

3363

QUEENSCLIFF SECTION 4.55

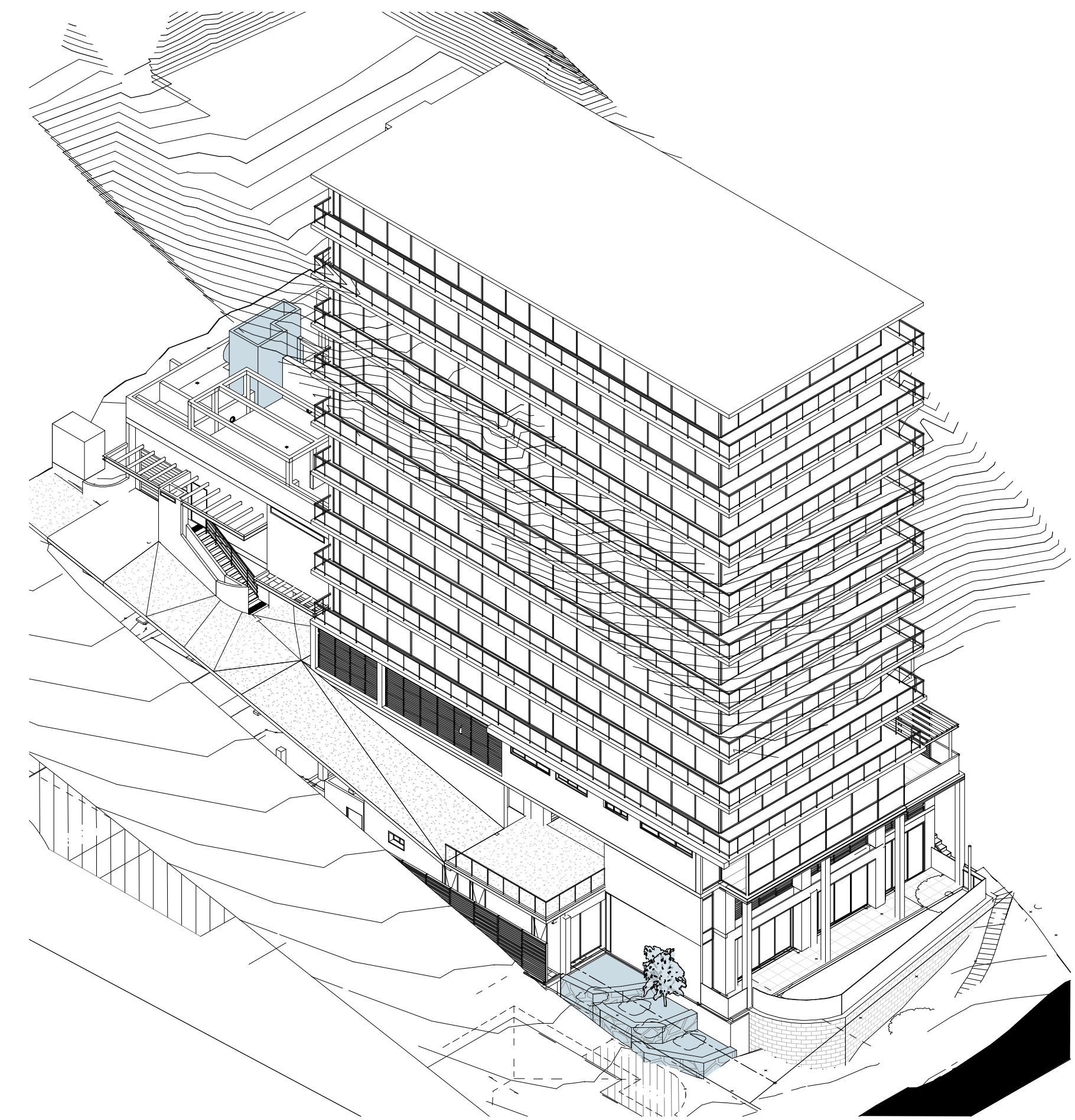
48a QUEENSCLIFF RD, QUEENSCLIFF NSW 2096

THE OWNERS CORPORATION OF STRATA PLAN OF 4129



SITE LOCATION (NOT TO SCALE)
48a QUEENSCLIFF RD, QUEENSCLIFF

DRAWING LIST - SECTION 4.55			
SHEET NO.	SHEET NAME	REV	DATE
DA-000	COVER PAGE	B	28.10.2020
DA-002	SITE PLAN	B	28.10.2020
DA-003	GENERAL ARRANGEMENT PLAN - UNDERCROFT LEVEL	C	28.10.2020
DA-004	GENERAL ARRANGEMENT PLAN - LOWER LEVEL	B	28.10.2020
DA-005	GENERAL ARRANGEMENT PLAN - GROUND FLOOR	B	28.10.2020
DA-006	GENERAL ARRANGEMENT PLAN - FIRST FLOOR	B	28.10.2020
DA-007	GENERAL ARRANGEMENT PLAN - SECOND FLOOR	B	28.10.2020
DA-009	EAST ELEVATION	B	28.10.2020
DA-008	NORTH & SOUTH ELEVATIONS	B	28.10.2020
DA-010	WEST ELEVATION	B	28.10.2020



1 3D AXO

Revision	Description	Date
A	FOR CLIENT REVIEW	08.10.2020
B	SALES ISSUE	28.10.2020

DA ISSUE

- NOTES : DEVELOPMENT APPLICATION
1. DESIGN RESOLUTION
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Project
QUEENSCLIFF SECTION 4.55
48a QUEENSCLIFF RD, QUEENSCLIFF
NSW 2096

Sheet Title

SECTION 4.55
COVER PAGE

NORTH

SCALE @ A1

1:100

Drawn
CL

Checked
CS

Scale
@ A1

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Project No. 3363	Sheet No. DA-000	Revision B
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Revision	Description	Date
A	FOR CLIENT REVIEW	06.10.2020
B	S4.55 ISSUE	28.10.2020

DA ISSUE

NOTES : DEVELOPMENT APPLICATION

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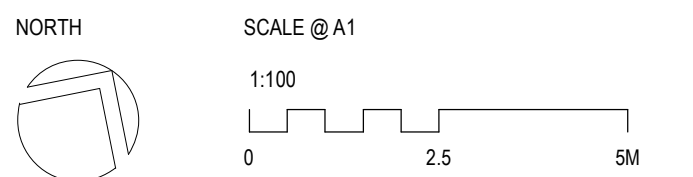


