



**Urbanism**  
P l a n n i n g & D e v e l o p m e n t

# STATEMENT OF ENVIRONMENTAL EFFECTS

ALTERATIONS AND ADDITIONS TO A DWELLING HOUSE

67 BEATRICE STREET, BALGOWLAH HEIGHTS

**PREPARED FOR  
COMPLETE TRADE**

DECEMBER 2019

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This report remains a preliminary draft report unless signed above.

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## APPENDIX 1 – SITE PHOTOS

# 1 Introduction

Urbanism has been engaged by Complete Trade to prepare a Statement of Environmental Effects to support a development application for alterations and additions to an existing dwelling house at 67 Beatrice Street, Balgowlah Heights.

The aims of this report are to:

- Provide an assessment of the locality, subject site and applicable planning controls,
- Describe the proposed development, and
- Assess the impacts of the development against Section 4.15 of the *Environmental Planning and Assessment Act 1979*.

## 2 Site Assessment

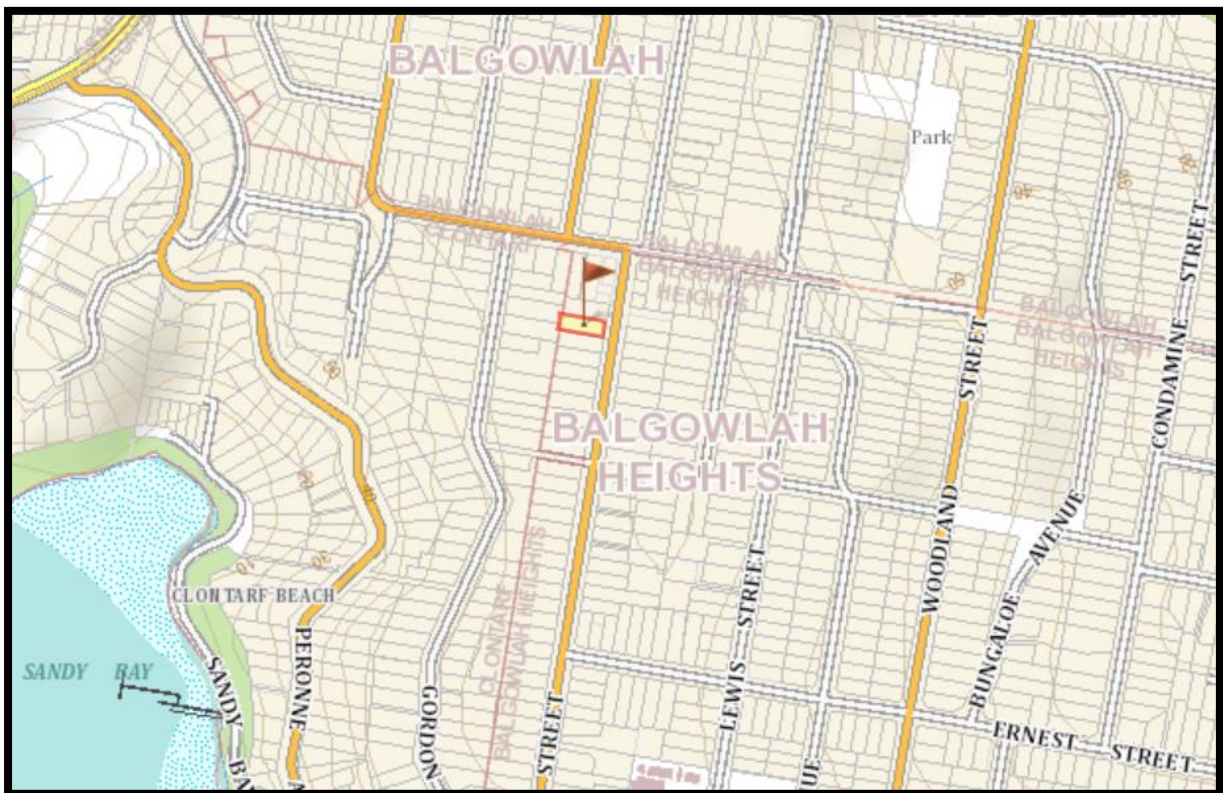
### 2.1 Locality Assessment

The subject site is located within the suburb of Balgowlah Heights which is approximately 8 kilometres north east of the Sydney CBD.

