

# DRAWING LIST

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# NOTES

C2.9	TABLE 3 - TYPE A CONSTRUCTION MINIMUM FRL OF BUILDING ELEMENT BASEMENT FLOORS - B1 AND B2 - 120/120/120
C2.9	TABLE 3 - TYPE A CONSTRUCTION MINIMUM FRL OF BUILDING ELEMENT GROUND FLOOR SLAB - 240/240/240
C2.9	TABLE 3 - TYPE A CONSTRUCTION MINIMUM FRL OF BUILDING ELEMENT ALL RESIDENTIAL FLOOR SLABS - 90/90/90 ACOUSTIC RATING - R <sub>w</sub> +C <sub>tr</sub> > 50 and Ln.W > 62
C3.11	ALL SOLE OCCUPANCY UNITS TO HAVE A SELF-CLOSING FIRE DOOR WITH MINIMUM FRL OF -/60/30
D1.7	BASEMENT 1 ACCESSIBLE WC TO HAVE A SELF-CLOSING FIRE DOOR WITH MINIMUM FRL OF -/60/30
D3.3	ALL ACCESSIBLE BATHROOMS TO INCLUDE ALL AS1428:1 CIRCULATION - FITTINGS - FIXTURES - CLEARANCES IN THE LIKE FOR FULL COMPLIANCE - INCLUDING SHELVES
E1.3	FIP LOCATED IN RESIDENTIAL LOBBY
E1.3	BOOSTER ASSEMBLY LOCATED ON ROBERTSON ROAD ENTRY
E1.5	SPRINKLERS LOCATED IN ALL BASEMENT LEVELS

# CONSULTANTS

SURVEYOR	ADAM CLERKE SURVEYORS PTY LTD	38 KEVIN AVENUE, AVALON 2107	02 9918 4111
LANDSCAPING	SITE IMAGE-LANSCAPE ARCHITECT	LEVEL 1, 3-5 BAPTIST STREET REDFERN NSW 2016	02 8332 5600
STORM WATER & FLOODING	DEMLAKIAN ENGINEERING	5 RIDGE ST, NORTH SYDNEY NSW 2060	02 9955 4485
ASSESSMENT OF TRAFFIC & PARKING IMPLICATIONS	TRANSPORT AND TRAFFIC PLANNING	SUITE 502, L5 282 VICTORIA AVE, CHATSWOOD 2067	02 9411 5660
TRAFFIC & TRANSPORT MANAGEMENT PLAN	SBMG PTY LTD	PO BOX 8136, GLENMORE PARK NSW 2745	0467 370 380
ACCESSIBILITY	ACCESSIBLE BUILDING SOLUTIONS	124 UPPER WASHINGTON DRIVE, BONNET BAY NSW 2226	02 9528 0276
GEOTECHNICAL & SITE INVESTIGATION	ASSET GEOTECHNICAL	SUITE 2.05/56 DELHI RD, NORTH RYDE NSW 2113	0410 325 566
BASIX	DAMIAN OTOOLE TOWN PLANNING PTY	STUDIO 9,L5 35 BUCKINGHAM STREET, SURRY HILL 2010	0413 031 971
PLANNING (SEE)	HAMPTONS PROPERTY SERVICES	SUITE 404, 203-233 NEW SOUTH HEAD ROAD, EDGECLIFF	02 9386 7009
PHOTOMONTAGE & MODELING	ARCHITECTURAL IMAGES	46/6-8 HERBERT STREET, ST LEONARDS NSW 2065	02 9460 8943
PRIVATE CERTIFIER/BCA REPORT	DIX GARDNER GROUP	LEVEL 4, 155 CASTELREAGH ST, SYDNEY NSW 2000	0428 281 188
ARBORIST	DAMIAN GREEN		0450 575 677

# UNITS

UNIT	LEVEL	1 BED	2 BED	3 BED	BATH	ENS	ADPT.	UNIT AREA	BALCONY/ COURTYARD AREA	LIFT ACCESS	DIRECT SUNLIGHT	CROSS THROUGH VENTILATION	SINGLE ASPECT	LIVING ROOM WIDTH	PARKING REQUIRED
01	1		■		■	■		93.4m <sup>2</sup>	39.85m <sup>2</sup>	■	■	■		> 4m	2
02	1		■		■	■		105.3m <sup>2</sup>	18.1m <sup>2</sup>	■			■	4m	2
03	1		■		■	■		95.0m <sup>2</sup>	17.4m <sup>2</sup>	■			■	4m	2
04	1			■	■	■	■	128.4m <sup>2</sup>	18.1m <sup>2</sup>	■		■		> 4m	2
05	1		■		■	■		109.0m <sup>2</sup>	15.5m <sup>2</sup>	■			■	4m	2
06	1		■		■	■		94.8m <sup>2</sup>	9.1m <sup>2</sup>	■		■		4m	2
07	1		■		■	■		95.4m <sup>2</sup>	45.8m <sup>2</sup>	■	■		■	> 4m	2
08	1		■		■	■		87.6m <sup>2</sup>	42.0m <sup>2</sup>	■			■	> 4m	2
09	2		■		■	■		130.4m <sup>2</sup>	31.8m <sup>2</sup>	■		■		> 4m	2
10	2			■	■	■		116.6m <sup>2</sup>	72.4m <sup>2</sup>	■	■	■		4m	2
11	2		■		■	■		92.4m <sup>2</sup>	83.4m <sup>2</sup>	■	■	■		> 4.0m	2
12	2	■			■	■	■	67.7m <sup>2</sup>	25.7m <sup>2</sup>	■	■	■	■	3.6m	1
13	2		■		■	■		81.5m <sup>2</sup>	29.3m <sup>2</sup>	■	■	■		4.0m	2
TOTAL		1	10	2	13UNITS		3	1297.5m <sup>2</sup>			61.5% (8/13)	61.5% (8/13)	53.8% (7/13)		25

# RETAIL

RETAIL SPACE	AREA	STORAGE AREA	PARKING REQUIRED	PARKING PROVIDED
1	48.89m <sup>2</sup>	19.0m <sup>2</sup>		
2	46.37m <sup>2</sup>	10.95m <sup>2</sup>		
3	46.37m <sup>2</sup>	10.95m <sup>2</sup>		
4	46.37m <sup>2</sup>	10.95m <sup>2</sup>		
5	49.87m <sup>2</sup>	15.25m <sup>2</sup>	1 space per 30m <sup>2</sup>	
6	90.3m <sup>2</sup>	-		
7	122.1m <sup>2</sup>	51.8m <sup>2</sup>		
8	146.2m <sup>2</sup>	13.95m <sup>2</sup>		
TOTAL	596.47m <sup>2</sup>		19.8 (696.47/30)	19

# PARKING

	UNITS	UNIT VISITOR	RETAIL	TOTAL
REQUIRED	26	5	19	50
PROVIDED	26	5	19	50

351-353 BARRENJOEY ROAD  
NEWPORT NSW 2106

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ISSUE	DATE	AMENDMENTS

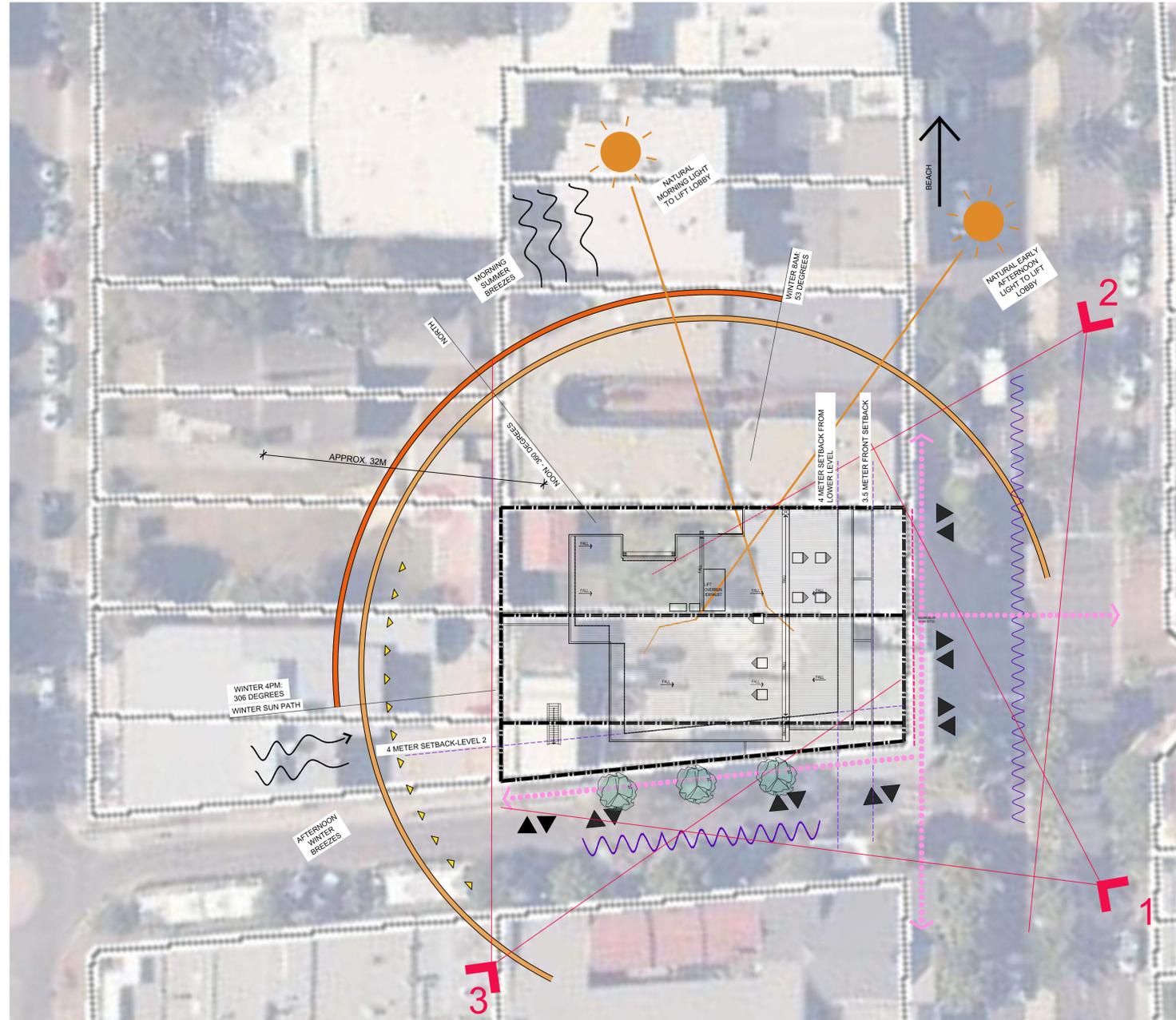
CLIENT DEVELOPMENT LINK PROJECT MIXED USE DEVELOPMENT TITLE COVERSHEET SCHEDULE

351-353 BARRENJOEY ROAD, NEWPORT NSW 2106 LOT 65 & 66 SEC 5 DP 6248

SCALE N/A PROJECT NUMBER 18057 DRAWING NUMBER A001 ISSUE 02

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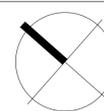
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PROJECT  
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 LOT 65 & 66 SEC 5 DP 6248