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NSW 2096

Sheet Title

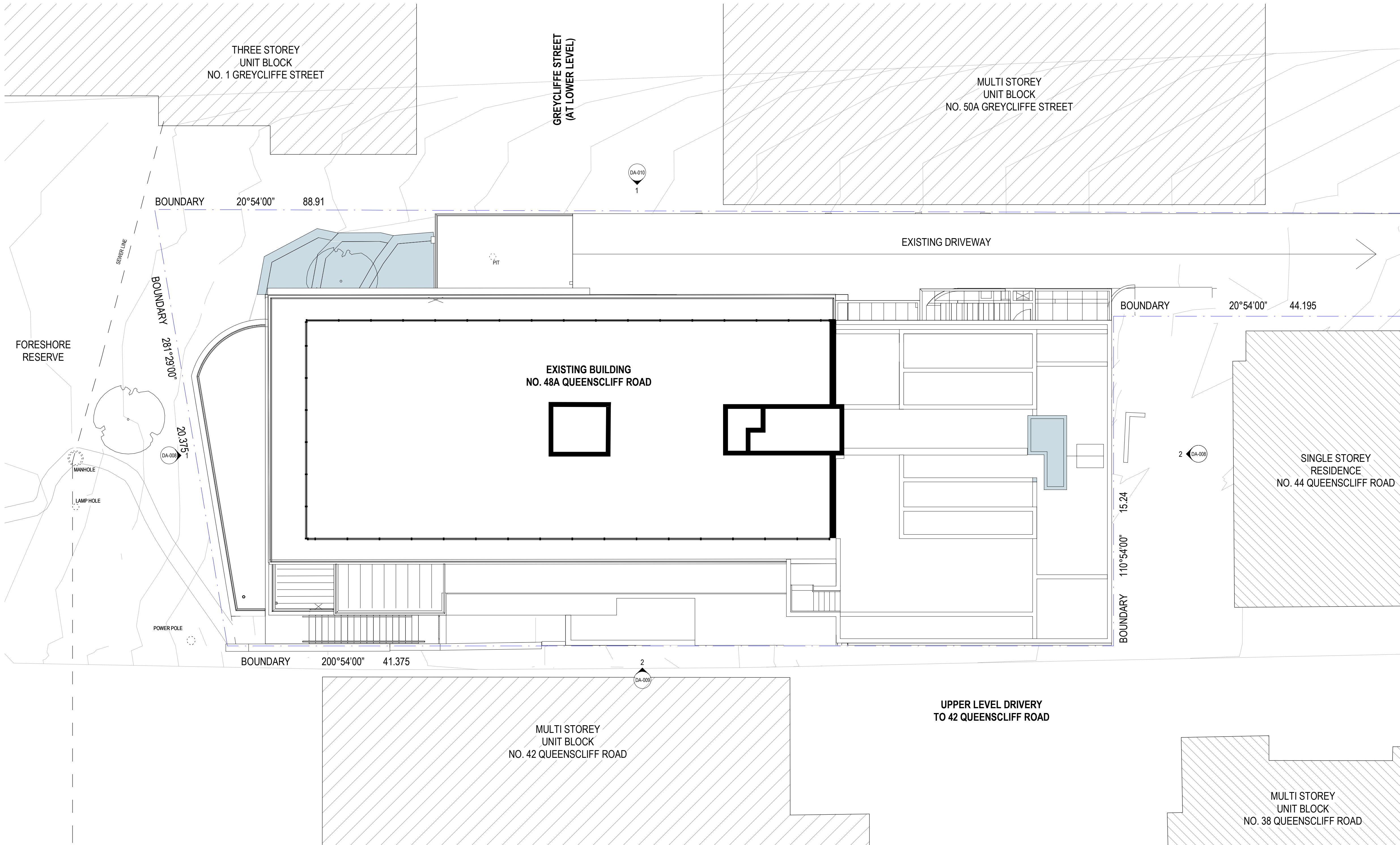
SECTION 4.55
SITE PLAN



Drawn CL	Checked CS	Scale As indicated @ A1
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Project No.
3363
Sheet No.
DA-002
Revision
B



1 SITE PLAN - S4.55
A3.02 1 : 100

LEGEND

--- --	BOUNDARY
	PROPOSED MODIFICATION ALTERATION AND/OR ADDITION
	NOT PART OF S4.55

Revision	Description	Date
A	FOR INFORMATION	14.09.2020
B	FOR CLIENT REVIEW	09.10.2020
C	S4.55 ISSUE	28.10.2020

DA ISSUE

NOTES : DEVELOPMENT APPLICATION

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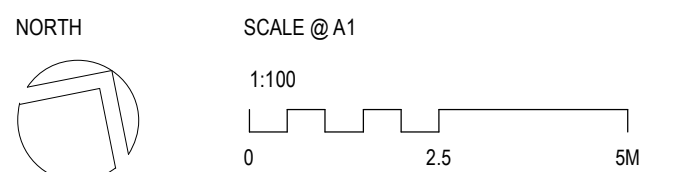
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NSW 2096

Sheet Title

SECTION 4.55
GENERAL ARRANGEMENT PLAN -
UNDERCROFT LEVEL



Drawn CL	Checked CS	Scale As indicated @ A1
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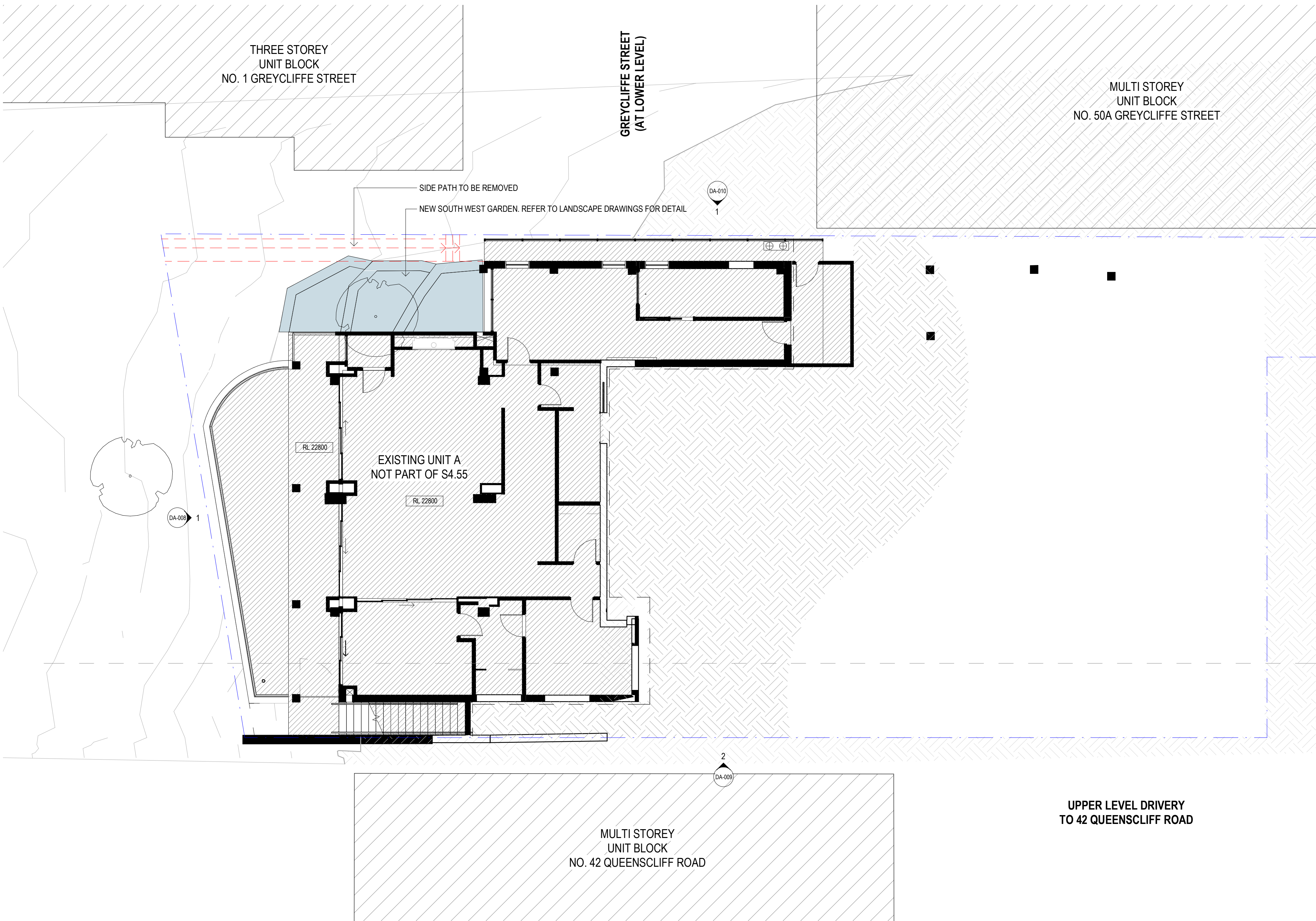
Project No.
3363

Sheet No.
DA-003

Revision
C

LEGEND

	BOUNDARY
	PROPOSED MODIFICATION ALTERATION AND/OR ADDITION
	NOT PART OF S4.55



1
A0.35
GENERAL ARRANGEMENT - UNDERCROFT LEVEL
1 : 100

Revision	Description	Date
A	FOR CLIENT REVIEW	08.10.2020
B	S4.55 ISSUE	28.10.2020

DA ISSUE

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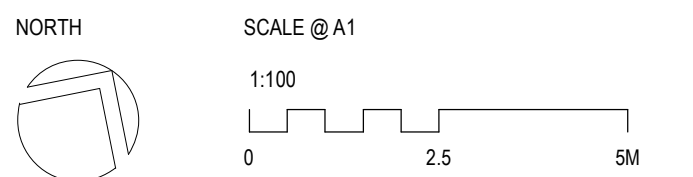


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QUEENSLIFF SECTION 4.55
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NSW 2096

