE FLOOR SPACE = 360.0m2  
LEVEL 1 EXISTING GROSS FLOOR AREA  
= 37.2 RETAIL + 7.0 RESIDENTIAL = 44.2m2  
LEVEL 2 EXISTING GROSS FLOOR AREA  
= 38.4+60.6 RETAIL + 35.9+9.2+80.4 RESIDENTIAL = 224.5m2  
LEVEL 3 EXISTING GROSS FLOOR AREA  
= 0.0 RETAIL + 71.9+56.0+78.4 RESIDENTIAL = 206.3m2  
LEVEL 4 EXISTING GROSS FLOOR AREA  
= 0.0 RETAIL + 5.2+43.3 RESIDENTIAL = 48.5m2  
TOTAL EXISTING GROSS FLOOR AREA  
= 136.2m2 RETAIL + 387.3m2 RESIDENTIAL = 523.5m2

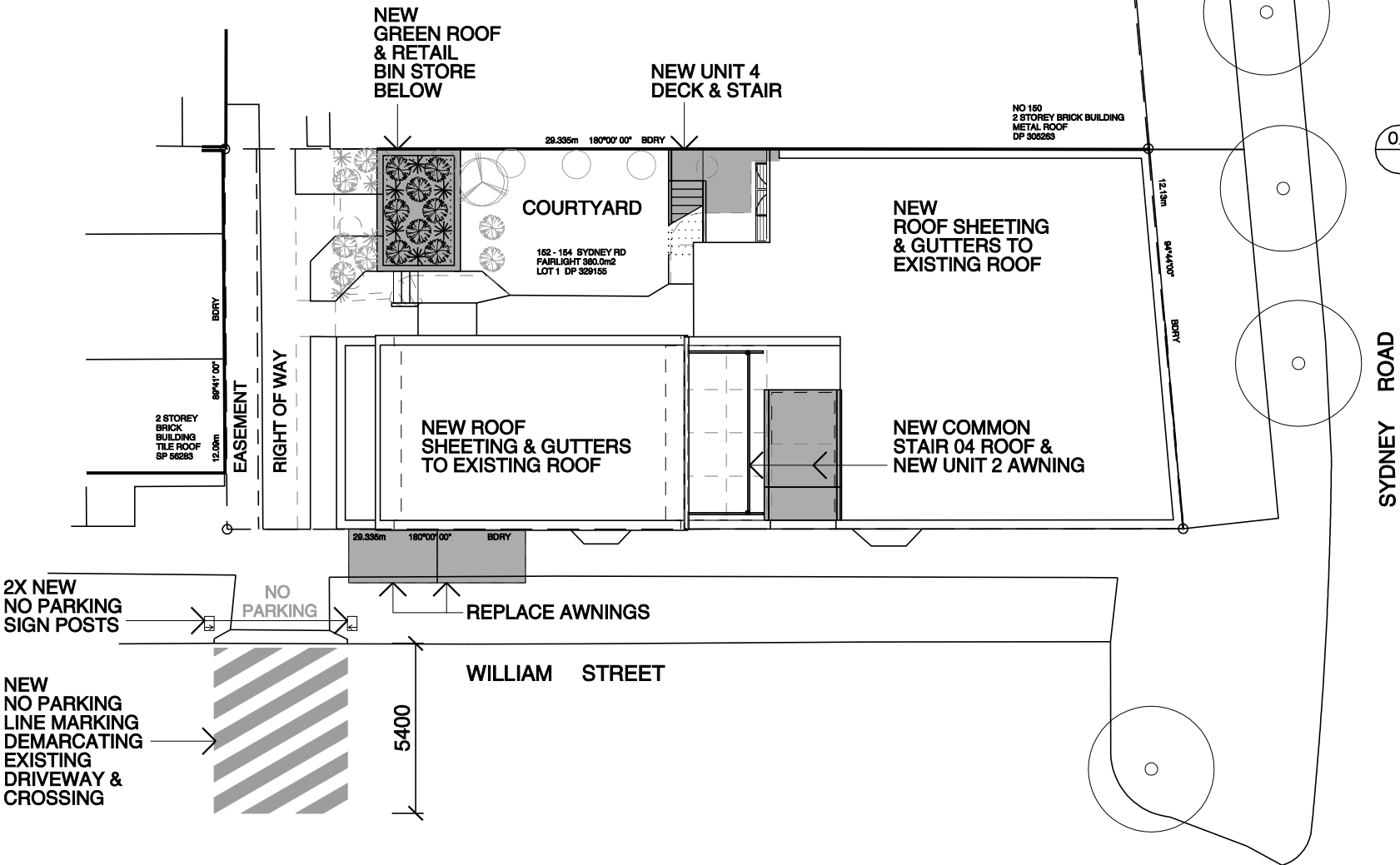
PROPOSED LEVEL 1 GROSS FLOOR AREA  
= 37.2 + 6.5 RETAIL + 7.0 RESIDENTIAL = 50.7m2  
PROPOSED LEVEL 2 GROSS FLOOR AREA  
= 30.7+60.6 RETAIL + 43.9+9.2+80.4 RESIDENTIAL = 224.8m2  
PROPOSED LEVEL 3 GROSS FLOOR AREA  
= 0.0 RETAIL + 71.9+56.0+78.4 RESIDENTIAL = 206.3m2  
PROPOSED LEVEL 4 GROSS FLOOR AREA  
= 0.0 RETAIL + 40.8 RESIDENTIAL = 40.8m2  
TOTAL PROPOSED GROSS FLOOR AREA  
= 135.0m2 RETAIL + 387.6m2 RESIDENTIAL = 522.6m2  
TOTAL GROSS FLOOR AREA REDUCTION  
= -1.2m2 RETAIL + 0.3m2 RESIDENTIAL = -0.9m2  
PROPOSED SITE : FLOOR SPACE RATIO  
= 360.0m2 / 522.6m2 = 146% = NON-COMPLIANT

REQUIRED TOS TOTAL OPEN SPACE AREA OS3 +3m  
= 360.0 X 0.55 = 198.0m2  
EXISTING TOS TOTAL OPEN SPACE AREA +3m MIN WIDTH  
= 109.8+18.6 = 128.4m2 = 35.6% = NON COMPLIANT  
PROPOSED TOS TOTAL OPEN SPACE AREA +3m MIN WIDTH  
= 51.1+39.8+18.6= 109.5m2  
= 30.4% = NON COMPLIANT  
REQUIRED LANDSCAPE OPEN SPACE AREA OS4 +0.5m MIN WIDTH  
= 198.0 X 35% = 69.3m2  
PROPOSED LANDSCAPE OPEN SPACE +0.5m MIN WIDTH  
= 13.3+5.0+3.4+4.0+30.6m2 = 56.3m2 = NON COMPLIANT  
MAX TOS TOTAL OPEN SPACE ABOVE GROUND  
= MAX 25% OF REQ'D TOS = 198.0 X 0.25 = 49.5m2  
PROPOSED TOTAL OPEN SPACE ABOVE GROUND  
= 18.6m2 = COMPLIANT

EXISTING PERVIOUS AREA = 13.5+7.6+5.9+52.2= 79.2m2  
EXISTING IMPERVIOUS AREA = 360.0-79.2 = 280.8m2  
PROPOSED PERVIOUS AREA = 13.5+5.0+3.4+4.0+41.2= 67.1m2  
PROPOSED IMPERVIOUS AREA = 360.0 - 67.1 = 292.9m2  
IMPERVIOUS AREA INCREASE = 292.9 - 290.8 = 12.1m2  
IMPERVIOUS AREA % OF SITE AREA  
= 292.9 / 360.0 = 81.4%  
NORTHERN BEACHES COUNCIL OSD CHECKLIST\_APPENDIX 16  
REGION 3 ZONE 1 PART 4.3.2.2 - DEVELOPMENT PROPOSAL FOR  
ALTERATIONS & ADDITIONS TO EXISTING DWELLINGS  
POST DEVELOPMENT IMPERVIOUS AREA IS LESS THAN 50m2  
POST DEVELOPMENT IMPERVIOUS AREA EXCEEDS 60% SITE AREA  
ON SITE STORMWATER DETENTION REQUIRED



02 LOCATION PLAN  
SCALE nts






01 SITE PLAN  
SCALE 1:200

- DA01 SITE PLAN
- DA02 EXISTING PLANS
- DA03 EXISTING ELEVATIONS
- DA04 EXISTING SECTIONS
- DA05 SITE ANALYSIS SHADOWS & LANDSCAPE PLAN
- DA10 LEVEL 1 PLAN
- DA11 LEVEL 2 PLAN
- DA12 LEVEL 3 PLAN
- DA13 LEVEL 4 PLAN
- DA14 ROOF PLAN
- DA20 ELEVATIONS 01
- DA21 ELEVATIONS 02
- DA22 ELEVATIONS 03
- DA25 SECTIONS 01
- DA26 SECTIONS 02
- DA95 STATEMENT OF ENVIRONMENTAL EFFECTS
- DA96 WASTE MANAGEMENT PLAN