TITLE  
 SITE ANALYSIS



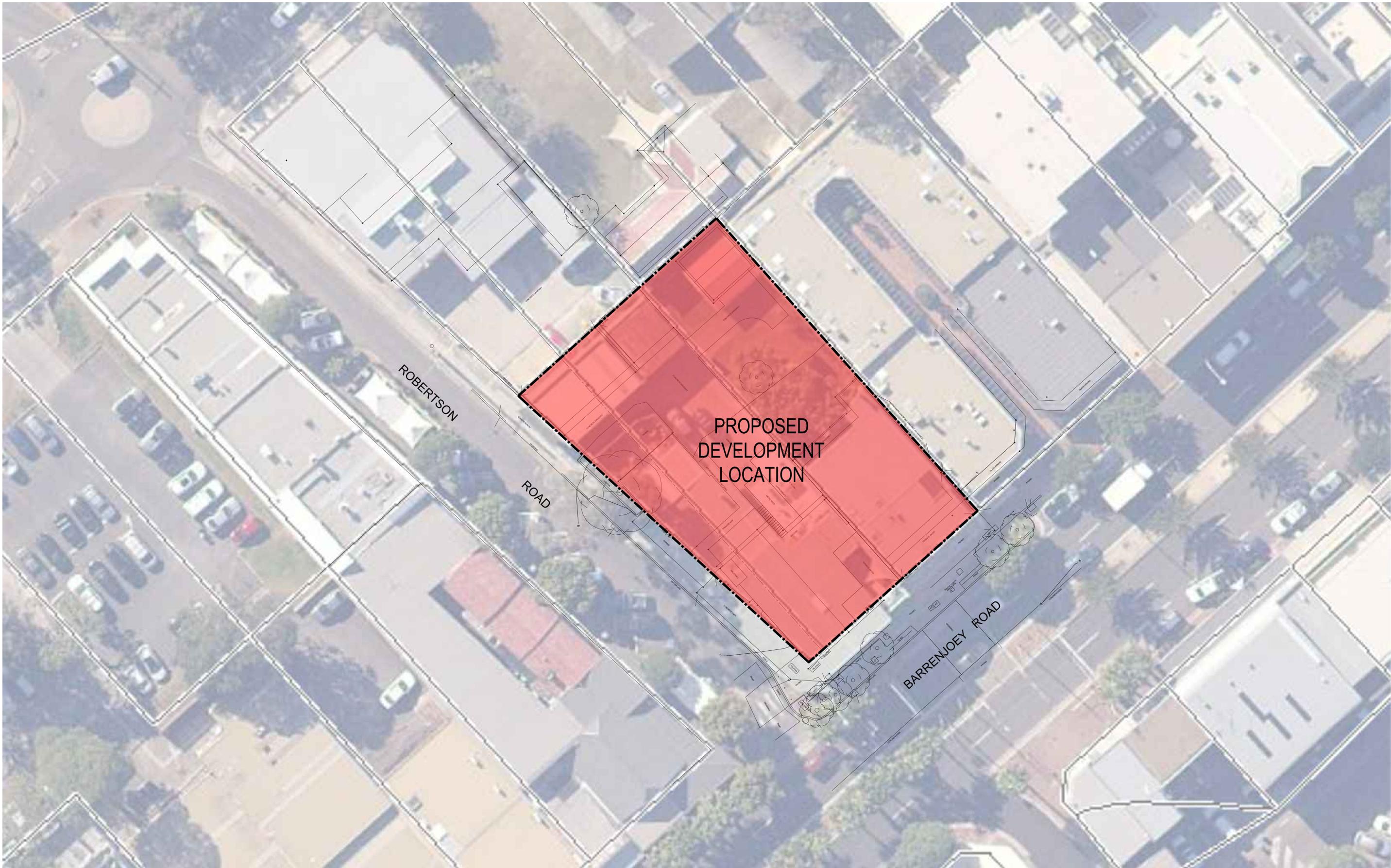
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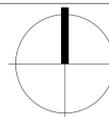
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PROJECT  
**MIXED USE DEVELOPMENT**

351-353 BARRENJOEY ROAD, NEWPORT NSW 2106  
 LOT 65 & 66 SEC 5 DP 6248

TITLE  
**SITE LOCATION PLAN**



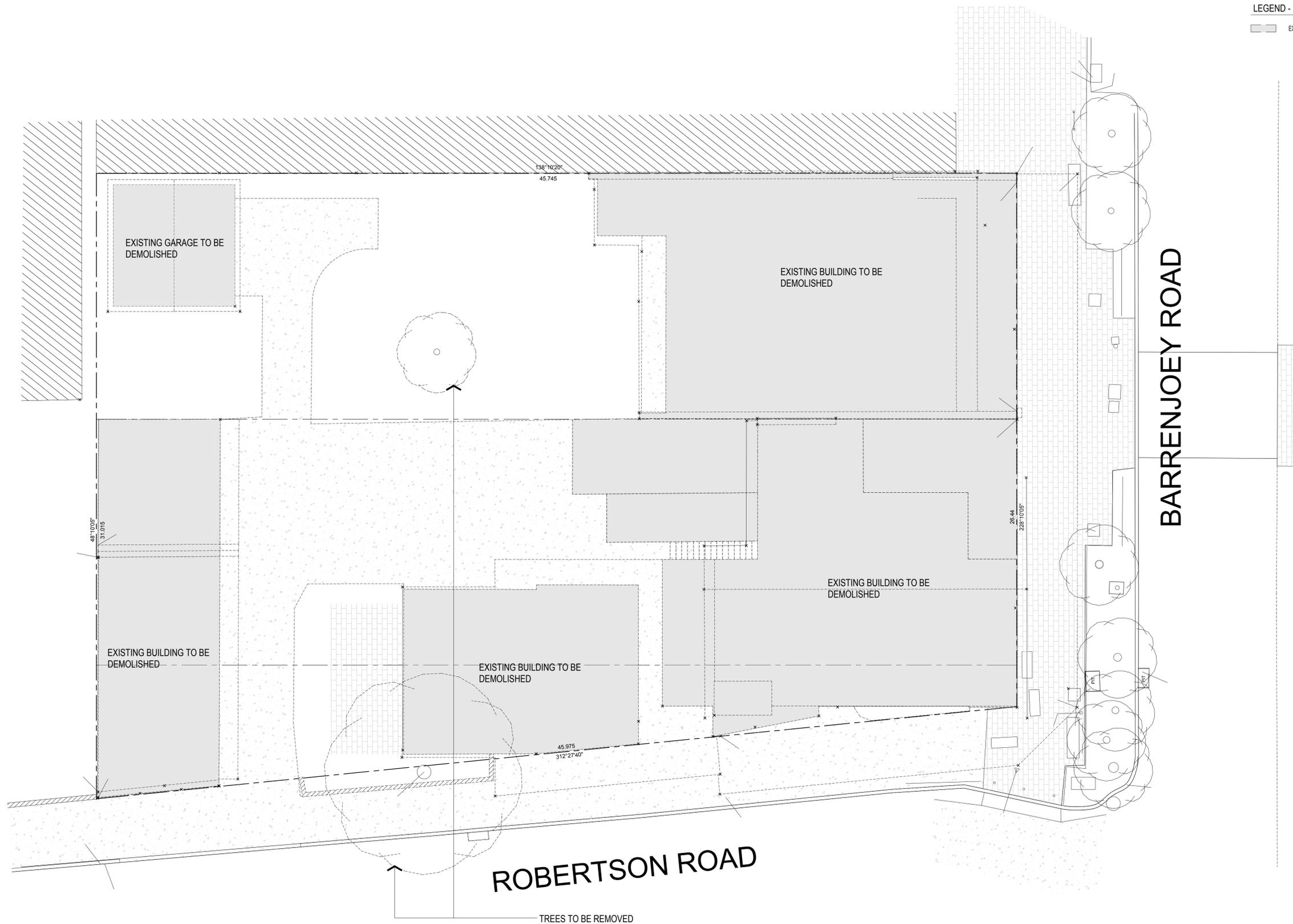
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TITLE  
 DEMOLITION PLAN



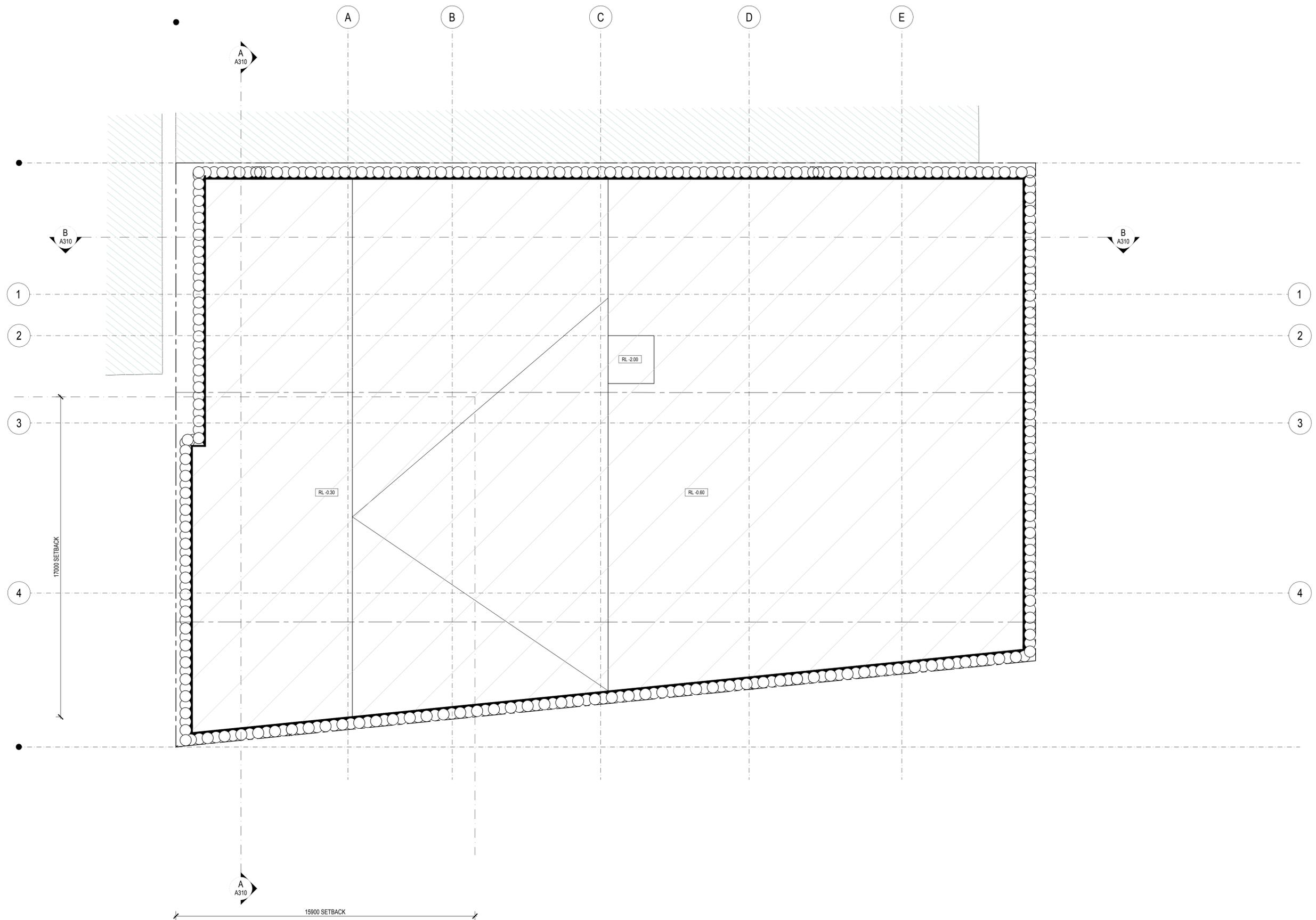
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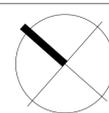
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 351-353 BARRENJOEY ROAD, NEWPORT NSW 2106  
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TITLE  
**EXCAVATION PLAN**