Sheet Title

SECTION 4.55
GENERAL ARRANGEMENT PLAN -
LOWER LEVEL



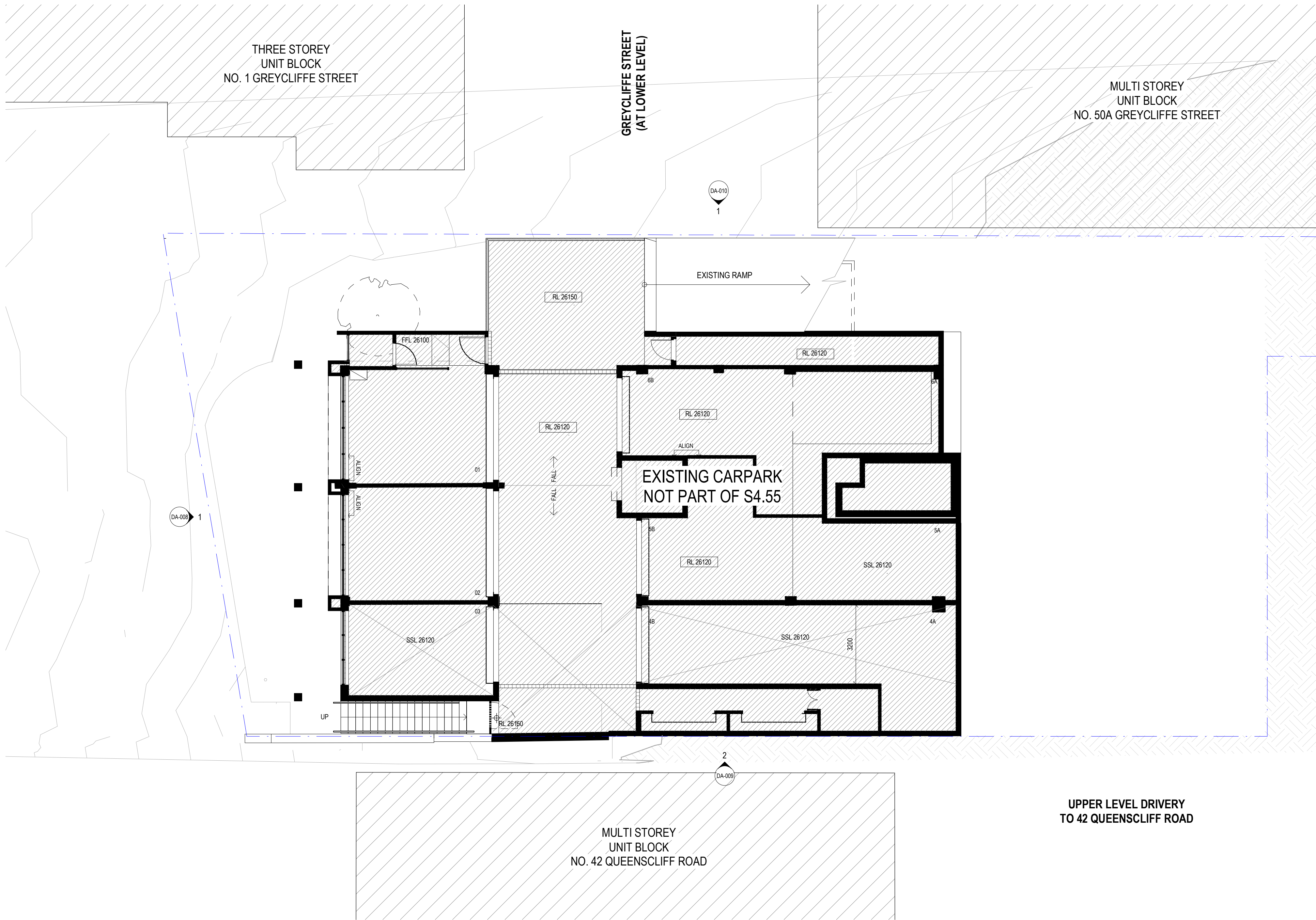
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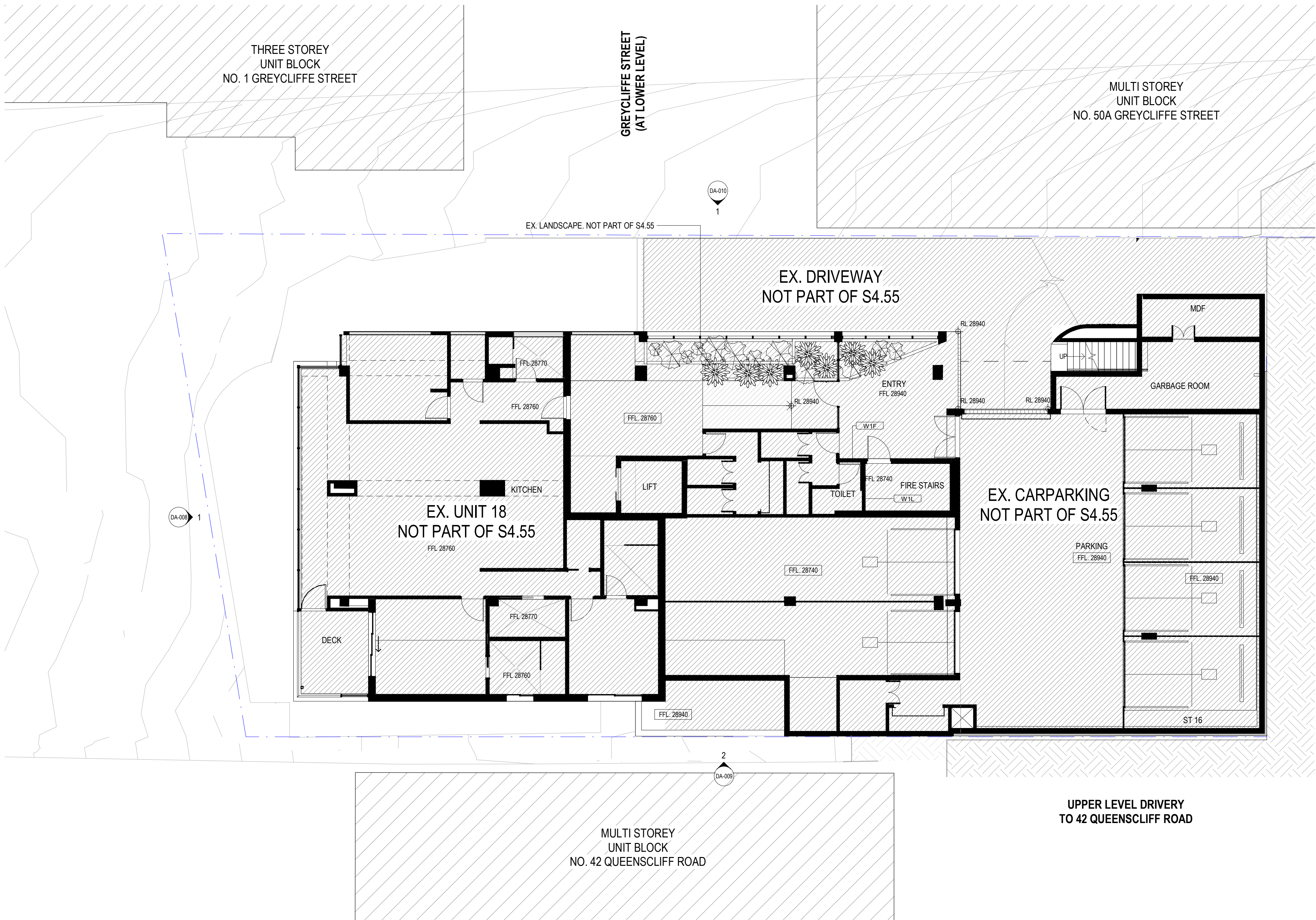
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Project No.
3363
Sheet No.
DA-004
Revision
B

LEGEND

	BOUNDARY
	PROPOSED MODIFICATION ALTERATION AND/OR ADDITION
	NOT PART OF S4.55





1 GENERAL ARRANGEMENT - GROUND LEVEL
A3.00 1 : 100

LEGEND

	BOUNDARY
	PROPOSED MODIFICATION ALTERATION AND/OR ADDITION
	NOT PART OF S4.55

Revision	Description	Date
A	FOR CLIENT REVIEW	08.10.2020
B	S4.55 ISSUE	28.10.2020

DA ISSUE

NOTES : DEVELOPMENT APPLICATION

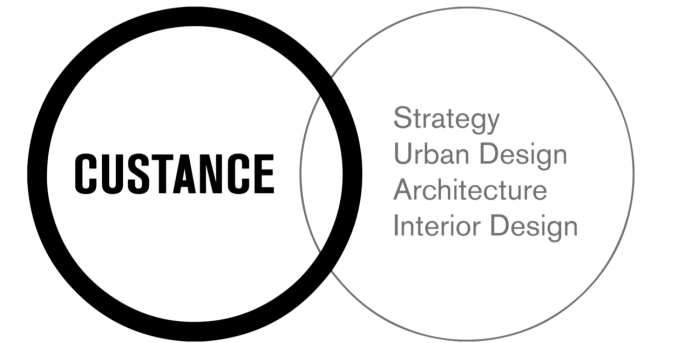
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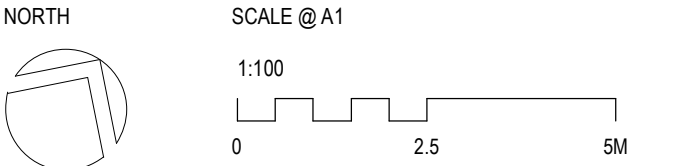
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Project
QUEENSLIFF SECTION 4.55
48a QUEENSLIFF RD, QUEENSLIFF
NSW 2096