ARCHITECTURAL DOCUMENT LIST

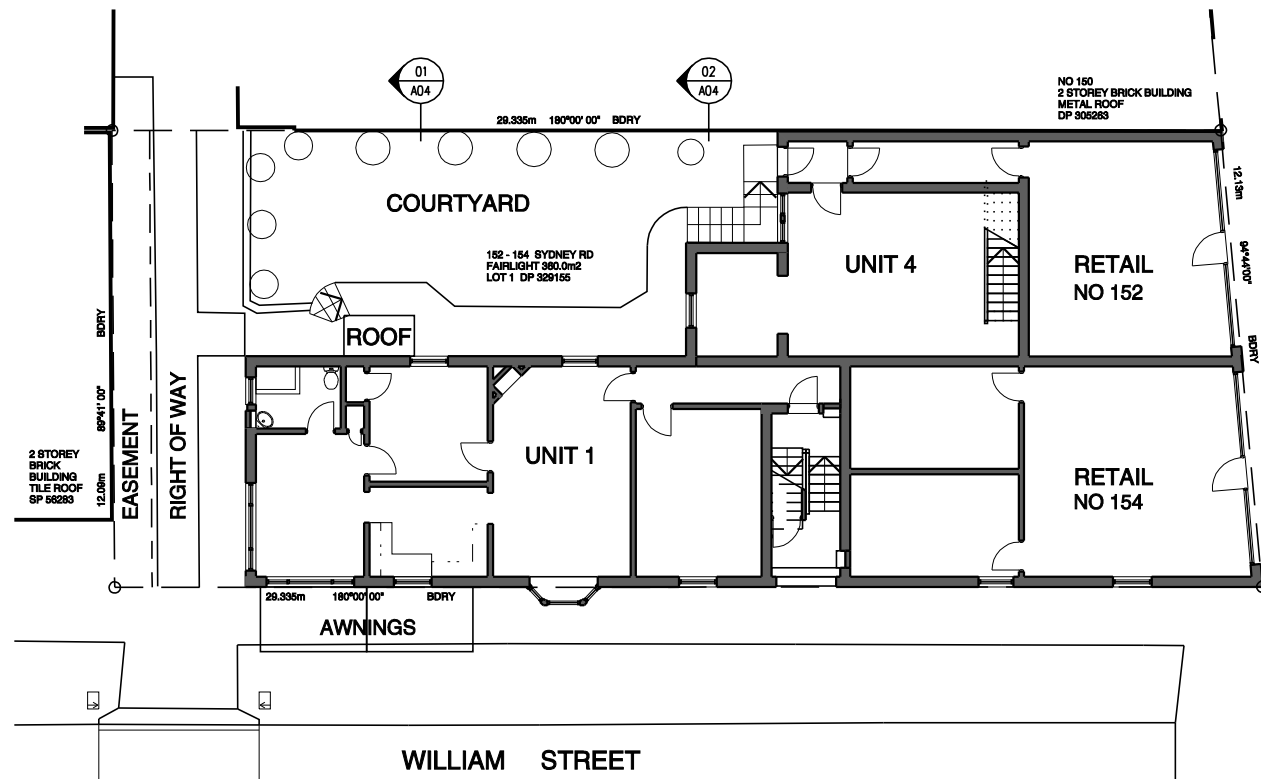
DEVELOPMENT APPLICATION

DA SUBMISSION

|   |                          |         |   |               |        |    |                |        |    |                          |        |    |               |         |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |   |  |  |   |  |  |       |           |  |            |         |  |                |            |  |             |      |  |          |   |  |
|---|--------------------------|---------|---|---------------|--------|----|----------------|--------|----|--------------------------|--------|----|---------------|---------|-------|-----------|------|--|--|--|-------------------------------------|--------------------------------------|----------------------------|---|--|---|--|--|---|--|--|---|--|--|-------|-----------|--|------------|---------|--|----------------|------------|--|-------------|------|--|----------|---|--|
| <table><tr><td>A</td><td>DA SUBMISSION</td><td>08/222</td></tr><tr><td>P3</td><td>PRE DA MEETING</td><td>22/108</td></tr><tr><td>P2</td><td>ISSUED FOR CO-ORDINATION</td><td>05/022</td></tr><tr><td>P1</td><td>INITIAL ISSUE</td><td>12/0922</td></tr><tr><td>Issue</td><td>Amendment</td><td>Date</td></tr></table> |                          |         | A | DA SUBMISSION | 08/222 | P3 | PRE DA MEETING | 22/108 | P2 | ISSUED FOR CO-ORDINATION | 05/022 | P1 | INITIAL ISSUE | 12/0922 | Issue | Amendment | Date | <div><table><tr><td>FOR EXISTING AND NEW BUILDING WORKS</td></tr><tr><td>CONFIRM ALL DIMENSIONS LEVELS SQUARE</td></tr><tr><td>PLUMB &amp; BOUNDARIES ON SITE</td></tr><tr><td>DIMENSIONS SHOW FINISHED WALL THICKNESS</td></tr><tr><td>USE FIGURED DIMENSIONS ONLY DO NOT SCALE</td></tr></table></div> |  |  | FOR EXISTING AND NEW BUILDING WORKS | CONFIRM ALL DIMENSIONS LEVELS SQUARE | PLUMB & BOUNDARIES ON SITE | DIMENSIONS SHOW FINISHED WALL THICKNESS | USE FIGURED DIMENSIONS ONLY DO NOT SCALE | <p>PROPOSED ALTERATIONS &amp; ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 &amp; 4 &amp;<br/>COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094<br/>LOT 1 DP 329155<br/>FOR PHILIP &amp; NIGEL ROSE</p> |  |  | <p>COSTELLO+GRAHAM DESIGN<br/>Suite 3 /36 Sydney Road, Manly NSW 2095 ©<br/>Sydney, Australia<br/>Telephone (02) 9977 1981<br/>Email: office@costellograhamdesign.com.au<br/>Robert Costello Nominated Architect Registration NSW 6610<br/>ARCHITECTS</p> |  |  | <div><table><tr><td>Title</td><td colspan="2">SITE PLAN</td></tr><tr><td>Scale @ A3</td><td colspan="2">1 : 200</td></tr><tr><td>Project Ref No</td><td colspan="2">SRSF 22104</td></tr><tr><td>Drawing no.</td><td colspan="2">DA01</td></tr><tr><td>Revision</td><td colspan="2">A</td></tr></table></div> |  |  | Title | SITE PLAN |  | Scale @ A3 | 1 : 200 |  | Project Ref No | SRSF 22104 |  | Drawing no. | DA01 |  | Revision | A |  |
| A   | DA SUBMISSION            | 08/222  |   |               |        |    |                |        |    |                          |        |    |               |         |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |   |  |  |   |  |  |       |           |  |            |         |  |                |            |  |             |      |  |          |   |  |
| P3  | PRE DA MEETING           | 22/108  |   |               |        |    |                |        |    |                          |        |    |               |         |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |   |  |  |   |  |  |       |           |  |            |         |  |                |            |  |             |      |  |          |   |  |
| P2  | ISSUED FOR CO-ORDINATION | 05/022  |   |               |        |    |                |        |    |                          |        |    |               |         |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |   |  |  |   |  |  |       |           |  |            |         |  |                |            |  |             |      |  |          |   |  |
| P1  | INITIAL ISSUE            | 12/0922 |   |               |        |    |                |        |    |                          |        |    |               |         |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |   |  |  |   |  |  |       |           |  |            |         |  |                |            |  |             |      |  |          |   |  |
| Issue   | Amendment                | Date    |   |               |        |    |                |        |    |                          |        |    |               |         |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |   |  |  |   |  |  |       |           |  |            |         |  |                |            |  |             |      |  |          |   |  |
| FOR EXISTING AND NEW BUILDING WORKS   |                          |         |   |               |        |    |                |        |    |                          |        |    |               |         |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |   |  |  |   |  |  |       |           |  |            |         |  |                |            |  |             |      |  |          |   |  |
| CONFIRM ALL DIMENSIONS LEVELS SQUARE  |                          |         |   |               |        |    |                |        |    |                          |        |    |               |         |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |   |  |  |   |  |  |       |           |  |            |         |  |                |            |  |             |      |  |          |   |  |
| PLUMB & BOUNDARIES ON SITE  |                          |         |   |               |        |    |                |        |    |                          |        |    |               |         |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |   |  |  |   |  |  |       |           |  |            |         |  |                |            |  |             |      |  |          |   |  |
| DIMENSIONS SHOW FINISHED WALL THICKNESS   |                          |         |   |               |        |    |                |        |    |                          |        |    |               |         |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |   |  |  |   |  |  |       |           |  |            |         |  |                |            |  |             |      |  |          |   |  |
| USE FIGURED DIMENSIONS ONLY DO NOT SCALE  |                          |         |   |               |        |    |                |        |    |                          |        |    |               |         |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |   |  |  |   |  |  |       |           |  |            |         |  |                |            |  |             |      |  |          |   |  |
| Title   | SITE PLAN                |         |   |               |        |    |                |        |    |                          |        |    |               |         |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |   |  |  |   |  |  |       |           |  |            |         |  |                |            |  |             |      |  |          |   |  |
| Scale @ A3  | 1 : 200                  |         |   |               |        |    |                |        |    |                          |        |    |               |         |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |   |  |  |   |  |  |       |           |  |            |         |  |                |            |  |             |      |  |          |   |  |
| Project Ref No  | SRSF 22104               |         |   |               |        |    |                |        |    |                          |        |    |               |         |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |   |  |  |   |  |  |       |           |  |            |         |  |                |            |  |             |      |  |          |   |  |
| Drawing no.   | DA01                     |         |   |               |        |    |                |        |    |                          |        |    |               |         |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |   |  |  |   |  |  |       |           |  |            |         |  |                |            |  |             |      |  |          |   |  |
| Revision  | A                        |         |   |               |        |    |                |        |    |                          |        |    |               |         |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |   |  |  |   |  |  |       |           |  |            |         |  |                |            |  |             |      |  |          |   |  |

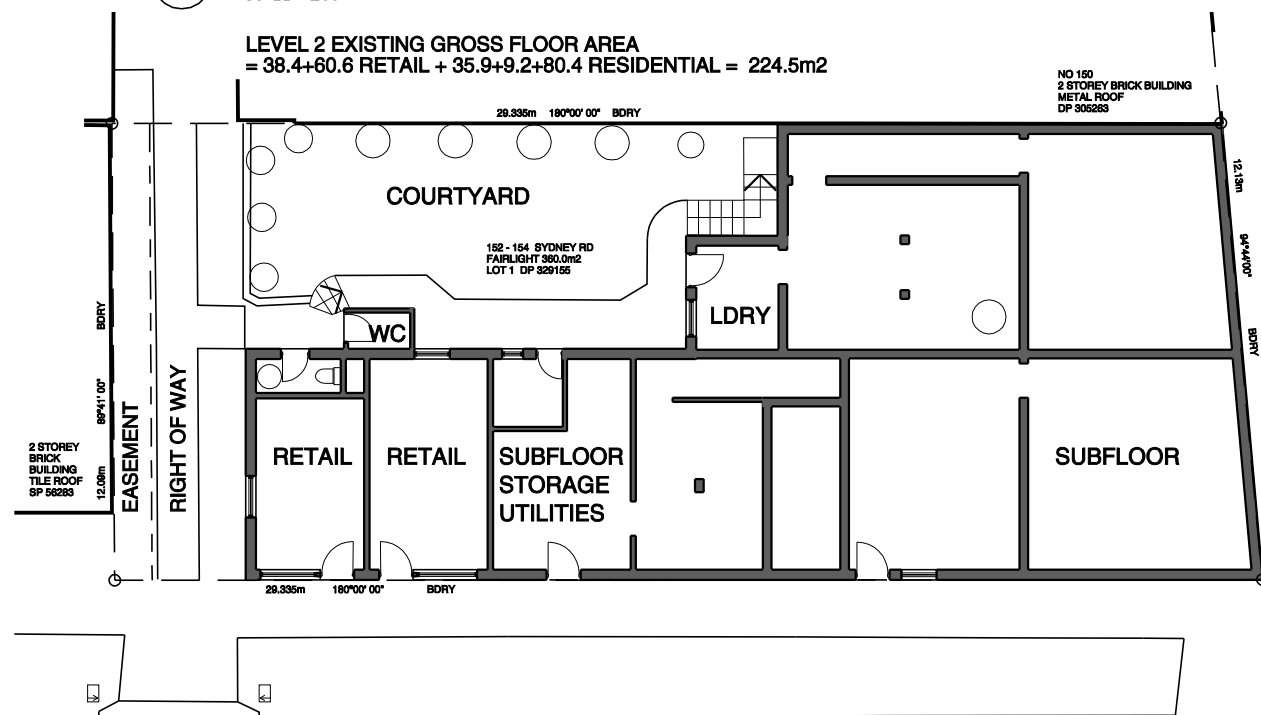
# DEVELOPMENT APPLICATION

EXISTING WALL



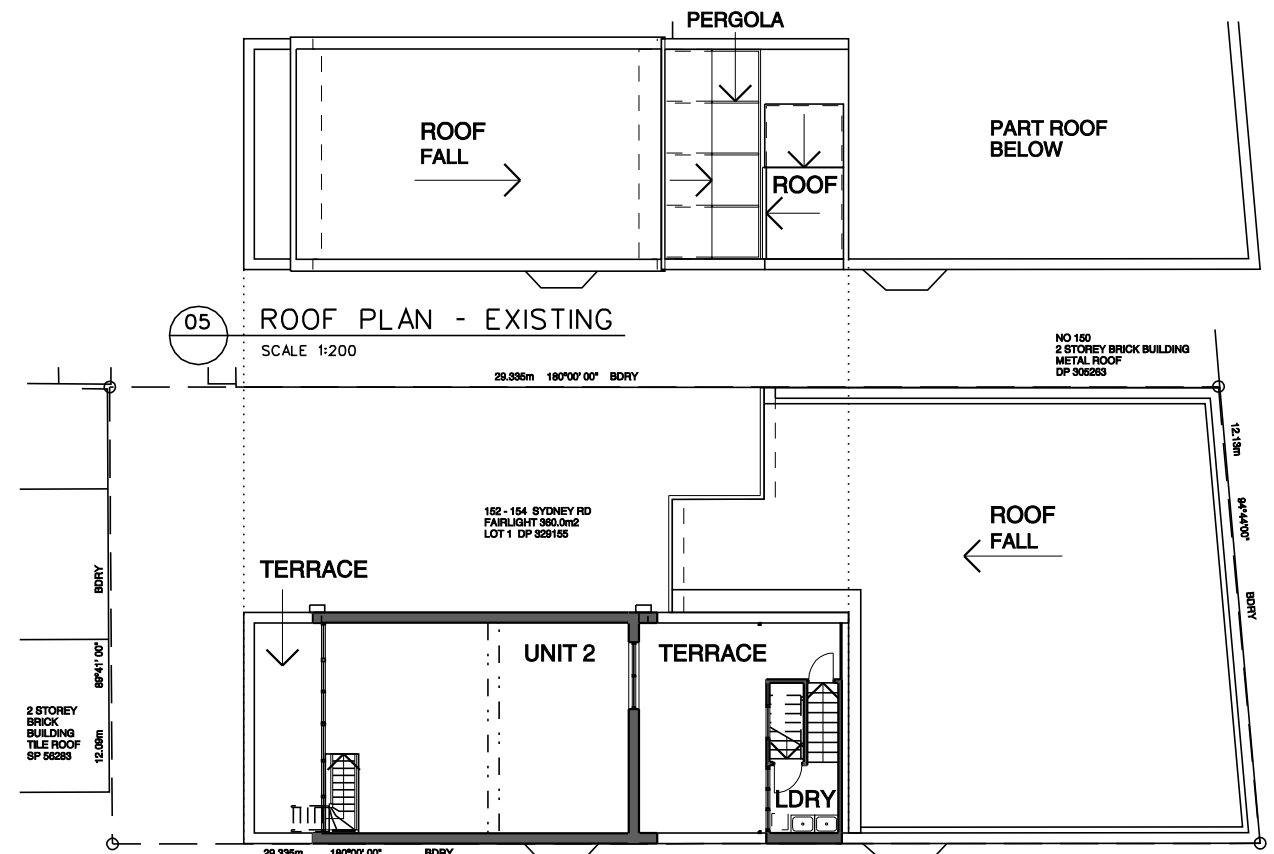
02 LEVEL 2 PLAN - EXISTING  
SCALE 1:200

LEVEL 2 EXISTING GROSS FLOOR AREA  
= 38.4+60.6 RETAIL + 35.9+9.2+80.4 RESIDENTIAL = 224.5m<sup>2</sup>



01 LEVEL 1 PLAN - EXISTING  
SCALE 1:200

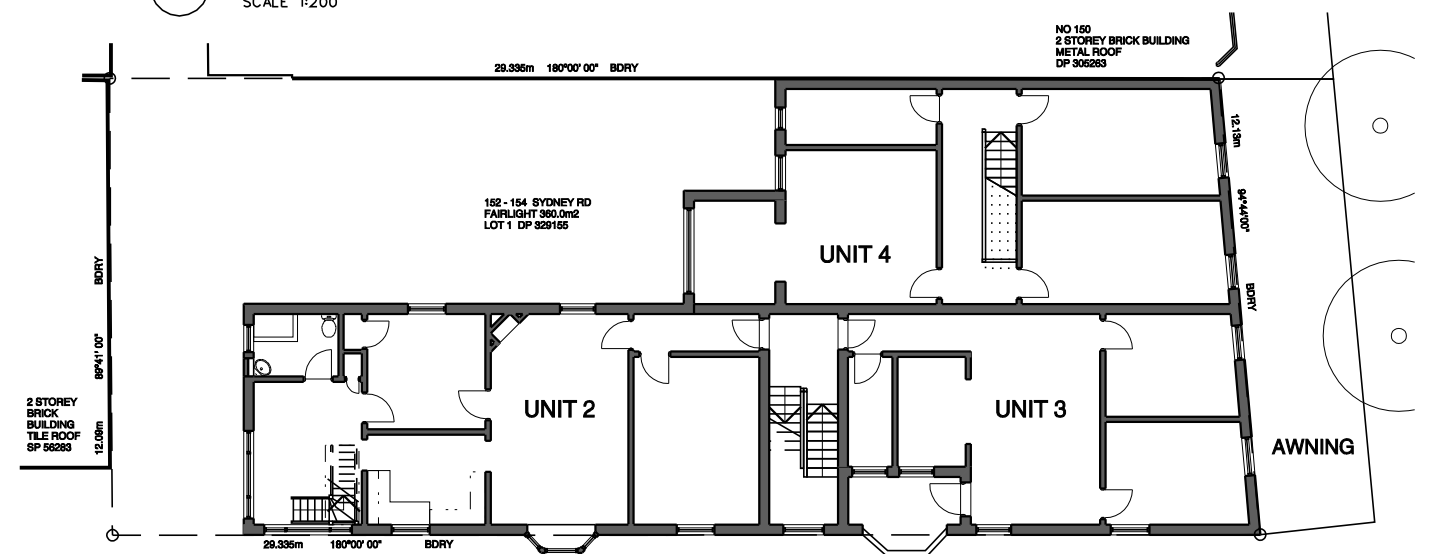
LEVEL 1 EXISTING GROSS FLOOR AREA  
= 37.2 RETAIL + 7.0 RESIDENTIAL = 44.2m<sup>2</sup>



05 ROOF PLAN - EXISTING  
SCALE 1:200

04 LEVEL 4 PLAN - EXISTING  
SCALE 1:200

LEVEL 4 EXISTING GROSS FLOOR AREA  
= 0.0 RETAIL + 5.2+43.3 RESIDENTIAL = 48.5m<sup>2</sup>



03 LEVEL 3 PLAN - EXISTING  
SCALE 1:200

LEVEL 3 EXISTING GROSS FLOOR AREA  
= 0.0 RETAIL + 71.9+56.0+78.4 RESIDENTIAL = 206.3m<sup>2</sup>

TOTAL EXISTING GROSS FLOOR AREA  
= 136.2m<sup>2</sup> RETAIL + 387.3m<sup>2</sup> RESIDENTIAL = 523.5m<sup>2</sup>