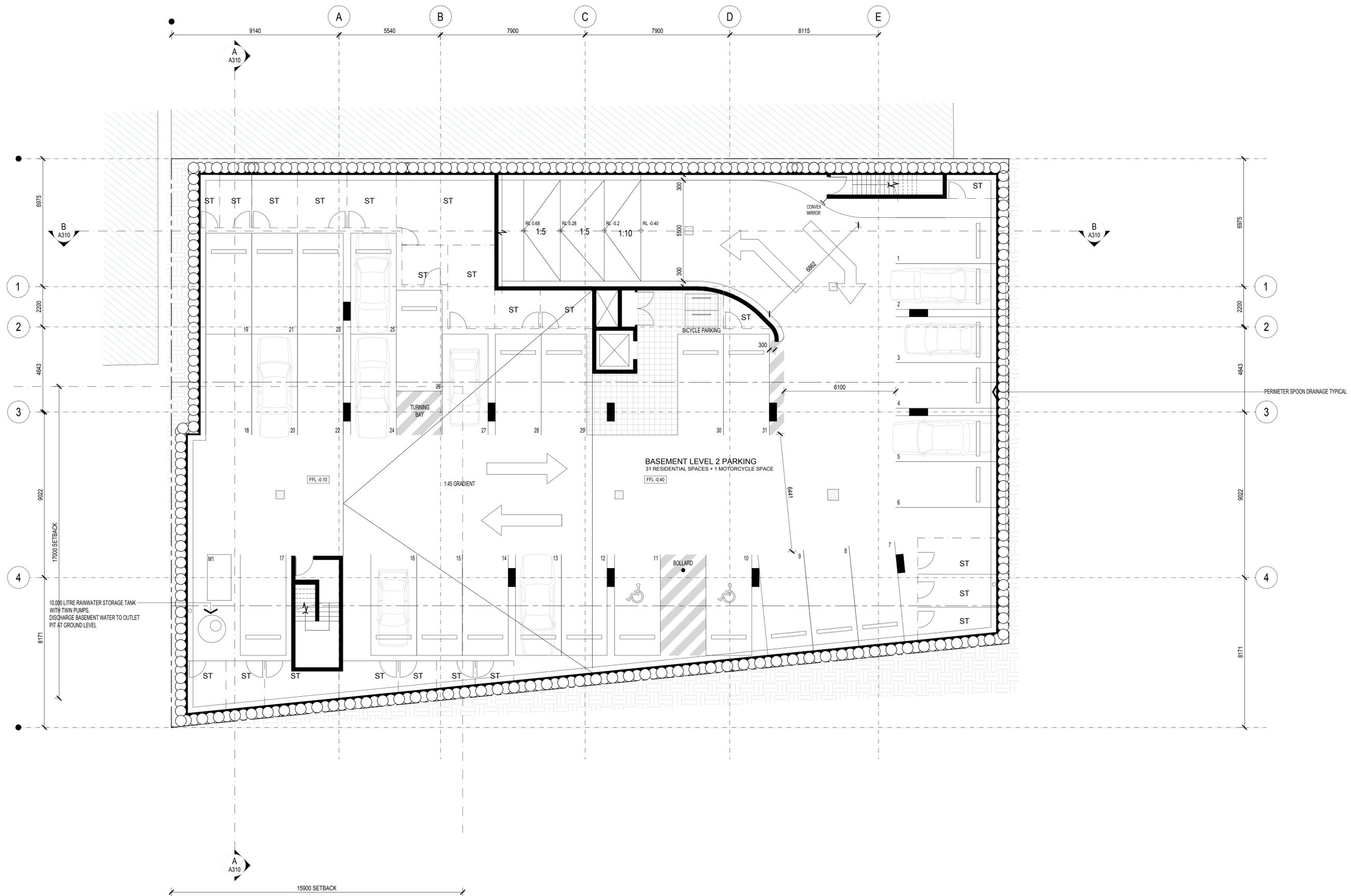
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PROJECT  
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351-353 BARRENJOEY ROAD, NEWPORT NSW 2106  
 LOT 65 & 66 SEC 5 DP 6248

TITLE  
 BASEMENT 2 FLOOR PLAN



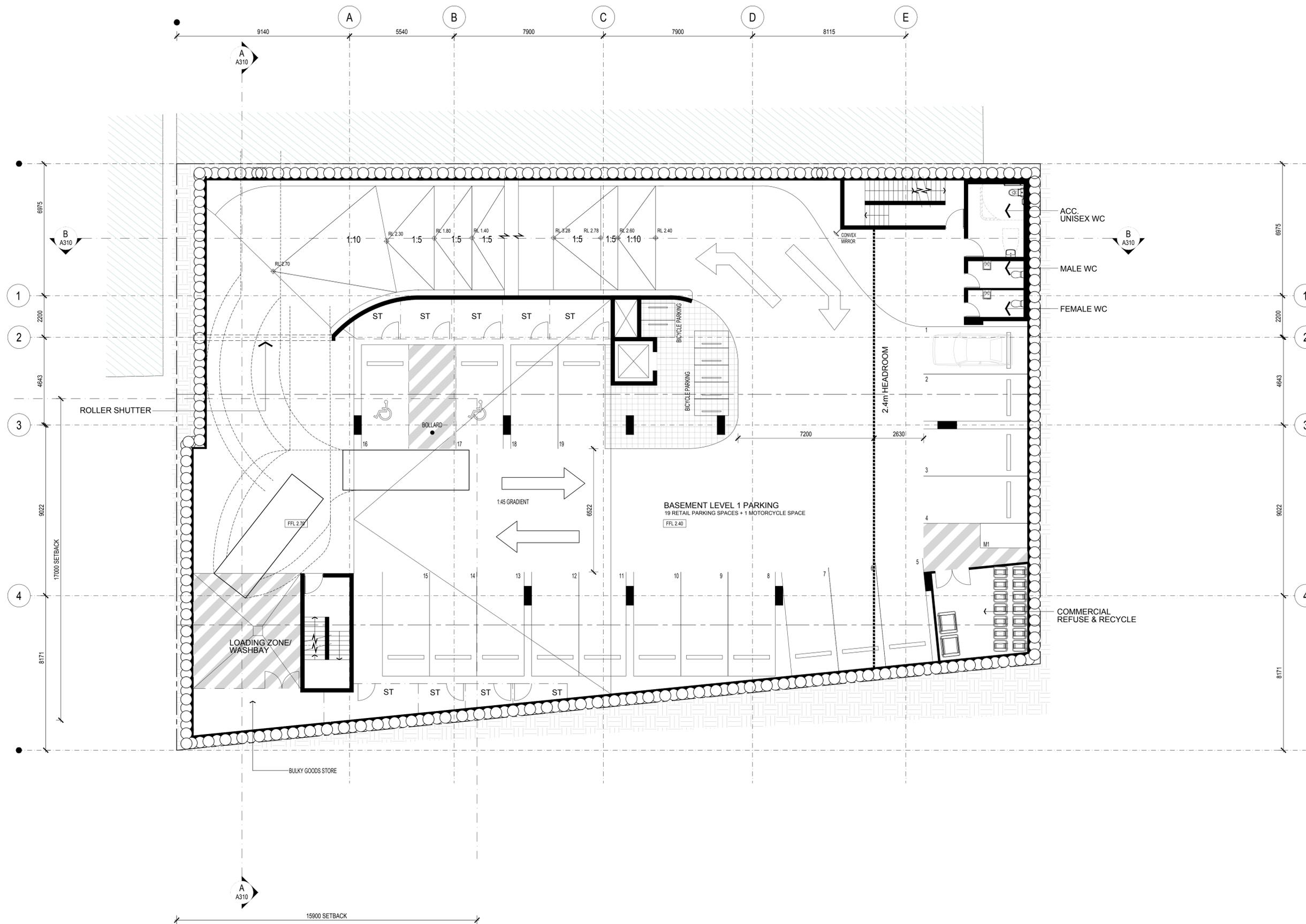
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PROJECT  
**MIXED USE DEVELOPMENT**