Sheet Title

SECTION 4.55
GENERAL ARRANGEMENT PLAN -
GROUND FLOOR



Drawn CL	Checked CS	Scale As indicated @ A1
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Project No.
3363

Sheet No.
DA-005

Revision
B

Revision	Description	Date
A	FOR CLIENT REVIEW	06.10.2020
B	S4.55 ISSUE	28.10.2020

DA ISSUE

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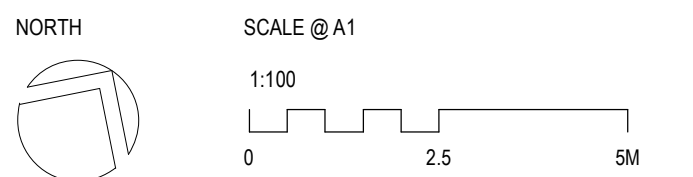


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48a QUEENSLIFF RD, QUEENSLIFF
NSW 2096

Sheet Title

SECTION 4.55
GENERAL ARRANGEMENT PLAN -
FIRST FLOOR



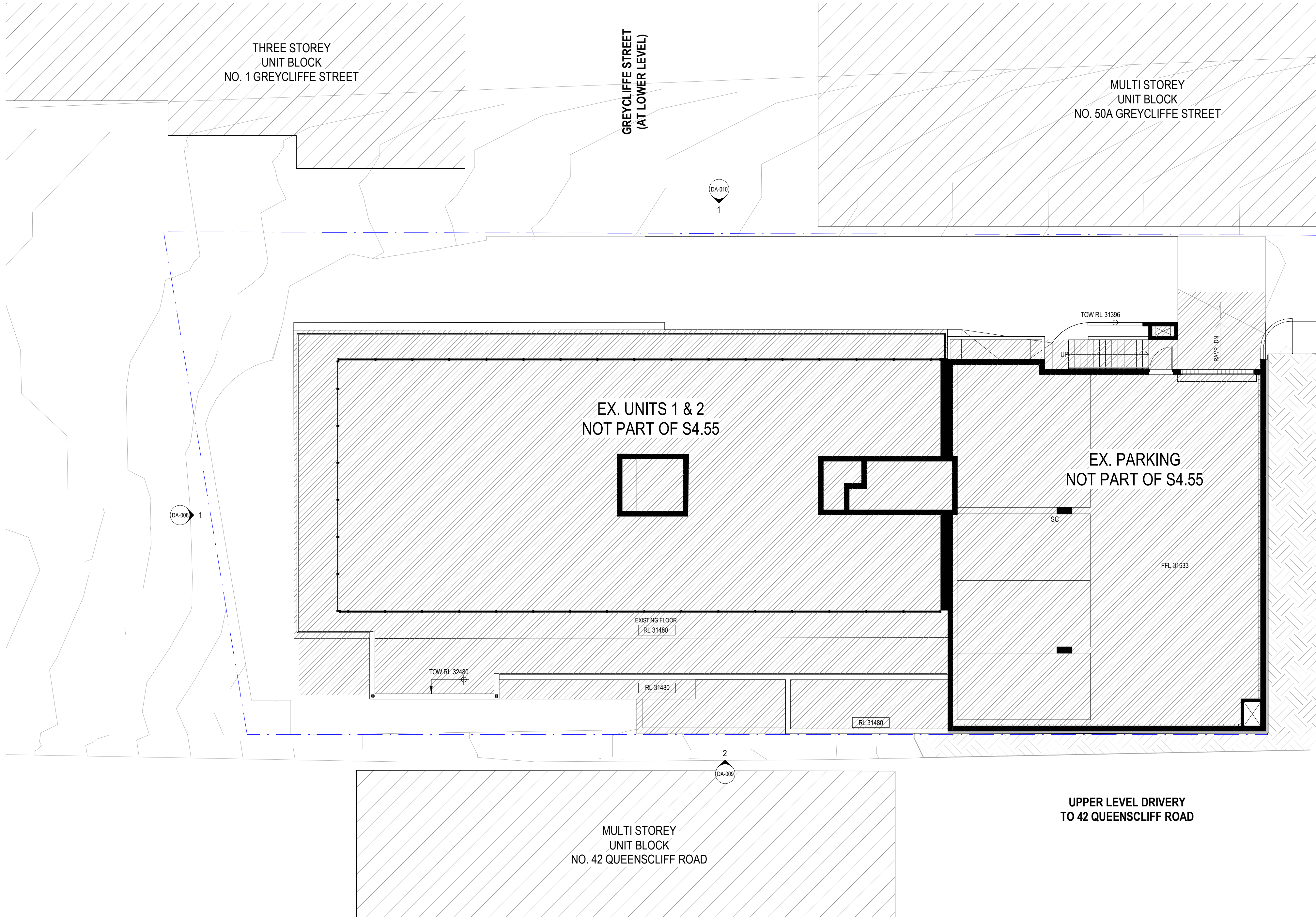
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Project No. 3363	Sheet No. DA-006	Revision B
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LEGEND

	BOUNDARY
	PROPOSED MODIFICATION ALTERATION AND/OR ADDITION
	NOT PART OF S4.55



1
A3.00
GENERAL ARRANGEMENT - FIRST FLOOR
1 : 100

Revision	Description	Date
A	FOR CLIENT REVIEW	06.10.2020
B	S4.55 ISSUE	28.10.2020

DA ISSUE

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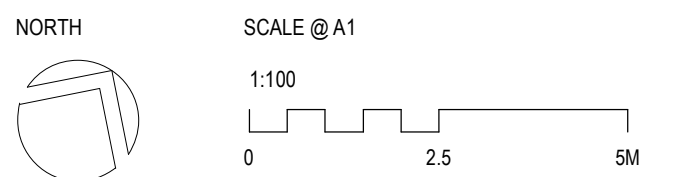
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Sheet Title

SECTION 4.55
GENERAL ARRANGEMENT PLAN -
SECOND FLOOR



Drawn CL	Checked CS	Scale As indicated @ A1
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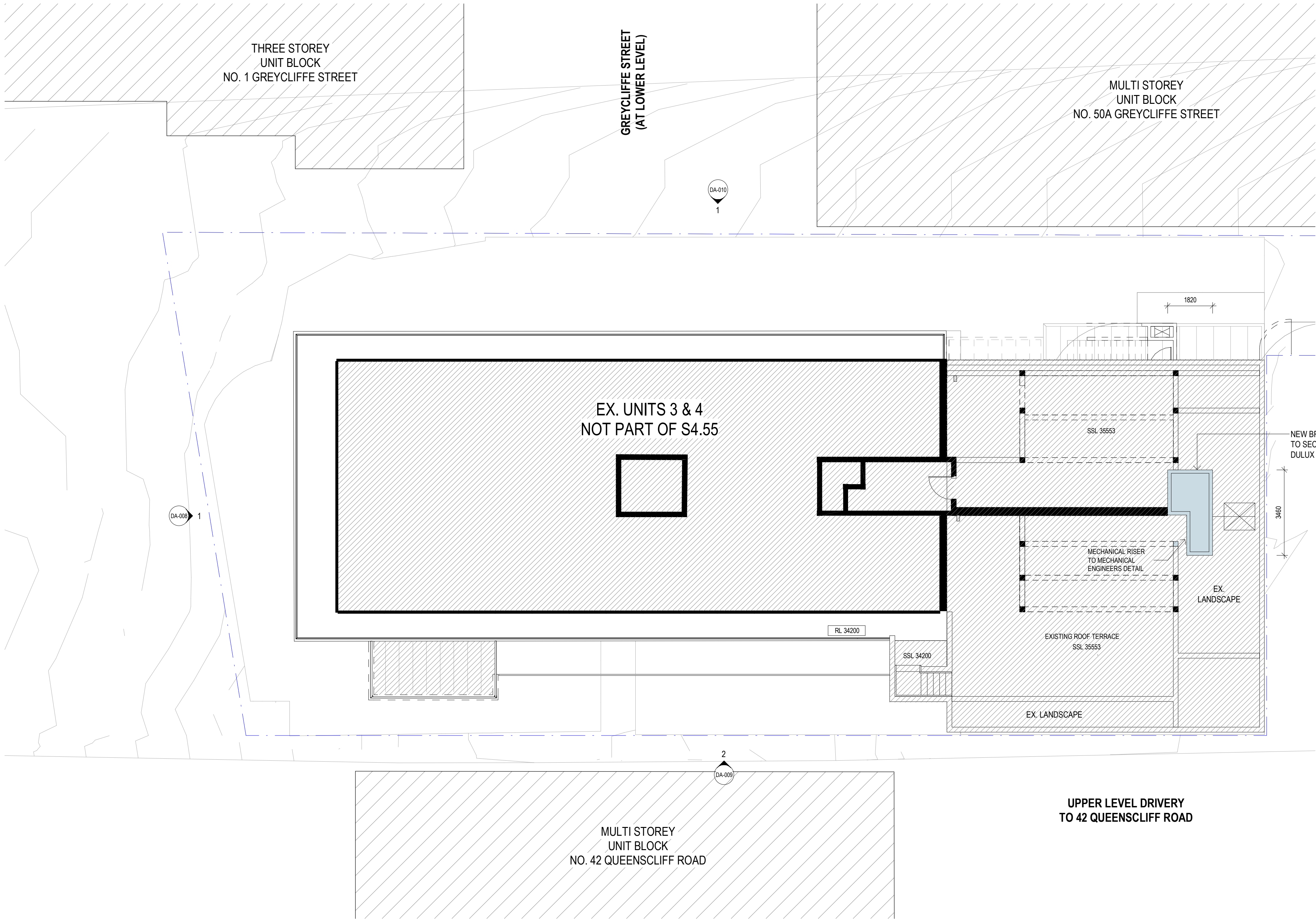
Project No.
3363