The site is located within an established residential area characterised by a range of housing styles with varying front setbacks and attractive streetscapes featuring generous street tree plantings.

The site is favourably located a short distance to Middle Harbour, Dobroyd Head and Balgowlah Town Centre.

The following figure shows the location of the subject site in relation to the surrounding locality.



Source: Six Maps (2019)

## 2.2 Site Description

The subject site, 67 Beatrice Street, Balgowlah Heights is legally known as Lot 113 DP 9999.

The subject site is a rectangular east to west oriented block approximately 696.7m<sup>2</sup> in area with a 15.24m wide frontage to Beatrice Street. The subject site slopes from front to rear with an approximate fall of 3.9m.

The subject site comprises of a two-storey brick house, containing private open space to the front, and private open space to the rear with an existing pool area.

The following figure illustrates the subject site and its setting within the immediate vicinity.



*Source: Six Maps (2019)*

### 2.2.1 Surrounding Development

#### **Streetscape character and visual setting:**

Development within the locality is similar to the development on the subject site in terms of block size, built form, materials and land use.

#### **Existing vegetation:**

The Beatrice Street streetscape features intermittent medium and mature sized street trees within the road reserve, with a medium sized tree positioned directly in front of the subject site. The majority of the blocks have mature sized trees both within the front and rear yards

of the blocks. The subject site features a large mature gum tree that will remain untouched as part of this application.

**Topography:**

The land in the immediate vicinity of the subject site is sloped from East to West. The street rises from South to North at each end of Beatrice street towards New Street W.

**Views:**

There are no significant views from the locality.

**Heritage:**

The subject site is not a Heritage item, nor is it located within a Heritage Conservation Area.

**Form of adjacent buildings:**

The surrounding locality is characterised by development similar to the proposed development on the subject site in terms of block size, built form, bulk, materials and land use. Buildings within the locality are predominantly two- storey in height.

**Surrounding noise sources:**

The locality is predominately residential in character, therefore no significant noise sources are located nearby,