TITLE  
**BASEMENT 1 FLOOR PLAN**

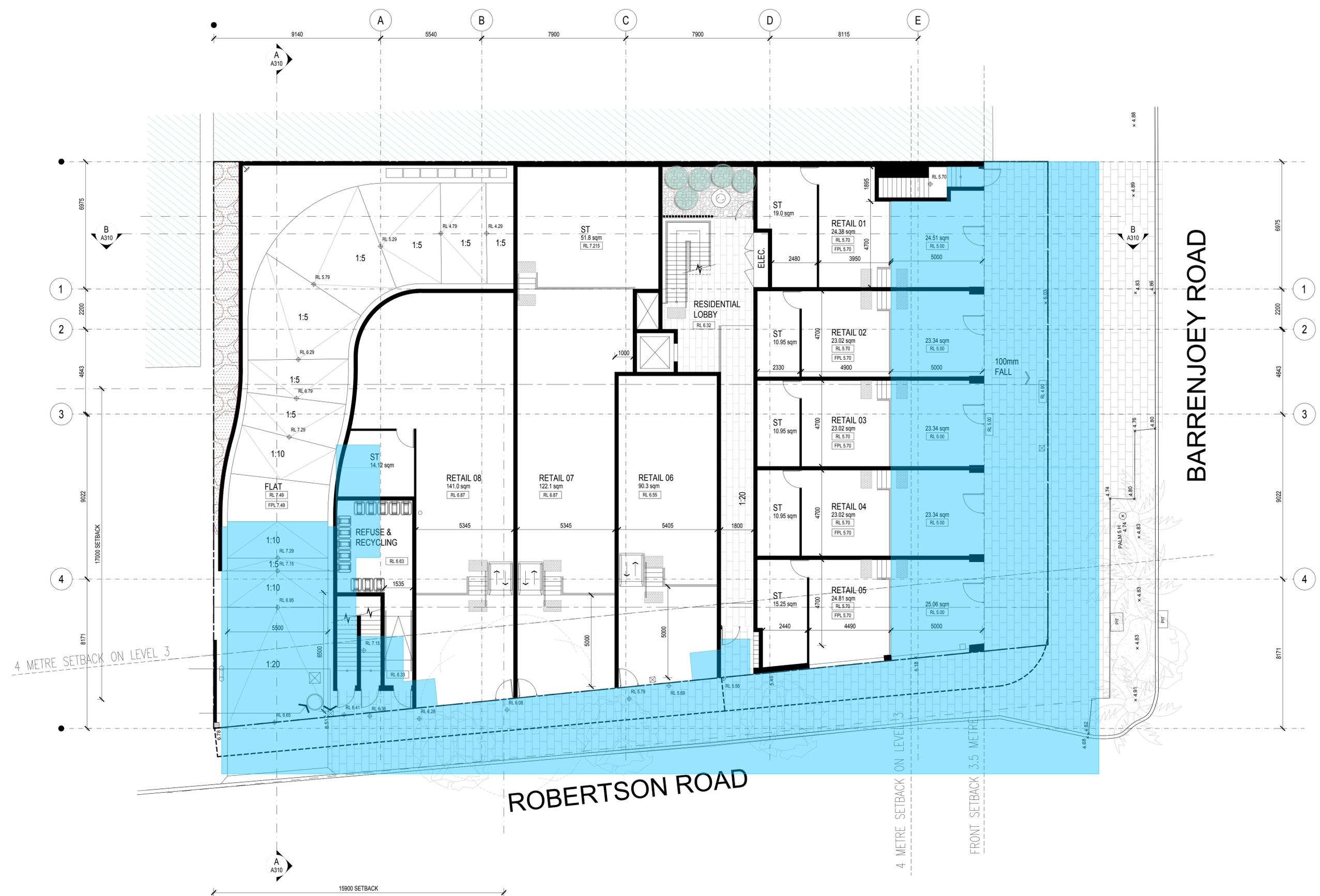
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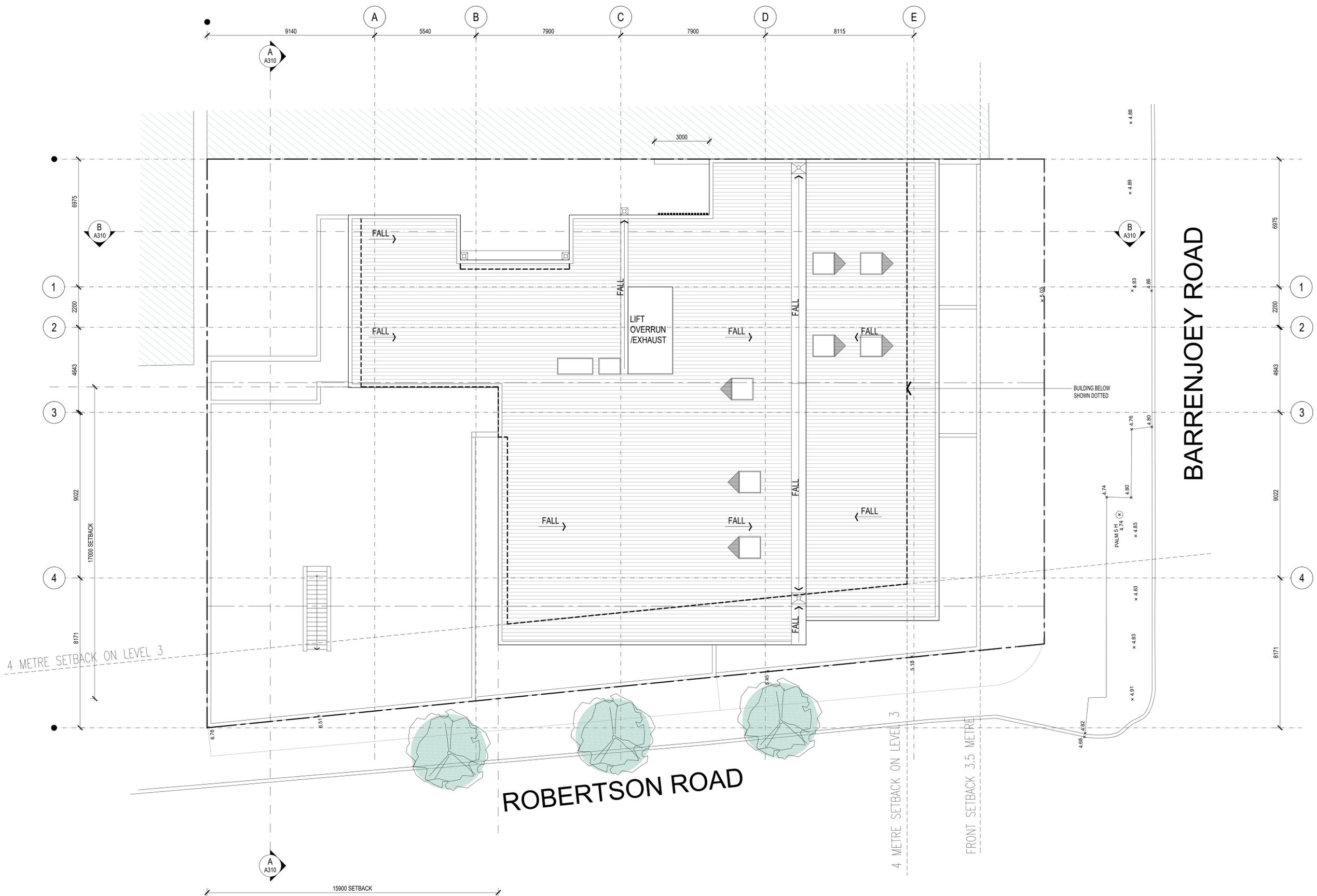
CLIENT: DEVELOPMENT LINK  
 PROJECT: MIXED USE DEVELOPMENT  
 351-353 BARRENJOEY ROAD, NEWPORT NSW 2106  
 LOT 65 & 66 SEC 5 DP 6248

TITLE: GROUND FLOOR FLOODING DIAGRAM

SCALE: 1:100 @ A1  
 APPROVED: MT LH HH  
 DRAWN: PG  
 CHECKED: PG  
 DATE: JAN 2019  
 STATUS: DA

PROJECT NUMBER: 18057  
 DRAWING NUMBER: A102B 02





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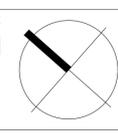
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12	20.07.02	REVISED ISSUE
11	20.06.19	REVISED ISSUE
10	20.05.01	REVISED ISSUE
09	20.04.27	ISSUE TO CONSULTANT
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07	20.04.09	ISSUED TO CONSULTANT
06	20.03.06	ISSUED TO COUNCIL
05	20.03.06	ISSUED TO CONSULTANT

CLIENT  
 DEVELOPMENT LINK

PROJECT  
 MIXED USE DEVELOPMENT

351-353 BARRENJOEY ROAD, NEWPORT NSW 2106  
 LOT 65 & 66 SEC 5 DP 6248

TITLE  
 ROOF PLAN



SCALE  
 1:100 @ A1

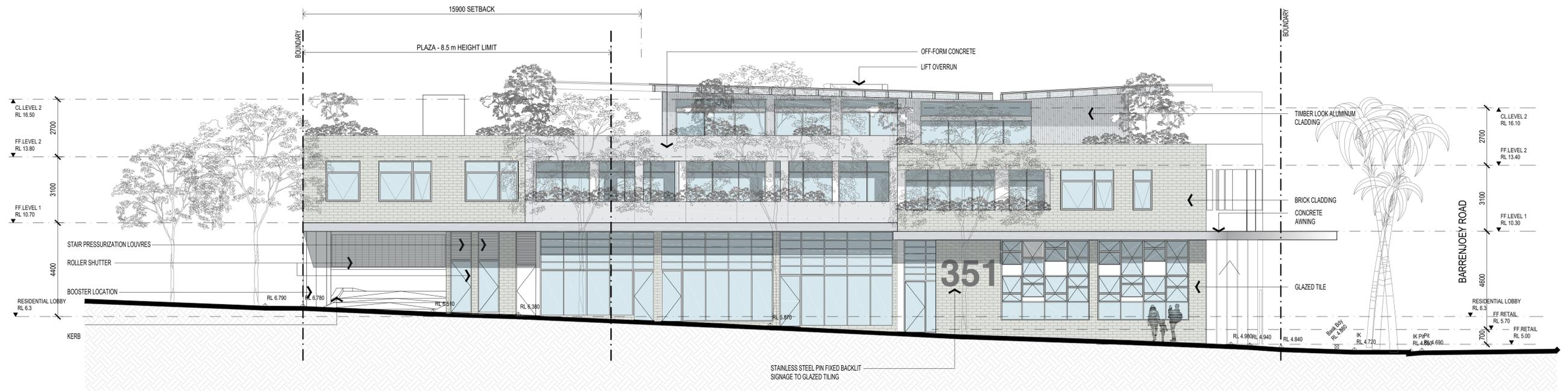
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 CHECKED PG  
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PROJECT NUMBER  
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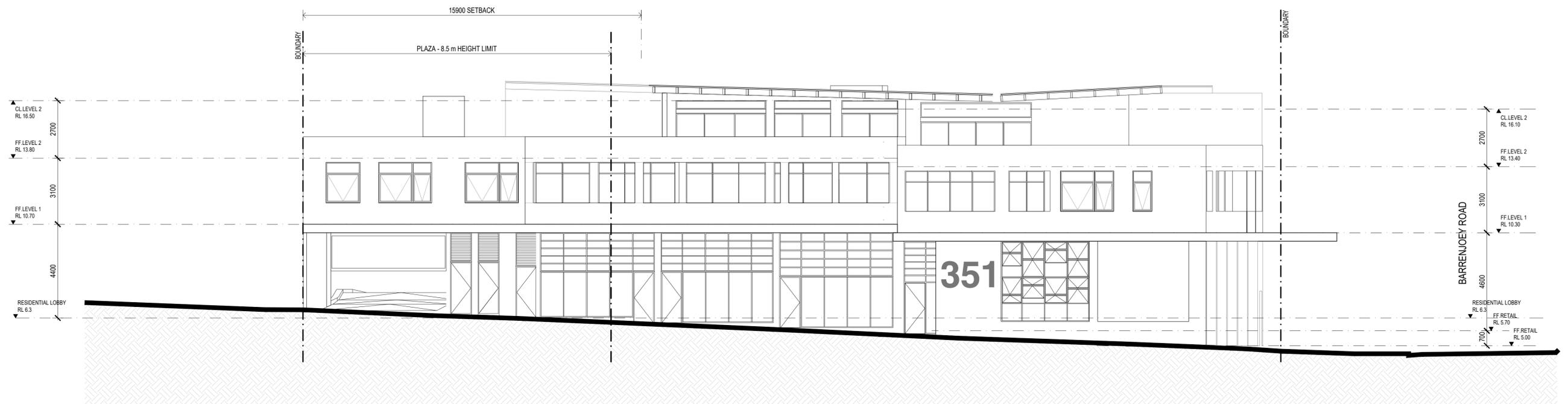
DRAWING NUMBER  
**A105**

ISSUE  
**12**





STREET ELEVATION / ROBERTSON ROAD



STREET ELEVATION / ROBERTSON ROAD

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10	20.07.02	REVISED ISSUE
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07	20.04.27	ISSUE TO CONSULTANT
06	20.04.21	STORM WATER ADAPTATION

