

PAVEMENT MARKING STRIP TO BE PROVIDED TO ALLOW VISUAL SEPARATION OF THE INTENDED PARKING BAYS FROM THE ADJOINING THROUGH TRAFFIC LANE

EXISTING PAVEMENT WITHIN THE INTENDED PARKING AREA TO BE REPAIRED/CLEANED AND EXISTING LINE MARKING TO BE INSTALLED

PAVEMENT MARKING STRIP TO BE PROVIDED TO ALLOW VISUAL SEPARATION OF THE INTENDED PARKING BAYS FROM THE ADJOINING THROUGH TRAFFIC LANE

EXISTING PAVEMENT WITHIN THE INTENDED PARKING AREA TO BE REPAIRED/CLEANED AND EXISTING LINE MARKING TO BE INSTALLED

RECONSTRUCTION OF EXISTING STORMWATER PIT

RECONSTRUCTION OF EXISTING STORMWATER PIT

MCINTOSH ROAD

KERBSIDE WASTE COLLECTION AREA

NEW VEHICULAR CROSS OVER TO MCINTOSH ROAD

PROPOSED WHEEL STOPS TO PUBLIC PARKING SPACES ADJOINING SITE

EXISTING KERB LINE

3.0m ADD SETBACK TO EASTERN BOUNDARY

5.845 8.925 5.500 2.050 3.000
22.510m / 99° 51' 55"

39.280m / 55° 34'

6.875

5.925

5.900

8.175

4.423

28.455m / 9° 51' 35"

PROPOSED WHEEL STOPS TO PUBLIC PARKING SPACES ADJOINING SITE

PROPOSED WHEEL STOPS TO PUBLIC PARKING SPACES ADJOINING SITE

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PROPOSED WHEEL STOPS TO PUBLIC PARKING SPACES ADJOINING SITE

NO. 89 MCINTOSH ROAD
ONE STOREY BRICK AND TILE ROOF

PROPOSED 1200x1200 STORMWATER PIT

1.5m WIDE EASEMENT TO SOUTHERN BOUNDARY

25.230m / 279° 51' 35"

31.198m / 189° 51' 55"

NO. 103 ALFRED STREET
TWO STOREYS BRICK AND METAL ROOF

NO. 103A ALFRED STREET
TWO STOREYS BRICK AND TILE ROOF

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2018/1800

91M

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REV	DATE	ISSUE
A	SEPT 18	DA ISSUE 01

CLIENT
DREAMBUILD
6/37A KING ROAD HORNSBY NSW 2077

PROJECT DETAILS
91M
91-93 MCINTOSH ROAD NARRAWEENA NSW 2099

PROJECT NORTH



SCALE
1:200 @ A3

PROJECT NO.
1816A

DRAWING NO.
A-0006

DRAWING
SITE PLAN

ISSUE
A

ARCHITECT
P: +61 2 9818 0777
F: +61 2 9818 0778
STUDIO 5, 505 BALMAIN RD LILYFIELD NSW 2040
ABN: 76 129 130 285 RN: 7536

BENSON McCORMACK ARCHITECTURE

DEVELOPMENT APPLICATION

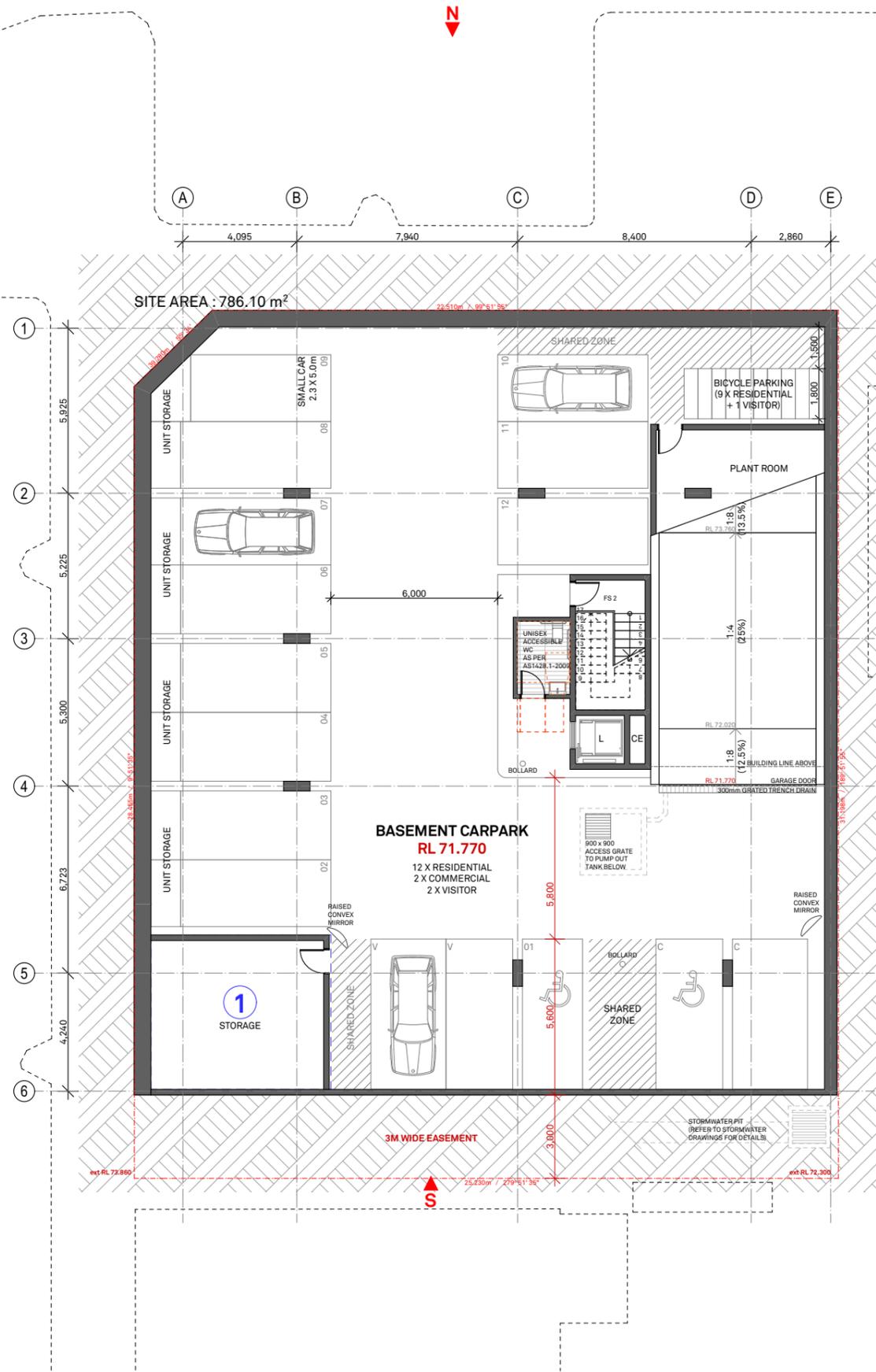
SCHEDULE OF CHANGES

- PREVIOUS LOCATION OF FIRE PUMP ROOM & FIRE STAIR 1 TO BE REPLACED WITH STORAGE ROOM

S1

W

S2



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DA2018/1800

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B	02.19	AMMENDMENTS AS NOTED AND REISSUED TO COUNCIL
C	04.19	AMMENDMENTS AS NOTED AND REISSUED TO COUNCIL

CLIENT
DREAMBUILD
 6/37A KING ROAD HORNSBY NSW 2077

PROJECT DETAILS
91M
 91-93 MCINTOSH ROAD NARRAWEENA NSW 2099

PROJECT NORTH

SCALE
 1:200 @ A3

PROJECT NO.
 1816A

DRAWING NO.
 A-0101

DRAWING
 BASEMENT FLOOR PLAN

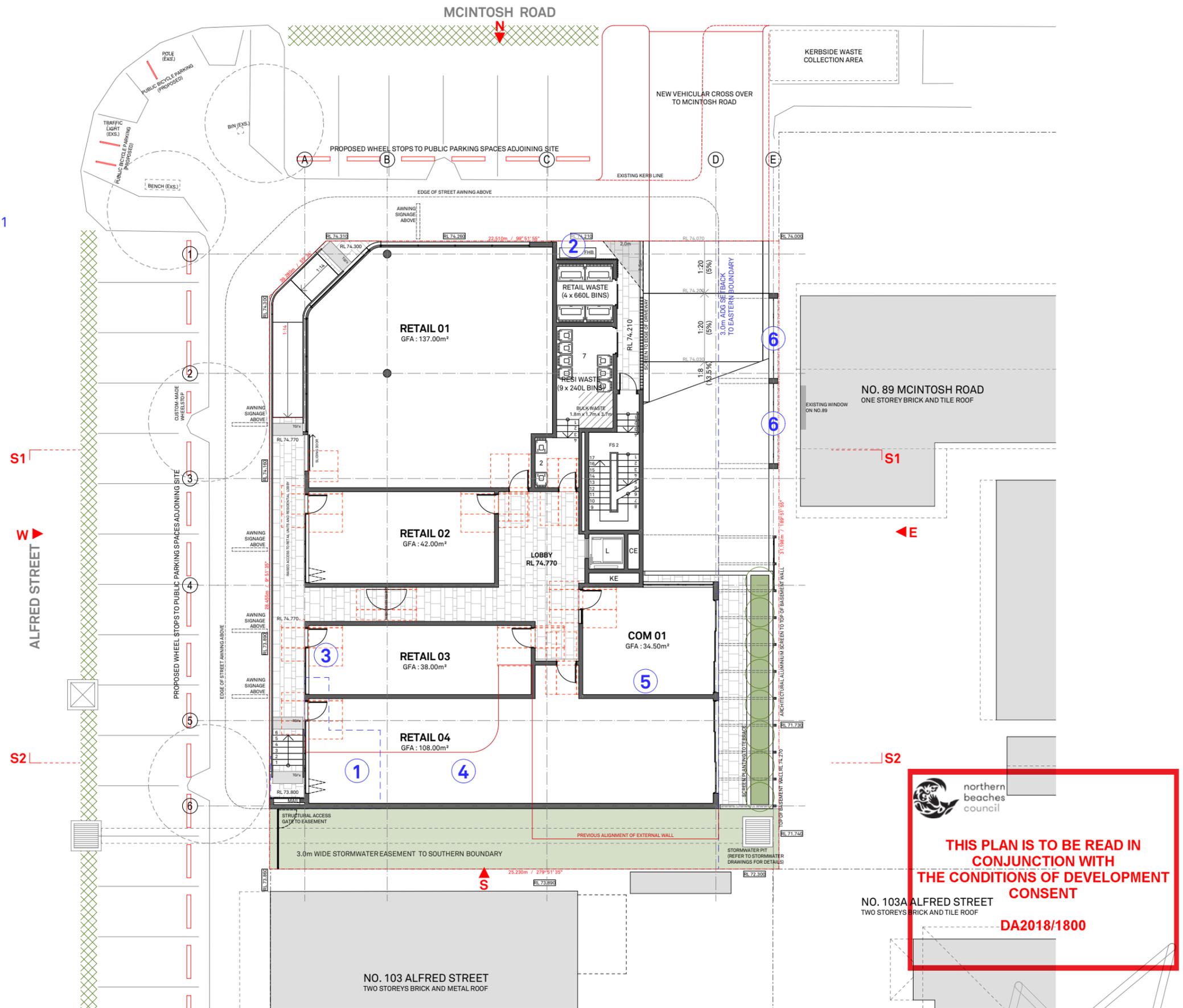
ISSUE
C

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DEVELOPMENT APPLICATION

SCHEDULE OF CHANGES

1. PREVIOUS LOCATION OF FIRE HYDRANT BOOSTER & FIRE STAIR 1
2. PROPOSED LOCATION OF FIRE HYDRANT BOOSTER
3. AMENDMENTS TO AREA AND FRONT FACADE OF RETAIL 03
4. PROPOSED AREA OF RETAIL 04
5. PROPOSED AREA OF COM1 AND REMOVAL OF COM 2
6. PROPOSED POLYCARBONATE ACOUSTIC BARRIER AT 2.2M (HEIGHT) x 4M (LENGTH) x 10MM (THICK) TO ACOUSTIC CONSULTANT SPECIFICATION



91M

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CLIENT
DREAMBUILD
6/37A KING
ROAD HORNSBY
NSW 2077

PROJECT DETAILS
91M
91-93 MCINTOSH ROAD
NARRAWEENA NSW 2099

PROJECT NORTH
N

SCALE
1:200 @ A3

PROJECT NO.
1816A

DRAWING NO.
A-0102

DRAWING
GROUND FLOOR PLAN

ISSUE
C

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ABN: 76 129 130 285 RN: 7536