NOTE:  
THE DRAWING INFORMATION SHOWN  
REPRESENTS A COMPILATION &  
INTERPRETATION OF SURVEY DATA  
& EXISTING CONDITION INFORMATION  
PROVIDED BY OTHERS + SITE  
INFORMATION OBTAINED BY  
COSTELLO + GRAHAM DESIGN  
CONFIRM THE EXISTING CONDITION  
ON SITE AS DISCREPANCIES BETWEEN  
DATA MAY HAVE OCCURED

DA SUBMISSION

|                 |                          |         |
|-----------------|--------------------------|---------|
| A               | DA SUBMISSION            | 08/222  |
| P5              | PRE DA MEETING           | 221/08  |
| P4              | ISSUED FOR CO-ORDINATION | 05/022  |
| P3              | ISSUE FOR REVIEW         | 21/0722 |
| Issue Amendment | Date                     |         |



FOR EXISTING AND NEW BUILDING WORKS  
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PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 &  
COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094  
LOT 1 DP 329155  
FOR PHILIP & NIGEL ROSE

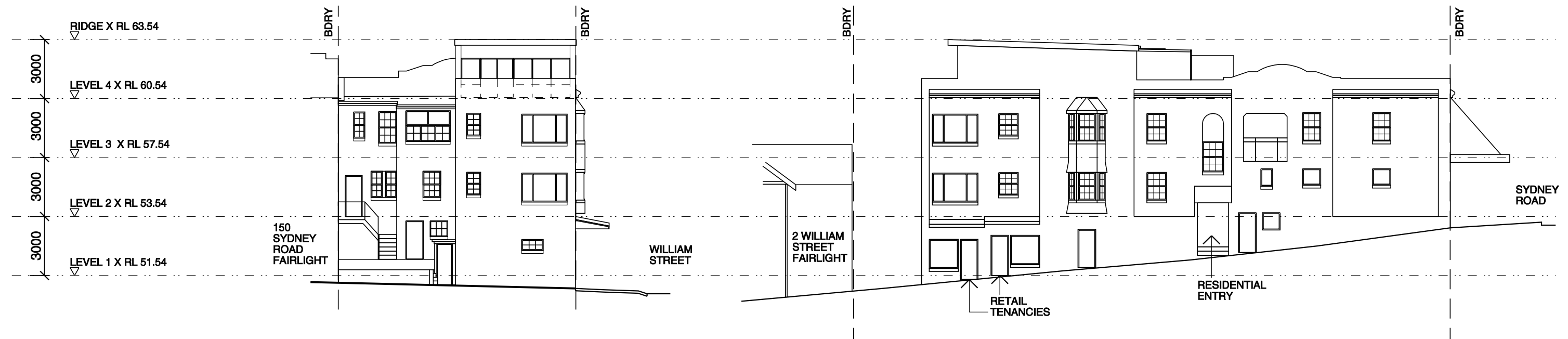
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|                |                |
|----------------|----------------|
| Title          | EXISTING PLANS |
| Scale @ A3     | 1 : 200        |
| Project Ref No | SRSF 22104     |
| Drawing no.    | DA02 A         |
| Revision       |                |

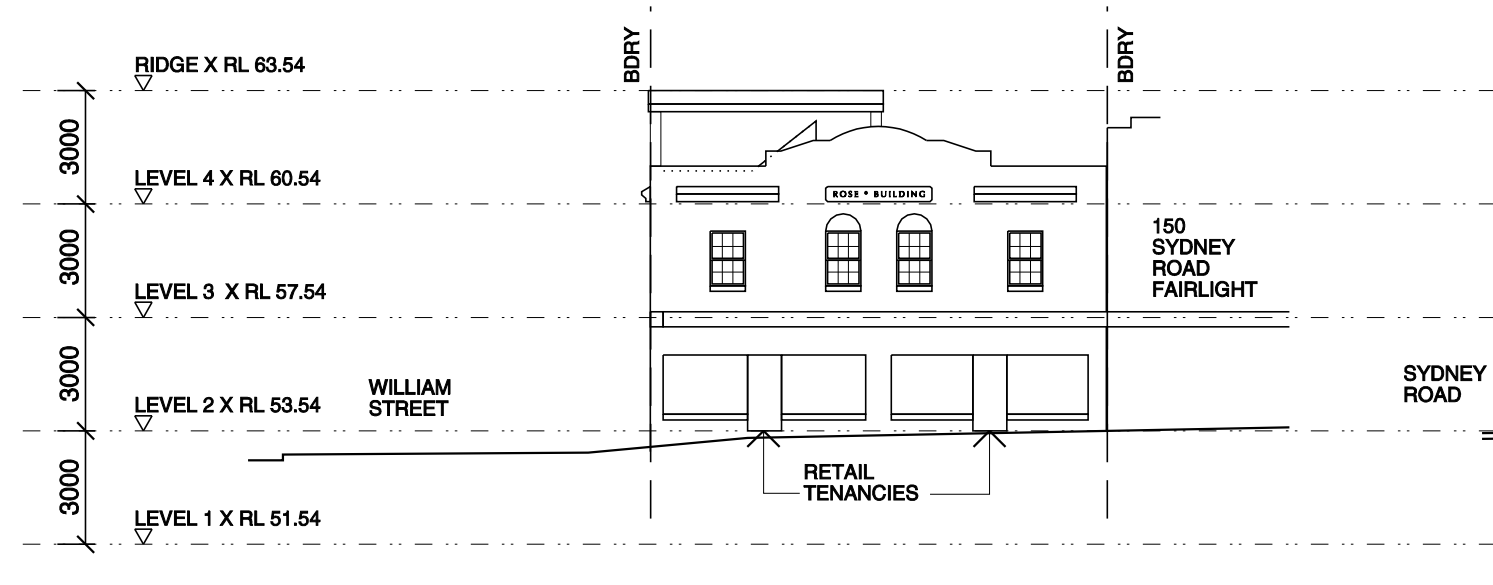


DEVELOPMENT APPLICATION

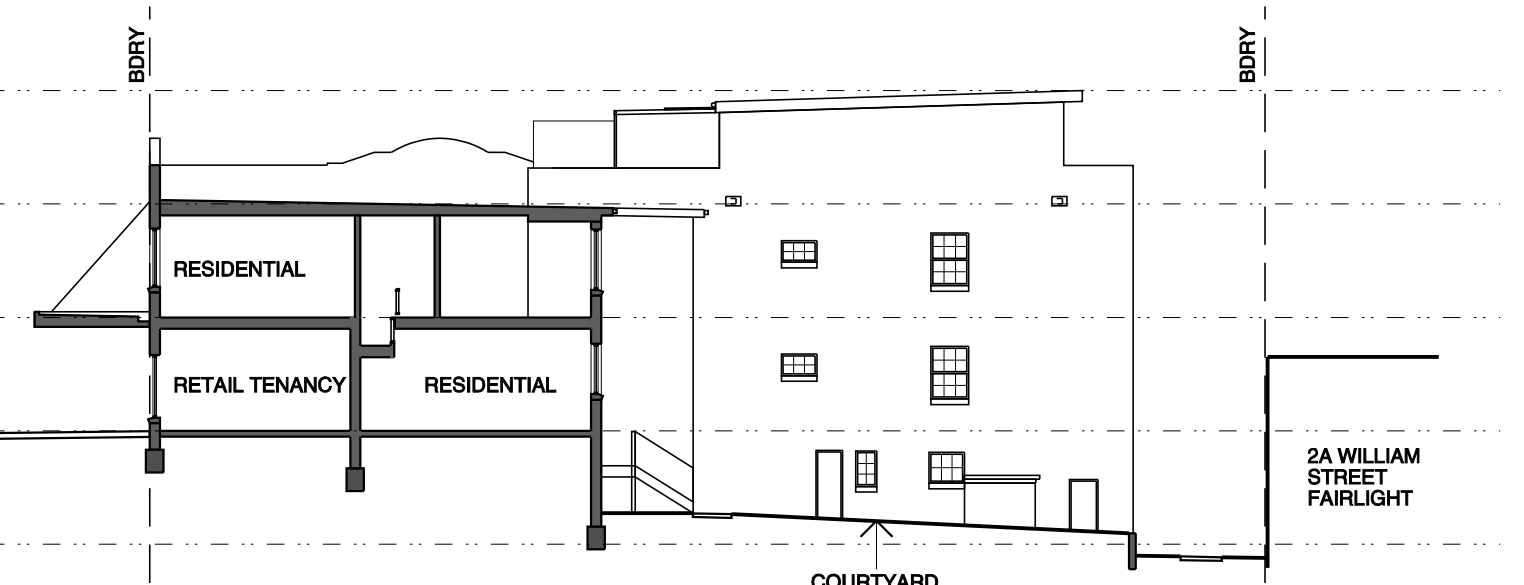


02 ELEVATION NORTH - EXISTING  
SCALE 1:200

04 ELEVATION WEST - EXISTING - WILLIAM STREET  
SCALE 1:200



03 ELEVATION SOUTH - EXISTING - SYDNEY ROAD  
SCALE 1:200



03 ELEVATION EAST - EXISTING  
SCALE 1:200



152 SYDNEY RD  
UNIT LOCATED AT REAR  
OF BLOCK



LOCATION  
CNR SYDNEY RD & WILLIAM ST



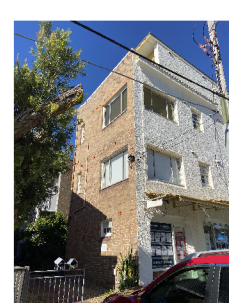
WEST ELEVATION  
WILLIAM ST



ENTRANCE  
WILLIAM ST



NORTH WEST VIEW  
FROM WILLIAM ST



NORTH ELEVATION

DA SUBMISSION

|       |                          |        |
|-------|--------------------------|--------|
| A     | DA SUBMISSION            | 081222 |
| P4    | PRE DA MEETING           | 221108 |
| P3    | ISSUED FOR CO-ORDINATION | 051022 |
| P2    | SURVEY DATA ADDED        | 180722 |
| P1    | INITIAL ISSUE            | 100622 |
| Issue | Amendment                | Date   |

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| FOR EXISTING AND NEW BUILDING WORKS      |
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| 0m 2m 4m 8m 12m                          |

PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 &  
COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094  
LOT 1 DP 329155  
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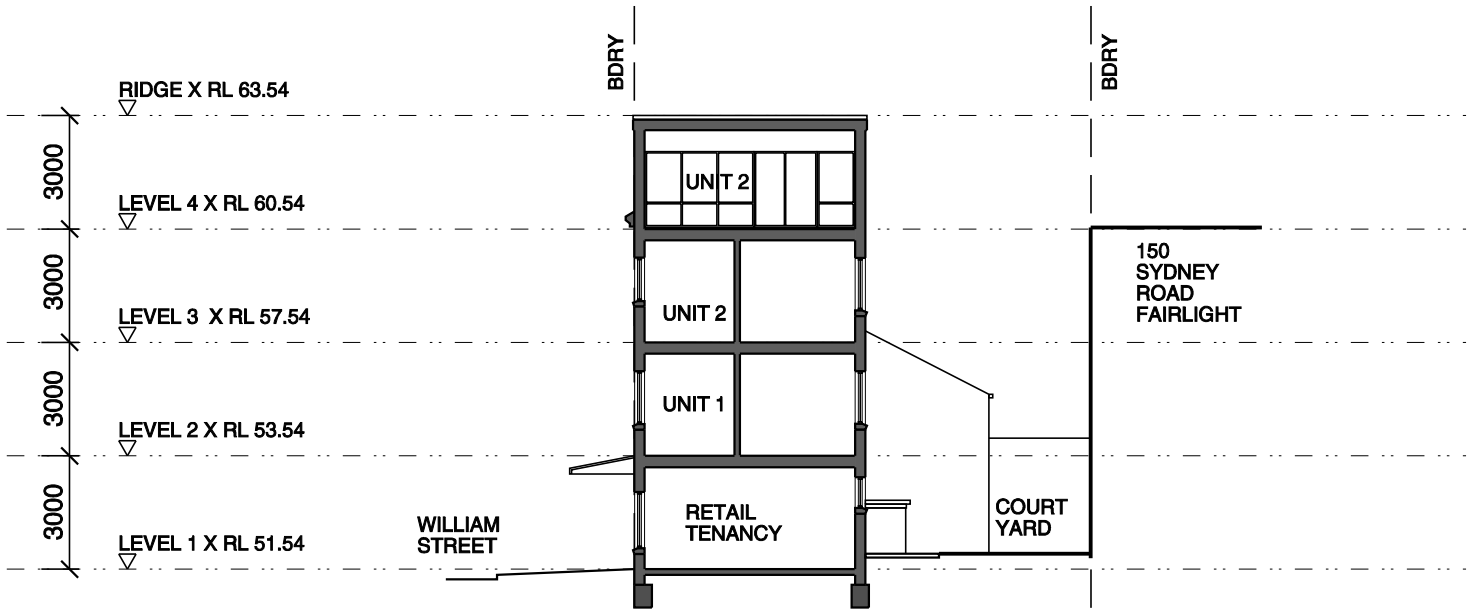
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|----------------|---------------------|
| Title          | EXISTING ELEVATIONS |
| Scale @ A3     | 1 : 200             |
| Project Ref No | SRSF 22104          |
| Drawing no.    | DA03 A              |
| Revision       |                     |