Sheet No.
DA-007

Revision
B

LEGEND

	BOUNDARY
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	NOT PART OF S4.55



1
A3.00
GENERAL ARRANGEMENT - SECOND FLOOR
1 : 100

Revision	Description	Date
A	FOR CLIENT REVIEW	06.10.2020
B	S4.55 ISSUE	28.10.2020

DA ISSUE

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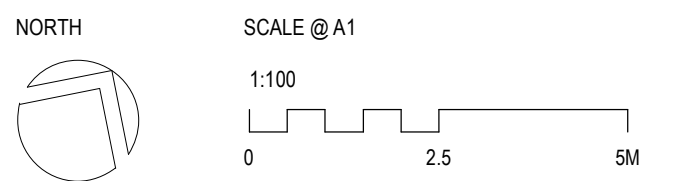
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Sheet Title

SECTION 4.55
NORTH & SOUTH ELEVATIONS



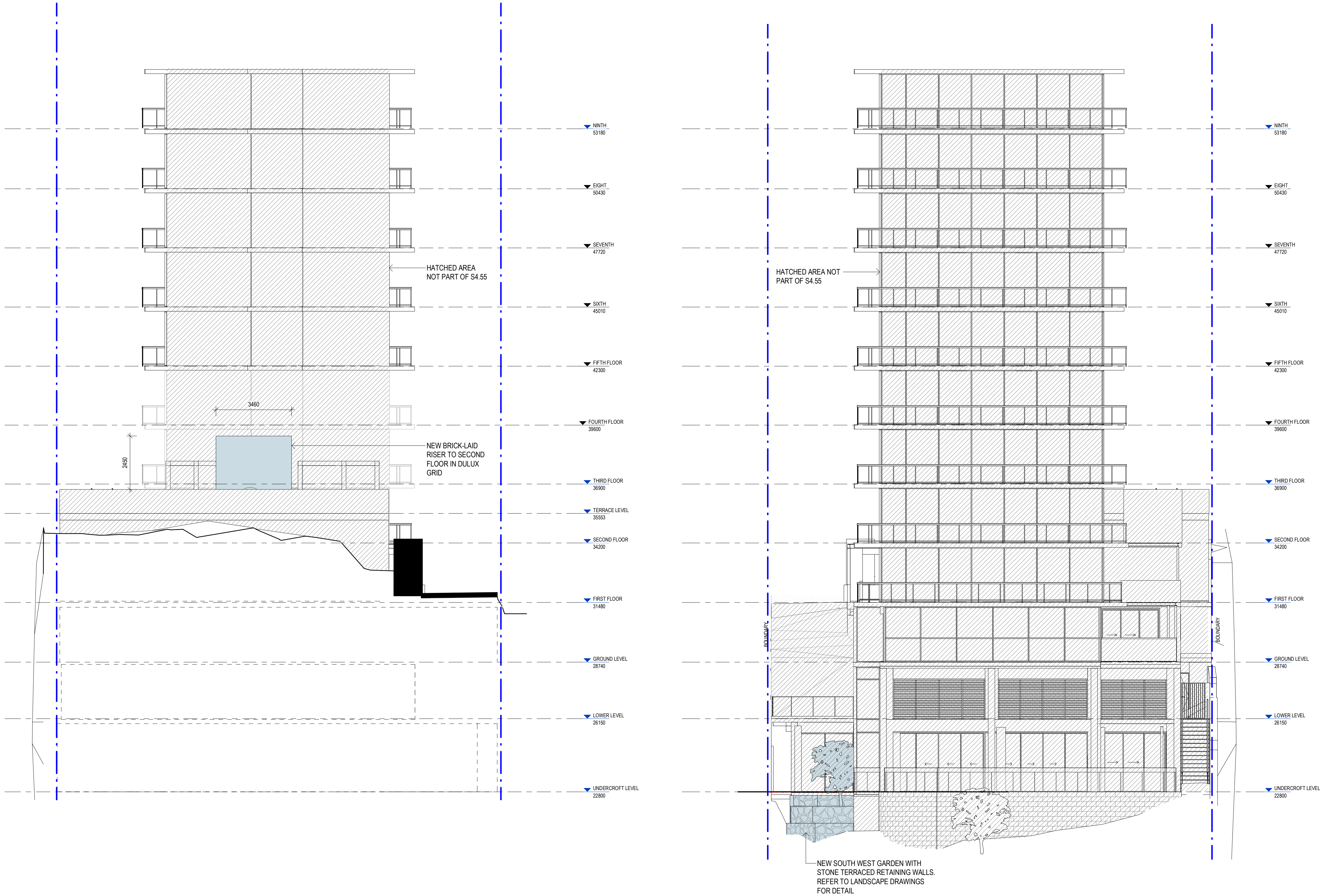
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3363

Sheet No.
DA-008

Revision
B



2 NORTH ELEVATION - S4.55
DA-002 1 : 100

1 SOUTH REAR ELEVATION - S.4.55
DA-002 1 : 100

LEGEND

--- --	BOUNDARY
	PROPOSED MODIFICATION ALTERATION AND/OR ADDITION
	NOT PART OF S4.55

Revision	Description	Date
A	FOR CLIENT REVIEW	06.10.2020
B	S4.55 ISSUE	28.10.2020

PRELIMINARY
WORK-IN-PROGRESS

REFER TO GENERAL NOTES AND
SCHEDULES ON
A00.XX SERIES DRAWINGS

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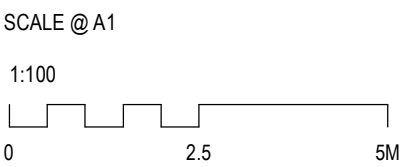
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NSW 2096