**BENSON
McCORMACK
ARCHITECTURE**

DEVELOPMENT APPLICATION

northern beaches council
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
NO. 103A ALFRED STREET
TWO STOREYS BRICK AND TILE ROOF
DA2018/1800

SCHEDULE OF CHANGES

1. CIRCULATION DOOR CLEARANCES AS SHOWN TO UNIT 01 THIS HAS RESULTED IN MINOR CHANGES TO THE ENTRY OF UNITS 01 AND 02
2. UNIT BALCONY SIZES ADDED AND AMENDED AS SHOWN FROM PREVIOUS ISSUE
3. MINOR INCREASE IN SIZE TO UNIT 06 DUE TO EXTERNAL WALL CHANGES AT LEVEL 2
4. REDUCTION IN LENGTH OF STREET AWNING TO ALFRED ST TO ACCOMODATE 3M WIDE EASEMENT TO SOUTHERN BOUNDARY
5. MINOR AMENDMENTS TO CORE CONFIGURATION

2

PRIVATE OPEN SPACE

	UNIT NO.	BALCONY DIMENSION	BALCONY AREA (m ²)
FIRST FLOOR	UNIT 01	3350 W x 3000D	10m ²
	UNIT 02	3350 W x 3000D	10m ²
	UNIT 03	2650 W x 3020D	8m ²
	UNIT 04	2650 W x 3020D	8m ²
	UNIT 05	4880 W x 2400D	11.7m ²
	UNIT 06	3600 W x 3620D	12.7m ²
SECOND FLOOR	UNIT 07	2530 MIN. DEPTH	76.1m ²
	UNIT 08	9650 W x 2530D	24.5m ²
	UNIT 09	6150 W x 2530D	25.9m ²

91M

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CLIENT
DREAMBUILD
6/37A KING
ROAD HORNSBY
NSW 2077

PROJECT DETAILS
91M
91-93 MCINTOSH ROAD
NARRAWEENA NSW 2099

PROJECT NORTH
N

SCALE
1:200 @ A3

PROJECT NO.
1816A

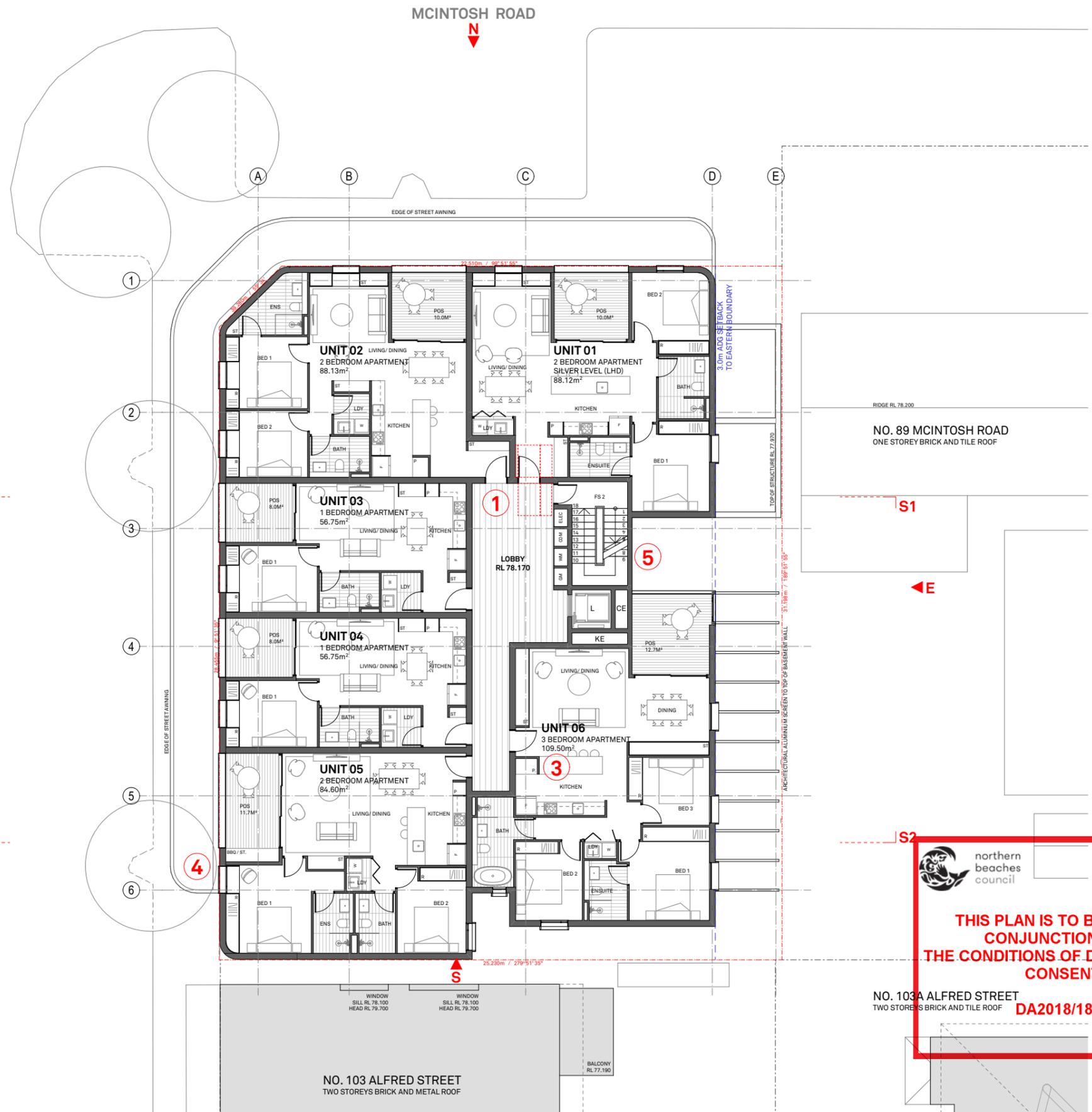
DRAWING NO.
A-0103

DRAWING
1ST FLOOR PLAN

ISSUE
C

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THE CONDITIONS OF DEVELOPMENT
CONSENT**

NO. 103A ALFRED STREET
TWO STOREYS BRICK AND TILE ROOF
DA2018/1800

DEVELOPMENT APPLICATION

SCHEDULE OF CHANGES

1. 300MM DEEP ALUMINIUM SURROUNDS TO OPENINGS AT LEVEL 2 FACING MACINTOSH AND ALFRED STREET
2. BRICK PARAPET RAISED TO 1100 ABOVE LEVEL 2 TERRACE
3. UNIT BALCONY SIZES ADDED AND AMENDED AS SHOWN FROM PREVIOUS ISSUE
4. ACCESSIBLE UNIT 08 SHOWING AUSTRALIAN STANDRAD OVERLAYS AS PREVIOUSLY SUBMITTED.
5. WINDOW TO ENSUITE OF UNIT 07 ADDED
6. INCREASED OFFSET OF 3M TO SOUTHERN BOUNDARY / UNIT 09
7. REPLANNING OF UNIT 09 TO ACCOMODATE INCREASED SETBACK TO SOUTHERN BOUNDARY. MINOR AMENDMENTS TO LOCATION AND SIZE OF OPENINGS IN EXTERNAL WALL.
8. MINOR AMENDMENTS TO CORE CONFIGURATION

3

PRIVATE OPEN SPACE

	UNIT NO.	BALCONY DIMENSION	BALCONY AREA (m ²)
FIRST FLOOR	UNIT 01	3350 W x 3000D	10m ²
	UNIT 02	3350 W x 3000D	10m ²
	UNIT 03	2650 W x 3020D	8m ²
	UNIT 04	2650 W x 3020D	8m ²
	UNIT 05	4880 W x 2400D	11.7m ²
	UNIT 06	3600 W x 3620D	12.7m ²
SECOND FLOOR	UNIT 07	2530 MIN. DEPTH	76.1m ²
	UNIT 08	9650 W x 2530D	24.5m ²
	UNIT 09	6150 W x 2530D	25.9m ²

91M

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CLIENT
DREAMBUILD
6/37A KING
ROAD HORNSBY
NSW 2077

PROJECT DETAILS
91M
91-93 MCINTOSH ROAD
NARRAWEENA NSW 2099

PROJECT NORTH


SCALE
1:200 @ A3

PROJECT NO.
1816A

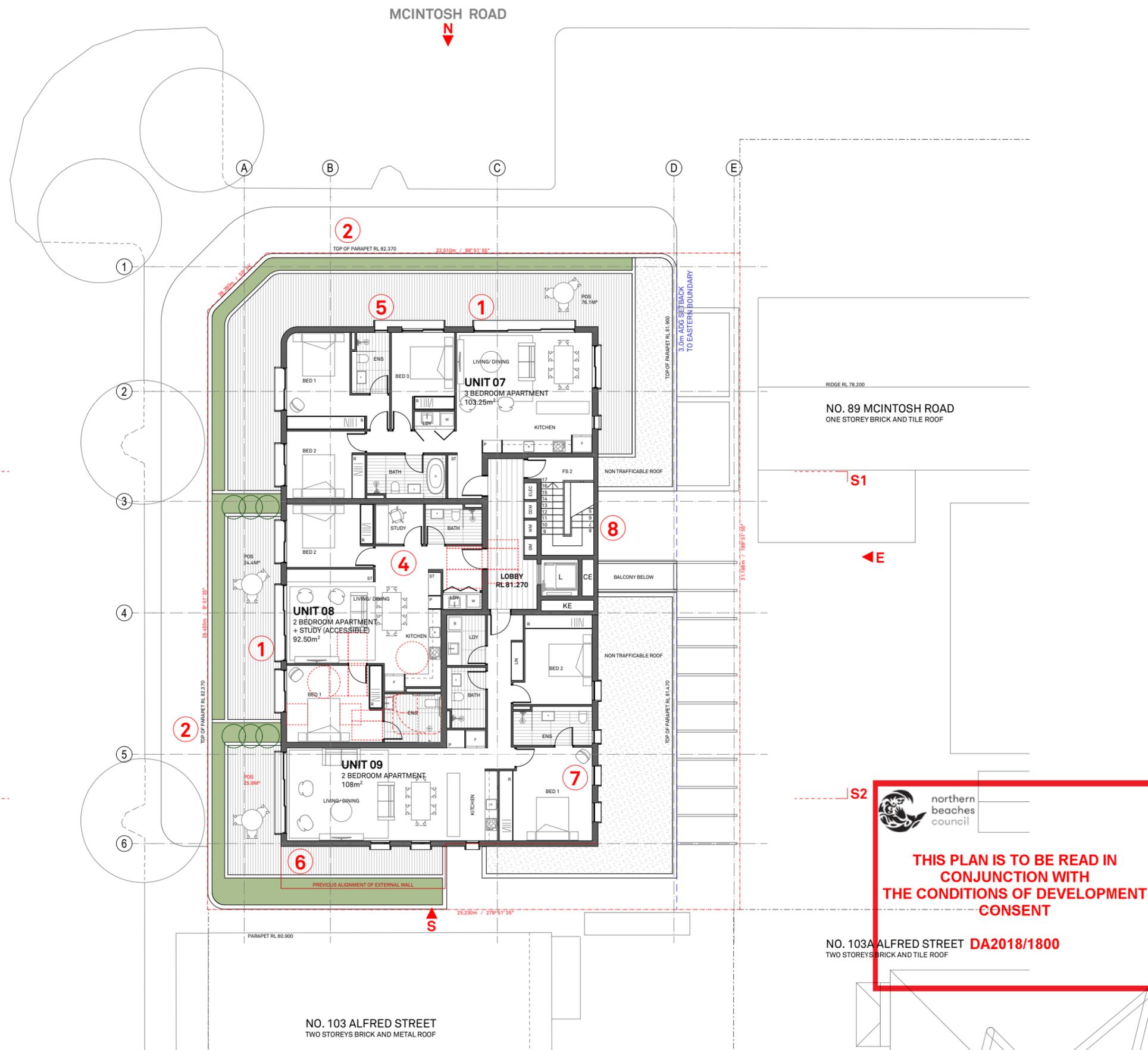
DRAWING NO.
A-0104

DRAWING
2ND FLOOR PLAN

ISSUE
C

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ABN: 76 129 130 285 RN: 7536