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DEVELOPMENT LINK

PROJECT  
MIXED USE DEVELOPMENT

TITLE  
SOUTH ELEVATION

351-353 BARRENJOEY ROAD, NEWPORT NSW 2106

LOT 65 & 66 SEC 5 DP 6248

SCALE 1:100 @ A1

APPROVED  
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CHECKED PG  
DATE JAN 2019  
STATUS DA

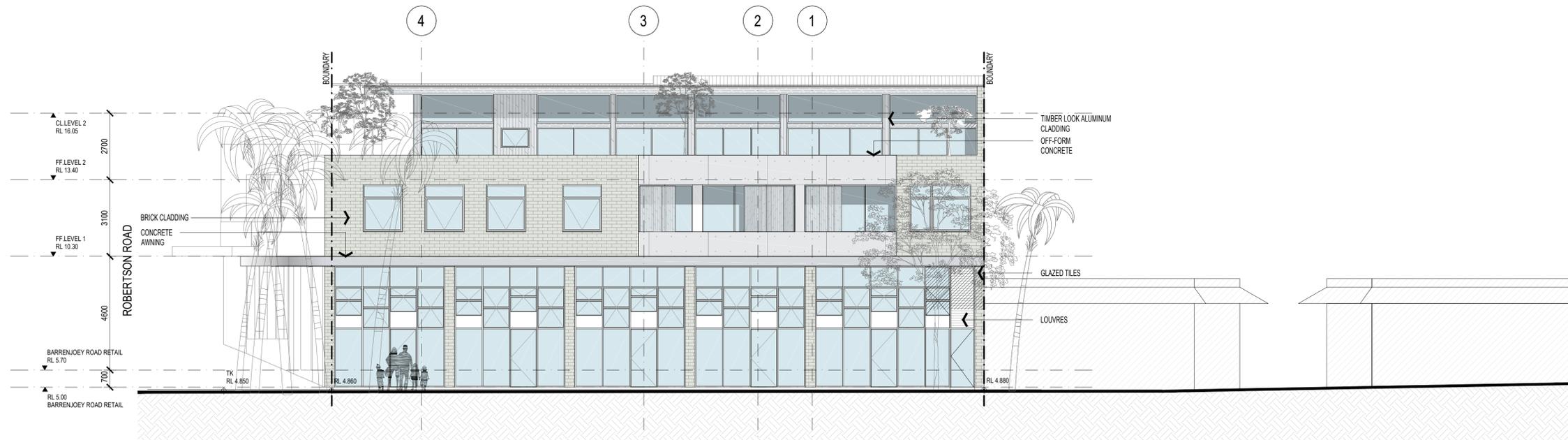
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18057

DRAWING NUMBER

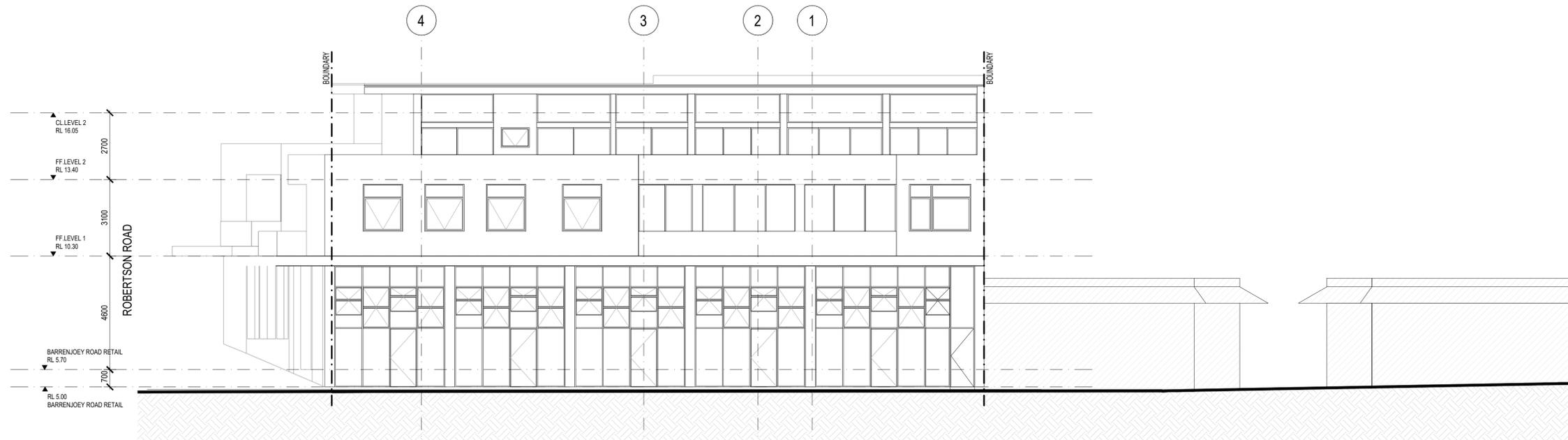
A300

ISSUE  
10

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STREET ELEVATION / BARRENJOEY ROAD



STREET ELEVATION / BARRENJOEY ROAD

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ISSUE	DATE	AMENDMENTS
08	20.07.02	REVISED ISSUE
07	20.06.19	REVISED ISSUED
06	20.04.27	ISSUE TO CONSULTANT
05	20.04.21	STORM WATER ADAPTATION
04	20.03.06	ISSUED TO COUNCIL
03	20.03.06	ISSUED TO CONSULTANT
02	20.02.20	ISSUED TO CLIENT
01	19.10.15	DA ISSUE

CLIENT  
 DEVELOPMENT LINK

PROJECT  
 MIXED USE DEVELOPMENT

TITLE  
 EAST ELEVATION

351-353 BARRENJOEY ROAD, NEWPORT NSW 2106  
 LOT 65 & 66 SEC 5 DP 6248

SCALE 1:100 @ A1

PROJECT NUMBER 18057 DRAWING NUMBER A301

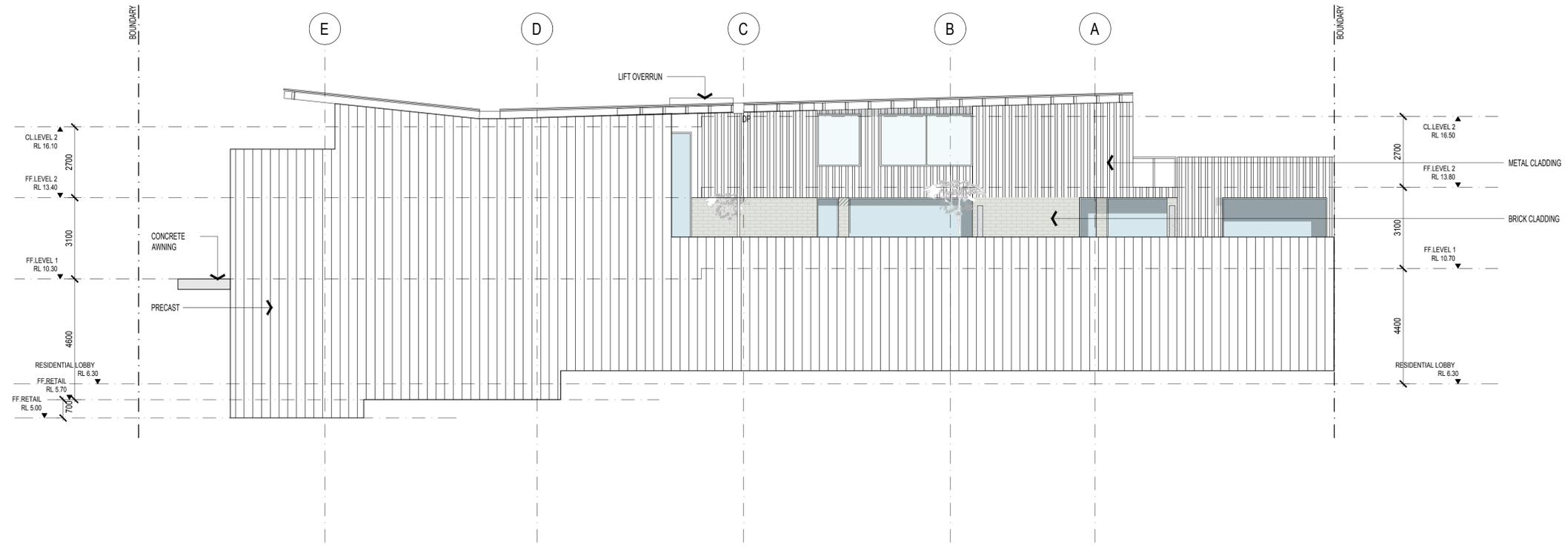
APPROVED MN  
 DRAWN PG  
 CHECKED PG  
 DATE JAN 2019  
 STATUS DA

18057

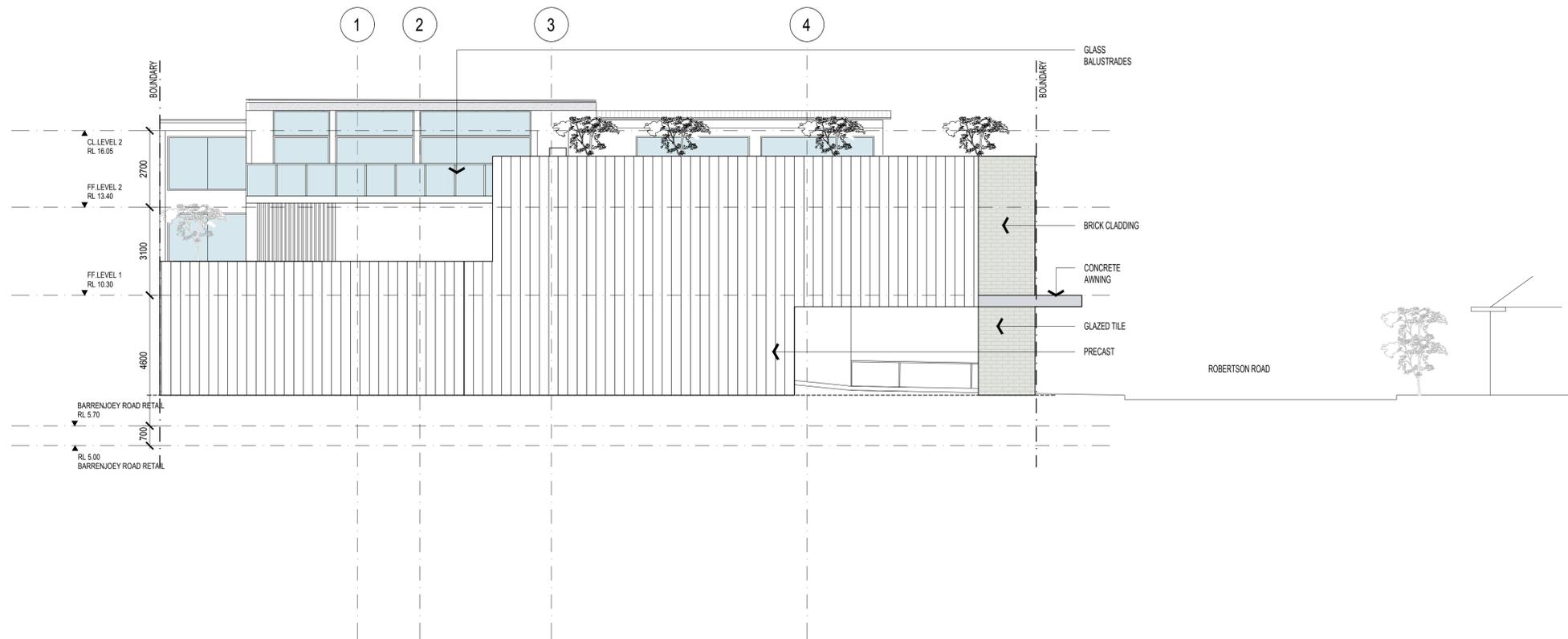
A301

08

ISSUE  
 08 crawford architects



NORTH ELEVATION



WEST ELEVATION

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ISSUE	DATE	AMENDMENTS
08	20.06.19	REVISED ISSUED
07	20.04.27	ISSUE TO CONSULTANT
06	20.04.21	STORM WATER ADAPTATION
05	20.04.09	ISSUED TO CONSULTANT