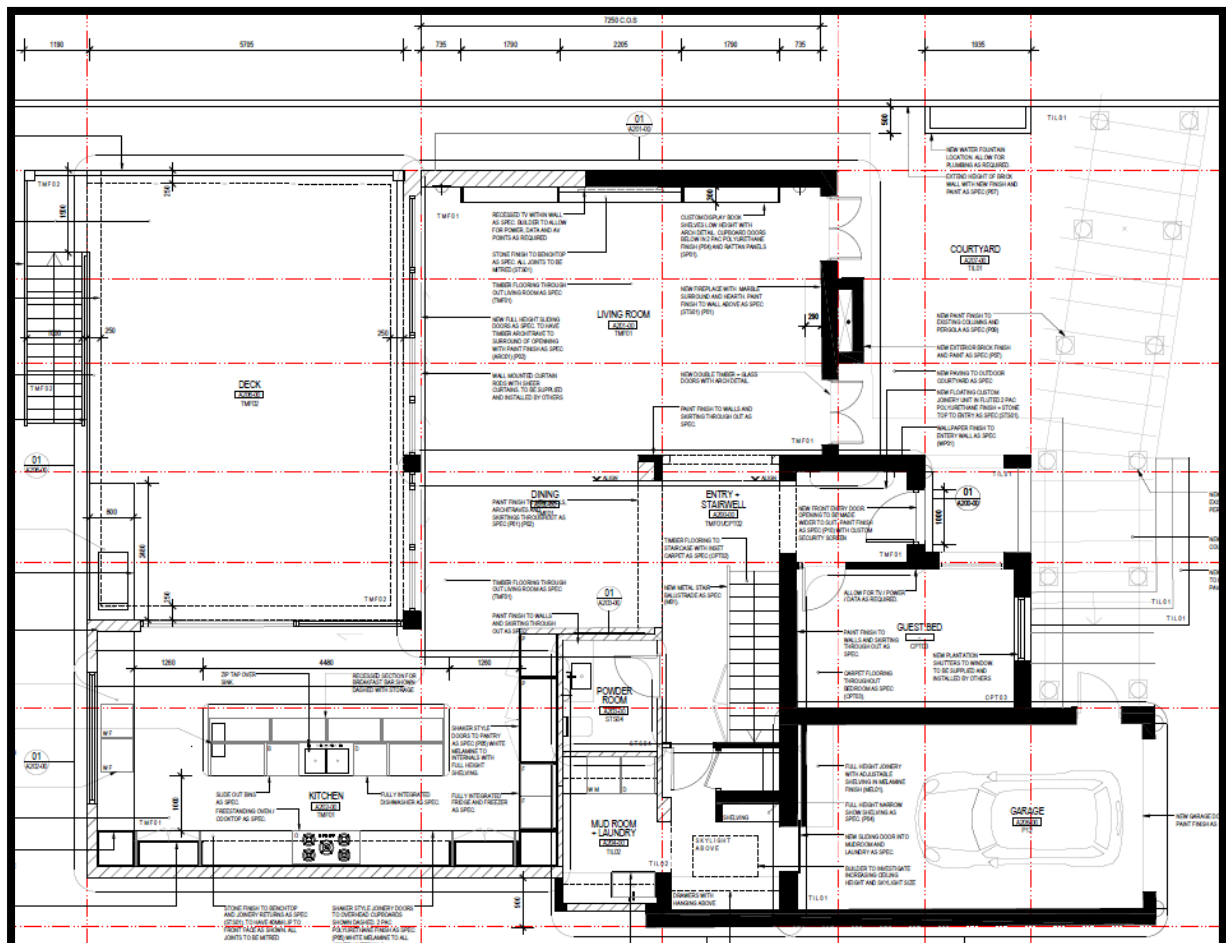


## Ground Floor

Partial demolition of existing structure including family room, dining, kitchen, deck, stairs and bathroom and extension to the existing ground floor to include a reconfigured floor plan including kitchen area, living room, new dining area and new bathroom, as well as the inclusion of a new rear deck.

The external deck area will remain unenclosed along the western side, with new glass doors allowing access to the deck from the new living and dining areas and will contain a new flat roof to cover the entirety of the deck area.

The Kitchen extension will act as screening along the southern edge of the deck, with no windows proposed along the southern boundary. Screening will be continued out from the existing building line along the northern edge of the deck, with a window included to allow for sunlight access into the deck area. The screening to both sides of the deck have been included to mitigate any potential detrimental noise impacts to the adjoining neighbours.