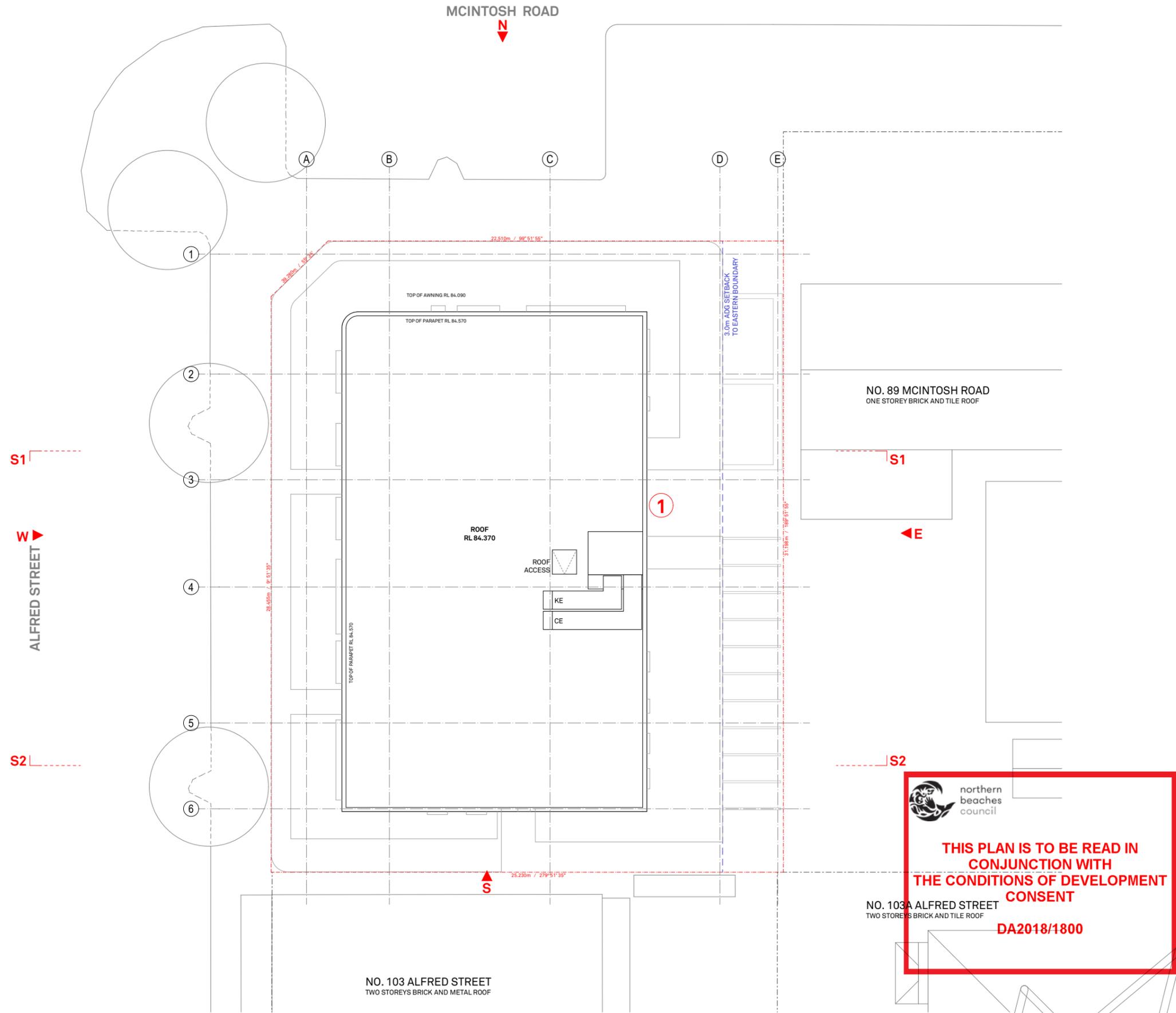
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ARCHITECTURE**



DEVELOPMENT APPLICATION

SCHEDULE OF CHANGES

1. MINOR AMENDMENTS TO CORE CONFIGURATION AND ROOFTOP PLANT




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DA2018/1800

91M

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CLIENT
 DREAMBUILD
 6/37A KING ROAD HORNSBY NSW 2077

PROJECT DETAILS
91M
 91-93 MCINTOSH ROAD NARRAWEENA NSW 2099

PROJECT NORTH


SCALE
 1:200 @ A3

PROJECT NO.
 1816A

DRAWING NO.
 A-0105

DRAWING
 ROOF PLAN

ISSUE
 C

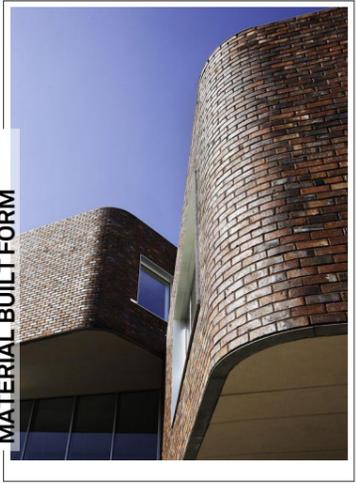
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DEVELOPMENT APPLICATION

BENSON McCORMACK ARCHITECTURE



MATERIAL COMPOSITION



MATERIAL BUILT FORM

SCHEDULE OF CHANGES

2. PROPOSED LOCATION OF FIRE HYDRANT BOOSTER

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CLIENT	PROJECT DETAILS	PROJECT NORTH
DREAMBUILD	91M	
6/37A KING ROAD HORNSBY NSW 2077	91-93 MCINTOSH ROAD NARRAWEENA NSW 2099	

SCALE	PROJECT NO.	DRAWING NO.	DRAWING
1:100 @ A3	1816A	A-0201	MCINTOSH RD ELEVATION

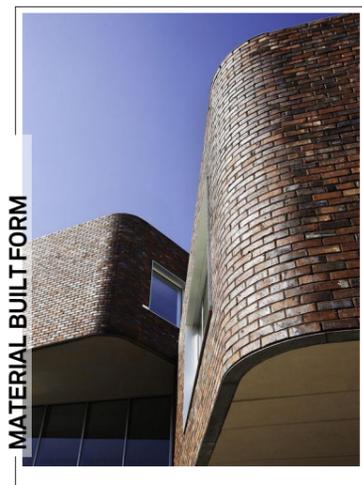
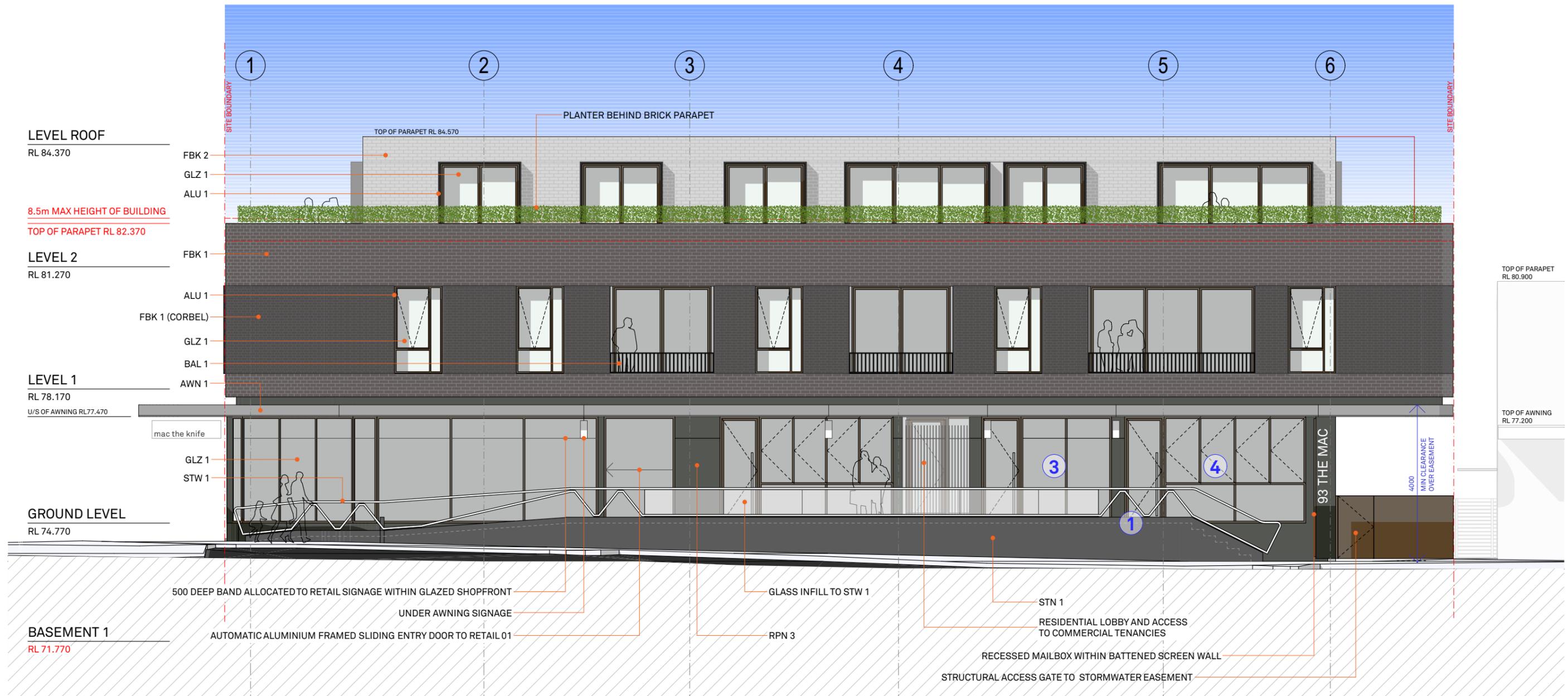
ISSUE C

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STUDIO 5, 505 BALMAIN RD LILYFIELD NSW 2040
ABN: 76 129 130 285 RN: 7536

BENSON McCORMACK ARCHITECTURE

DEVELOPMENT APPLICATION



SCHEDULE OF CHANGES

- 1. PREVIOUS LOCATION OF FIRE HYDRANT BOOSTER & FIRE STAIR 1
- 3. AMENDMENTS TO AREA AND FRONT FACADE OF RETAIL 03
- 4. PROPOSED AREA OF RETAIL 04

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91M

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CLIENT	PROJECT DETAILS	PROJECT NORTH
DREAMBUILD 6/37A KING ROAD HORNSBY NSW 2077	91M 91-93 MCINTOSH ROAD NARRAWEENA NSW 2099	

SCALE	PROJECT NO.	DRAWING NO.	DRAWING
1:100 @ A3	1816A	A-0202	ALFRED ST ELEVATION

ISSUE C

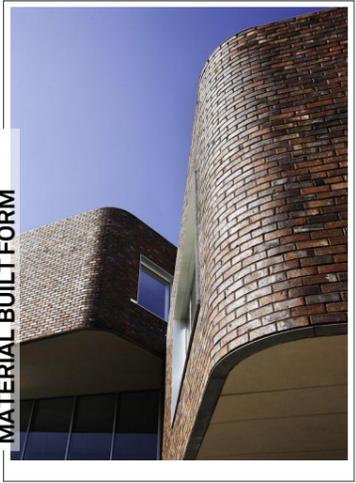
ARCHITECT
P : + 61 2 9818 0777
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STUDIO 5, 505 BALMAIN RD LILYFIELD NSW 2040
ABN: 76 129 130 285 RN: 7536

BENSON McCORMACK ARCHITECTURE

DEVELOPMENT APPLICATION



MATERIAL COMPOSITION



MATERIAL BUILT FORM

SCHEDULE OF CHANGES

- 2. PROPOSED LOCATION OF FIRE HYDRANT BOOSTER
- 4. PROPOSED AREA OF RETAIL 04
- 5. PROPOSED AREA OF COM1 AND REMOVAL OF COM 2
- 6. PROPOSED POLYCARBONATE ACOUSTIC BARRIER AT 2.2M (HEIGHT) x 4M (LENGTH) x 10MM (THICK) TO ACOUSTIC CONSULTANT SPECIFICATION



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91M

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DREAMBUILD	91M	
6/37A KING ROAD HORNSBY NSW 2077	91-93 MCINTOSH ROAD NARRAWEENA NSW 2099	