CLIENT  
DEVELOPMENT LINK

PROJECT  
MIXED USE DEVELOPMENT

351-353 BARRENJOEY ROAD, NEWPORT NSW 2106

LOT 65 & 66 SEC 5 DP 6248

TITLE  
NORTH AND WEST  
ELEVATIONS

SCALE 1:100 @ A1

APPROVED  
DRAWN MN  
CHECKED PG  
DATE JAN 2019  
STATUS DA

PROJECT NUMBER 18057  
DRAWING NUMBER

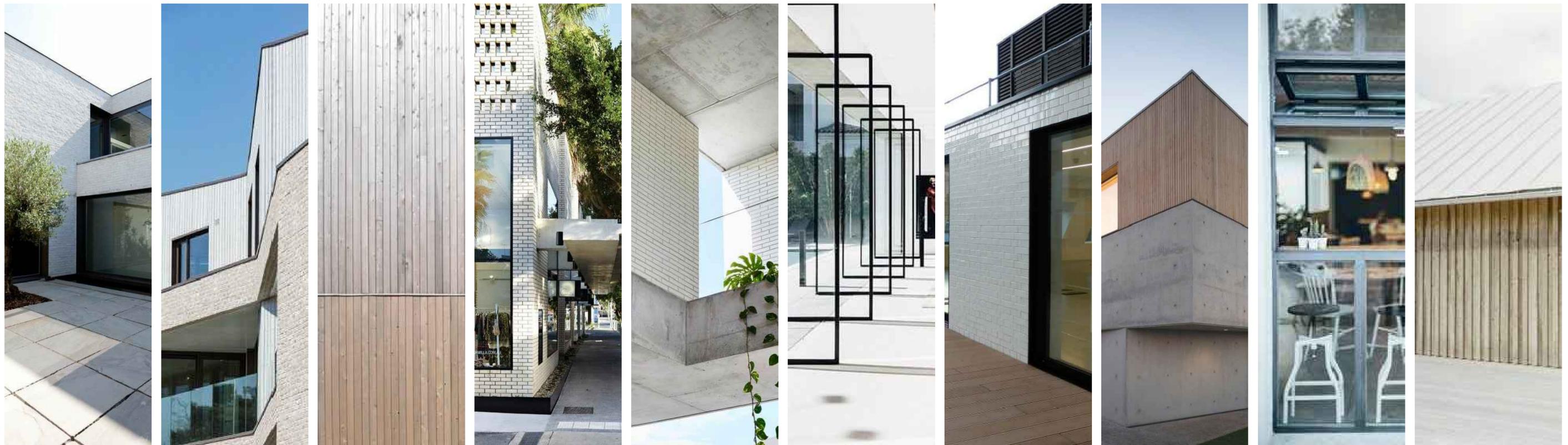
A302

08

ISSUE  
08  
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FRONT ELEVATION / ROBERTSON ROAD



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ISSUE	DATE	AMENDMENTS
04	20.07.02	REVISED ISSUE
03	20.06.19	REVISED ISSUE
02	20.05.01	REVISED ISSUE
01	19.10.15	DA ISSUE

CLIENT  
**DEVELOPMENT LINK**

PROJECT  
**MIXED USE DEVELOPMENT**  
351-353 BARRENJOEY ROAD, NEWPORT NSW 2106  
LOT 65 & 66 SEC 5 DP 6248

TITLE  
**MATERIAL AND FINISHES**

SCALE 1:100 @ A1  
APPROVED HH  
DRAWN PG  
CHECKED PG  
DATE JAN 2019  
STATUS DA

PROJECT NUMBER  
**18057**

DRAWING NUMBER  
**A320**

ISSUE  
**04**

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BEFORE



AFTER

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ISSUE	DATE	AMENDMENTS
03	20.06.19	REVISED ISSUED
02	20.05.04	REVISED DA ISSUE
01	19.10.15	DA ISSUE

CLIENT  
**DEVELOPMENT LINK**

PROJECT  
**MIXED USE DEVELOPMENT**

351-353 BARRENJOEY ROAD, NEWPORT NSW 2106  
 LOT 65 & 66 SEC 5 DP 6248

TITLE  
**BEFORE & AFTER  
 PHOTOMONTAGE**

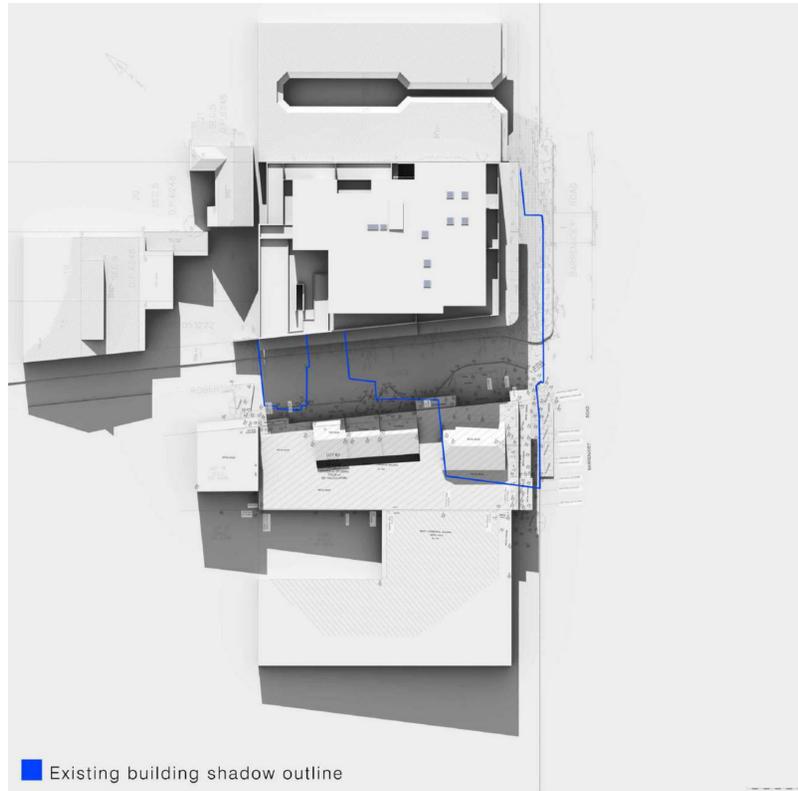
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 APPROVED HH  
 DRAWN PG  
 CHECKED PG  
 DATE JAN 2019  
 STATUS DA

PROJECT NUMBER  
**18057**

DRAWING NUMBER  
**A321**

ISSUE  
**03**





9:00am  
21th JUNE



10:00am  
21th JUNE



11:00am  
21th JUNE

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ISSUE	DATE	AMENDMENTS
03	20.06.19	REVISED ISSUED
02	20.05.04	REVISED DA ISSUE
01	19.10.15	DA ISSUE

