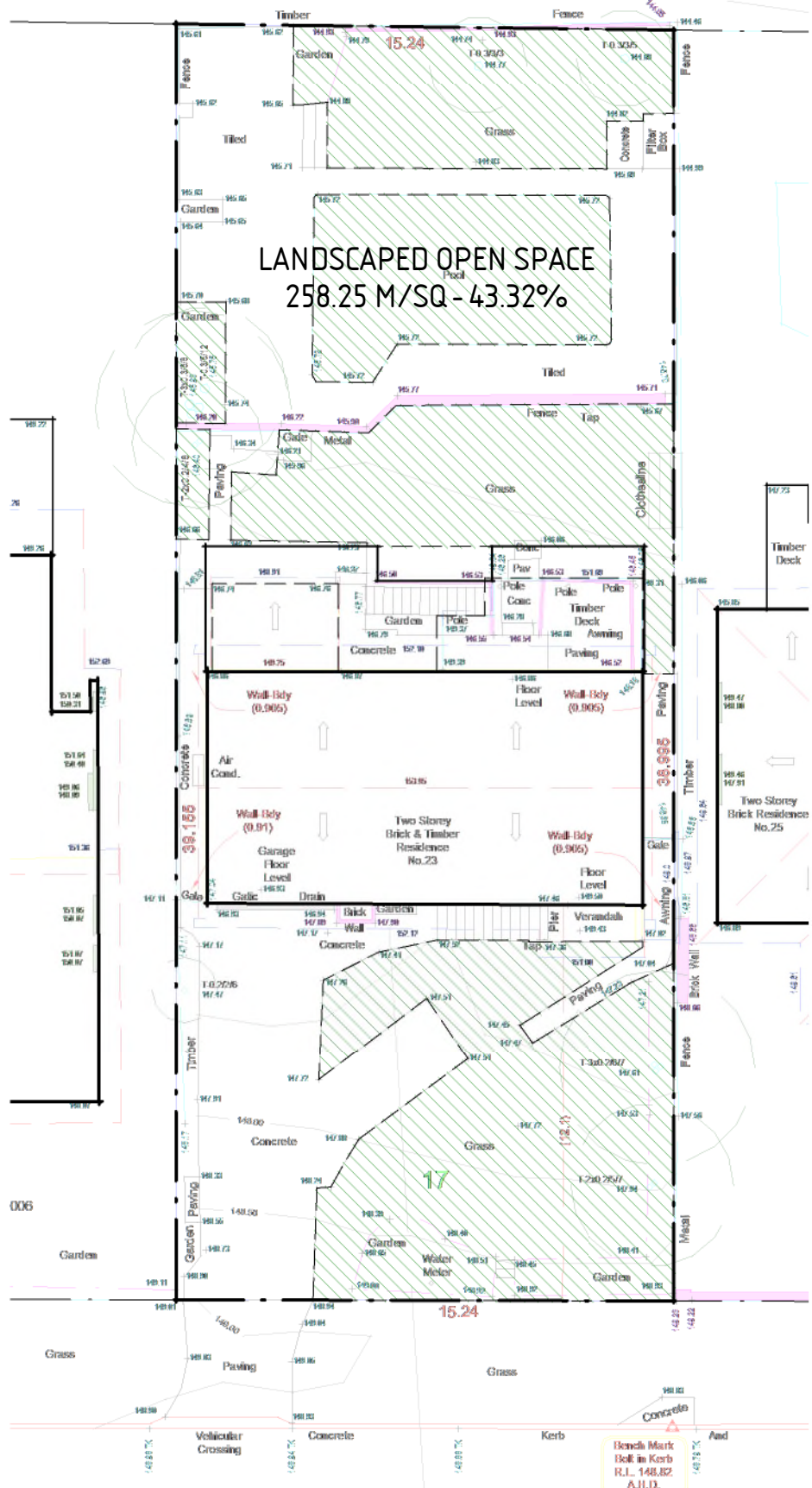


01 SITE PLAN  
1:100



02 LANDSCAPED OPEN SPACE DIAGRAM  
1:200

AREA CALCULATIONS	
SITE AREA	596.02 M/SQ
GROUND FLOOR GFA	85.87 M/SQ
FIRST FLOOR GFA	92.63 M/SQ
TOTAL GROSS FLOOR AREA	178.50 M/SQ
EXISTING STORAGE	9.44 M/SQ
EXISTING REAR COVERED DECK	16.11 M/SQ
PROPOSED REAR COVERED DECK	46.60 M/SQ
EXISTING LANDSCAPED OPEN SPACE	267.04 M/SQ
PROPOSED LANDSCAPED OPEN SPACE	258.25 M/SQ
	43.32% OF SITE AREA