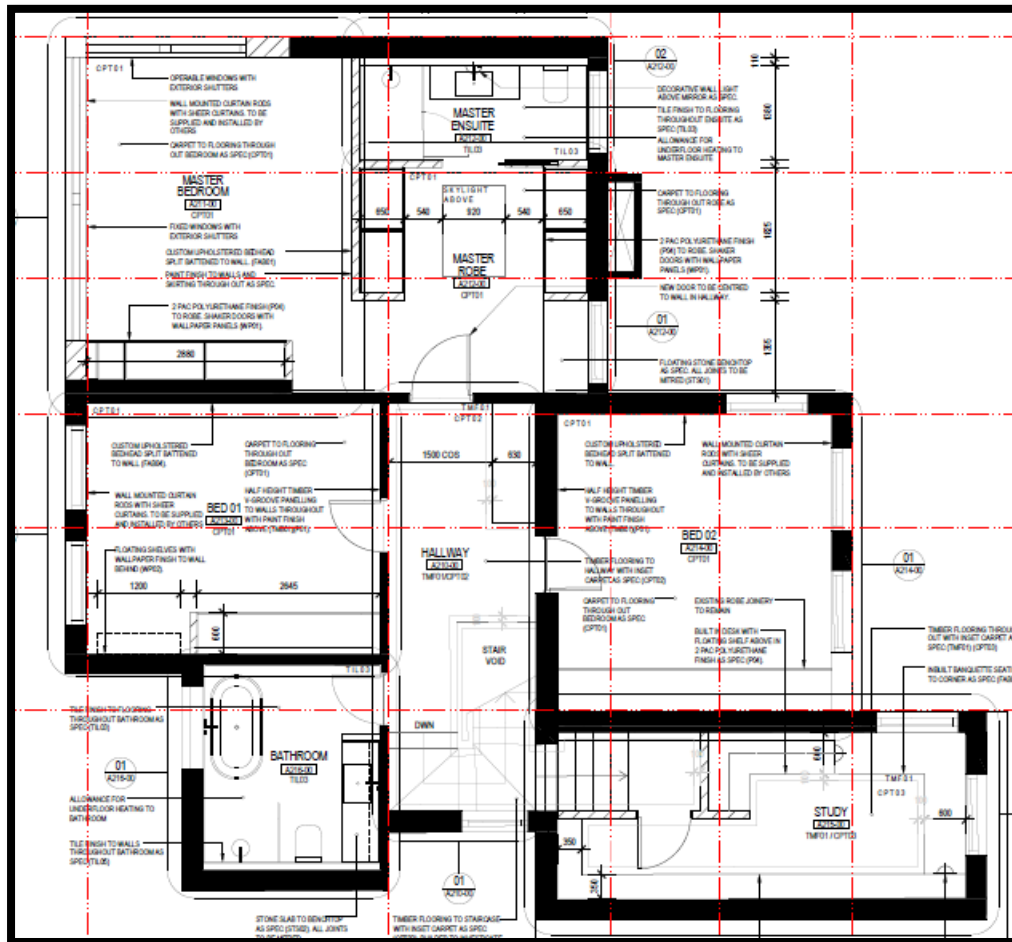


Source: MXM Studio

## First Floor

Alterations include partial demolition of master bedroom, wall in robe, stairs and bathroom.

Reconfigurations include relocating master bedroom to western elevation, and a new master robe and ensuite to the northern elevation.