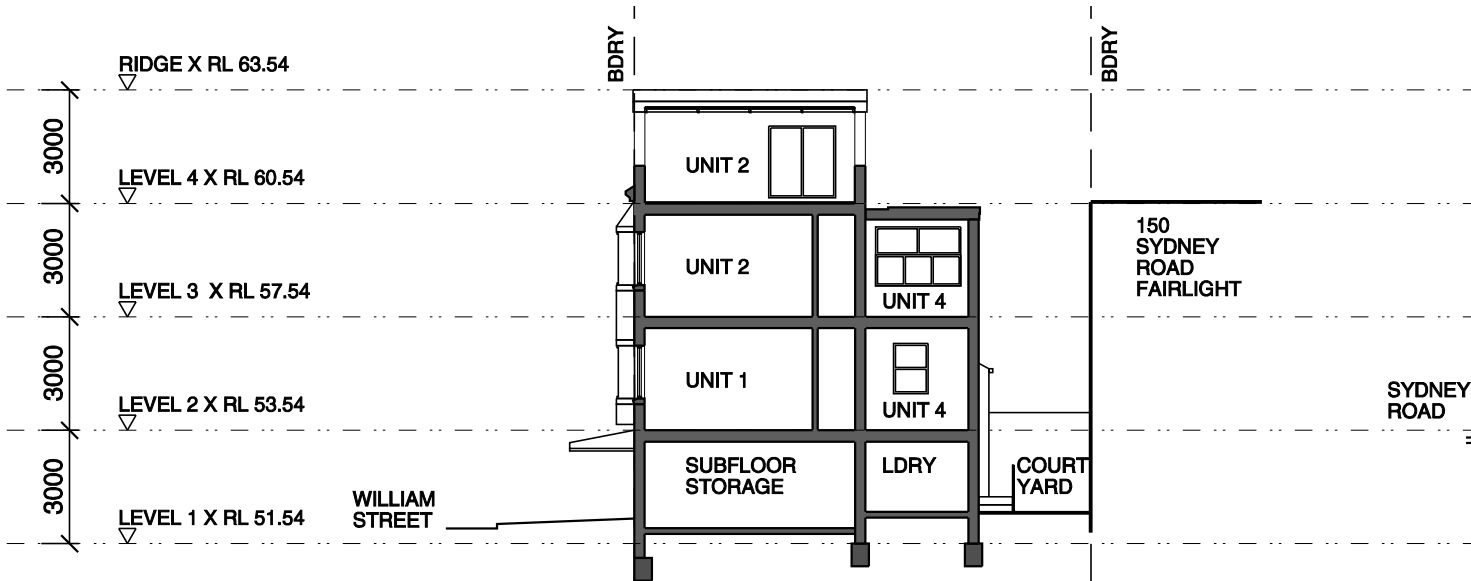
EXISTING WALL

DEVELOPMENT APPLICATION

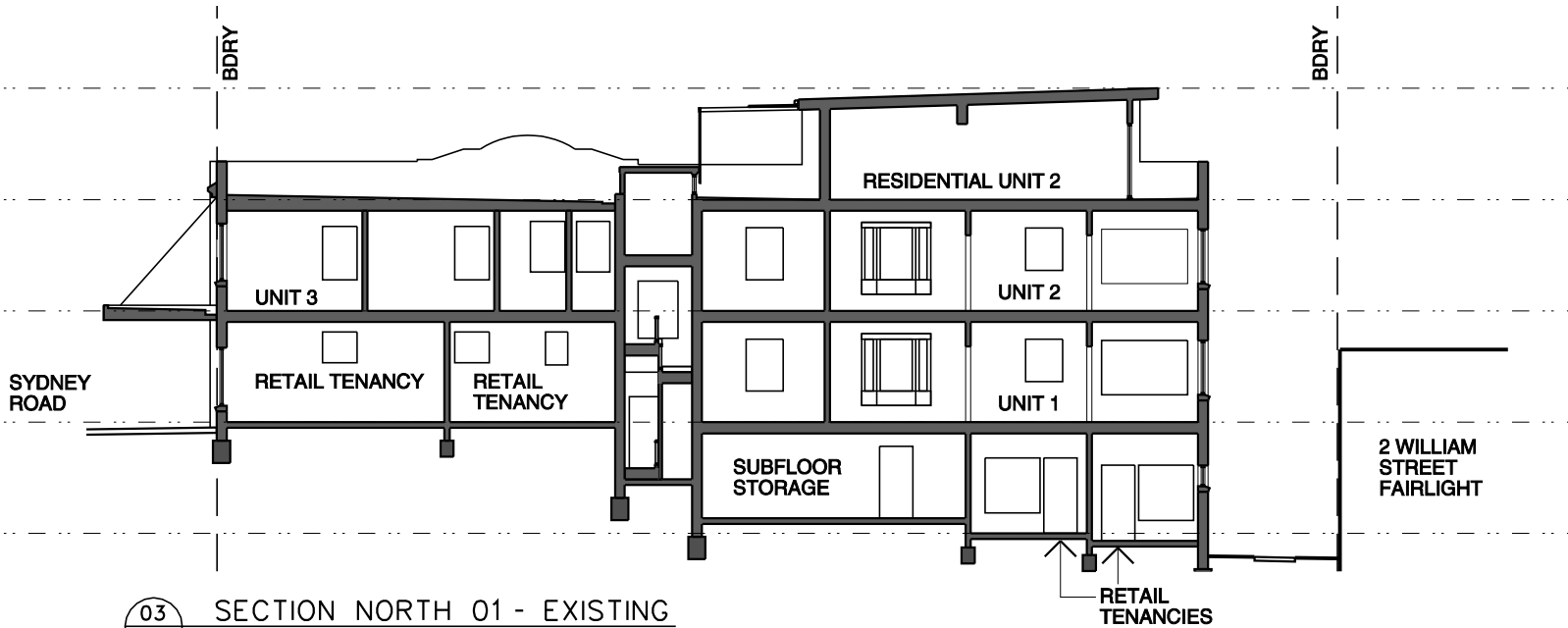
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01 SECTION EAST 01 - EXISTING  
SCALE 1:200



02 SECTION EAST 02 - EXISTING  
SCALE 1:200



03 SECTION NORTH 01 - EXISTING  
SCALE 1:200

DA SUBMISSION

|                 |                          |        |
|-----------------|--------------------------|--------|
| A               | DA SUBMISSION            | 081222 |
| P4              | PRE DA MEETING           | 221108 |
| P3              | ISSUED FOR CO-ORDINATION | 051022 |
| P2              | ISSUE FOR REVIEW         | 210722 |
| P1              | INITIAL ISSUE            | 180722 |
| Issue Amendment |                          | Date   |

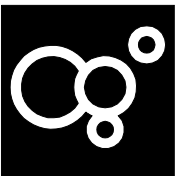
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0m 2m 4m 8m 12m

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COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094  
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Robert Costello Nominated Architect Registration NSW 6610  
ARCHITECTS



|                |                   |
|----------------|-------------------|
| Title          | EXISTING SECTIONS |
| Scale @ A3     | 1 : 200           |
| Project Ref No | SRSF 22104        |
| Drawing no.    | DA04 A            |
| Revision       |                   |

# DEVELOPMENT APPLICATION

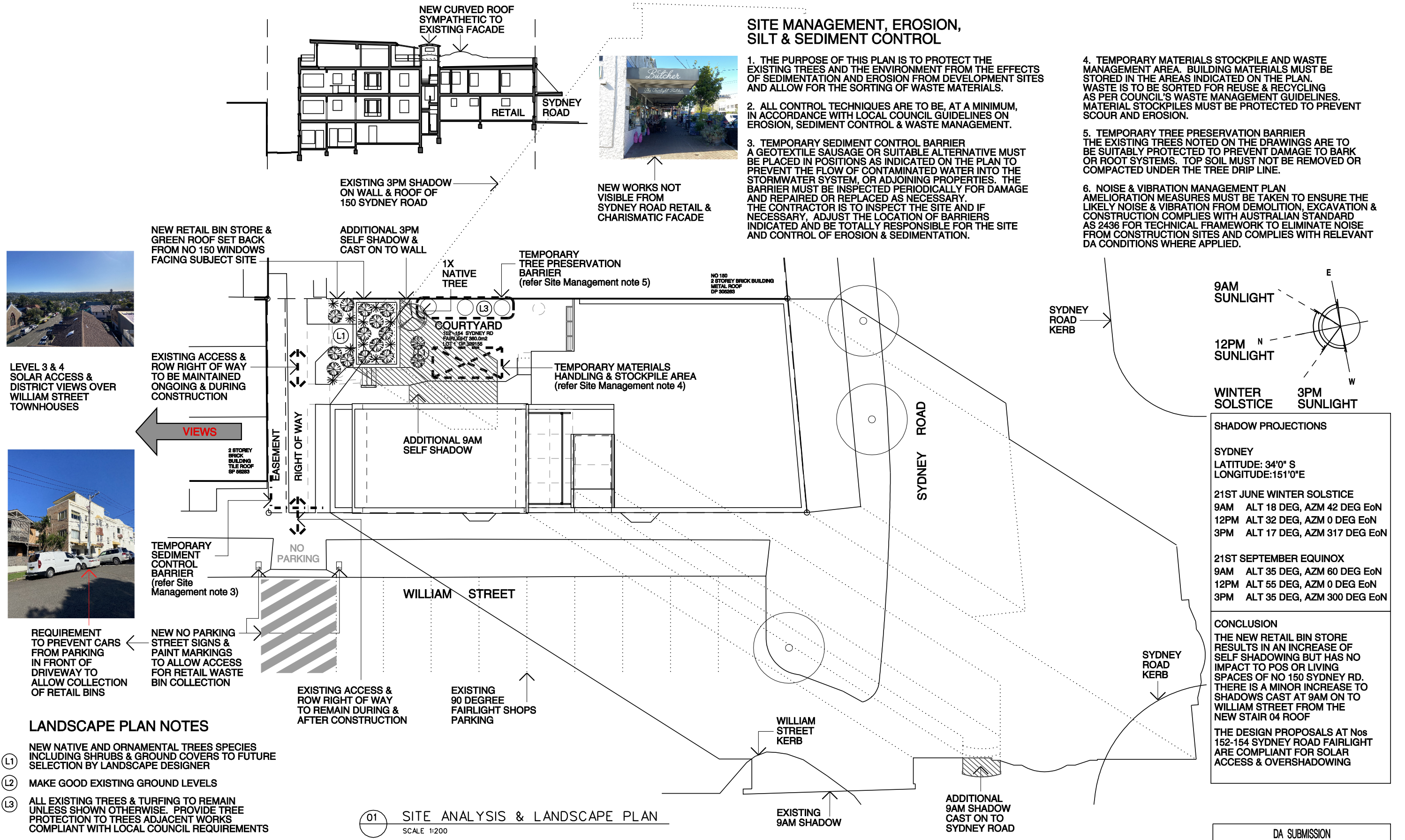
## SITE MANAGEMENT, EROSION, SILT & SEDIMENT CONTROL

1. THE PURPOSE OF THIS PLAN IS TO PROTECT THE EXISTING TREES AND THE ENVIRONMENT FROM THE EFFECTS OF SEDIMENTATION AND EROSION FROM DEVELOPMENT SITES AND ALLOW FOR THE SORTING OF WASTE MATERIALS.
2. ALL CONTROL TECHNIQUES ARE TO BE, AT A MINIMUM, IN ACCORDANCE WITH LOCAL COUNCIL GUIDELINES ON EROSION, SEDIMENT CONTROL & WASTE MANAGEMENT.
3. TEMPORARY SEDIMENT CONTROL BARRIER A GEOTEXTILE SAUSAGE OR SUITABLE ALTERNATIVE MUST BE PLACED IN POSITIONS AS INDICATED ON THE PLAN TO PREVENT THE FLOW OF CONTAMINATED WATER INTO THE STORMWATER SYSTEM, OR ADJOINING PROPERTIES. THE BARRIER MUST BE INSPECTED PERIODICALLY FOR DAMAGE AND REPAIRED OR REPLACED AS NECESSARY. THE CONTRACTOR IS TO INSPECT THE SITE AND IF NECESSARY, ADJUST THE LOCATION OF BARRIERS INDICATED AND BE TOTALLY RESPONSIBLE FOR THE SITE AND CONTROL OF EROSION & SEDIMENTATION.

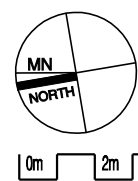
4. TEMPORARY MATERIALS STOCKPILE AND WASTE MANAGEMENT AREA. BUILDING MATERIALS MUST BE STORED IN THE AREAS INDICATED ON THE PLAN. WASTE IS TO BE SORTED FOR REUSE & RECYCLING AS PER COUNCIL'S WASTE MANAGEMENT GUIDELINES. MATERIAL STOCKPILES MUST BE PROTECTED TO PREVENT SCOUR AND EROSION.

5. TEMPORARY TREE PRESERVATION BARRIER THE EXISTING TREES NOTED ON THE DRAWINGS ARE TO BE SUITABLY PROTECTED TO PREVENT DAMAGE TO BARK OR ROOT SYSTEMS. TOP SOIL MUST NOT BE REMOVED OR COMPACTED UNDER THE TREE DRIP LINE.

6. NOISE & VIBRATION MANAGEMENT PLAN AMELIORATION MEASURES MUST BE TAKEN TO ENSURE THE LIKELY NOISE & VIBRATION FROM DEMOLITION, EXCAVATION & CONSTRUCTION COMPLIES WITH AUSTRALIAN STANDARD AS 2436 FOR TECHNICAL FRAMEWORK TO ELIMINATE NOISE FROM CONSTRUCTION SITES AND COMPLIES WITH RELEVANT DA CONDITIONS WHERE APPLIED.



|       |                |         |
|-------|----------------|---------|
| A     | DA SUBMISSION  | 08/222  |
| P2    | PRE DA MEETING | 22/108  |
| P1    | INITIAL ISSUE  | 13/1022 |
| Issue | Amendment      | Date    |



FOR EXISTING AND NEW BUILDING WORKS  
CONFIRM ALL DIMENSIONS LEVELS SQUARE  
PLUMB & BOUNDARIES ON SITE.  
DIMENSIONS SHOW FINISHED WALL THICKNESS  
USE FIGURED DIMENSIONS ONLY DO NOT SCALE

PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 & 4  
COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094  
LOT 1 DP 329155  
FOR PHILIP & NIGEL ROSE