**SURVEY INFORMATION**  
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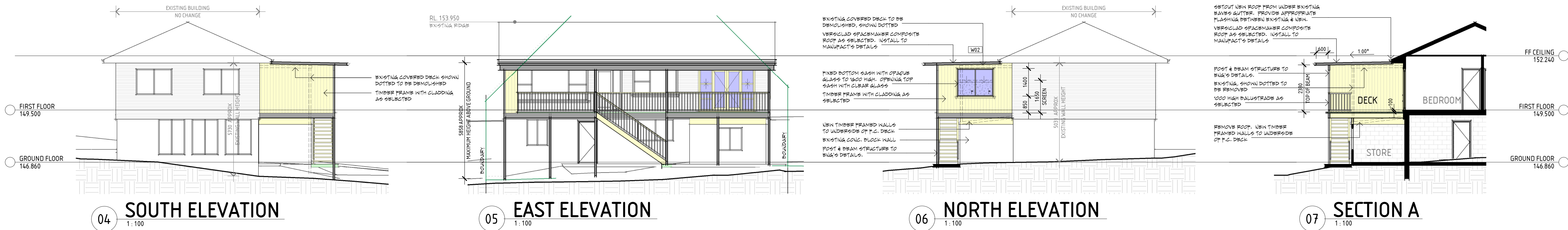
**EROSION CONTROL**  
NOT REQUIRED. NO SITE DISTURBANCE OTHER THAN A FEW POST HOLES THAT ARE SURROUNDED BY LAWN.

**STORMWATER**  
STORMWATER RUN-OFF FROM ALL NEW IMPERVIOUS AREAS AND SUBSOIL DRAINAGE SYSTEMS SHALL BE PIPED TO THE EXISTING SITE DRAINAGE SYSTEM. THE INSTALLATION OF NEW DRAINAGE COMPONENTS MUST BE COMPLETED BY A LICENSED CONTRACTOR IN ACCORDANCE WITH AS3500.3 (PLUMBING CODE) AND THE BCA. NO STORMWATER RUNOFF IS TO BE PLACED INTO THE SYDNEY WATER SEWER SYSTEM. IF AN ILLEGAL SEWER CONNECTION IS FOUND DURING CONSTRUCTION, THE DRAINAGE SYSTEM MUST BE RECTIFIED TO THE SATISFACTION OF COUNCIL AND SYDNEY WATER.

D.A. ISSUE - NOT FOR CONSTRUCTION  
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PERSPECTIVE VIEW FROM REAR, SHOWING ADJOINING RESIDENCE #29 COURTELY ROAD.

PLANS TO BE READ IN CONJUNCTION WITH  
BASIX CERTIFICATE A438701 - 12.11.2021

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m <sup>2</sup> )	Overshading Height (m)	Distance (m)	Shading device	Frame and glass type
W01	E	5.77	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)

WINDOW & DOOR SCHEDULE NOTES:

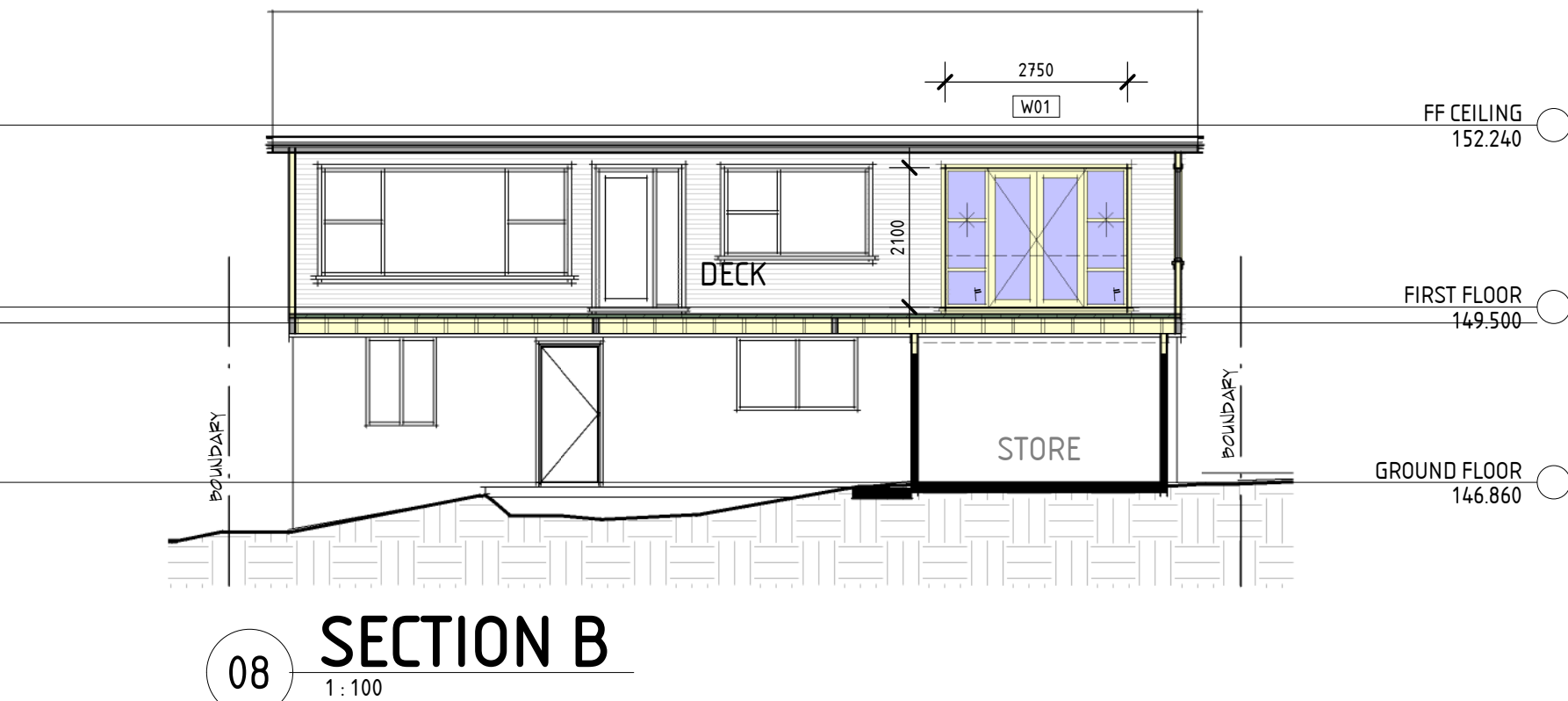
1. ALL DIMENSIONS SHALL BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
2. ALL APPLICATIONS OF GLAZING TO COMPLY WITH AS1288-2006.
3. TIMBER FRAMED WINDOWS & DOOR FRAMES, FINISH AS SELECTED.
4. PROVIDE KEYS ALIKE WINDOW & DOOR LOCKS AS REQUIRED.
5. TYPES OF WINDOW OPERATION (EG. SLIDING, AWNING, FIXED) FOR EACH WINDOW & SAMPLE OF HARDWARE TO BE APPROVED BY CLIENT BEFORE ORDER.
6. TYPE OF OBSCURE OR FROSTED GLAZING TO BE SELECTED & APPROVED BY OWNER.
7. REFER TO BASIX CERTIFICATE FOR MINIMUM PERFORMANCE REQUIREMENTS.
8. CONTRACTOR TO PROVIDE A CERTIFICATE OF COMPLIANCE ON COMPLETION.