Sheet Title

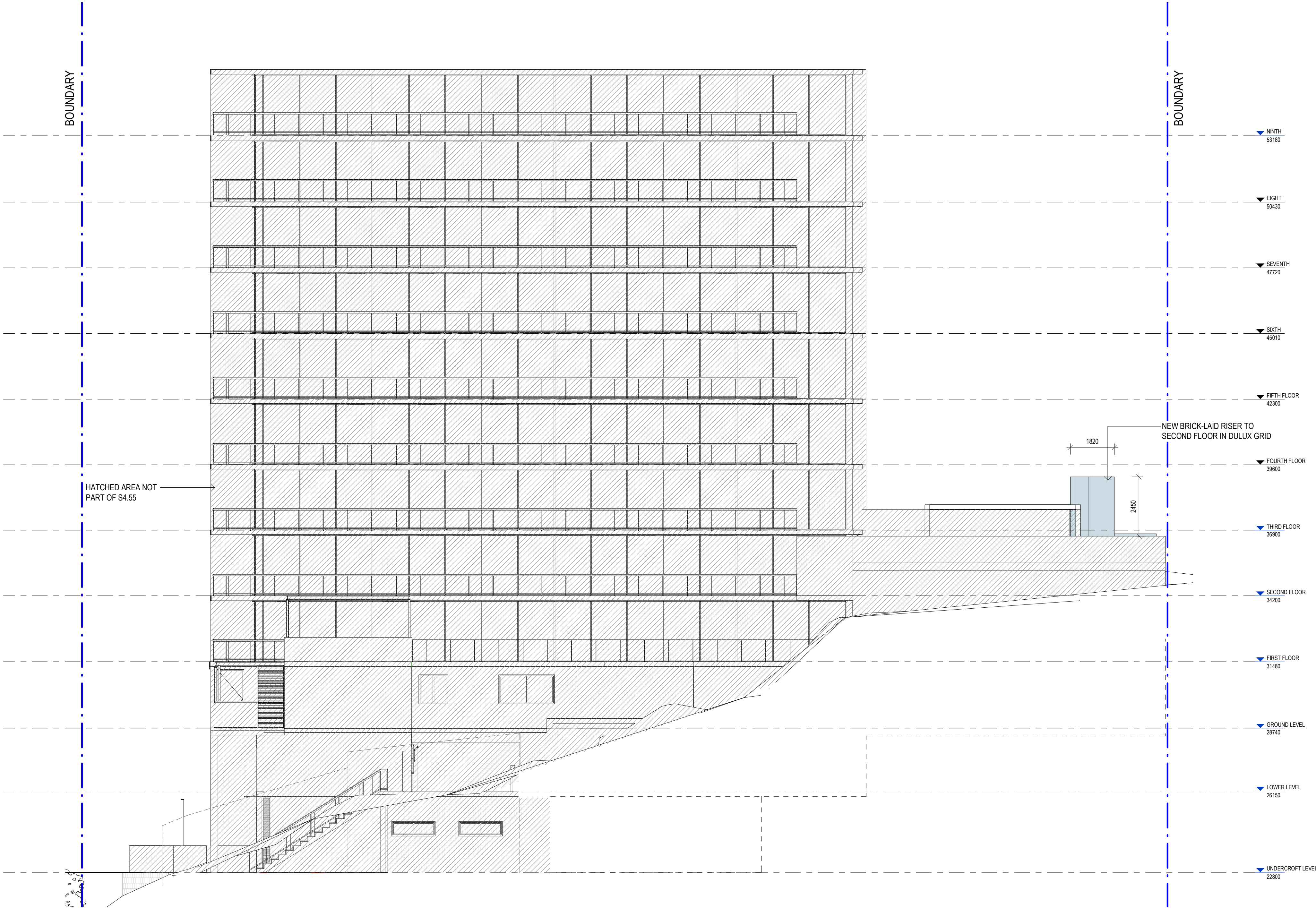
SECTION 4.55
EAST ELEVATION



LEGEND

	BOUNDARY
	PROPOSED MODIFICATION ALTERATION AND/OR ADDITION
	NOT PART OF S4.55

Project No. 3363	Sheet No. DA-009	Revision B
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2 EAST ELEVATION - S4.55
DA-002 1 : 100

Revision	Description	Date
A	FOR CLIENT REVIEW	06.10.2020
B	S4.55 ISSUE	28.10.2020

DA ISSUE

NOTES : DEVELOPMENT APPLICATION

1. DESIGN RESOLUTION
- The drawings represent general architectural intent for the purpose of this development application only.
 - The internal layout is shown indicatively and is subject to further design development.
 - The dimensions shown are general only and are subject to further design resolution.
 - Location of car park entry point is general only and will be confirmed and dimensioned at later stage.
 - The size and position of privacy screens, louvres is indicative and shown in open and closed positions.
 - Please refer to Landscape drawings for Landscape component (shown indicatively only in this set)
 - Location & sizes of plant, equipment, service areas and service risers on drawings is general and indicative only, and does not include minor elements, such as vent pipes, flues, aerials, etc.
2. GRAPHIC PRESENTATION
- Colours presented on drawings are generic only and indicative of the architectural design intent.
3. EXISTING STRUCTURES AND SERVICES
- Extent and location of existing and proposed neighbouring structures and services is according to the available survey information and will need to be verified on site at later stage.

THIS DRAWING IS TO BE
PRINTED IN COLOUR

Consultants	
PROJECT MANAGER:	C&C Project Management 0400 254 091 ccprojectmanagement.com
LANDSCAPE:	Space Landscape Designs 02 9905 7870 spacedesigns.com.au
MECHANICAL ENGINEERS:	Jones Nicholson Consulting Engineers jonesnicholson.com.au

Client

The Owners Corporation
of Strata Plan 4129

CUSTANCE

Strategy
Urban Design
Architecture
Interior Design

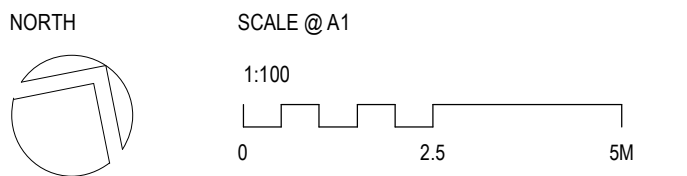
SYDNEY
L2, 228 Pitt Street,
Sydney, NSW 2000
Australia