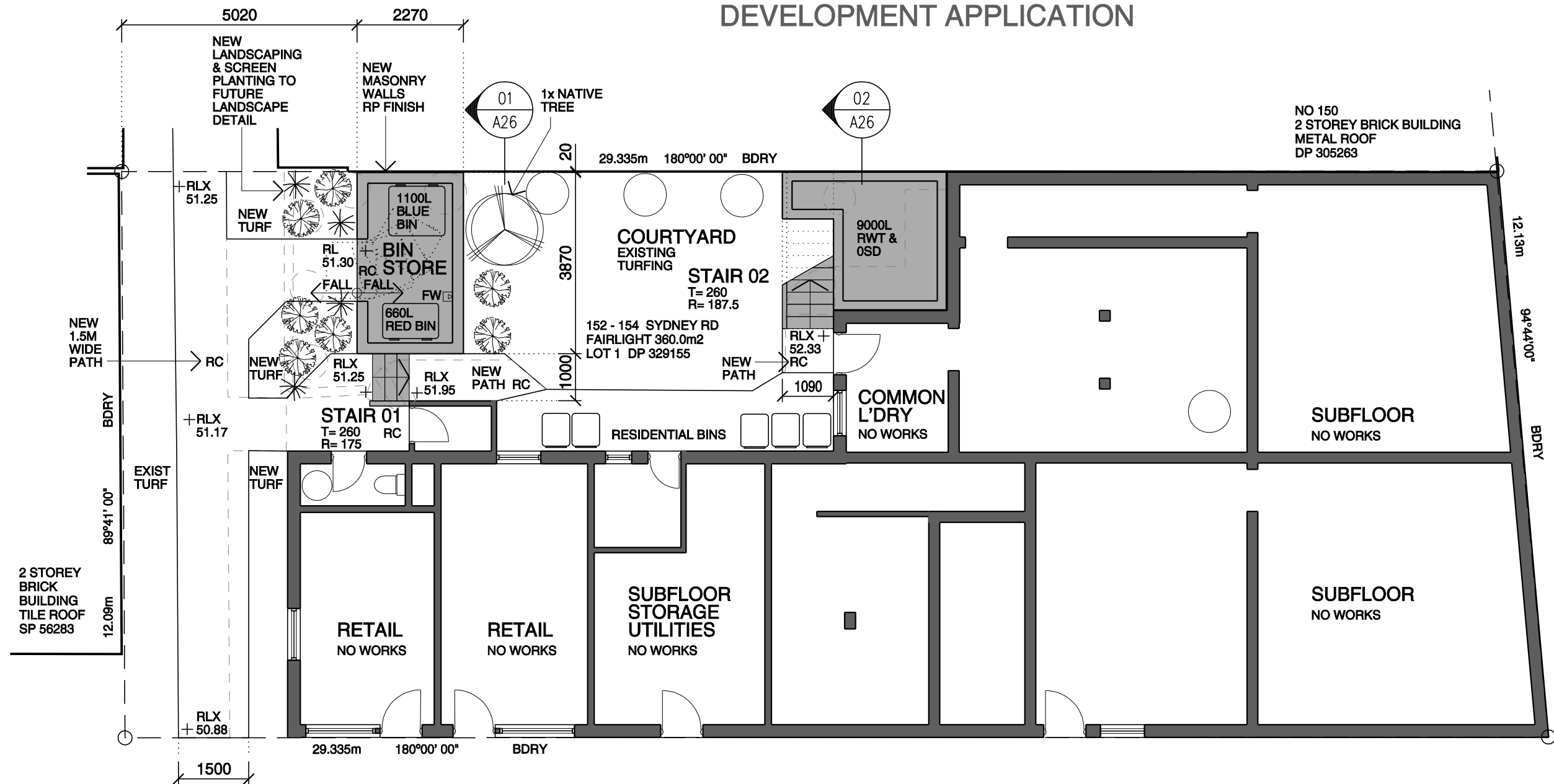
## COSTELLO+GRAHAM DESIGN

Suite 3 / 36 Sydney Road, Manly NSW 2095  
Sydney, Australia  
Telephone (02) 9977 1981  
Email: office@costello-grahamdesign.com.au  
Robert Costello Nominated Architect Registration NSW 6610  
ARCHITECTS



|                |                                |
|----------------|--------------------------------|
| Title          | SITE ANALYSIS & LANDSCAPE PLAN |
| Scale @ A3     | 1 : 200                        |
| Project Ref No | SRSF 22104                     |
| Drawing no.    | DA05 A                         |
| Revision       |                                |

DEVELOPMENT APPLICATION



01 LEVEL 1 FLOOR PLAN  
SCALE 1:100

LEVEL 1 EXISTING GROSS FLOOR AREA  
= 37.2 RETAIL + 7.0 RESIDENTIAL = 44.2m<sup>2</sup>  
PROPOSED LEVEL 1 GROSS FLOOR AREA  
= 37.2 + 6.5 RETAIL + 7.0 RESIDENTIAL = 50.7m<sup>2</sup>

DA SUBMISSION

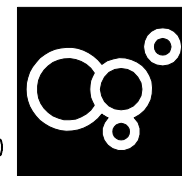
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| A     | DA SUBMISSION            | 08/222 |
| P3    | PRE DA MEETING           | 22/108 |
| P2    | ISSUED FOR CO-ORDINATION | 05/022 |
| P1    | INITIAL ISSUE            | 09/022 |
| Issue | Amendment                | Date   |



FOR EXISTING AND NEW BUILDING WORKS  
CONFIRM ALL DIMENSIONS LEVELS SQUARE  
PLUMB & BOUNDARIES ON SITE  
DIMENSIONS SHOW FINISHED WALL THICKNESS  
USE FIGURED DIMENSIONS ONLY DO NOT SCALE

PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 &  
COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094  
LOT 1 DP 329155  
FOR PHILIP & NIGEL ROSE

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|                |              |
|----------------|--------------|
| Title          | LEVEL 1 PLAN |
| Scale @ A3     | 1 : 100      |
| Project Ref No | SRSF 22104   |
| Drawing no.    | DA10 A       |
| Revision       |              |



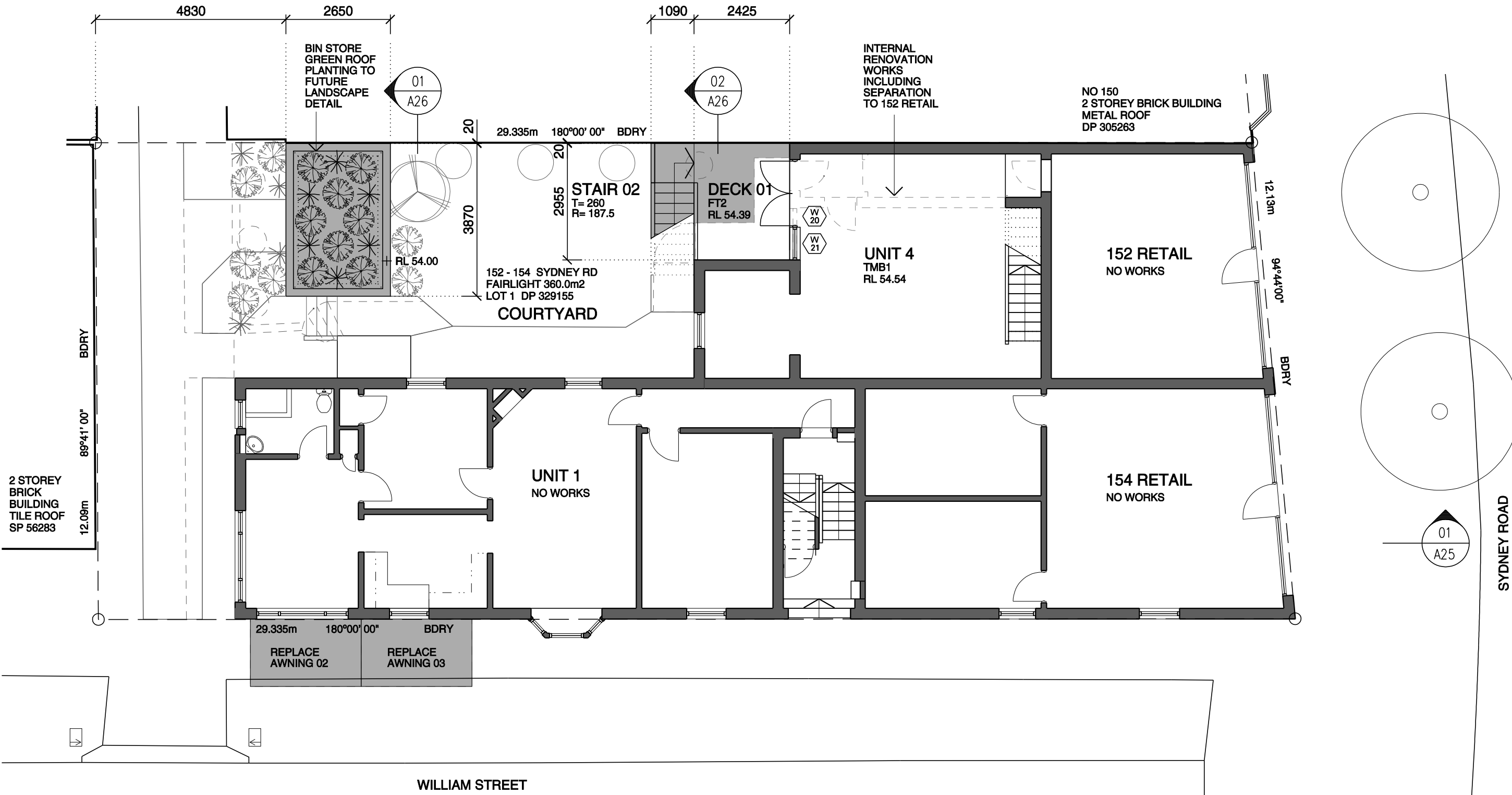
NEW WALL

EXISTING WALL

REMOVE EXISTING

ADDITIONAL BUILDING AREA

DEVELOPMENT APPLICATION



01 LEVEL 2 FLOOR PLAN  
SCALE 1:100

LEVEL 2 EXISTING GROSS FLOOR AREA  
= 38.4+60.6 RETAIL + 35.9+9.2+80.4 RESIDENTIAL = 224.5m<sup>2</sup>  
PROPOSED LEVEL 2 GROSS FLOOR AREA  
= 30.7+60.6 RETAIL + 43.9+9.2+80.4 RESIDENTIAL = 224.8m<sup>2</sup>

DA SUBMISSION

|       |                          |        |
|-------|--------------------------|--------|
| A     | DA SUBMISSION            | 081222 |
| P3    | PRE DA MEETING           | 221108 |
| P2    | ISSUED FOR CO-ORDINATION | 051022 |
| P1    | INITIAL ISSUE            | 090922 |
| Issue | Amendment                | Date   |

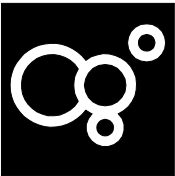


FOR EXISTING AND NEW BUILDING WORKS  
CONFIRM ALL DIMENSIONS LEVELS SQUARE  
PLUMB & BOUNDARIES ON SITE.  
DIMENSIONS SHOW FINISHED WALL THICKNESS  
USE FIGURED DIMENSIONS ONLY DO NOT SCALE

PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 &  
COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094  
LOT 1 DP 329155  
FOR PHILIP & NIGEL ROSE

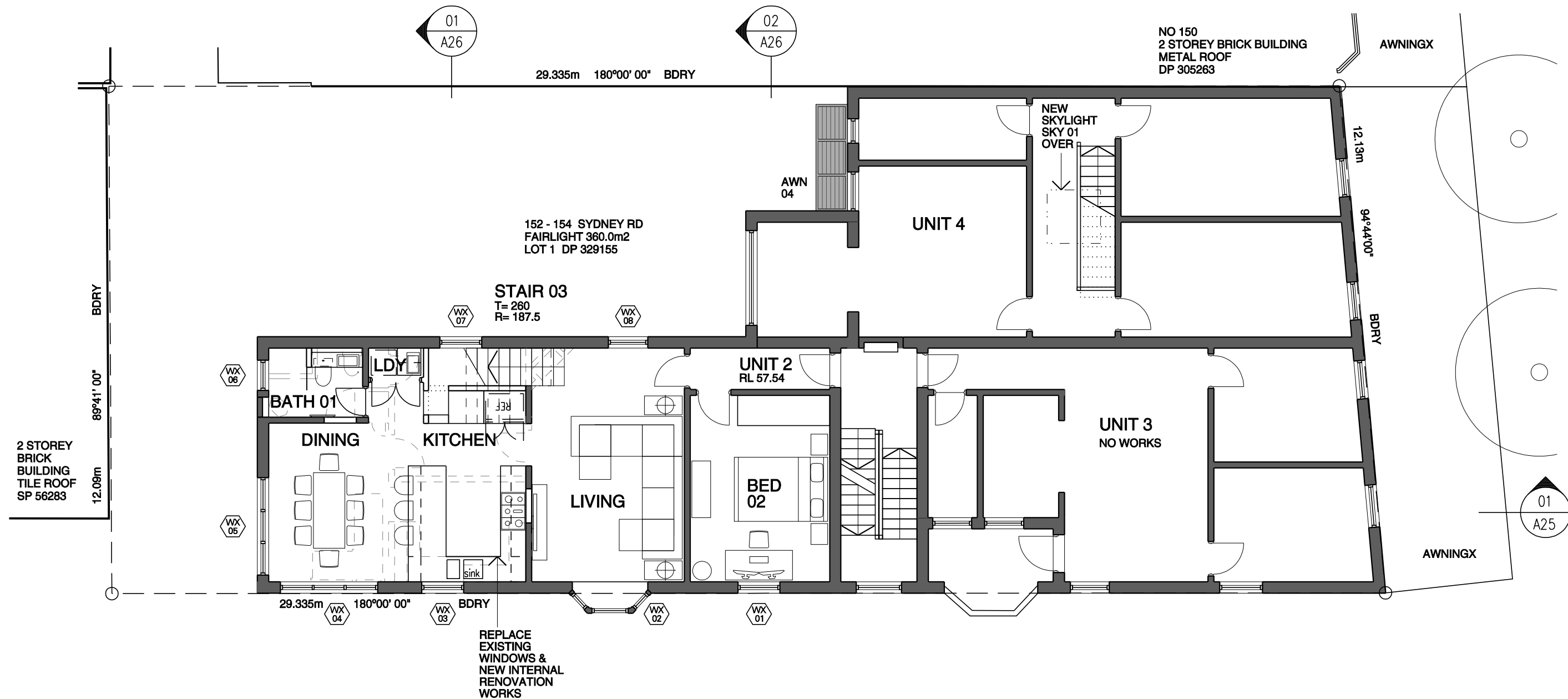
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|                |              |
|----------------|--------------|
| Title          | LEVEL 2 PLAN |
| Scale @ A3     | 1 : 100      |
| Project Ref No | SRSF 22104   |
| Drawing no.    | DA11 A       |
| Revision       |              |

DEVELOPMENT APPLICATION



01 LEVEL 3 FLOOR PLAN  
SCALE 1:100

LEVEL 3 EXISTING GROSS FLOOR AREA = 0.0 RETAIL + 71.9+56.0+78.4 RESIDENTIAL = 206.3m2  
PROPOSED LEVEL 3 GROSS FLOOR AREA = 0.0 RETAIL + 71.9+56.0+78.4 RESIDENTIAL = 206.3m2