Source: MXM Studio

## Elevations – Eastern (Front)



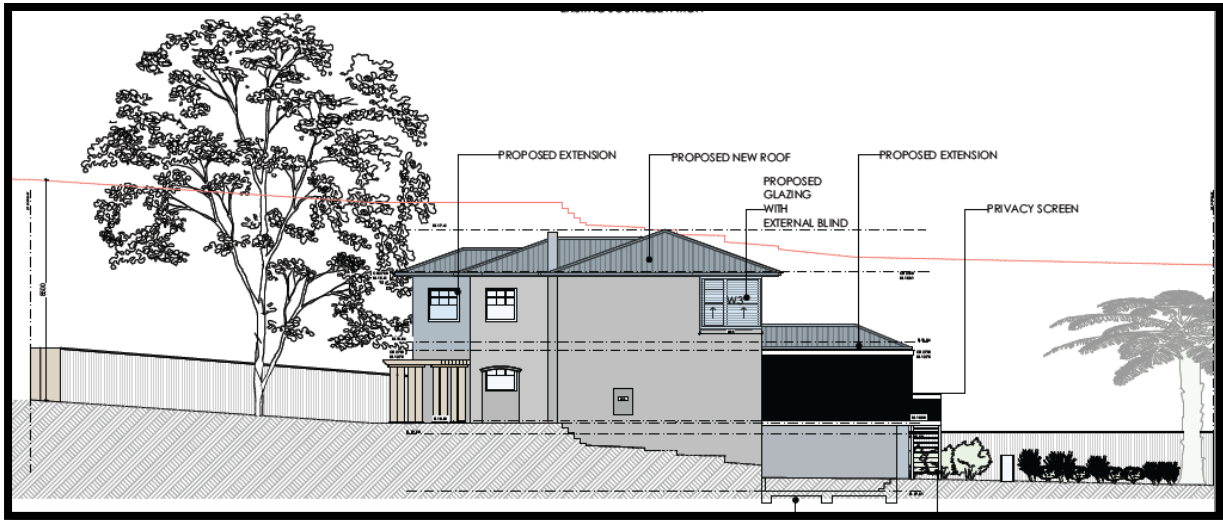
Source: MXM Studio

## Elevations – West (Rear)



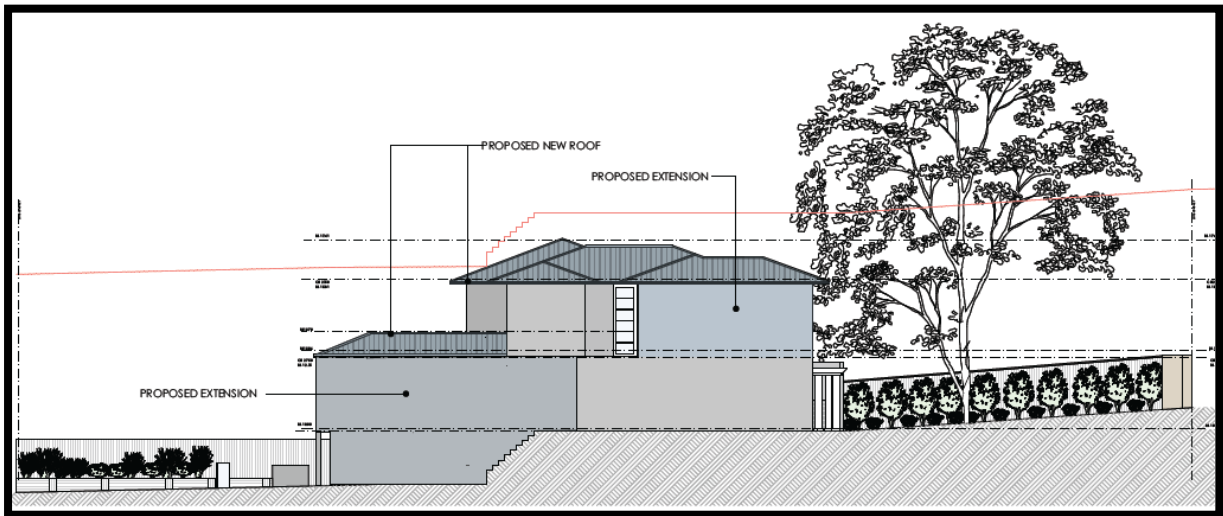
Source: MXM Studio

### Elevations – Southern (side)



Source: MXM Studio

### Elevations – Northern (side)



Source: MXM Studio

## 3.2 Development Statistics

The existing building has an approximate GFA of 176m<sup>2</sup> and the proposed development will result in a GFA of 252m<sup>2</sup> with an FSR of 0.36:1.

Item	Proposal
<b>Site Area</b>	696.7m <sup>2</sup>
<b>Gross Floor Area</b>	Existing: 176m <sup>2</sup> Proposed: 252m <sup>2</sup>
<b>Floor Space Ratio</b>	0.36:1
<b>Height of Building</b>	No change
<b>Site Coverage</b>	Existing = 187.7m <sup>2</sup> or 26.9% Proposed = 222.5m <sup>2</sup> or 31.9%
<b>Front Setback</b>	14.7m (no change)
<b>Rear Setback</b>	Existing = 17.4m Proposed = 11.6m
<b>Side Setback (Northern Boundary)</b>	1.4m (no change)
<b>Side Setback (Southern Boundary)</b>	900mm

## 4 Planning Controls

### 4.1 Manly Local Environmental Plan 2013

The subject site is zoned R2 Low Density Residential under Manly Local Environmental Plan 2012.