SCALE	PROJECT NO.	DRAWING NO.	DRAWING
1:100 @ A3	1816A	A-0203	EAST ELEVATION

DEVELOPMENT APPLICATION

ISSUE C

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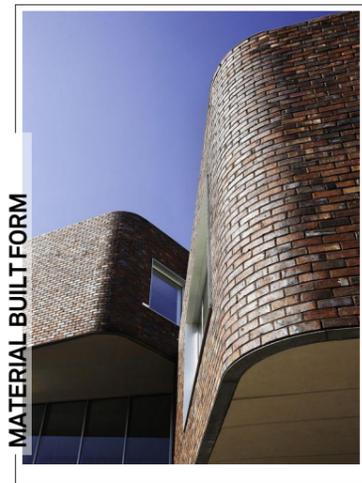
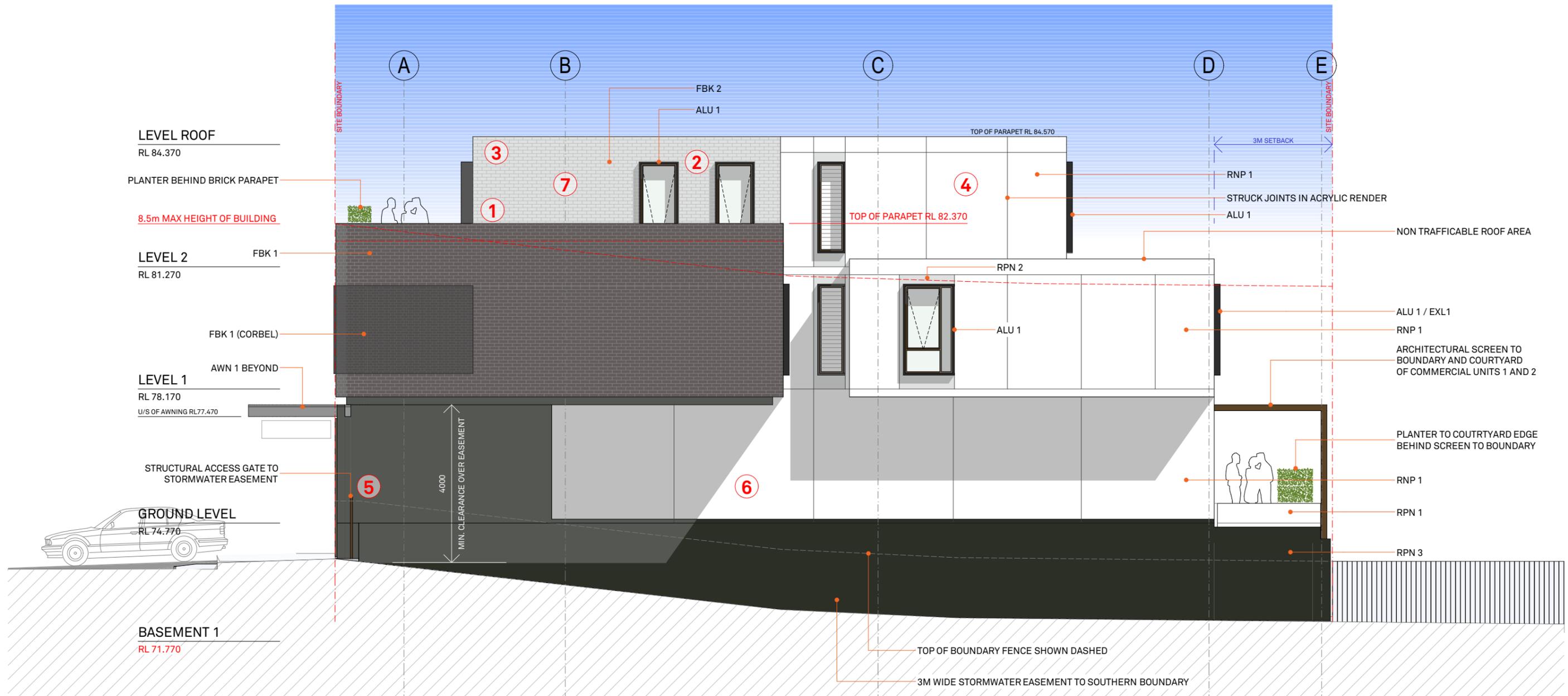
 STUDIO 5, 505 BALMAIN RD

 LILYFIELD NSW 2040

 ABN: 76 129 130 285 RN: 7536



BENSON McCORMACK ARCHITECTURE



SCHEDULE OF CHANGES

1. BRICK PARAPET RAISED TO 1100MM ABOVE TERRACE AT LEVEL 2
2. EXTERNAL ALUMINIUM SURROUNDS ADDED TO OPENINGS AT LEVEL 2
3. CONTINUOUS AWNING TO LEVEL 2 REMOVED
4. 2 X COLOURED ACRYLIC RENDER ADDED. RENDER TO HAVE STRUCK JOINTS AS INDICATED.
5. STRUCTURAL ACCESS GATE TO STORMWATER EASEMENT ADDED
6. ELEVATIONAL CHANGES TO SOUTHERN FACADE AT GROUND LEVEL TO ACCOMDATE REVISED PLANNING DUE TO INCREASE IN WIDTH OF EASEMENT
7. FACEBRICK ADDED TO LEVEL 2. REFER REVISED FINISHES SCHEDULE.

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CLIENT	PROJECT DETAILS	PROJECT NORTH
DREAMBUILD	91M	
6/37A KING ROAD HORNSBY NSW 2077	91-93 MCINTOSH ROAD NARRAWEENA NSW 2099	

SCALE	PROJECT NO.	DRAWING NO.	DRAWING
1:100 @ A3	1816A	A-0204	SOUTH ELEVATION

DEVELOPMENT APPLICATION

ISSUE C

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BENSON McCORMACK ARCHITECTURE



ALU 1 ALUMINIUM - WINDOW/BALCONY SURROUNDS,
FINISH SIM/EQ TO DULUX POWDERCOAT 'MONUMENT'



AWN 1 AWNING
ALUMINIUM FASCIA COLOUR SIM/EQ TO DULUX 'EARTHEN POT'
AWNING SOFFIT IN FC SHEET PAINT FINISH DULUX 'NARROW NECK'



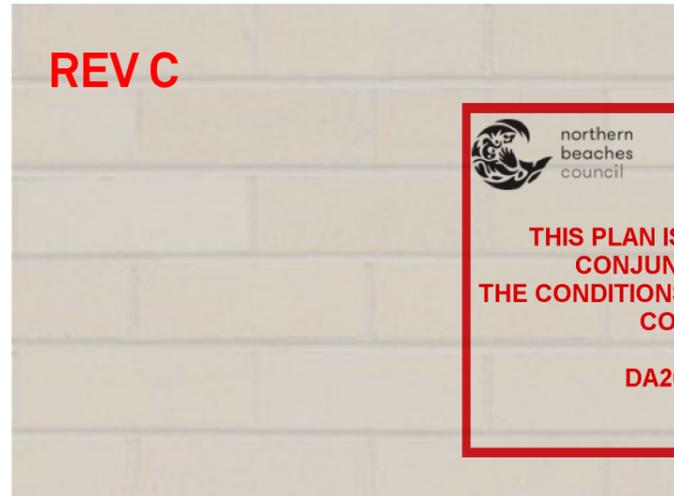
EXL 1 EXTERNAL LOUVERS FIXED ON WINDOW
LOUVERS FINISH SIM/EQ TO DULUX POWDERCOAT 'EARTHEN POT'



GLZ 1 CLEAR GLAZED ALUMINIUM FRAMED
WINDOWS/DOORS
FRAME FINISH SIM/EQ TO DULUX POWDERCOAT 'EARTHEN POT'



FBK 1 FACE BRICKWORK
FINISH - AUSTRAL BOWRAL BRICKS 'BRAHMAN GRANITE'



FBK 2 FACE BRICKWORK
FINISH - AUSTRAL BOWRAL BRICKS 'CHILLINGHAM WHITE'



RNP 1
COLOURED ACRYLIC RENDER
COLOUR FINISH DULUX 'SNOWY MOUNTAINS'



RNP 2
COLOURED ACRYLIC RENDER
COLOUR FINISH DULUX 'NARROW NECK'



RNP 3
COLOURED ACRYLIC RENDER
COLOUR FINISH DULUX 'ORGANIC'

REV C

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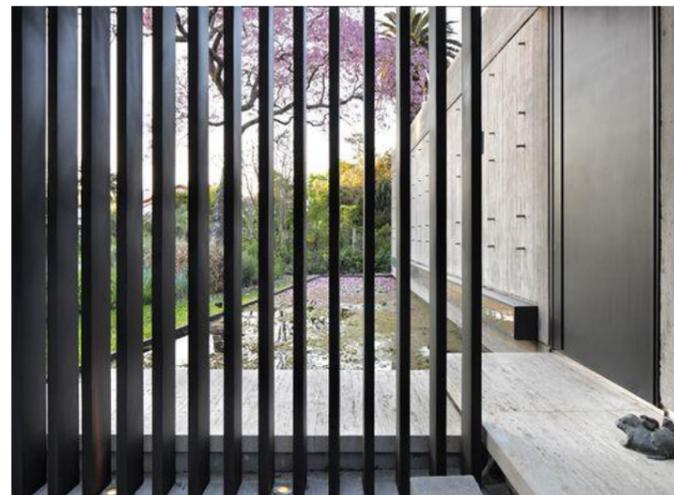
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BAL 1 ALUMINIUM - BALUSTRADE,
FINISH SIM/EQ TO DULUX POWDERCOAT 'MONUMENT'

91M



SCR 1 ALUMINIUM LOUVERED SCREENS
FINISH SIM/EQ TO DULUX DESIGN 'EARTHEN POT'



STW 1 STEELWORK - HANDRAIL
FINISH SIM/EQ TO DULUX POWDERCOAT 'EARTHEN POT'



STN 1 STONework

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CLIENT	PROJECT DETAILS	PROJECT NORTH
DREAMBUILD 6/37A KING ROAD HORNSBY NSW 2077	91M 91-93 MCINTOSH ROAD NARRAWEENA NSW 2099	

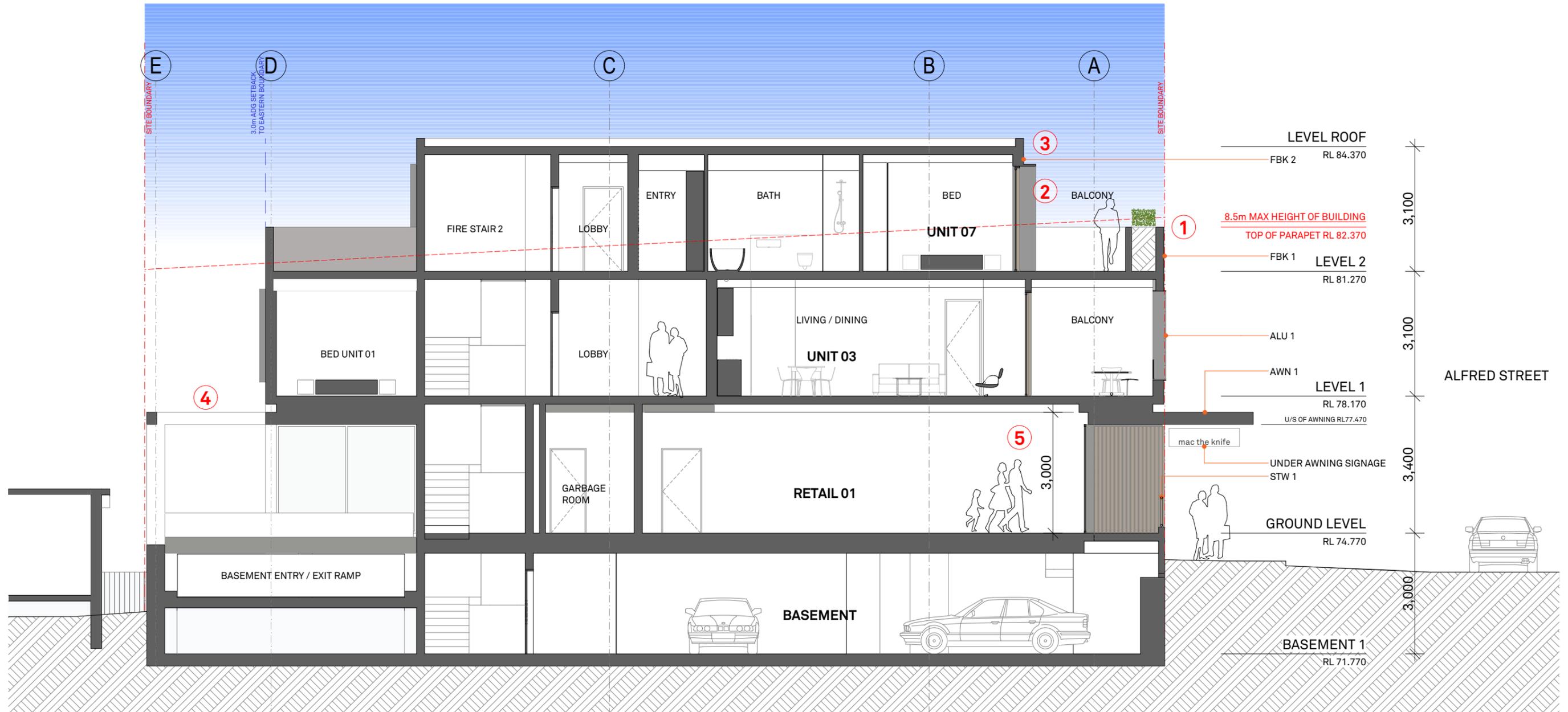
SCALE	PROJECT NO.	DRAWING NO.	DRAWING
	1816A	A-1301	FINISHES & MATERIALS