EXTERNAL FINISHES

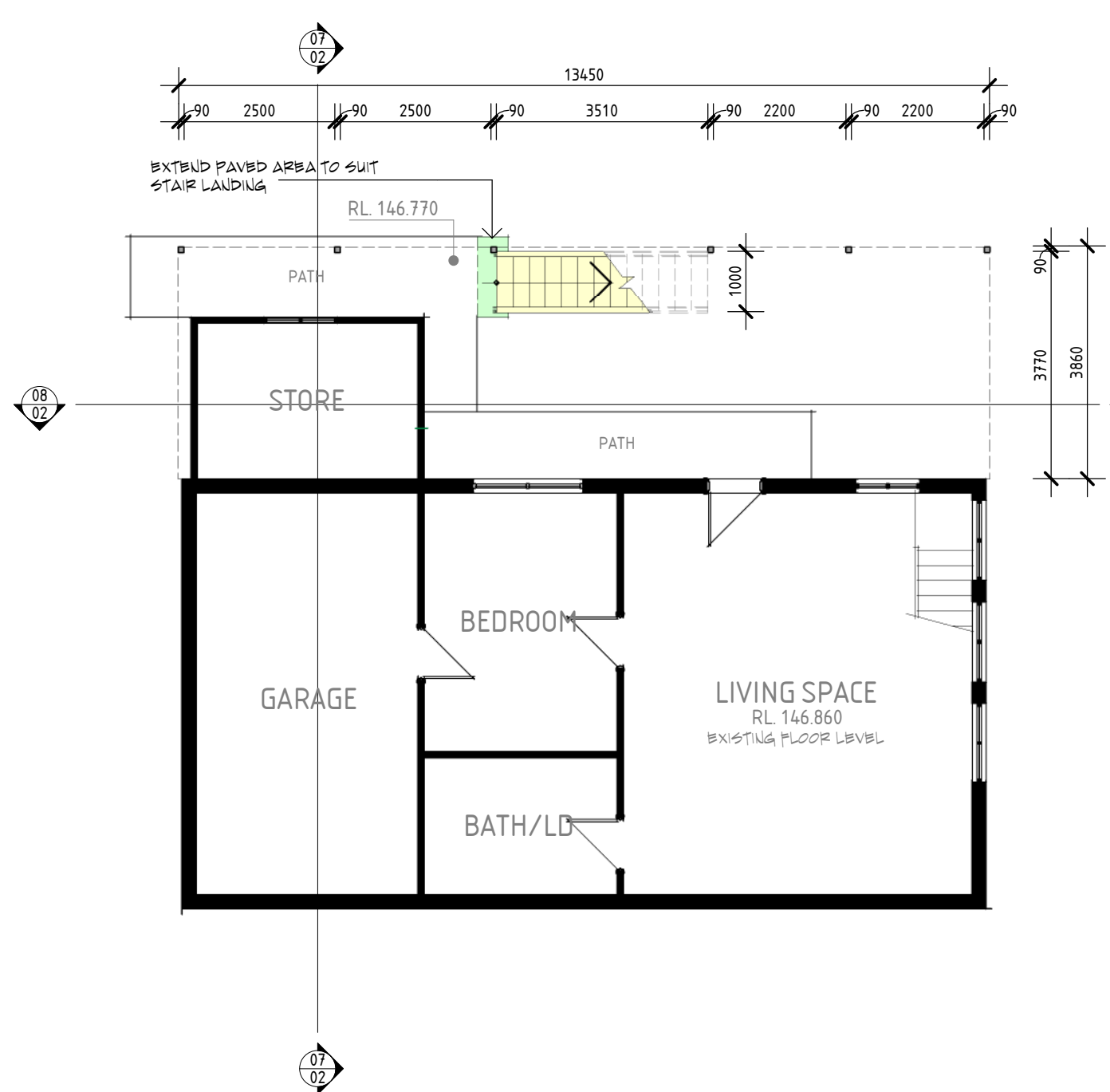
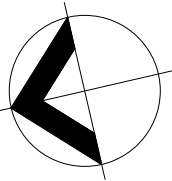
- ROOF - METAL DECK ROOF, COLORBOND COLOUR TO BE SELECTED
- GUTTER, DOWNPIPES & FASCIA - TO MATCH EXISTING
- CLADDING - AS SELECTED, SIMILAR PROFILE TO EXISTING, SIMILAR COLOUR TO EXISTING
- POSTS & BEAMS - PAINT FINISHES, COLOUR TO BE SELECTED