The objectives of the zone are as follows:

- To provide for the housing needs of the community within a low density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.

The following table reviews the proposal against relevant planning controls contained within the LEP:

Item	Requirement	Proposal	Compliance
<b>CI.2.2 Permissible land use</b>	Residential accommodation is permissible in the R2 Low Density Residential Zone	Alterations and additions to existing residential accommodation	✓
<b>CI.4.3 Height of buildings</b>	Maximum height of 8.5 metres	No change proposed	N/A
<b>CI.4.4 Floor space ratio</b>	Maximum 0.45:1	0.36:1, complies – refer to Section 5.1	✓
<b>CI.5.10 Heritage conservation</b>	Not heritage affected.	N/A	N/A
<b>CI.6.1 Acid Sulfate Soils</b>	Acid sulfate soils management plan and preliminary works required for certain activities	Class 5 soil. Works do not involve those described as a risk. Complies.	✓
<b>CI.6.2 Flood planning</b>	Not flood affected	NA	NA

## 4.2 Manly Development Control Plan 2013

The DCP was adopted by Council on 16 July 2012 and came into effect on 19 April 2013. This DCP applies all within the LGA where the Municipality of Northern Beaches is the consent authority.

The following table assesses the proposal against the relevant controls contained in the DCP:

Item	Requirement	Proposal	Compliance
<b>Part 3 General Principles of Development</b>			
<b>Streetscape (Residential Areas)</b>	Development should recognise predominant streetscape qualities, such as building form, scale, patterns, materials and colours and vegetation which contributes to the character of the local area	Complies, refer 5.4.2, 5.4.6 and accompanying architectural plans	✓
<b>Amenity (views, overshadowing, overlooking/privacy, noise)</b>	<p>To protect the amenity of existing and future residents and minimise the impact of new development, including alterations and additions, on privacy, views, solar access and general amenity of adjoining and nearby properties including noise and vibration impacts</p> <p>To maximise the provision of open space for recreational needs of the occupier and provide privacy and shade</p>	<p>Complies, refer 5.4.4 and accompanying architectural plans</p> <p>The proposed decking to the rear at ground floor level is concealed by the kitchen extension along the southern elevation and includes screening along the northern edge to mitigate visual and acoustic privacy.</p> <p>The rear setback from the proposed deck complies with the Rear Setback requirement of 8m, as per the MDCP, therefore is considered appropriate to not</p>	✓

Item	Requirement	Proposal	Compliance
		<p>require any screening/to be enclosed</p> <p>The proposal is in keeping with the residential nature of the area and does not require further acoustic mitigation measures.</p>	
<b>Waste Management</b>	<p>To facilitate sustainable waste management in a manner consistent with the principles of Ecologically Sustainable Development (ESD)</p> <p>Encourage environmentally protective waste management practices on construction and demolition sites</p> <p>Encourage the ongoing minimisation and management of waste handling in the future use of premises</p> <p>To ensure waste storage and collection facilities complement waste collection and management services, offered by Council and the private service providers and support on-going control for such standards and services</p> <p>To minimise risks to health and safety</p>	Complies, refer to 5.4.8	✓