DEVELOPMENT APPLICATION

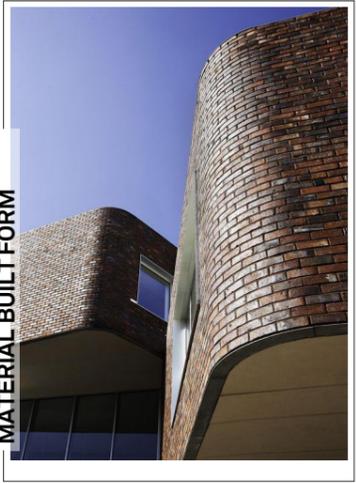
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LILYFIELD NSW 2040
ABN: 76 129 130 285 RN: 7536

BENSON McCORMACK ARCHITECTURE



MATERIAL COMPOSITION



MATERIAL BUILT FORM

SCHEDULE OF CHANGES

1. BRICK PARAPET RAISED TO 1100MM ABOVE TERRACE AT LEVEL 2
2. EXTERNAL ALUMINIUM SURROUNDS ADDED TO OPENINGS AT LEVEL 2
3. CONTINUOUS AWNING TO LEVEL 2 REMOVED
4. ROOF OVER DRIVEWAY ACCESS REMOVED
5. CEILING HEIGHT TO RETAIL UNITS SHOWN

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 DA2018/1800

91M

NOTES	REV	DATE	ISSUE
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	B	02.19	AMMENDMENTS AS NOTED AND REISSUED TO COUNCIL
	C	04.19	AMMENDMENTS AS NOTED AND REISSUED TO COUNCIL

CLIENT	PROJECT DETAILS	PROJECT NORTH
DREAMBUILD	91M	
6/37A KING ROAD HORNSBY NSW 2077	91-93 MCINTOSH ROAD NARRAWEENA NSW 2099	

SCALE	PROJECT NO.	DRAWING NO.	DRAWING
1:100 @ A3	1816A	A-2051	SECTION 1

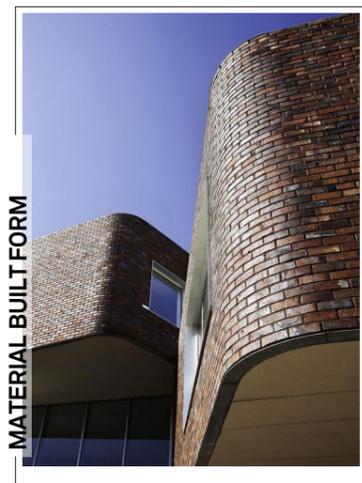
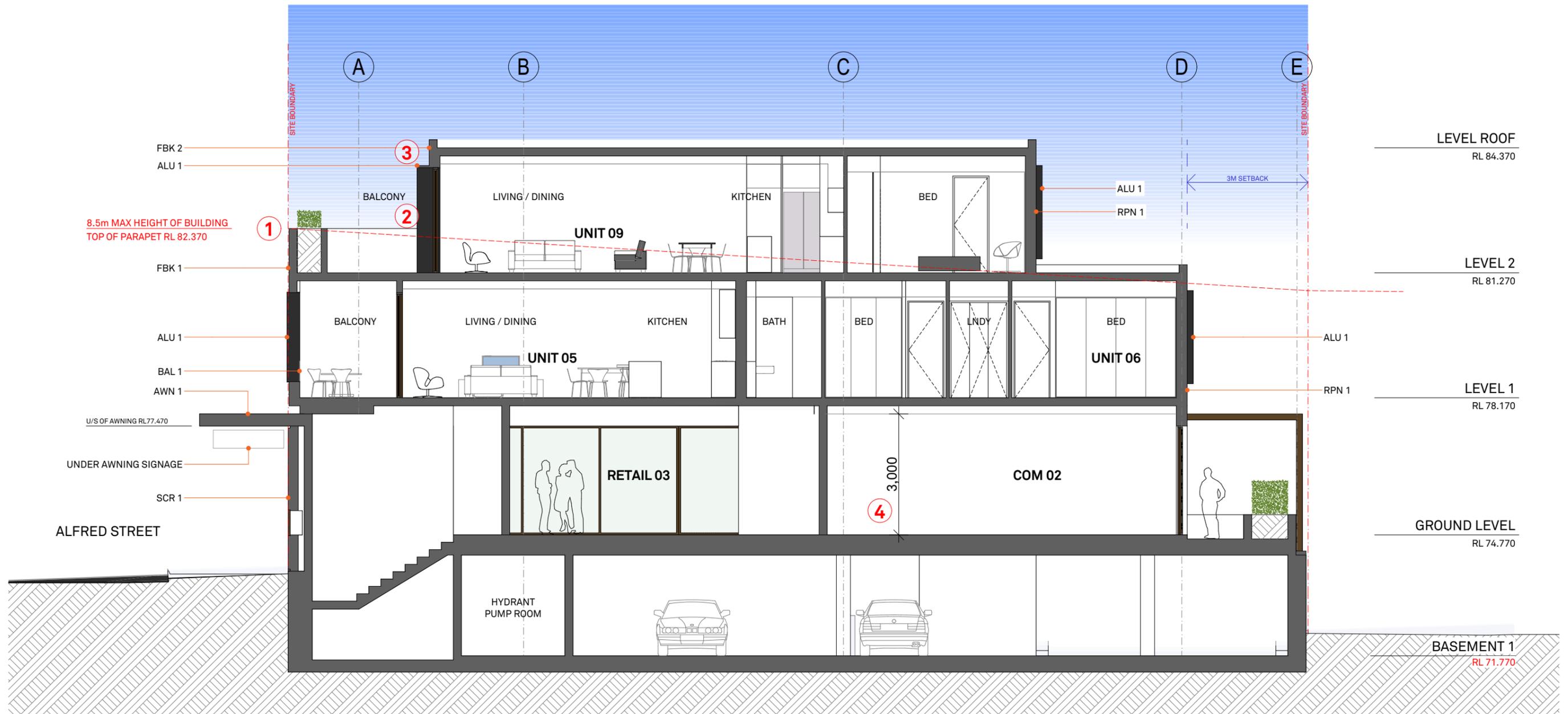
ISSUE **C**

ARCHITECT

P : + 61 2 9818 0777
 F : + 61 2 9818 0778
 STUDIO 5, 505 BALMAIN RD
 LILYFIELD NSW 2040
 ABN: 76 129 130 285 RN: 7536

BENSON McCORMACK ARCHITECTURE

DEVELOPMENT APPLICATION



SCHEDULE OF CHANGES

1. BRICK PARAPET RAISED TO 1100MM ABOVE TERRACE AT LEVEL 2
2. EXTERNAL ALUMINIUM SURROUNDS ADDED TO OPENINGS AT LEVEL 2
3. CONTINUOUS AWNING TO LEVEL 2 REMOVED
4. CEILING HEIGHT TO COMMERCIAL UNITS SHOWN



northern beaches council

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DA2018/1800

91M

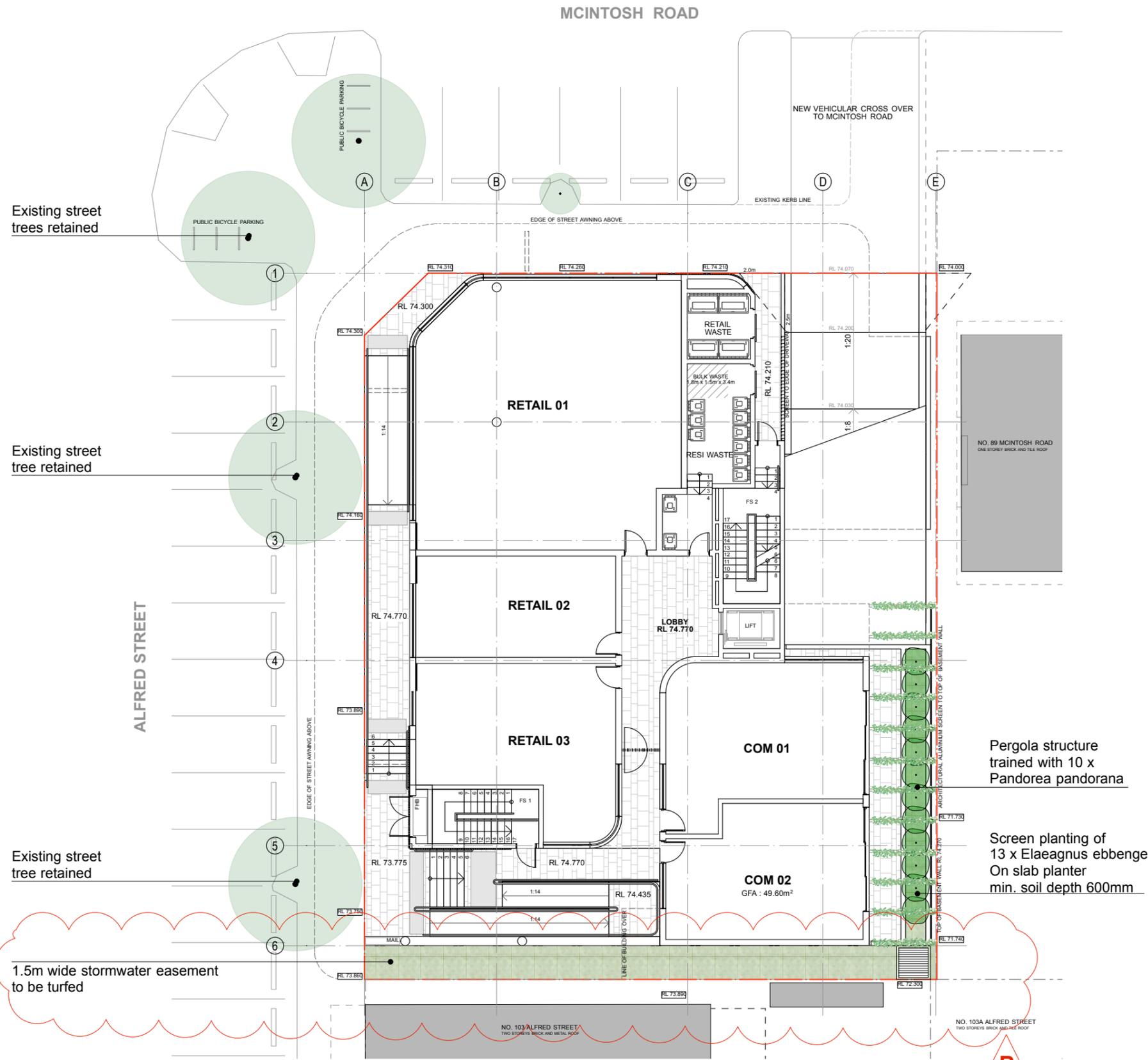
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CLIENT	PROJECT DETAILS	PROJECT NORTH
DREAMBUILD	91M	
6/37A KING ROAD HORNSBY NSW 2077	91-93 MCINTOSH ROAD NARRAWEENA NSW 2099	

SCALE	PROJECT NO.	DRAWING NO.	DRAWING
1:100 @ A3	1816A	A-2052	SECTION 2

ISSUE	ARCHITECT
C	BENSON McCORMACK ARCHITECTURE P : + 61 2 9818 0777 F : + 61 2 9818 0778 STUDIO 5, 505 BALMAIN RD LILYFIELD NSW 2040 <small>ABN: 76 129 130 285 RN: 7536</small>

DEVELOPMENT APPLICATION



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Elaeagnus ebbengei



Pandorea pandorana

INDICATIVE PLANT IMAGES

B

INDICATIVE PLANT SCHEDULE- GROUND LEVEL

SPECIES	COMMON NAME	MATURE HEIGHT	QTY	POT SIZE
<i>Elaeagnus ebbengii</i>	Silver Berry	2m	13	5L
<i>Liriope 'Evergreen Giant'</i>	Liriope	0.7m	0	150mm pot
<i>Pandorea pandorana</i>	Wonga Wonga Vine	climber	10	150mm pot
<i>Thunbergia grandiflora</i>	Blue Trumpet Vine	climber	0	150mm pot
<i>Syzygium 'Resilience'</i>	Lilli Pilli	5m	0	45L

B
Planting to stormwater easement replaced with turf

NOT ISSUED FOR CONSTRUCTION

 **melissa wilson**
landscape architects

Level 1 216-218 Crown Street
Darlinghurst NSW 2010
p. 9281 4305
m. 0416 112 862
e. melissa@melissawilson.com.au

ARCHITECT
Benson McCormack Architecture
Studio 5, 505 Balmain Road
Lilyfield NSW 2040