DA SUBMISSION

|       |                          |        |
|-------|--------------------------|--------|
| A     | DA SUBMISSION            | 081222 |
| P3    | PRE DA MEETING           | 221108 |
| P2    | ISSUED FOR CO-ORDINATION | 051022 |
| P1    | INITIAL ISSUE            | 090922 |
| Issue | Amendment                | Date   |

FOR EXISTING AND NEW BUILDING WORKS  
CONFIRM ALL DIMENSIONS LEVELS SQUARE  
PLUMB & BOUNDARIES ON SITE.  
DIMENSIONS SHOW FINISHED WALL THICKNESS  
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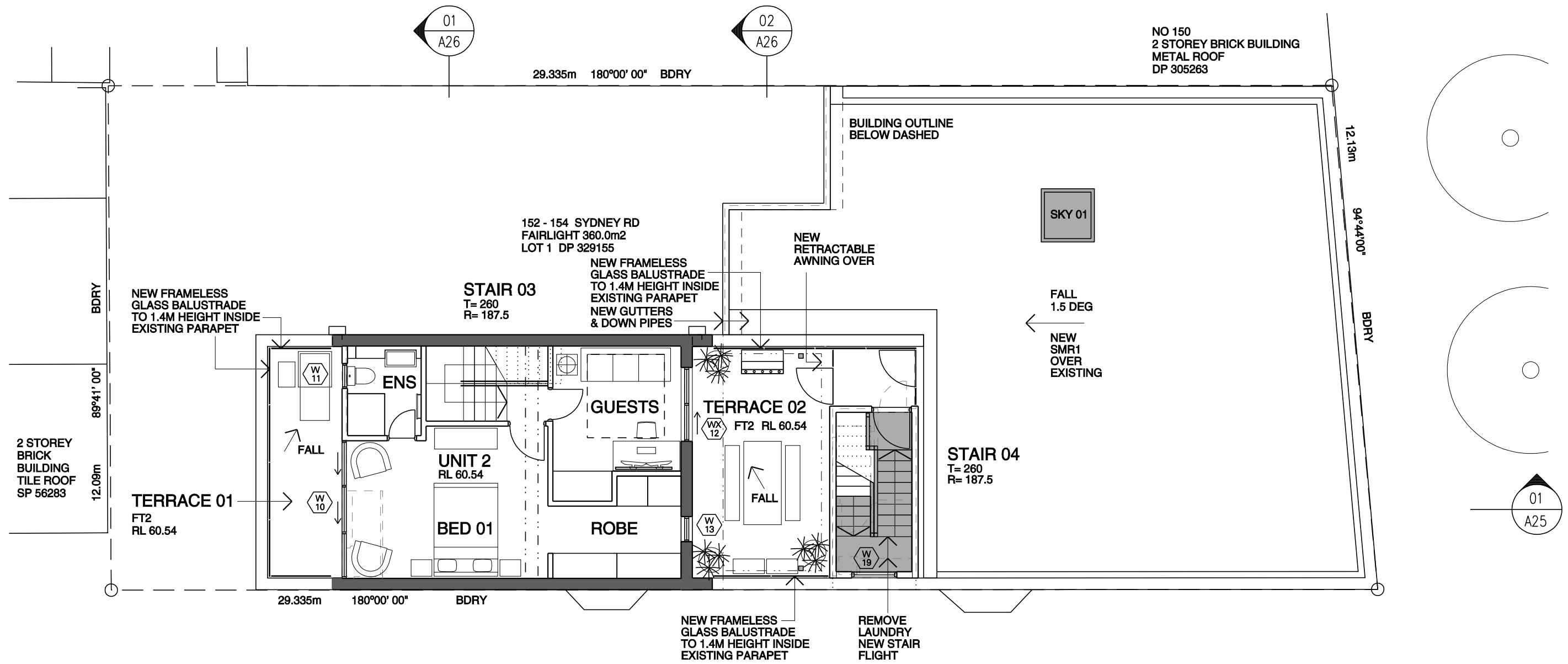
0m 1m 2m 4m 6m

PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 &  
COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094  
LOT 1 DP 329155  
FOR PHILIP & NIGEL ROSE

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|                |              |
|----------------|--------------|
| Title          | LEVEL 3 PLAN |
| Scale @ A3     | 1 : 100      |
| Project Ref No | SRSF 22104   |
| Drawing no.    | DA12 A       |
| Revision       |              |

DEVELOPMENT APPLICATION



01 LEVEL 4 FLOOR PLAN  
SCALE 1:100

LEVEL 4 EXISTING GROSS FLOOR AREA  
= 0.0 RETAIL + 5.2+43.3 RESIDENTIAL = 48.5m2

PROPOSED LEVEL 4 GROSS FLOOR AREA  
= 0.0 RETAIL + 40.8 RESIDENTIAL = 40.8m2

DA SUBMISSION

|       |                          |        |
|-------|--------------------------|--------|
| A     | DA SUBMISSION            | 08/222 |
| P4    | PRE DA MEETING           | 22/108 |
| P3    | ISSUED FOR CO-ORDINATION | 05/022 |
| P2    | ISSUE FOR REVIEW         | 30/022 |
| P1    | INITIAL ISSUE            | 09/022 |
| Issue | Amendment                | Date   |



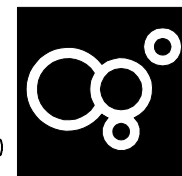
0m 1m 2m 4m 6m

FOR EXISTING AND NEW BUILDING WORKS  
CONFIRM ALL DIMENSIONS LEVELS SQUARE  
PLUMB & BOUNDARIES ON SITE.  
DIMENSIONS SHOW FINISHED WALL THICKNESS  
USE FIGURED DIMENSIONS ONLY DO NOT SCALE

PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 & 4 &  
COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094  
LOT 1 DP 329155  
FOR PHILIP & NIGEL ROSE

COSTELLO+GRAHAM DESIGN

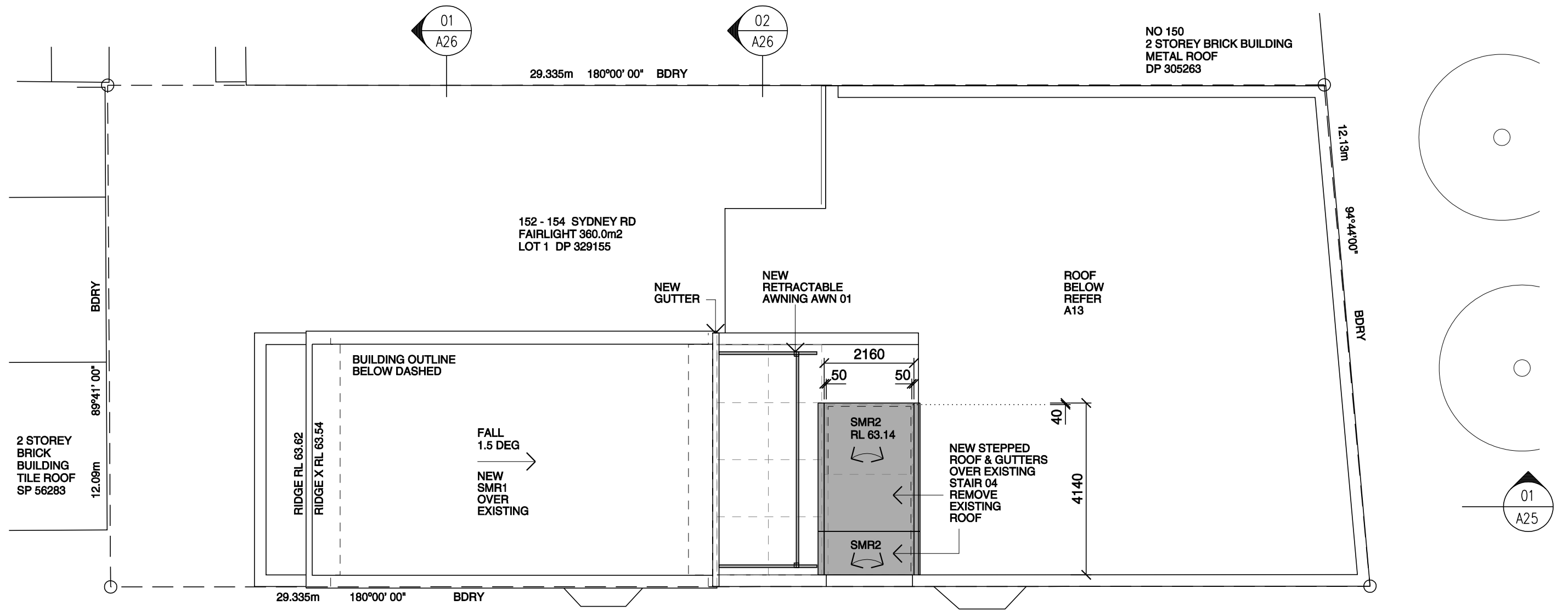
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|                |              |
|----------------|--------------|
| Title          | LEVEL 4 PLAN |
| Scale @ A3     | 1 : 100      |
| Project Ref No | SRSF 22104   |
| Drawing no.    | DA13 A       |
| Revision       |              |



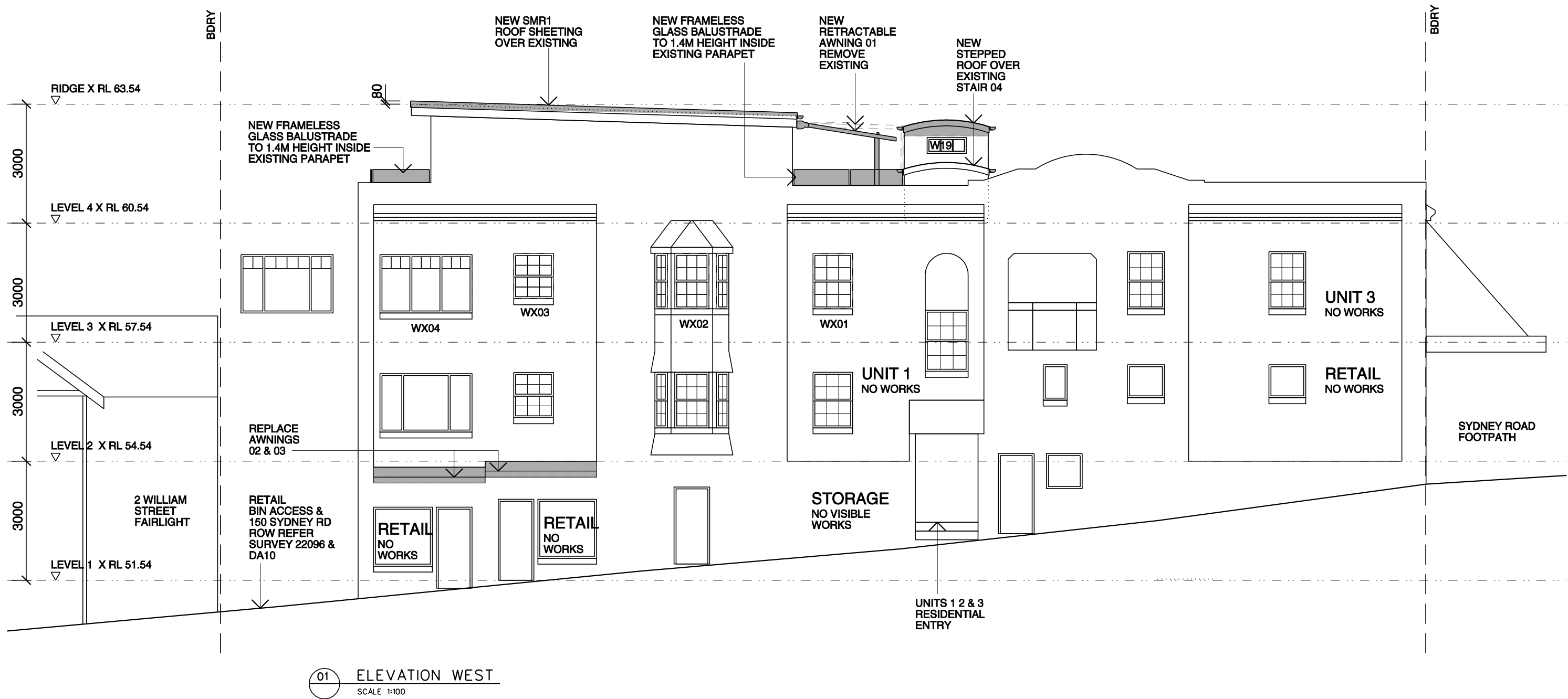
DEVELOPMENT APPLICATION



01 ROOF PLAN  
SCALE 1:100

DA SUBMISSION

DEVELOPMENT APPLICATION



DA SUBMISSION

|       |                          |        |
|-------|--------------------------|--------|
| A     | DA SUBMISSION            | 081222 |
| P5    | STAIR 05 ROOF LOWERED    | 221116 |
| P4    | PRE DA MEETING           | 221108 |
| P3    | ISSUED FOR CO-ORDINATION | 051022 |
| Issue | Amendment                | Date   |

FOR EXISTING AND NEW BUILDING WORKS  
CONFIRM ALL DIMENSIONS LEVELS SQUARE  
PLUMB & BOUNDARIES ON SITE  
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USE FIGURED DIMENSIONS ONLY DO NOT SCALE

0m 1m 2m 4m 6m

PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 &  
COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094  
LOT 1 DP 329155  
FOR PHILIP & NIGEL ROSE

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|                |               |
|----------------|---------------|
| Title          | ELEVATIONS 01 |
| Scale @ A3     | 1 : 100       |
| Project Ref No | SRSF 22104    |
| Drawing no.    | DA20 A        |
| Revision       |               |