PH (02) 9051 0177
www.custance.com.au

Project
QUEENSCLIFF SECTION 4.55
48a QUEENSCLIFF RD, QUEENSCLIFF
NSW 2096

Sheet Title

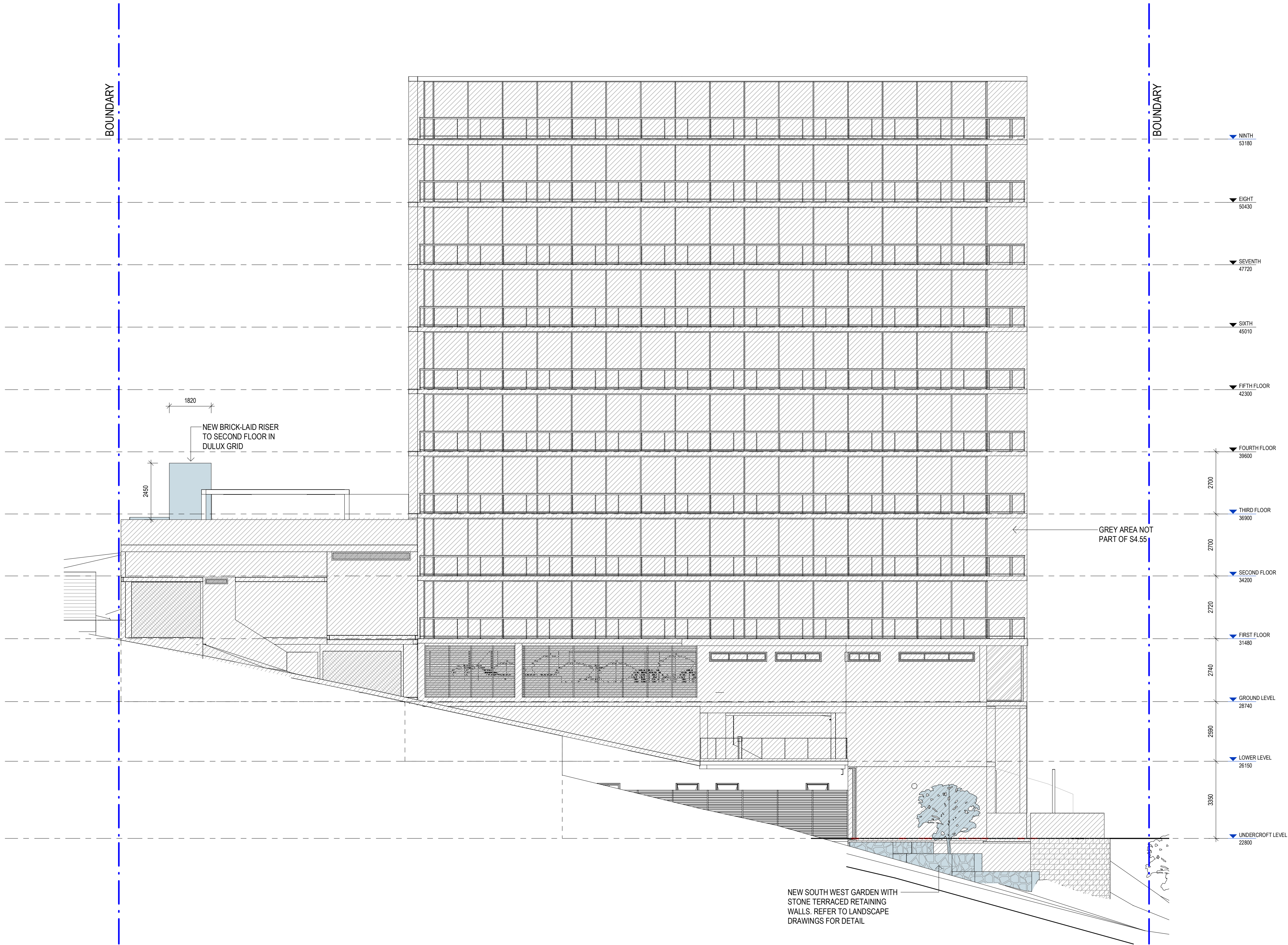
SECTION 4.55
WEST ELEVATION



Drawn Author	Checked Checker	Scale As indicated @ A1
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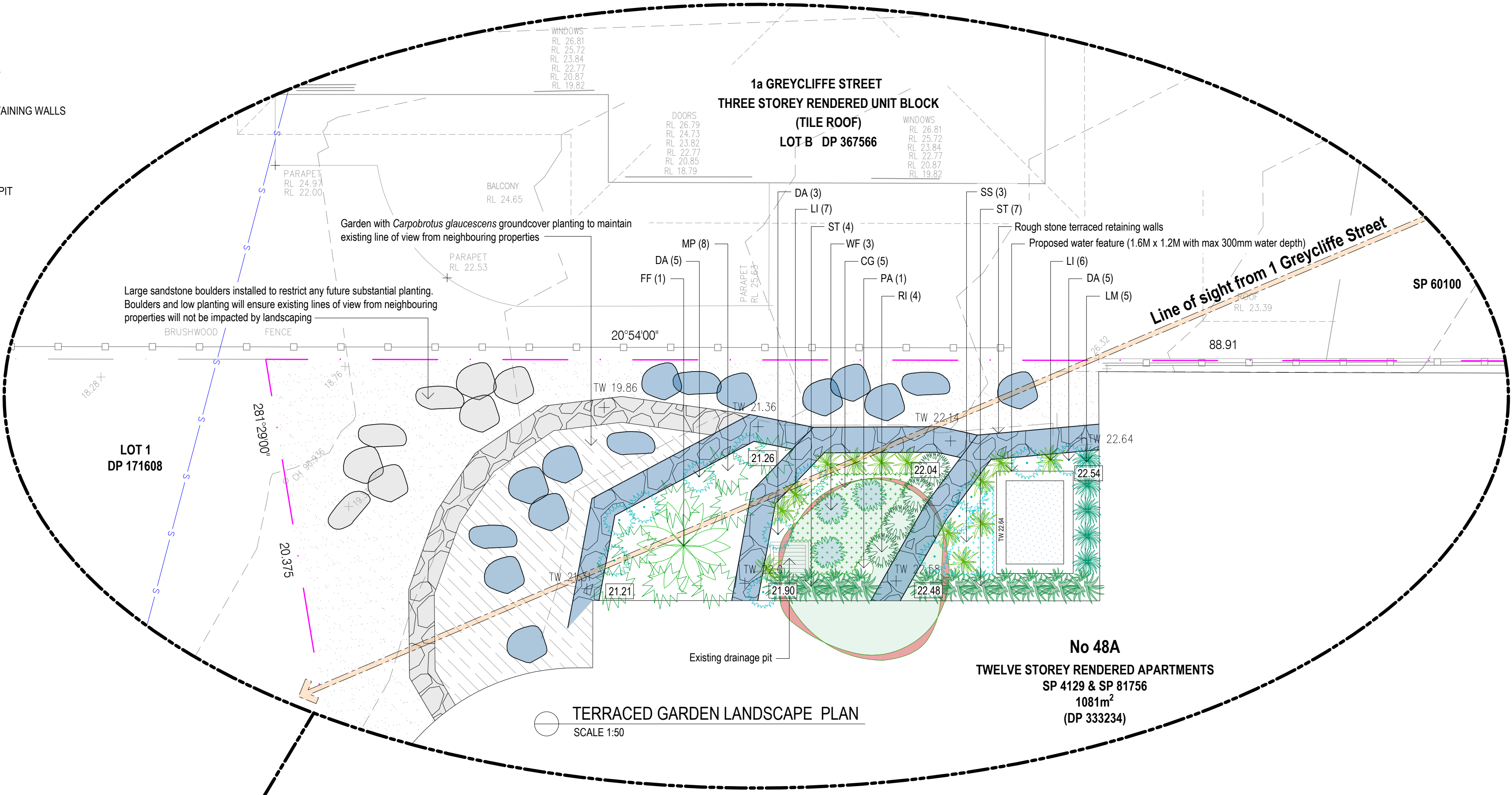
It is intended that the drawings only represent the visual design of the work. Any technical details are for outline purposes only. The Contractor/ Manufacturer must separately provide all necessary shop drawings or calculations for compliance with any relevant industry, safety standards or Australian Standards, regulations or by-laws. Dimensions are to be checked on site, any discrepancies are to be referred to Custance Associates Pty Ltd, in writing, prior to proceeding. Use written dimensions only. Do not use scaled dimensions. Check for latest revision issue. ©Copyright of this drawing is vested with Custance Associates Pty Ltd Nominated Architects: Craig Sheilsner 8259

Project No. 3363	Sheet No. DA-010	Revision B
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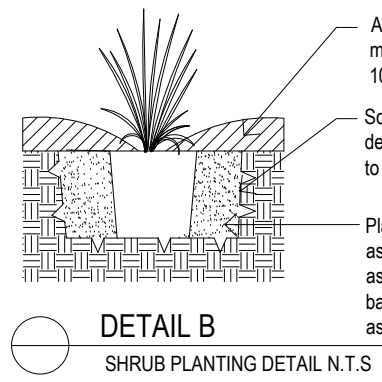
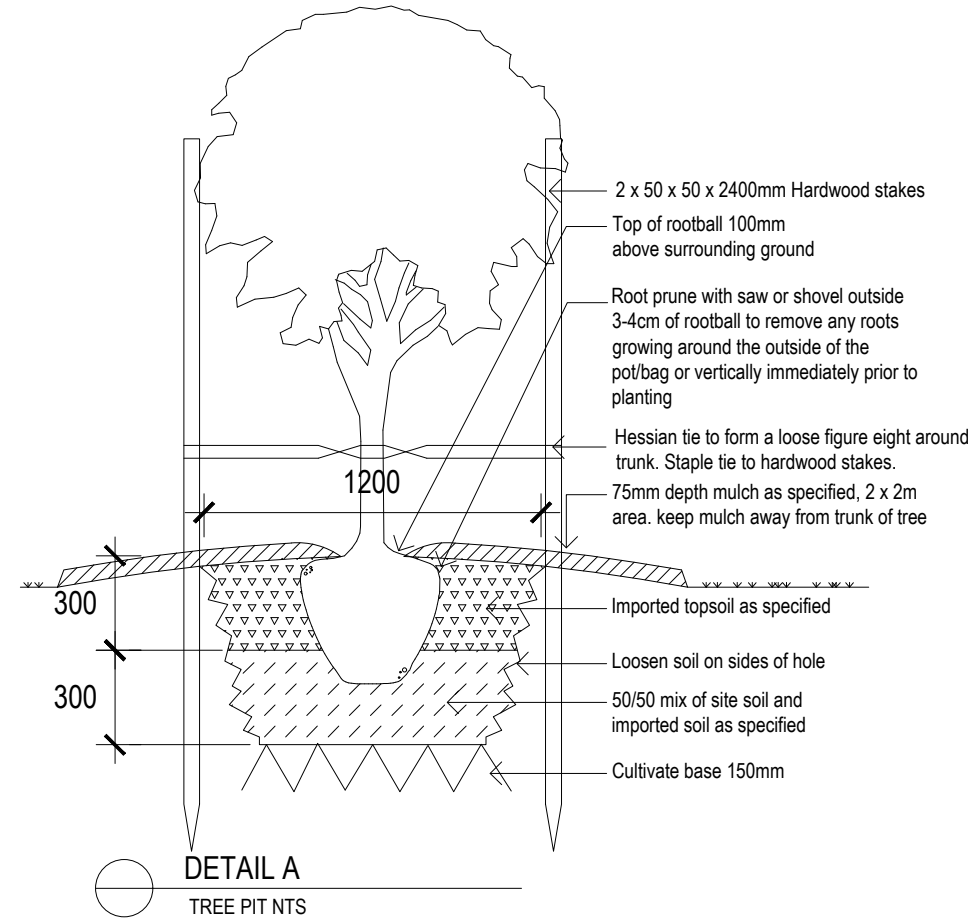