CLIENT
Dreambuild

ISSUE
A DEVELOPMENT APPLICATION
B AMENDED DA

DATE
10.10.18
25.02.19

PROJECT
91M
91-93 MCINTOSH ROAD, NARRAWEENA

DRAWING TITLE
LANDSCAPE- GROUND FLOOR

SCALE 1:200@A3	DRAWN GM	PROJECT NO. 1858	DWG NO. LS01	SHEET 1 OF 3
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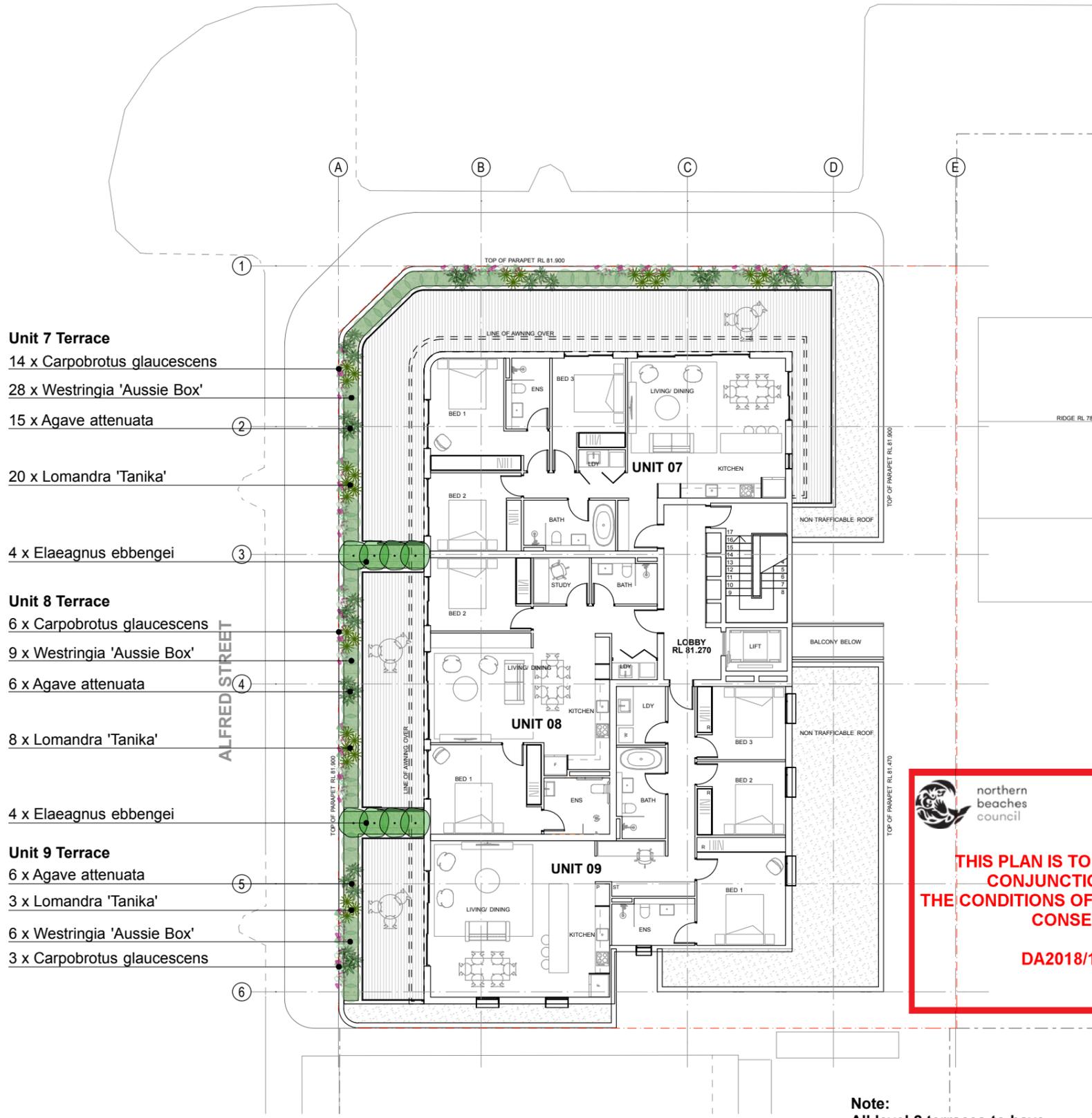
SCALE BAR
0 1 2 3 4 5 10 15 20

ISSUE
B

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MCINTOSH ROAD



- Unit 7 Terrace**
 14 x *Carpobrotus glaucescens*
 28 x *Westringia 'Aussie Box'*
 15 x *Agave attenuata*
 20 x *Lomandra 'Tanika'*
 4 x *Elaeagnus ebbengei*
- Unit 8 Terrace**
 6 x *Carpobrotus glaucescens*
 9 x *Westringia 'Aussie Box'*
 6 x *Agave attenuata*
 8 x *Lomandra 'Tanika'*
 4 x *Elaeagnus ebbengei*
- Unit 9 Terrace**
 6 x *Agave attenuata*
 3 x *Lomandra 'Tanika'*
 6 x *Westringia 'Aussie Box'*
 3 x *Carpobrotus glaucescens*


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Note:
 All level 2 terraces to have minimum soil depth 500-600mm



Elaeagnus ebbengei



Lomandra 'Tanika'



Carpobrotus glaucescens



Agave attenuata



Westringia 'Aussie Box'

INDICATIVE PLANT IMAGES

INDICATIVE PLANT SCHEDULE- L2 TERRACES

SPECIES	COMMON NAME	MATURE HEIGHT	QTY	POT SIZE
<i>Agave attenuata</i>	Agave	0.7m	27	5L
<i>Carpobrotus glaucescens</i>	Pig face	spillover	23	150mm pot
<i>Elaeagnus ebbengii</i>	Silver Berry	2m	8	5L
<i>Lomandra 'Tanika'</i>	Mat Rush	0.7m	31	150mm pot
<i>Westringia 'Aussie Box'</i>	Dwarf Coastal Rosemary	0.7m	43	5L

NOT ISSUED FOR CONSTRUCTION


melissa wilson
 landscape architects
 Level 1 216-218 Crown Street
 Darlinghurst NSW 2010
 p. 9281 4305
 m. 0416 112 862
 e. melissa@melissawilson.com.au

ARCHITECT
Benson McCormack Architecture
 Studio 5, 505 Balmain Road
 Lilyfield NSW 2040

CLIENT
Dreambuild

ISSUE AMENDMENT
 A DEVELOPMENT APPLICATION
 DATE
 10.10.18

PROJECT
91M
 91-93 MCINTOSH ROAD, NARRAWEENA

DRAWING TITLE
LANDSCAPE- LEVEL 2 TERRACES
 SCALE 1:200@A3
 DRAWN GM
 PROJECT NO. 1858
 DWG NO. **LS02**
 SHEET **2 OF 3**
 SCALE BAR

ISSUE
A
 NOTES:
 REFER TO DETAIL SURVEY FOR SITE IDENTIFICATION, BOUNDARY INFORMATION & LEVELS. ALL LEVELS AND DIMENSIONS TO BE CONFIRMED ON SITE. IF ANY DISCREPANCIES OCCUR PLEASE NOTIFY THE LANDSCAPE ARCHITECT

LANDSCAPE CONSTRUCTION NOTES

GENERAL

- Landscape documentation is to be read in conjunction with consultant team documentation for the project particularly architectural and engineering drawings

SUBSOIL

Excavate to bring the subsoil to a minimum of 300mm below finished design levels, to allow for infilling with topsoil mix. Break up the soil to a further depth of 100mm.

Remove all building rubble, waste oil, cement and other material harmful to plant growth from planting beds prior to placement of topsoil.

Cultivate to a minimum depth of 100 mm over areas to be planted or grassed. Do not disturb services or tree roots; if necessary, cultivate these areas by hand. During cultivation, thoroughly mix in materials required to be incorporated into the subsoil. Remove stones exceeding 25 mm, clods of earth exceeding 50 mm, and weeds, rubbish or other deleterious material brought to the surface during cultivation. Trim the surface to the required design levels after cultivation.

Confirm that the planting beds are free draining, if not install sub-soil drainage lines and connect to stormwater system

Apply additives after ripping or cultivation and incorporate into the upper 100 mm layer of the subsoil.

TOPSOIL

Where possible use site topsoil and compost mixed at a rate of 4 soil:1 compost, thoroughly mixed before placement. If imported soil is required soil shall be same or similar to Benedicts Sand and Gravel *Organic Garden mix M13* for garden bed areas.

Spread the topsoil on the prepared subsoil and grade evenly, making the necessary allowances so that required finished levels and contours are achieved after light compaction

Compact lightly and uniformly in 150 mm layers. Avoid differential subsidence and excess compaction and produce a finished topsoil surface which is ready for planting.

Spread topsoil to the following typical depths:

Planting beds: 300 mm

ON SLAB CONSTRUCTION- PLANTER BOXES

Ensure all slabs are water proofed by others and that drainage outlets are supplied to engineer's requirements, advise the builder if not acceptable. Supply and lay 30mm Atlantis drainage cell same or equal to as supplied by Atlantis Corporation over slab and connect to stormwater. Overlay the drainage cell with Geofabric PGM 14 as made by Polyfelt, run polyfelt up the sides of planters to within 40mm of the finished surface level.

For garden beds on slab: Supply and install to a depth of 50mm washed river sand on top of geofabric. Refer to typical detail for soil layering. Topsoil Types A and B shall be a light weight planter box mix and subsoil mix respectively and same or similar to Benedicts SmartMix No.4 and No. 5 respectively. Both are supplied by Benedicts Sand and Gravel. ph: 9986 3500.

DRAINAGE

- Drainage of all landscape areas is to be in accordance is to comply with requirements of Civil/ Stormwater Engineer's documentation

- All proposed finished levels to be approved by project civil/ stormwater engineer

- Drainage outlets to be provided to all 'on slab' planters to satisfaction of project civil/ stormwater engineer

- All paved areas to fall to drainage outlets

- Confirm that deep soil garden beds are free draining, if not then install sub-soil drainage lines as required and connect to stormwater system

COMPOST

Well rotted vegetative material or animal manure, or other approved material, free from harmful chemicals, grass and weed growth, and with a neutral pH value.

PLANTING

Trees: Excavate a plant hole to twice the diameter of the root ball and at least 100mm deeper than the root ball. Break up the base of the hole to a further depth of 100mm, and loosen the compacted sides of the hole.

Shrubs/groundcovers: Excavate a hole big enough for the plant plus 100 mm all round.

Provide plants which have large healthy root systems, with no evidence of root curl, restriction or damage are vigorous, well established, free from disease and pests, of good form consistent with the species or variety; and are hardened off, not soft or forced, and suitable for planting in the natural climatic conditions prevailing at the site.

Trees: Provide trees which, unless required to be multi-stemmed, have a single leading shoot. Trees: All trees of 25L or greater container size are to be grown and planted in accordance with: Clarke, R 1996 Purchasing Landscape Trees: A guide to assessing tree quality. NATSPEC Guide No.2

Label at least one plant of each species or variety in a batch using a durable, readable tag.

Do not plant in unsuitable weather conditions such as extreme heat, cold, wind or rain. In other than sandy soils, suspend excavation when the soil is wet, or during frost periods.

When the hole is of the correct size, remove the plant from the container with minimum disturbance to the root ball. Ensure that the root ball is moist and place in the final position, in the hole and plumb, with the top soil level of the plant root ball level with the finished surface of the surrounding soil, or 75 mm below paving level to allow placement of mulch.

Backfill with topsoil mixture. Lightly tamp and water to eliminate air pockets. Ensure that topsoil is not placed over the top of the rootball, so that the plant stem is the same height as in the container.

Thoroughly water plants before planting and immediately after planting.

In planting beds and individual plantings, place slow release fertiliser pellets around plants at the time of planting at the rate recommended by the manufacturer.

MULCH

All garden bed areas are to be mulched to 75mm depth with same or similar to *Forest Blend* as supplied by Benedict Sand and Gravel. Provide mulch which is free of deleterious and extraneous matter such as stones, soil, weeds and sticks.

Place mulch clear of plant stems, and rake to an even surface flush with the surrounding finished levels.

IRRIGATION

Design, supply and install an automatic irrigation system that will deliver evenly, sufficient water to the trees, shrubs, groundcovers, turf and other planting on the site to maintain healthy growth continuously throughout the year.

The contractor shall be responsible for establishing the numbers and locations of emitters, spray heads, solenoid valves, filters etc required to provide a satisfactory performance of the system. Spray heads shall be directed away from seating, walls, paving, paths and steps.

Provide an automatic irrigation system with drippers/ microsprays to all garden beds. Ensure the pipework is installed in the least visible position possible. The detailed layout of all irrigation is to be approved prior to installation.

Connection to rainwater tank: Connection to rainwater retention tanks to be by way of an approved pump system meeting pressure requirements of proposed irrigation system. An approved filter system will be required to prevent algae and/or silt clogging effective operation of the irrigation system.

Drippers: Drippers shall deliver 2.3 litres per hour, at 400mm spacing or to base of individual plants as required and should be pressure compacted drippers.