CLIENT  
DEVELOPMENT LINK

PROJECT  
MIXED USE DEVELOPMENT  
351-353 BARRENJOEY ROAD, NEWPORT NSW 2106  
LOT 65 & 66 SEC 5 DP 6248

TITLE  
SHADOW DIAGRAMS  
SHEET 01

SCALE NTS  
APPROVED  
DRAWN PG  
CHECKED  
DATE JAN 2019  
STATUS DA

PROJECT NUMBER DRAWING NUMBER  
18057 A400

ISSUE  
03

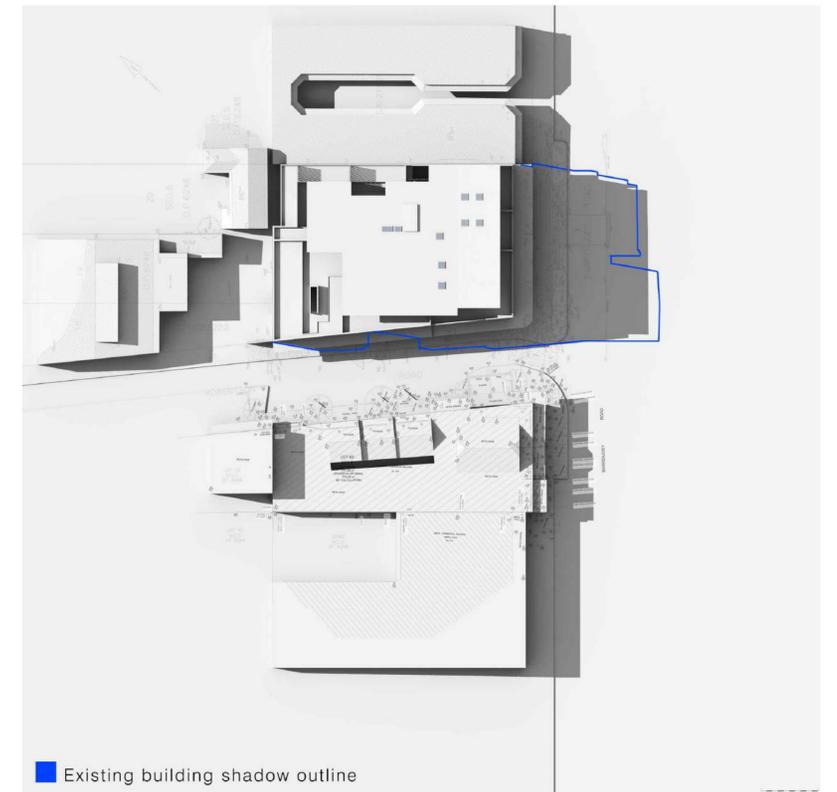




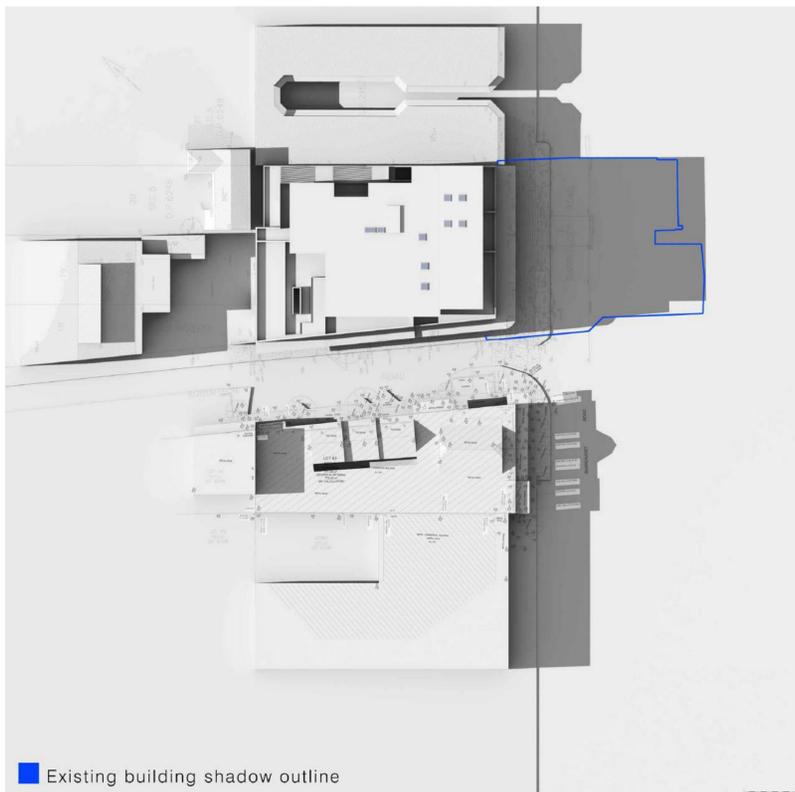
12:00pm  
21th JUNE



1:00pm  
21th JUNE



2:00pm  
21th JUNE



3:00pm  
21th JUNE

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03	20.06.19	REVISED ISSUED
02	20.05.04	REVISED DA ISSUE
01	19.10.15	DA ISSUE

CLIENT  
DEVELOPMENT LINK

PROJECT  
MIXED USE DEVELOPMENT

351-353 BARRENJOEY ROAD, NEWPORT NSW 2106  
LOT 65 & 66 SEC 5 DP 6248

TITLE  
SHADOW DIAGRAMS  
SHEET 02

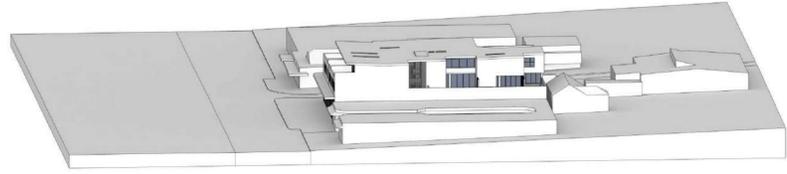
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DRAWN PG  
CHECKED  
DATE JAN 2019  
STATUS DA

PROJECT NUMBER  
18057

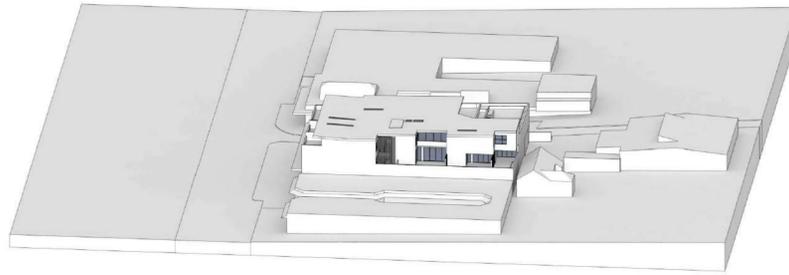
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A401

ISSUE  
03

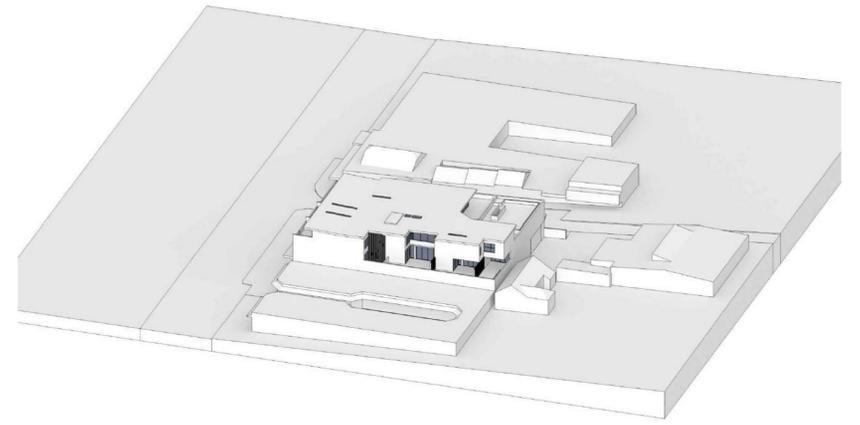




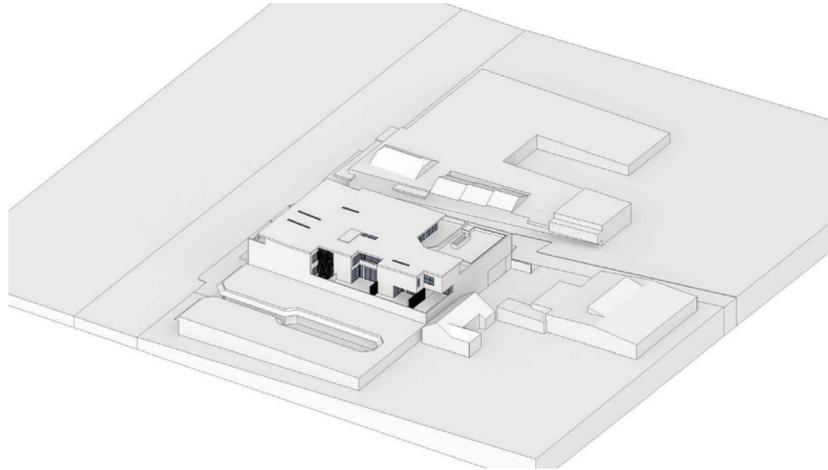
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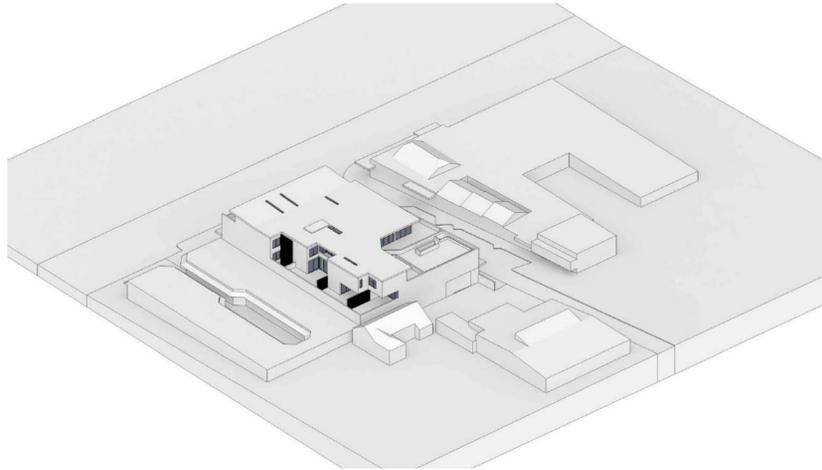
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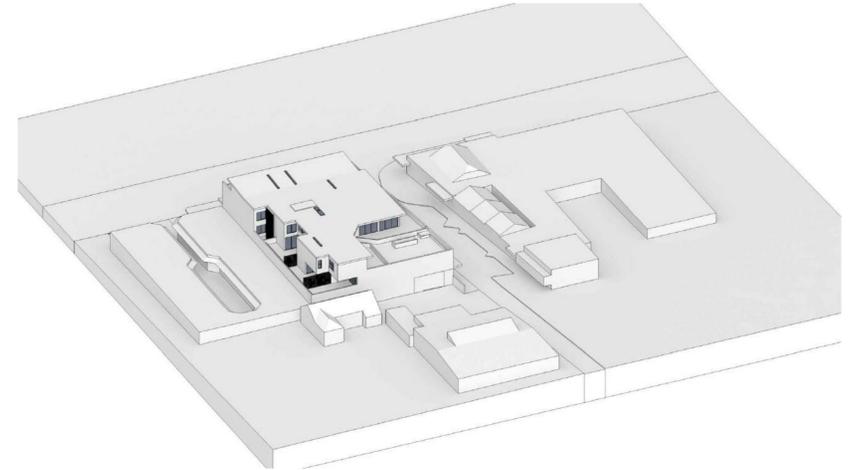
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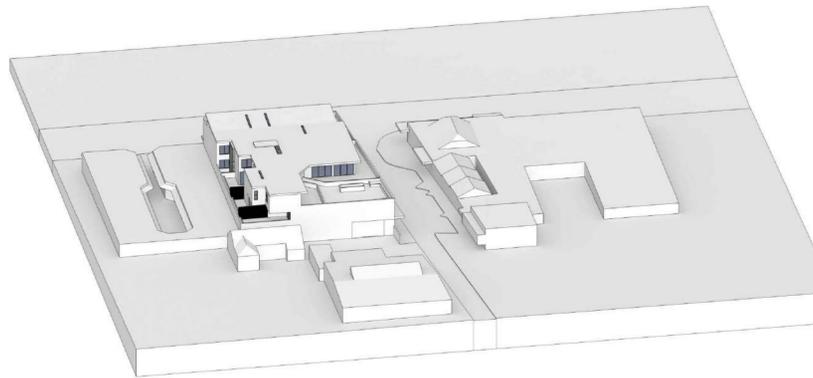
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12:00pm



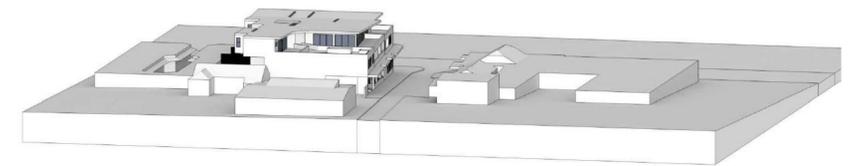
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2:00pm



3:00pm



4:00pm

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02	20.06.19	REVISED ISSUED
01	19.10.15	DA ISSUE
ISSUE	DATE	AMENDMENTS

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CLIENT  
DEVELOPMENT LINK

PROJECT  
MIXED USE DEVELOPMENT

TITLE  
SOLAR STUDIES

351-353 BARRENJOEY ROAD, NEWPORT NSW 2106  
LOT 65 & 66 SEC 5 DP 6248

SCALE  
NTS  
APPROVED  
DRAWN  
CHECKED  
DATE  
STATUS

PROJECT NUMBER  
18057

DRAWING NUMBER  
A405

ISSUE  
02



# MIXED USE DEVELOPMENT

351-353 Barrenjoey Road, Newport NSW 2106  
Development Application

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The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

## Drawing Schedule

Drawing Number	Drawing Title	Scale
000	Landscape Coversheet	N/A
101	Landscape Plan - Ground Floor & Level 1	1:100
102	Landscape Plan - Level 2	1:100
501	Landscape Details	AS SHOWN