1 WEST ELEVATION - S.4.55
DA-002 1 : 100

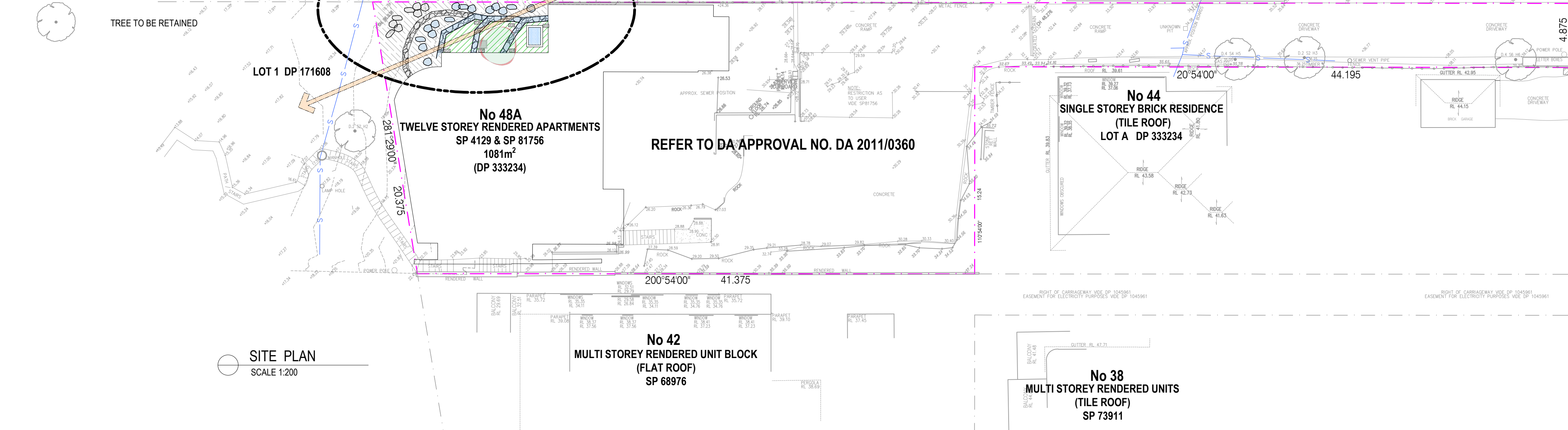
LEGEND	
	BOUNDARY
	SEWER
	CONTOURS
	STONE RETAINING WALLS
	PLANTING
	DRAINAGE PIT
	TURF
	LEVELS



PROPOSED PLANT SCHEDULE					
KEY	BOTANICAL NAME	COMMON NAME	QTY	MATURE HGT	POT SIZE
PA	TREES PLUMERIA ACUTIFOLIA	FRANGIPANI	1	4m	45Lr
FF	SHRUBS FURCRAEA FOETIDA 'VARIEGATA'	VARIEGATED MAURITIUS HEMP	1	1.5m	200mm
RI	RAPHIOLEPIS INDICA 'SNOW MAIDEN'	SNOW MAIDEN	4	0.6m	250mm
ST	SANSEVIERIA TRIFASCIATA	MOTHER IN LAWS TONGUE	11	1m	200mm
WG	WESTRINGIA FRUTICOSA 'GREY BOX'	GREY BOX WESTRINGIA	3	0.5m	250mm
CG	GRASSES / GROUND COVERS CARPOBROTUS GLAUCESCENS	PIG FACE	5	0.2m	200mm
DA	DICHOCHORDA ARGENTEA 'SILVER FALLS'	SILVER FALLS	13	0.1m	140mm
LI	LIRIOPE MUSCARI 'ISABELLA'	ISABELLA LILY TURF	13	0.4m	140mm
LM	LIRIOPE MUSCARI 'JUST RIGHT'	'JUST RIGHT'	5	0.5m	140mm
MP	MYOPORUM PARVIFOLIUM 'YAREENA'	YAREENA	8	0.1m	200mm
SS	SENECIO SERPENS	BLUE CHALK STALKS	3	0.2m	140mm



LEGEND	
	BOUNDARY
	SEWER
	CONTOURS
	LANDSCAPE
	PLANTING



LANDSCAPE SPECIFICATION NOTES

SITE PREPARATION
Locate any underground and overground services & ensure no damage occurs. Levels on plan are nominal only & all dimensions to be checked on site prior to commencement. Final structural integrity of all items shall be the sole responsibility of landscape contractor.

WORKMANSHIP AND MATERIAL QUALITY
Materials and workmanship are to conform to the current applicable Australian Standard Specifications and Codes. Any work or materials, which, in the opinion of the Site Manager do not meet appropriate industry standards should be rejected. Rejected work shall be removed and reinstated to an acceptable standard at no additional cost to the Client. Where works are adjacent to existing works, make proper junctions between new and existing works and make good any damage caused to adjoining existing and retained works.

PROTECTION OF EXISTING TREES:
Prior to construction, the builder shall erect tree protection fencing to the drip line of existing trees to be retained. The fence shall be constructed of star pickets at 2.4m spacings and connected by three strands of 2mm wire at 300mm spacings to a minimum height of 1500mm. Protect all trees affected by demolition & construction. Take necessary precautions to protect the Structural Root Zone (SRZ) as per AS 4370-2009 Australian Standard for Protection of Trees on Development Sites. Tree protection measures shall remain intact until the completion of all construction works.

Prohibited Works or material storage within the TPZ as per AS 4370-2009 except with approval of council:
- entry of machinery or storage of building materials, parking of any kind of vehicle
- erection or placement of site facilities, removal or stockpiling of soil or site debris
- disposal of liquid waste including paint & concrete wash
- excavation or trenching of any kind (including irrigation or electrical connections)
- attaching any signs or any other objects to the trees, placement of waste disposal or skip bins
- pruning and removal of branches, other than those by a qualified Arborist
Compacted Ground/Coring: Avoid compaction of the ground under trees. If compaction nevertheless occurs loosen the soil by Coring. Coring to be carried out by a qualified Arborist.

ELIMINATE WEEDS
Remove all existing weeds by hand, wiping or spraying with a glyphosate based herbicide. Weed control shall never be performed by mechanical cultivation or by scraping. Herbicide spraying is to be used to eliminate all existing weeds 30 days prior to planting.

EXCAVATION & SUB SOIL PREPARATION
Excavate garden beds to the depth required and rip or scarify base & sides of pit to a minimum depth of 150mm.

SUB SOIL DRAINAGE
Install drainage layer where there is surface water runoff draining into garden bed areas & where the existing sub-soil has more than 50% clay composition & there is a risk of subsurface water ponding.
Install perforated corrugated ag. line 75-100mm Dia. with geotextile filter sock & backfill to a minimum 200mm using free draining material, reclaimed/recycled where available. Direct flows at a minimum 0.5% fall to SW system. In areas isolated from stormwater system excavate & backfill an appropriate water dispersion pit.

IMPORTED TOPSOIL
All construction must comply with AS 4419-2003 Soils for Landscaping and Garden Use. Turf Areas: 'Turf Underlay', Tree Pit and Shrub Planting: 'Premium Garden Mix' as supplied by ANL p. 02 9450 1444 or approved alternative.

TREE STOCK
Tree stock to be supplied by production nurseries in accordance with AS 2303:2018 Tree Stock for Landscape Use.
Health & Vigour: Supply plants with foliage size, texture & colour consistent with that shown in healthy specimens of the species. Balance of Crown: Supply plants with max. variation in crown bulk on opposite sides of stem axis, +/- 20%. Stock selection should also be based on NATSPEC Guide Specifying Trees: a Guide to Assessment of Tree Quality.

STAKING
Install 2 x 2400mm x 50mm x 50mm hardwood timber stakes with hessian ties to all trees. Provide appropriate support considering exposure to prevailing winds. Stakes and hessian ties to be removed as soon as the tree is self supporting.

MULCHING
All construction must comply with AS 4454-2003 Compost, soil conditioners and mulches. All planting area impacted by building works to receive 50-75mm of garden Mulch. Droughtmaster, ANL p. 02 9450 1444 or approved alternative. Keep mulch 100mm away from plant stem & form a well to stop excessive water runoff. Finish flush with adjacent surfaces.

WATERING
Water in immediately after plant installation & allow for soil settlement. For the first 2 to 4 weeks after planting, the root zone & immediate surrounds must be kept moist. Continue watering until plants have established.



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