Item	Requirement	Proposal	Compliance
	<p>associated with handling and disposal of waste and recycled material, and ensure optimum hygiene</p> <p>To minimise any adverse environmental impacts associated with the storage and collection of waste</p>		
<b>Part 4 Development Controls and Development Types</b>			
<b>Dwelling Density, Dwelling Size and Subdivision</b>	<p>To ensure that new building works achieve a high quality of design and are compatible with the character of Manly's residential areas.</p> <p>To maintain or enhance the quality and identity of development in the areas identified in Schedule 1 – Map A.</p>	Complies, refer 5.4.2, 5.4.6 and accompanying architectural plans	✓
<b>Height of Buildings</b>	8.5m	Complies, refer 5.4.2 and accompanying architectural plans	✓
<b>Floor Space Ratio (FSR)</b>	<p>To control the building bulk of single dwellings and additions.</p> <p>To prevent over development occurring in the Manly LGA.</p> <p>To provide for a site layout that gives usable open area and a building form that is compatible in size with the surrounding areas</p>	<p>The proposed FSR is 0.36:1.</p> <p>The proposed built area is 31.9%</p>	✓
<b>Setbacks (front, side and rear) and</b>	To maintain and enhance the existing streetscape	The setbacks are	✓

Item	Requirement	Proposal	Compliance
<b>Building Separation</b>	<p>including the desired spatial proportions of the street, the street edge and the landscape character of the street</p> <p>To ensure and enhance local amenity</p> <p>To promote flexibility in the siting of buildings</p> <p>To enhance and maintain natural features</p>	<p>unchanged to the front elevation, and the proposed rear extensions will maintain the existing building line, maintaining the existing side setbacks. The rear has a proposed setback of 11.6m.</p>	
<b>Open Space and Landscaping</b>	Various requirements	<p>Landscaping and open space is considered to be compliant with the Manly DCP.</p> <p>Open Space Area OS3 = 55% of total site Landscaped Open Space = 35% of total Open Space</p> <p>The development proposes a Total Open Space Area of And a landscaped area of 273m<sup>2</sup> or 43%</p>	✓
<b>Swimming Pools, Spas and Water Features</b>	<p>To be located and designed to maintain the privacy (visually and aurally) of neighbouring properties to minimise the impact of filter noise on neighbouring properties</p> <p>To be appropriately located so as not to adversely impact on the streetscape or the established character of</p>	<p>No change to the existing swimming pool</p>	✓

Item	Requirement	Proposal	Compliance
	the locality		
	To integrate landscaping		
	To become and emergency water resource in bush fire prone areas.		
<b>Part 5 Special Character Areas and Sites</b>			
<b>Foreshore Scenic Protection Area</b>	N/A	N/A	N/A
<b>Threatened Species and Critical Habitat</b>	Any development of land with known habitat for threatened species must consider the likely impacts of the development and whether further assessment needs to be undertaken by a Species Impact Statement	N/A	N/A
<b>Flood Prone Land</b>	Protection of: <ul style="list-style-type: none"> <li>- People</li> <li>- The natural environment; and</li> <li>- Private and public infrastructure</li> </ul>	Complies, refer to 5.7.3	✓
<b>Riparian Land and Watercourses</b>	To maintain, protect and improve the waterways and riparian land in Manly.	N/A	N/A

## **5 Section 4.15 Assessment**

### **5.1 Section 4.5(1)(a)(i) – Provisions of Any Environmental Planning Instrument**

The subject site falls under the jurisdiction of the Manly Local Environmental Plan 2013.

The subject site is zoned R2 Low Density Residential under MLEP 2013.

Under the LEP, alterations and additions to existing permissible developments are permissible with consent.

### **5.2 Section 4.15(1)(a)(ii) – Provisions of Any Draft Environmental Planning Instrument**

There are no draft EPIs which apply to the proposal development or subject site.

### **5.3 Section 4.15(1)(a)(iii) – Provisions of Any Development Control Plan**

As previously discussed in Section 4, Manly Development Control Plan 2013 applies to development proposed on the subject site.

The tables in Section 4 outline the relevant provisions and the specific development controls and provisions are discussed in greater detail in this Section.

The proposed alterations and additions are considered to satisfy all relevant development controls.

### **5.4 Section 4.15(1)(b) – Likely Impacts of That Development – Built Environment**

#### **5.4.1 Site Analysis, Site Design and Streetscape**

The proposed development is a modest addition to the existing dwelling. The resulting development is consistent if not superior in finishes with similar developments within the vicinity.