## PLANT SCHEDULE

Botanic Name	Common Name	Mature Size	Pot Size	Density	Qty
<b>GROUND FLOOR</b>					
<b>STREET TREES</b>					
TL	Tristaniopsis 'Luscious'	Water Gum	9 x 7	75L	As Shown 3
<b>SHRUBS &amp; ACCENTS</b>					
Ae	Aspidistra elatior	Cast Iron Plant	.7 x .7	300mm	As Shown 6
PX	Philodendron 'Xanadu'	Xanadu Philodendron	1 x 1	300mm	As Shown 4
Ss	Spathiphyllum 'Sensation'	Peace Lily	1 x 1	300mm	As Shown 8
<b>GRASSES &amp; GROUND COVERS</b>					
DSF	Dichondra Silver Falls	Silver Falls	.1 x .7	300mm	4/lm 36
<b>LEVEL 1</b>					
<b>TREES</b>					
TL	Tristaniopsis 'Luscious'	Water Gum	9 x 7	75L	As Shown 3
<b>SHRUBS &amp; ACCENTS</b>					
AsM	Acmena smithii var. Minor	Dwarf Lilly Pilly	3 x 2	300mm	As Shown 41
Mc	Macrozamia communis	Cycad	2 x 2	300mm	As Shown 6
Wf	Westringia fruticosa 'Aussie Box'	Aussie Box	0.9 x 0.9	300mm	As shown 16
<b>GRASSES &amp; GROUND COVERS</b>					
TJ	Trachelospermum jasminoides	Star Jasmine	0.4 x 1.5	150mm	4/lm 135
<b>LEVEL 2</b>					
<b>TREES</b>					
TL	Tristaniopsis 'Luscious'	Water Gum	9 x 7	75L	As Shown 4
<b>SHRUBS &amp; ACCENTS</b>					
Aa	Agave attenuata	Agave	1 x 1	300mm	As Shown 5
Al	Alcantarea imperialis 'Rubra'	Imperial Bromeliad	1 x 1	300mm	As shown 11
AsM	Acmena smithii var. Minor	Dwarf Lilly Pilly	3 x 2	300mm	As Shown 53
Ri	Raphiolepis indica 'Oriental Pearl'	Indian Hawthorne	1 x 1	300mm	As shown 19
<b>GRASSES &amp; GROUND COVERS</b>					
Cg	Carpobrotus glaucascens	Pig Face	0.2 x 1	150mm	4/lm 122
LEG	Lirope muscari 'Evergreen Giant'	Lirope	0.6 x 0.5	150mm	5/m2 7
LT	Lomandra 'Tanika'	Spiny-head mat-rush	0.5 x 1	150mm	5/m2 10

Issue	Revision	Description	Drawn	Check	Date
C		STREET TREES ADDED	JM	NM	24.09.2019
B		FOR COMMENT	SM	NM	29.08.2019
A		FOR COMMENT	SM	NM	29.08.2019

## LEGEND



Client:

[DEVELOPMENT LINK](#)

Project:

Mixed Use Development  
351-353 Barrenjoey Road  
Newport NSW 2106

**S I T E I M A G E**  
Level 1, 3-5 Baptist Street  
Redfern NSW 2016  
Australia  
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Fax: (61 2) 9698 2877  
www.siteimage.com.au  
Site Image (NSW) Pty Ltd  
ABN 44 801 262 380  
Landscape Architects

**DEVELOPMENT APPLICATION**

Drawing Name:

Landscape Coversheet

Scale:

Job Number:

Drawing Number:

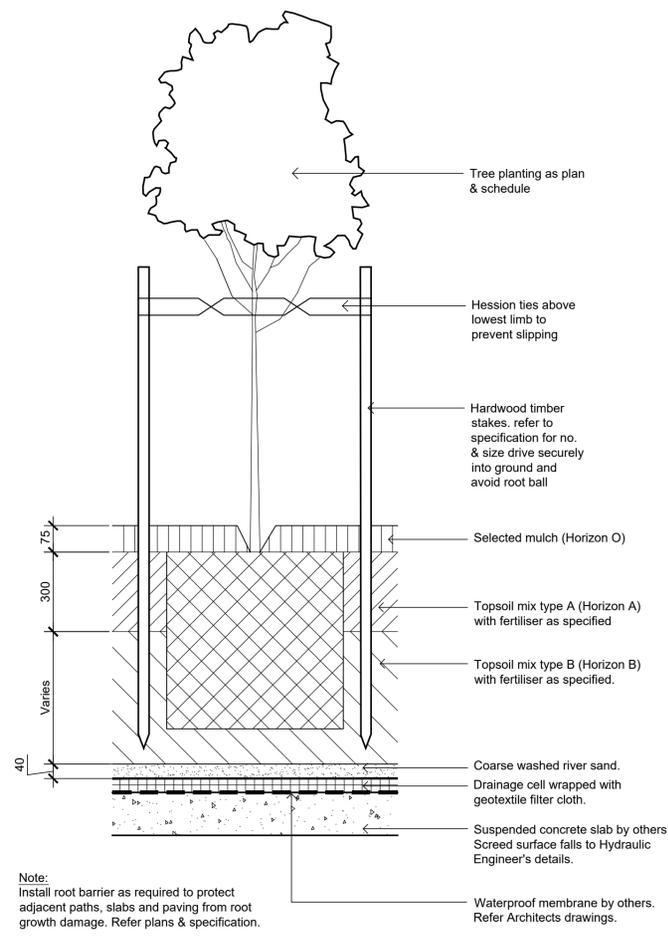
Issue:

SS19-4170

000 C

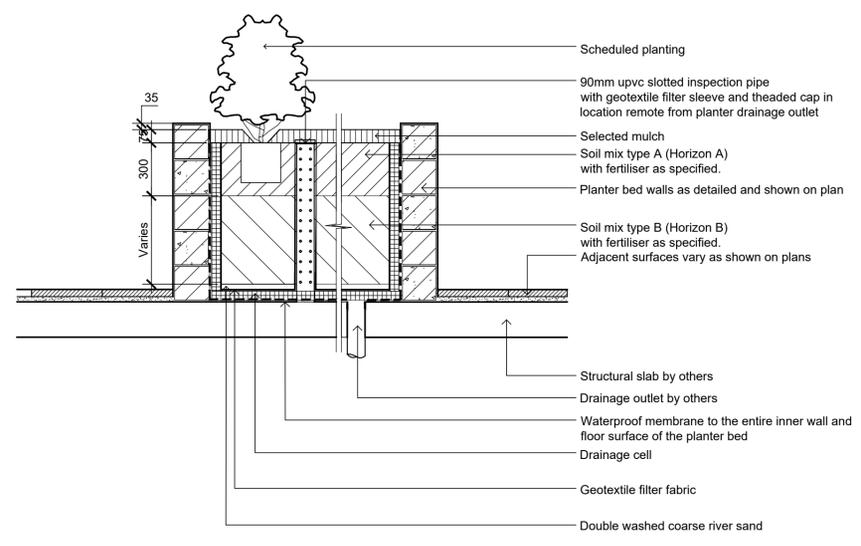
NOT FOR CONSTRUCTION

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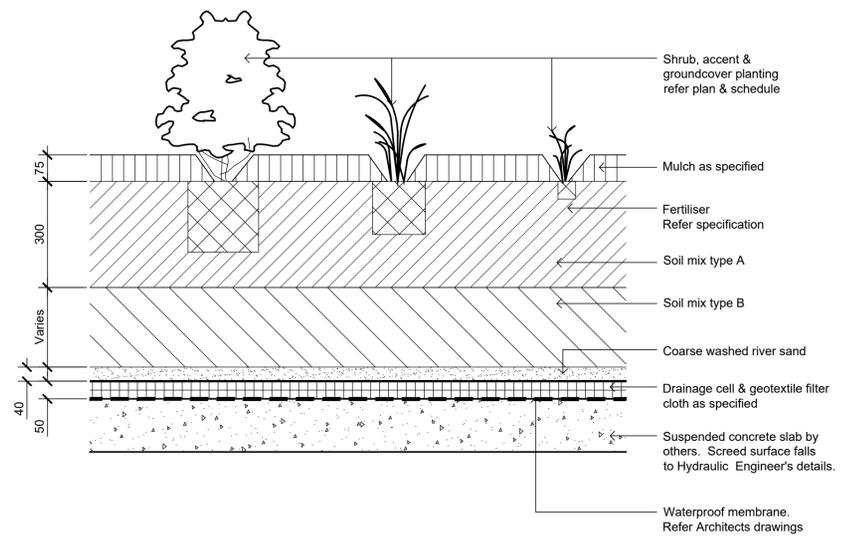


Note:  
Install root barrier as required to protect adjacent paths, slabs and paving from root growth damage. Refer plans & specification.

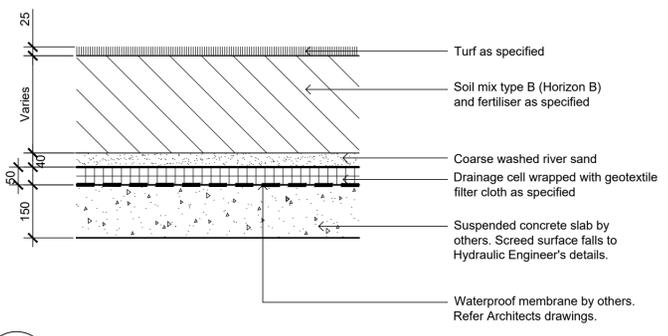
Detail 75-200L Tree Planting on Structure  
1:10



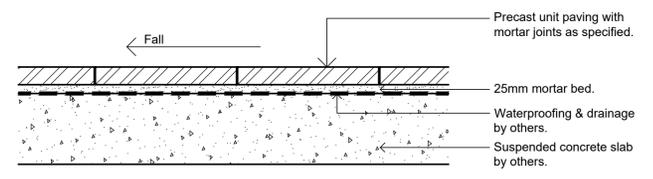
Section - Typical Raised Planter Bed on Structure  
1:20  
Inspection riser pipe



Detail Shrub Accent & Groundcover Planting on Structure  
1:10



Detail Turf on Suspended Structure  
1:10



PRECAST UNIT PAVERS ON SUSPENDED SLAB  
SCALE 1:10

Issue	Revision Description	Drawn	Check	Date
C	STREET TREES ADDED	JM	NM	24.09.2019
B	FOR COMMENT	SM	NM	29.08.2019
A	FOR COMMENT	SM	NM	29.08.2019

LEGEND



Client:  
**DEVELOPMENT LINK**

Project:  
**Mixed Use Development**  
351-353 Barrenjoey Road  
Newport NSW 2106

Level 1, 3-5 Baptist Street  
Redfern NSW 2016  
Australia  
Tel: (61 2) 8332 5600  
Fax: (61 2) 9698 2877  
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**DEVELOPMENT APPLICATION**

Drawing Name:  
**Landscape Details**

Scale: **AS SHOWN**  
Job Number: **SS19-4170**  
Drawing Number: **501**  
Issue: **C**

**NOT FOR CONSTRUCTION**