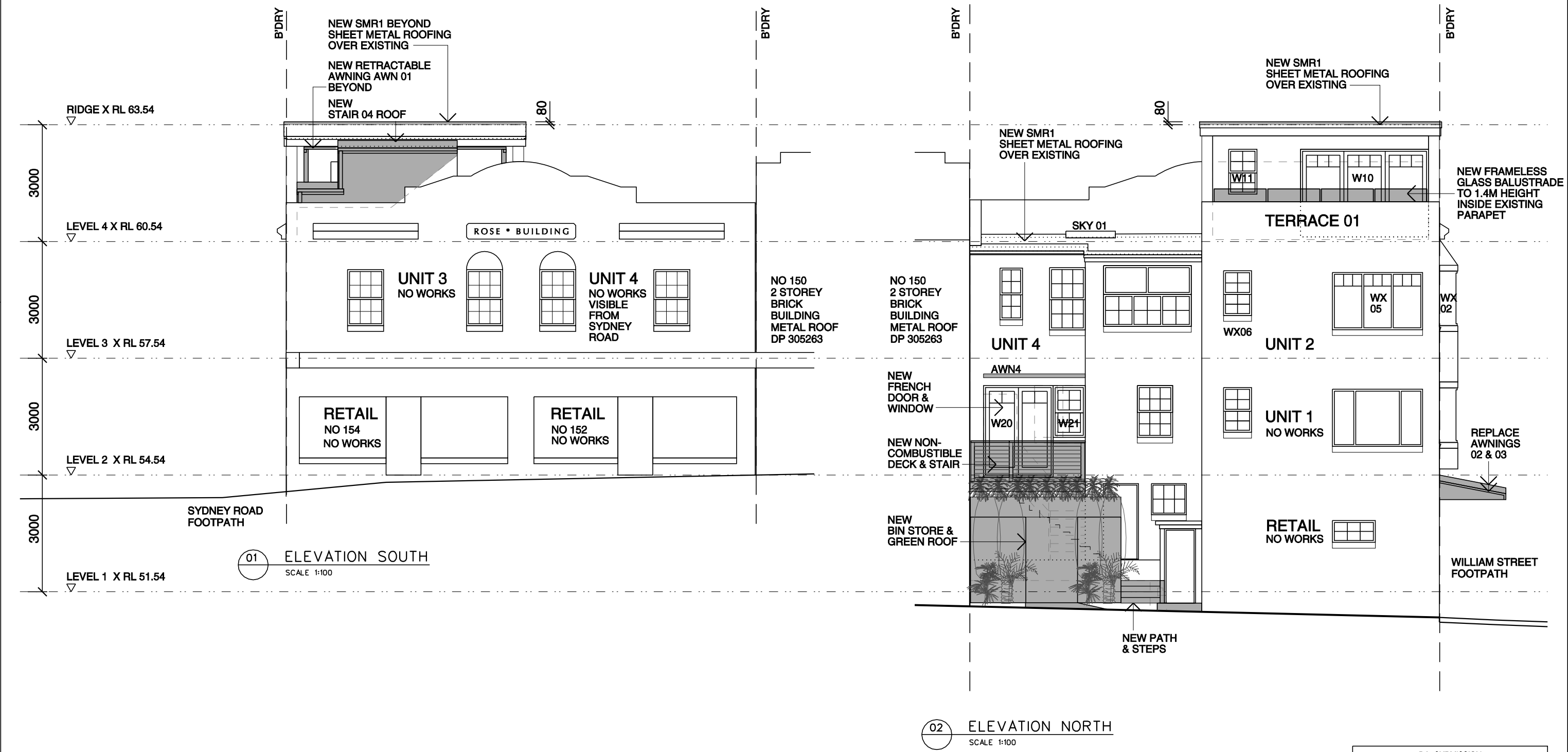
NEW WALL

EXISTING WALL

REMOVE EXISTING

ADDITIONAL BUILDING AREA

DEVELOPMENT APPLICATION

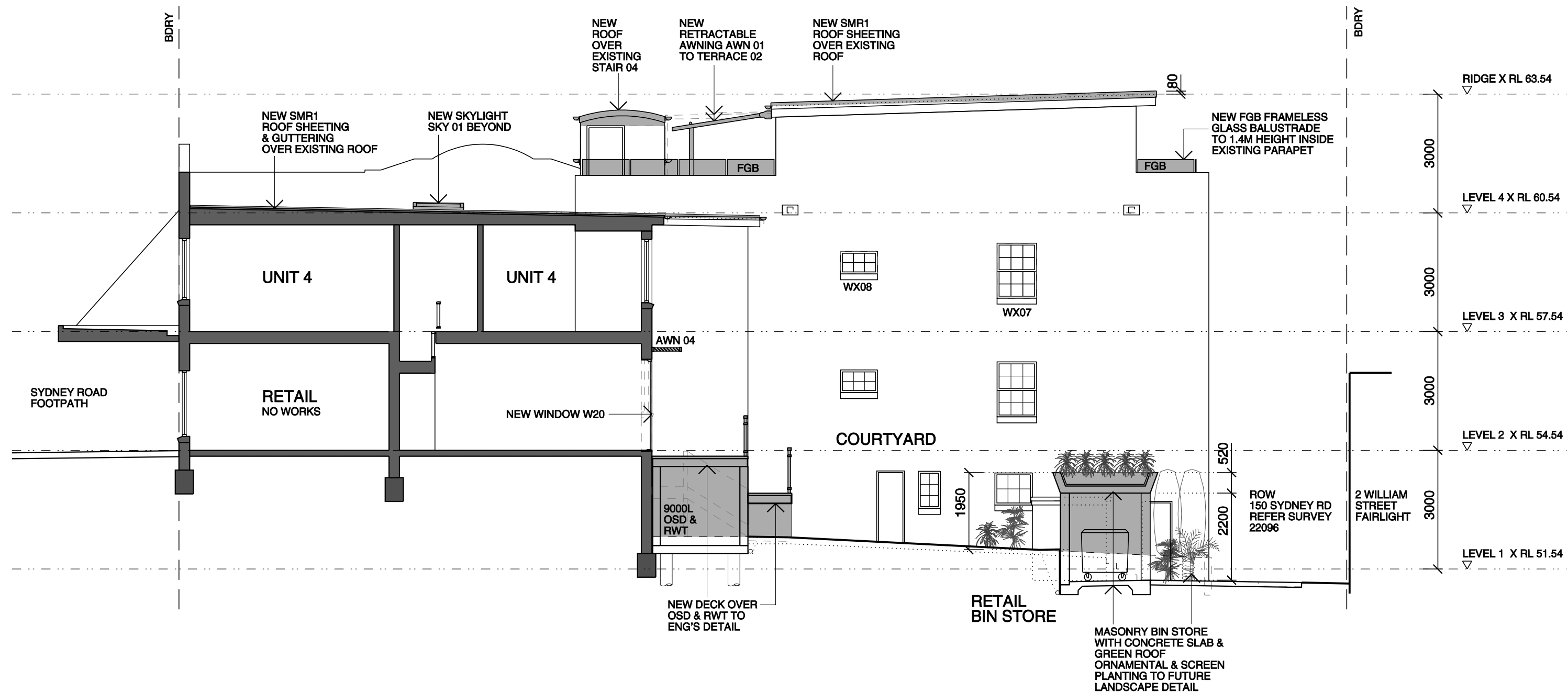


DA SUBMISSION

|  |                          |        |   |               |        |    |                |        |    |                          |        |    |               |        |       |           |      |   |  |  |   |  |  |   |  |  |             |  |  |   |  |  |       |               |  |            |         |  |                |            |  |             |      |  |          |   |  |
|--|--------------------------|--------|---|---------------|--------|----|----------------|--------|----|--------------------------|--------|----|---------------|--------|-------|-----------|------|---|--|--|---|--|--|---|--|--|-------------|--|--|---|--|--|-------|---------------|--|------------|---------|--|----------------|------------|--|-------------|------|--|----------|---|--|
| <table><tr><td>A</td><td>DA SUBMISSION</td><td>081222</td></tr><tr><td>P3</td><td>PRE DA MEETING</td><td>221108</td></tr><tr><td>P2</td><td>ISSUED FOR CO-ORDINATION</td><td>051022</td></tr><tr><td>P1</td><td>INITIAL ISSUE</td><td>090922</td></tr><tr><td>Issue</td><td>Amendment</td><td>Date</td></tr></table> |                          |        | A | DA SUBMISSION | 081222 | P3 | PRE DA MEETING | 221108 | P2 | ISSUED FOR CO-ORDINATION | 051022 | P1 | INITIAL ISSUE | 090922 | Issue | Amendment | Date | <p>FOR EXISTING AND NEW BUILDING WORKS<br/>CONFIRM ALL DIMENSIONS LEVELS SQUARE<br/>PLUMB &amp; BOUNDARIES ON SITE.<br/>DIMENSIONS SHOW FINISHED WALL THICKNESS<br/>USE FIGURED DIMENSIONS ONLY DO NOT SCALE</p> <div><div>0m</div><div>1m</div><div>2m</div><div>4m</div><div>6m</div></div> |  |  | <p>PROPOSED ALTERATIONS &amp; ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 &amp;<br/>COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094<br/>LOT 1 DP 329155<br/>FOR PHILIP &amp; NIGEL ROSE</p> |  |  | <p>COSTELLO+GRAHAM DESIGN<br/>Suite 3 /36 Sydney Road, Manly NSW 2095 ©<br/>Sydney, Australia<br/>Telephone (02) 9977 1981<br/>Email: office@costellograhamdesign.com.au<br/>Robert Costello Nominated Architect Registration NSW 6610<br/>ARCHITECTS</p> |  |  | <div></div> |  |  | <table><tr><td>Title</td><td colspan="2">ELEVATIONS 02</td></tr><tr><td>Scale @ A3</td><td colspan="2">1 : 100</td></tr><tr><td>Project Ref No</td><td colspan="2">SRSF 22104</td></tr><tr><td>Drawing no.</td><td colspan="2">DA21</td></tr><tr><td>Revision</td><td colspan="2">A</td></tr></table> |  |  | Title | ELEVATIONS 02 |  | Scale @ A3 | 1 : 100 |  | Project Ref No | SRSF 22104 |  | Drawing no. | DA21 |  | Revision | A |  |
| A  | DA SUBMISSION            | 081222 |   |               |        |    |                |        |    |                          |        |    |               |        |       |           |      |   |  |  |   |  |  |   |  |  |             |  |  |   |  |  |       |               |  |            |         |  |                |            |  |             |      |  |          |   |  |
| P3   | PRE DA MEETING           | 221108 |   |               |        |    |                |        |    |                          |        |    |               |        |       |           |      |   |  |  |   |  |  |   |  |  |             |  |  |   |  |  |       |               |  |            |         |  |                |            |  |             |      |  |          |   |  |
| P2   | ISSUED FOR CO-ORDINATION | 051022 |   |               |        |    |                |        |    |                          |        |    |               |        |       |           |      |   |  |  |   |  |  |   |  |  |             |  |  |   |  |  |       |               |  |            |         |  |                |            |  |             |      |  |          |   |  |
| P1   | INITIAL ISSUE            | 090922 |   |               |        |    |                |        |    |                          |        |    |               |        |       |           |      |   |  |  |   |  |  |   |  |  |             |  |  |   |  |  |       |               |  |            |         |  |                |            |  |             |      |  |          |   |  |
| Issue  | Amendment                | Date   |   |               |        |    |                |        |    |                          |        |    |               |        |       |           |      |   |  |  |   |  |  |   |  |  |             |  |  |   |  |  |       |               |  |            |         |  |                |            |  |             |      |  |          |   |  |
| Title  | ELEVATIONS 02            |        |   |               |        |    |                |        |    |                          |        |    |               |        |       |           |      |   |  |  |   |  |  |   |  |  |             |  |  |   |  |  |       |               |  |            |         |  |                |            |  |             |      |  |          |   |  |
| Scale @ A3   | 1 : 100                  |        |   |               |        |    |                |        |    |                          |        |    |               |        |       |           |      |   |  |  |   |  |  |   |  |  |             |  |  |   |  |  |       |               |  |            |         |  |                |            |  |             |      |  |          |   |  |
| Project Ref No   | SRSF 22104               |        |   |               |        |    |                |        |    |                          |        |    |               |        |       |           |      |   |  |  |   |  |  |   |  |  |             |  |  |   |  |  |       |               |  |            |         |  |                |            |  |             |      |  |          |   |  |
| Drawing no.  | DA21                     |        |   |               |        |    |                |        |    |                          |        |    |               |        |       |           |      |   |  |  |   |  |  |   |  |  |             |  |  |   |  |  |       |               |  |            |         |  |                |            |  |             |      |  |          |   |  |
| Revision   | A                        |        |   |               |        |    |                |        |    |                          |        |    |               |        |       |           |      |   |  |  |   |  |  |   |  |  |             |  |  |   |  |  |       |               |  |            |         |  |                |            |  |             |      |  |          |   |  |