#### **5.4.2 Height, Bulk and Scale**

The proposed alterations and additions do not result in an increase of height of the residential dwelling.

#### **5.4.3 Access, Servicing, Parking and Traffic**

No vehicle access is altered or proposed as part of this application.

#### **5.4.4 Sunlight and Shadow**

The proposed development will not cause unreasonable overshadowing or loss of sunlight adjoining open space areas and surrounding development.

Shadow diagrams are submitted under separate cover.

#### **5.4.5 Views**

The proposed development will not detract from any significant views. There are no significant view lines from the vicinity of the subject site, nor will the proposed additions impede the view lines of any of the adjoining properties.

#### **5.4.6 Heritage**

The subject site is not a Heritage item, nor is it located in a Heritage Conservation Area.

#### **5.4.7 BCA and Australian Standards**

The proposed development will be constructed to all relevant Building Codes and Australia Standards. These can be ensured through a condition of consent.

#### **5.4.8 Waste Management**

The proposed development will minimise waste where possible and all waste will be sent to a licenced waste transfer facility.

### **5.5 Section 4.15(1)(b) – Likely Impacts of That Development – Natural Environment**

#### **5.5.1 Landform, Cut and Fill**

There will be no cut and fill required as part of this proposal due to the existing slope of the land and previous excavation.

### **5.5.2 Tree Removal and Retention**

There are no trees to be removed as part of this application. There are no trees that require protection as part of the proposed works.

### **5.5.3 Stormwater Drainage**

There will be no impact on stormwater drainage. The ground floor addition will be connected to the approved stormwater drainage system.

### **5.5.4 Soils, Erosion and Sedimentation**

There will be no soil or erosion and sediment impact as a result of the proposal.

### **5.5.5 Endangered Flora and Fauna**

No endangered flora or fauna are impacted by the proposal.

## **5.6 Section 4.15(1)(b) – Likely Impacts of That Development – Social and Economic**

### **5.6.1 Safety and Social Impact**

The proposed development will not cause any impact on safety and social issues. All works are to the rear of the site, and are considered to be minimal in nature.

## **5.7 Section 4.15(1)(b) – Likely Impacts of That Development – Hazards**

### **5.7.1 Soil Instability, Subsidence, Slip, Mass Movement**

The subject site is not known to contain and subsidence or land slip issues.

### **5.7.2 Acid Sulfate Soils**

The proposed development is not expected to disturb acid sulfate soils.

### **5.7.3 Flooding, Tidal Inundation**

The subject site is not located within a flood prone area and will not adversely impact on natural overland flood paths.

#### **5.7.4 Bushfire**

The subject site is not located in a Bushfire Prone Area therefore it will not increase the risk of bushfire or create a fire hazard to nearby developments.

#### **5.7.5 Contamination**

The land is not considered be at risk of being contaminated given its long term use as a residential dwelling.

### **5.8 Section 4.15(1)(d) – Submissions Made in Accordance with the Act or Regs**

Not relevant at the SEE preparation stage.

### **5.9 Section 4.15(1)(e) – The Public Interest**

The proposed development is not considered to be contrary to the public interest.

## 6 Summary

The subject site is zoned R2 Low Density Residential and alterations and additions to existing dwellings are permissible within this zone with consent.

The proposal is permissible with development consent and performs favourably in relation to the relevant aims, objectives and development standards of the relevant environmental planning instruments and associated development control plan.

The proposed alterations and additional are permissible with consent and are generally compliant with the relevant council planning controls and policies and should be supported.

# APPENDIX 1



PICTURE 1: A VIEW OF THE FRONT OF THE PROPERTY FROM BEATRICE STREET



PICTURE 2: A VIEW OF STREETScape LOOKING SOUTH ALONG BEATRICE STREET



**PICTURE 3: A VIEW OF STREETScape LOOKING NORTH ALONG BEATRICE STREET**