Spray heads: To meet requirements of trees and lawn areas.

Valves: Richdel or similar approved 24 volt solenoid valves to be installed in Brookes or approved equal valve boxes. Top of box to be installed flush with finished soil level and covered with mulch layer.

Controller: Richdel or similar approved with numbers of stations required to isolate each area. Contractor is to allow for Controller in lockable metal cabinet in a location to the direction of the Architect. Power outlet for the operation of this unit to be supplied by others.

Pipework: Class HDPE pipe with pressure rating PN12.5 to be used for main lines. Copper pipework under paving and through masonry is to be installed. Drip lines will be LDPE laid on the surface of the soil under the mulch layer.

Cabling: 24 volt cabling to be enclosed in conduit in all areas. All wire must be installed in an unbroken length from the controller to the solenoid valve. All wires to be multistrand multicore and manufactured to AS 1125 and have polyethylene protective coating. All wire connectors must be waterproof. Cable to be minimum 1.0m2.

Rain sensor: A "mini clik" or similar or approved device to be supplied and installed to the approval of the superintendent. This unit is to be set to turn the system off after 3mm of rain has occurred.

The irrigation contractor shall check and monitor the system performance; once per month throughout the planting establishment period. The contractor shall provide the client with a recommended watering schedule for summer and winter that includes the dates to change the operation.

MAINTENANCE/ ESTABLISHMENT

Throughout the planting establishment period (12 weeks), carry out maintenance work including, watering, mowing, weeding, rubbish removal, fertilising, pest and disease control, reseeding, returfing, staking and tying, replanting, cultivating, pruning, hedge clipping, aerating, reinstatement of mulch, renovating, top dressing, and keeping the site neat and tidy. Continue to replace failed, damaged or stolen plants.

LANDSCAPE STATEMENT

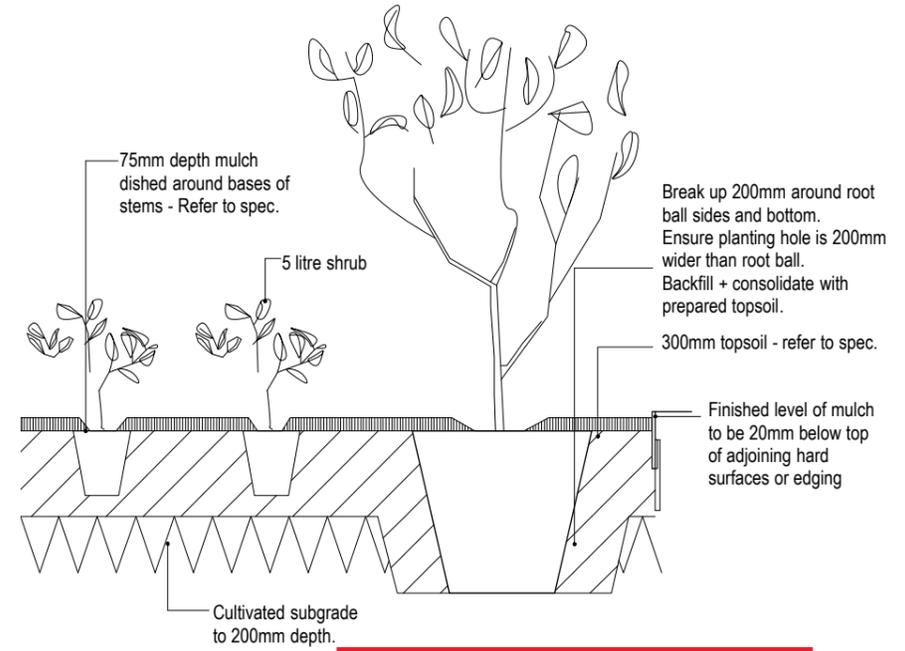
The landscape design scheme contributes to the external amenity of the architectural scheme in a way that both aesthetically compliments the building design and provides a planted buffer to adjoining properties. The landscape areas comprise:

- Ground level deep soil southern boundary setback
- Ground level eastern terrace
- Level 2 private terrace planters

Ground level southern boundary planting provides screening to the neighbouring retail premises through a combination of columnar tree species and vertical tensioned cables trained with vines. Plants species have been selected for shade tolerance

Ground level eastern terrace provides outdoor space for two commercial premises. An on slab boundary planter is planted with screen planting to approx. 2m high and vines are proposed to be trained to the pergola covering the area. Planters will have 600mm soil depth in accordance with Apartment Design Guide (ADG) guidelines

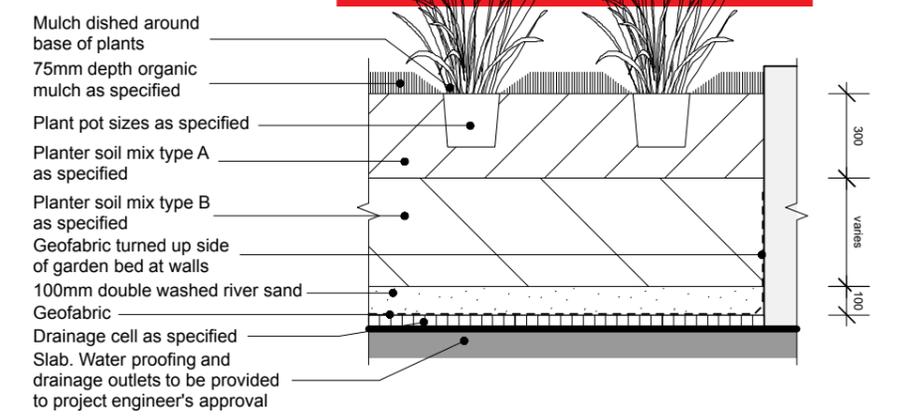
The Level 2 private terraces incorporate perimeter planters and are proposed to be planted with predominately low, drought and heat tolerant plants that will compliment the building facade and enable views over when residents are on their terraces. Talling planting is proposed to screen between terraces. Planters will have 600mm soil depth in accordance with ADG guidelines.



1 TYPICAL ON GRADE PLANTING DETAIL
1:25@A1

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2 TYPICAL ON SLAB PLANTING DETAIL
1:25@A1

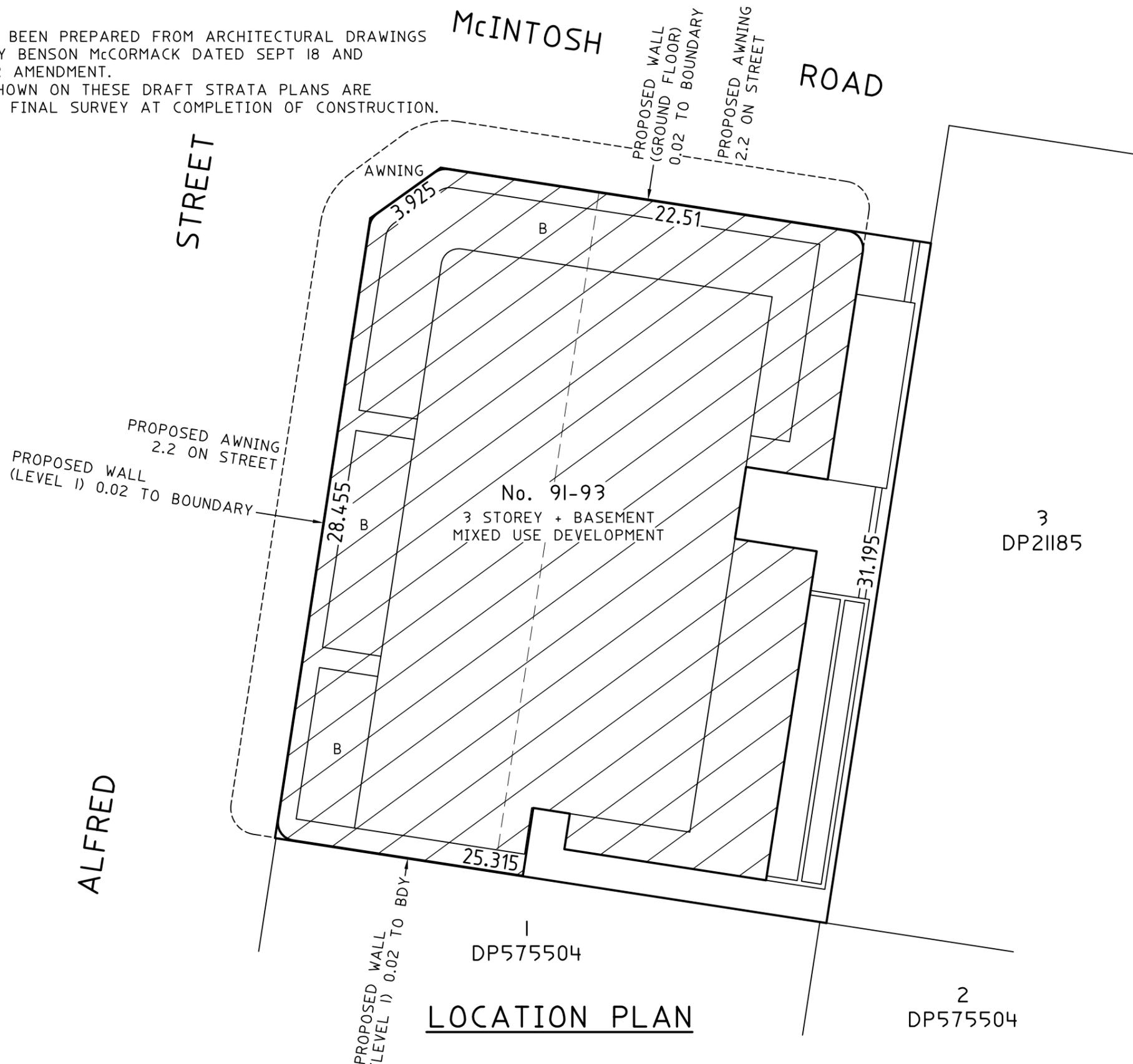
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<p>melissa wilson landscape architects Level 1 216-218 Crown Street Darlinghurst NSW 2010 p. 9281 4305 m. 0416 112 862 e. melissa@melissawilson.com.au</p>	<p>ARCHITECT Benson McCormack Architecture Studio 5, 505 Balmain Road Lilyfield NSW 2040</p>	<p>CLIENT Dreambuild</p>	<p>ISSUE A</p>	<p>AMENDMENT DEVELOPMENT APPLICATION</p>	<p>DATE 10.10.18</p>	<p>PROJECT 91M 91-93 MCINTOSH ROAD, NARRAWEENA</p>	<p>DRAWING TITLE LANDSCAPE- NOTES & DETAILS</p>	<p>ISSUE A</p>	<p>NOTES REFER TO DETAIL SURVEY FOR SITE IDENTIFICATION, BOUNDARY INFORMATION & LEVELS. ALL LEVELS AND DIMENSIONS TO BE CONFIRMED ON SITE. IF ANY DISCREPANCIES OCCUR PLEASE NOTIFY THE LANDSCAPE ARCHITECT</p>
	<p>SCALE DRAWN GM</p>	<p>PROJECT NO. 1858</p>	<p>DWG NO. LS03</p>	<p>SHEET 3 OF 3</p>	<p>SCALE BAR</p>				