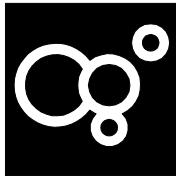


DEVELOPMENT APPLICATION



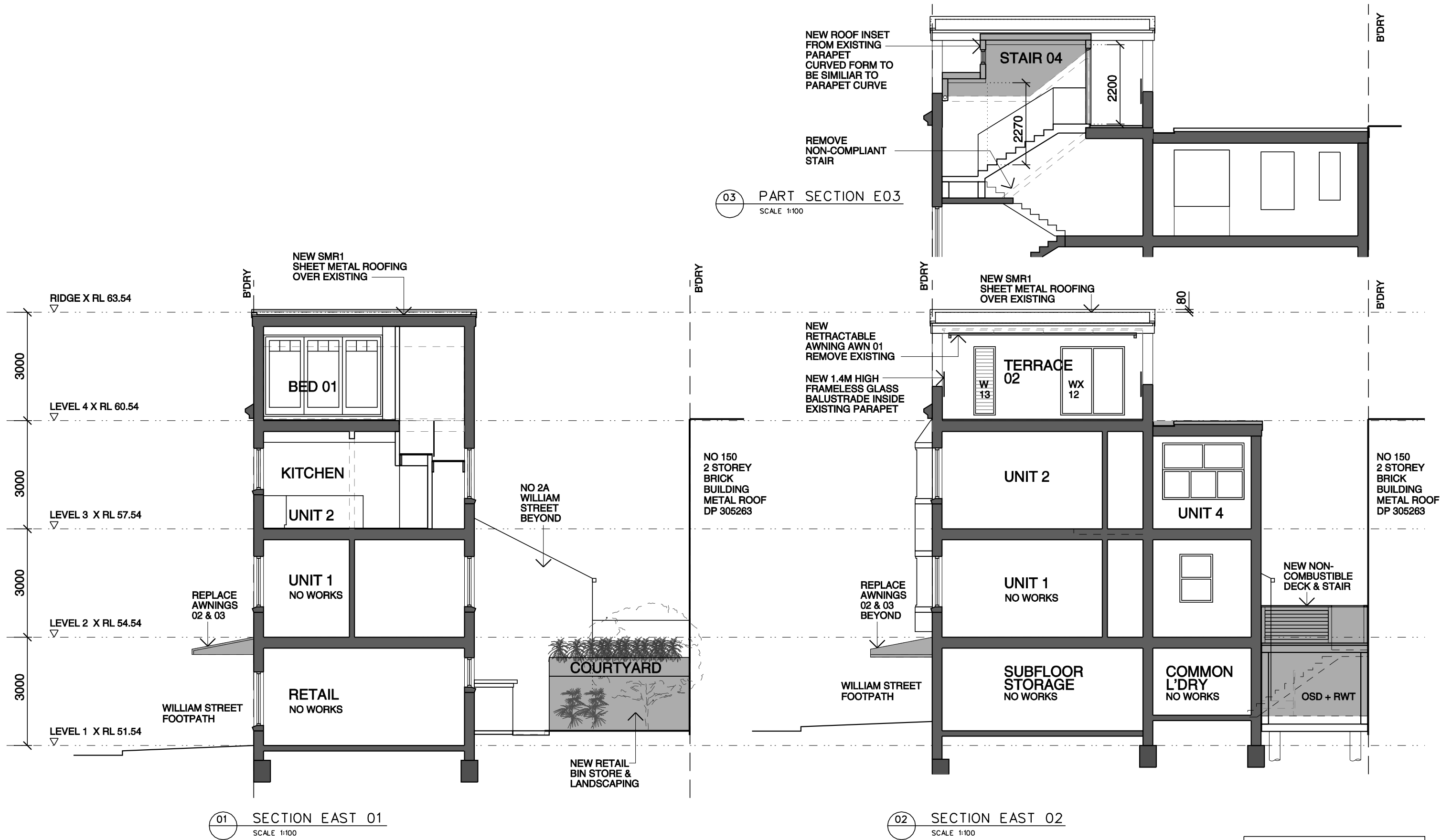
01 ELEVATION EAST  
SCALE 1:100

DA SUBMISSION

|   |                          |        |   |               |        |    |                       |        |    |                |        |    |                          |        |    |               |        |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |  |  |  |  |  |  |       |               |            |         |                |            |             |        |          |  |
|---|--------------------------|--------|---|---------------|--------|----|-----------------------|--------|----|----------------|--------|----|--------------------------|--------|----|---------------|--------|-------|-----------|------|--|--|--|-------------------------------------|--------------------------------------|----------------------------|---|--|---|--|--|--|--|--|--|--|--|-------|---------------|------------|---------|----------------|------------|-------------|--------|----------|--|
| <table><tr><td>A</td><td>DA SUBMISSION</td><td>081222</td></tr><tr><td>P4</td><td>STAIR 04 ROOF LOWERED</td><td>221116</td></tr><tr><td>P3</td><td>PRE DA MEETING</td><td>221108</td></tr><tr><td>P2</td><td>ISSUED FOR CO-ORDINATION</td><td>051022</td></tr><tr><td>P1</td><td>INITIAL ISSUE</td><td>090922</td></tr><tr><td>Issue</td><td>Amendment</td><td>Date</td></tr></table> |                          |        | A | DA SUBMISSION | 081222 | P4 | STAIR 04 ROOF LOWERED | 221116 | P3 | PRE DA MEETING | 221108 | P2 | ISSUED FOR CO-ORDINATION | 051022 | P1 | INITIAL ISSUE | 090922 | Issue | Amendment | Date | <table><tr><td>FOR EXISTING AND NEW BUILDING WORKS</td></tr><tr><td>CONFIRM ALL DIMENSIONS LEVELS SQUARE</td></tr><tr><td>PLUMB &amp; BOUNDARIES ON SITE</td></tr><tr><td>DIMENSIONS SHOW FINISHED WALL THICKNESS</td></tr><tr><td>USE FIGURED DIMENSIONS ONLY DO NOT SCALE</td></tr></table> <div><div>0m</div><div>1m</div><div>2m</div><div>4m</div><div>6m</div></div> |  |  | FOR EXISTING AND NEW BUILDING WORKS | CONFIRM ALL DIMENSIONS LEVELS SQUARE | PLUMB & BOUNDARIES ON SITE | DIMENSIONS SHOW FINISHED WALL THICKNESS | USE FIGURED DIMENSIONS ONLY DO NOT SCALE | <p>PROPOSED ALTERATIONS &amp; ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 &amp;<br/>COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094<br/>LOT 1 DP 329155<br/>FOR PHILIP &amp; NIGEL ROSE</p> |  |  | <p>COSTELLO+GRAHAM DESIGN<br/>Suite 3 /36 Sydney Road, Manly NSW 2095 ©<br/>Sydney, Australia<br/>Telephone (02) 9977 1981<br/>Email: office@costellograhamdesign.com.au<br/>Robert Costello Nominated Architect Registration NSW 6610<br/>ARCHITECTS</p> <div></div> |  |  | <table><tr><td>Title</td><td>ELEVATIONS 03</td></tr><tr><td>Scale @ A3</td><td>1 : 100</td></tr><tr><td>Project Ref No</td><td>SRSF 22104</td></tr><tr><td>Drawing no.</td><td>DA22 A</td></tr><tr><td>Revision</td><td></td></tr></table> |  |  | Title | ELEVATIONS 03 | Scale @ A3 | 1 : 100 | Project Ref No | SRSF 22104 | Drawing no. | DA22 A | Revision |  |
| A   | DA SUBMISSION            | 081222 |   |               |        |    |                       |        |    |                |        |    |                          |        |    |               |        |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |  |  |  |  |  |  |       |               |            |         |                |            |             |        |          |  |
| P4  | STAIR 04 ROOF LOWERED    | 221116 |   |               |        |    |                       |        |    |                |        |    |                          |        |    |               |        |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |  |  |  |  |  |  |       |               |            |         |                |            |             |        |          |  |
| P3  | PRE DA MEETING           | 221108 |   |               |        |    |                       |        |    |                |        |    |                          |        |    |               |        |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |  |  |  |  |  |  |       |               |            |         |                |            |             |        |          |  |
| P2  | ISSUED FOR CO-ORDINATION | 051022 |   |               |        |    |                       |        |    |                |        |    |                          |        |    |               |        |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |  |  |  |  |  |  |       |               |            |         |                |            |             |        |          |  |
| P1  | INITIAL ISSUE            | 090922 |   |               |        |    |                       |        |    |                |        |    |                          |        |    |               |        |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |  |  |  |  |  |  |       |               |            |         |                |            |             |        |          |  |
| Issue   | Amendment                | Date   |   |               |        |    |                       |        |    |                |        |    |                          |        |    |               |        |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |  |  |  |  |  |  |       |               |            |         |                |            |             |        |          |  |
| FOR EXISTING AND NEW BUILDING WORKS   |                          |        |   |               |        |    |                       |        |    |                |        |    |                          |        |    |               |        |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |  |  |  |  |  |  |       |               |            |         |                |            |             |        |          |  |
| CONFIRM ALL DIMENSIONS LEVELS SQUARE  |                          |        |   |               |        |    |                       |        |    |                |        |    |                          |        |    |               |        |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |  |  |  |  |  |  |       |               |            |         |                |            |             |        |          |  |
| PLUMB & BOUNDARIES ON SITE  |                          |        |   |               |        |    |                       |        |    |                |        |    |                          |        |    |               |        |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |  |  |  |  |  |  |       |               |            |         |                |            |             |        |          |  |
| DIMENSIONS SHOW FINISHED WALL THICKNESS   |                          |        |   |               |        |    |                       |        |    |                |        |    |                          |        |    |               |        |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |  |  |  |  |  |  |       |               |            |         |                |            |             |        |          |  |
| USE FIGURED DIMENSIONS ONLY DO NOT SCALE  |                          |        |   |               |        |    |                       |        |    |                |        |    |                          |        |    |               |        |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |  |  |  |  |  |  |       |               |            |         |                |            |             |        |          |  |
| Title   | ELEVATIONS 03            |        |   |               |        |    |                       |        |    |                |        |    |                          |        |    |               |        |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |  |  |  |  |  |  |       |               |            |         |                |            |             |        |          |  |
| Scale @ A3  | 1 : 100                  |        |   |               |        |    |                       |        |    |                |        |    |                          |        |    |               |        |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |  |  |  |  |  |  |       |               |            |         |                |            |             |        |          |  |
| Project Ref No  | SRSF 22104               |        |   |               |        |    |                       |        |    |                |        |    |                          |        |    |               |        |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |  |  |  |  |  |  |       |               |            |         |                |            |             |        |          |  |
| Drawing no.   | DA22 A                   |        |   |               |        |    |                       |        |    |                |        |    |                          |        |    |               |        |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |  |  |  |  |  |  |       |               |            |         |                |            |             |        |          |  |
| Revision  |                          |        |   |               |        |    |                       |        |    |                |        |    |                          |        |    |               |        |       |           |      |  |  |  |                                     |                                      |                            |   |  |   |  |  |  |  |  |  |  |  |       |               |            |         |                |            |             |        |          |  |

DEVELOPMENT APPLICATION

NEW WALL    EXISTING WALL    REMOVE EXISTING    ADDITIONAL BUILDING AREA



|       |                              |        |
|-------|------------------------------|--------|
| A     | DA SUBMISSION                | 081222 |
| P5    | STAIR 04 ROOF HEIGHT LOWERED | 221116 |
| P4    | PRE DA MEETING               | 221108 |
| P3    | ISSUED FOR CO-ORDINATION     | 051022 |
| Issue | Amendment                    | Date   |

FOR EXISTING AND NEW BUILDING WORKS  
CONFIRM ALL DIMENSIONS LEVELS SQUARE  
PLUMB & BOUNDARIES ON SITE.  
DIMENSIONS SHOW FINISHED WALL THICKNESS  
USE FIGURED DIMENSIONS ONLY DO NOT SCALE



PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 &  
COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094  
LOT 1 DP 329155  
FOR PHILIP & NIGEL ROSE

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ARCHITECTS



|                |             |
|----------------|-------------|
| Title          | SECTIONS 02 |
| Scale @ A3     | 1 : 100     |
| Project Ref No | SRSF 22104  |
| Drawing no.    | DA26 A      |
| Revision       |             |

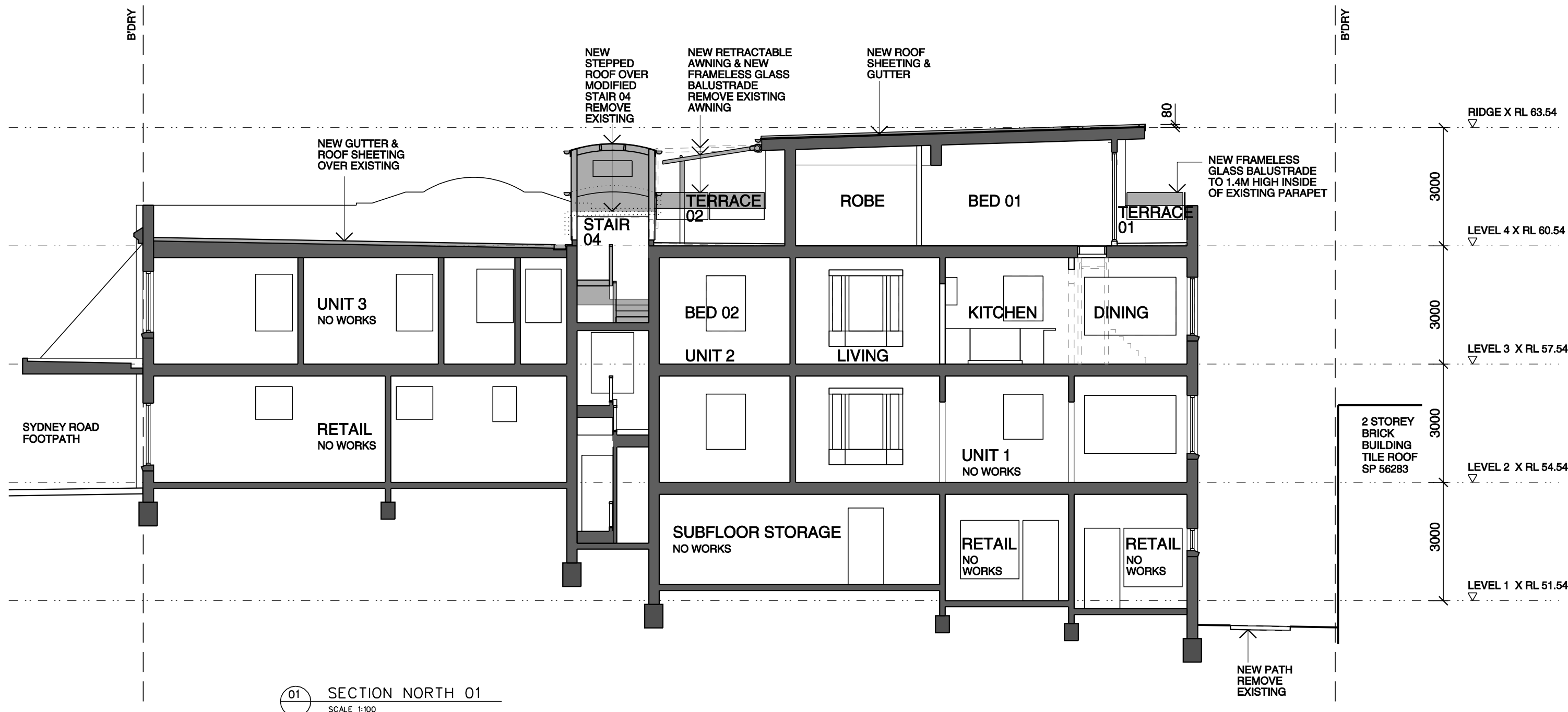
NEW WALL

EXISTING WALL

REMOVE EXISTING

ADDITIONAL BUILDING AREA

# DEVELOPMENT APPLICATION



01 SECTION NORTH 01  
SCALE 1:100

DA SUBMISSION

|       |                          |        |
|-------|--------------------------|--------|
| A     | DA SUBMISSION            | 081222 |
| P5    | STAIR 04 ROOF LOWERED    | 221116 |
| P4    | PRE DA MEETING           | 221108 |
| P3    | ISSUED FOR CO-ORDINATION | 051022 |
| Issue | Amendment                | Date   |

FOR EXISTING AND NEW BUILDING WORKS  
CONFIRM ALL DIMENSIONS LEVELS SQUARE  
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PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 &  
COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094  
LOT 1 DP 329155  
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|                |             |
|----------------|-------------|
| Title          | SECTIONS 01 |
| Scale @ A3     | 1 : 100     |
| Project Ref No | SRSF 22104  |
| Drawing no.    | DA25 A      |
| Revision       |             |