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B = BALCONY



LOCATION PLAN

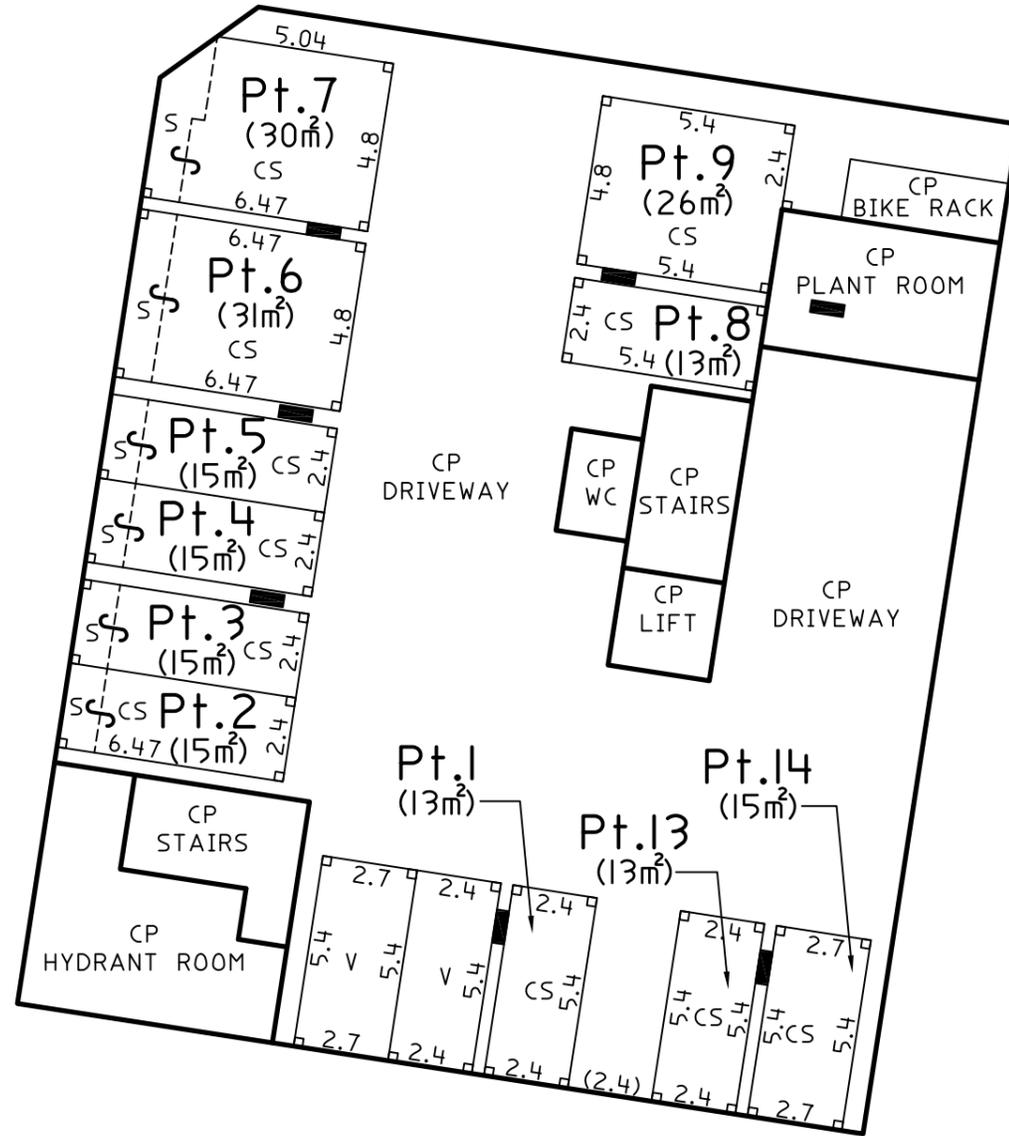

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<p>SURVEYOR Name: Robert Shawn Friend Date: 10th October 2018 Reference: 1821-3-A(draft)</p>	<p>PLAN HEADING DRAFT STRATA PLAN OF SUBDIVISION OF LOTS 102 & 102 IN DP868560</p>	<p>L.G.A.: NORTHERN BEACHES Locality: NARRAWEENA reduction Ratio: 1:200 Lengths are in metres</p>	<p>REGISTERED</p>	<p>SP DRAFT</p>
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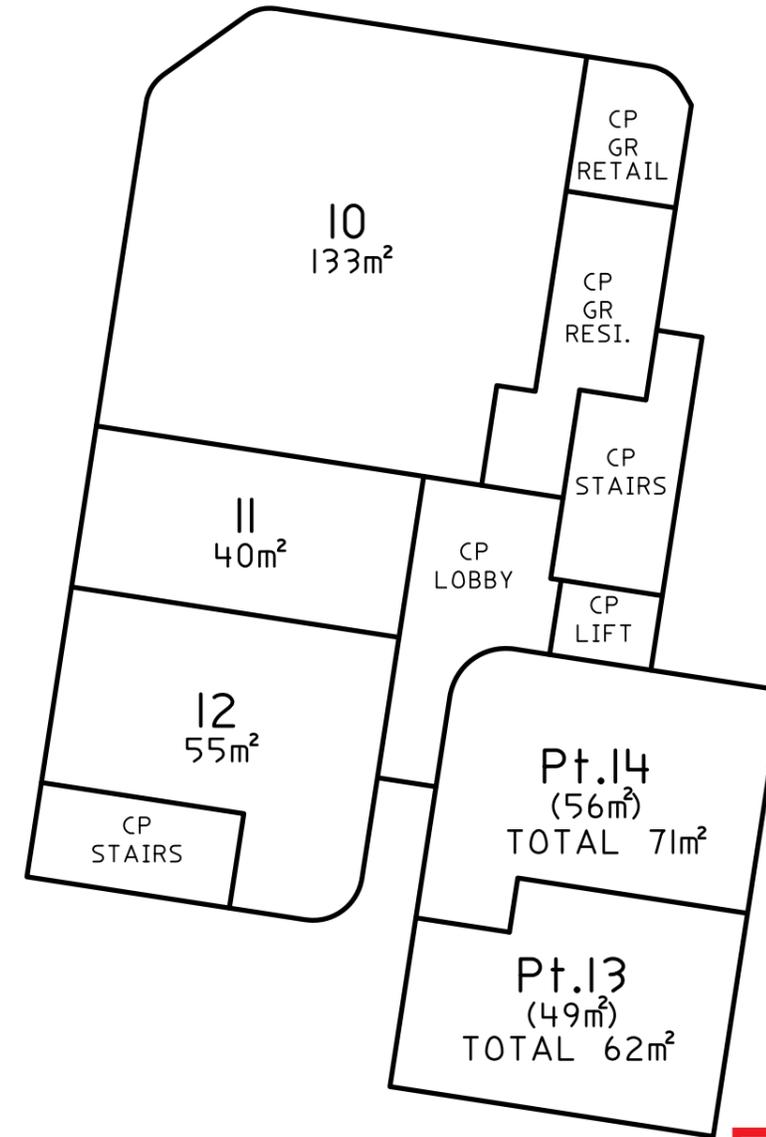
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- ⊥ = RIGHT ANGULAR (90°) MEASUREMENT
- CP = COMMON PROPERTY
- V = VISITORS PARKING (COMMON PROPERTY)
- GR = GARBAGE ROOM
- RESI. = RESIDENTIAL
- S = STORAGE
- CS = CAR PARKING SPACE



BASEMENT FLOOR PLAN



GROUND FLOOR PLAN

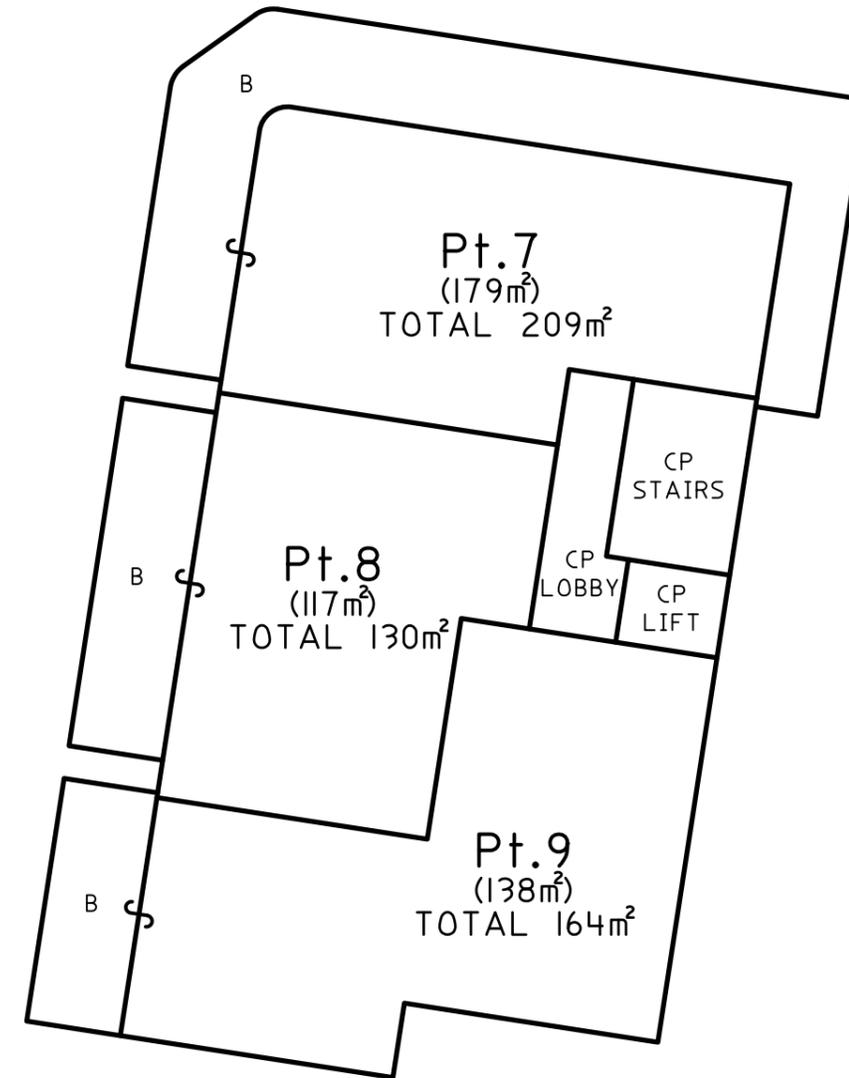
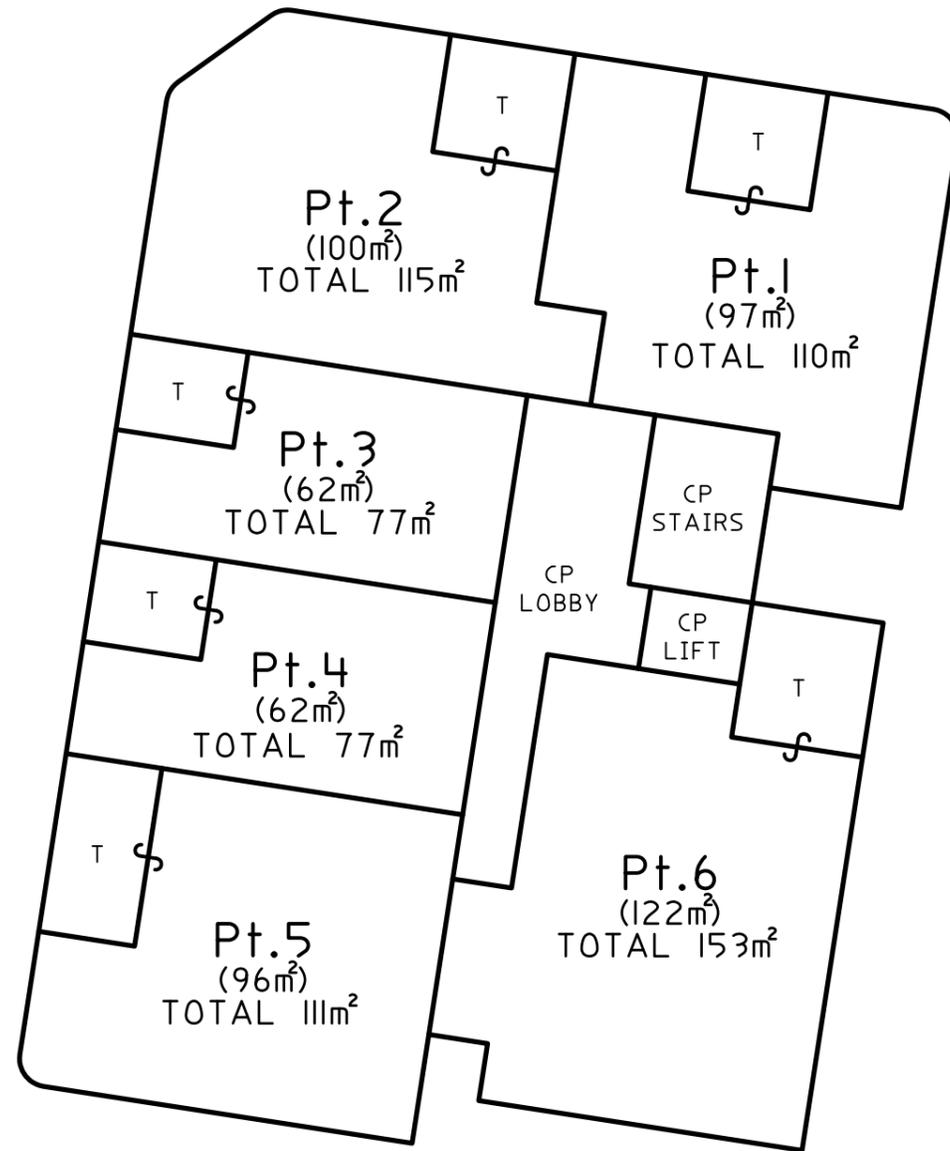
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 ALL AREAS ARE APPROXIMATE.

T = TERRACE
 B = BALCONY
 CP = COMMON PROPERTY



FIRST FLOOR PLAN

SECOND FLOOR PLAN

THE HEIGHT OF ALL BALCONIES AND TERRACES ARE LIMITED TO 3 ABOVE THE UPPER SURFACE OF THEIR FINISHED FLOOR LEVEL, EXCEPT WHERE COVERED WITHIN THAT LIMIT.



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