STRUCTURE NOTE

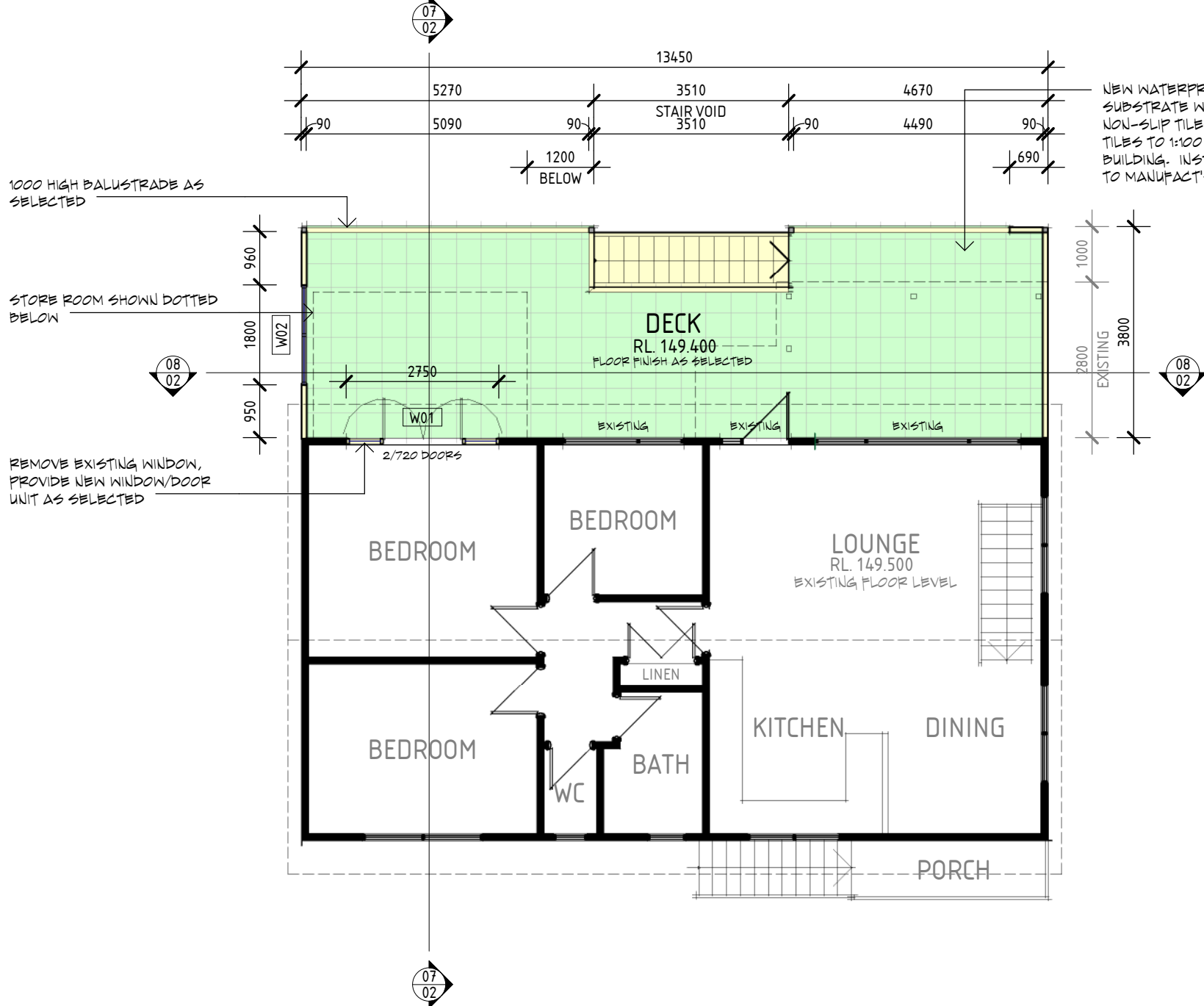
- ALL TIMBER EXPOSED TO WEATHER SHALL HAVE A DURABILITY LEVEL AS PER AS1664.2
- ALL TIMBER FRAMING AND CONNECTIONS TO BE IN ACCORDANCE WITH AS1684 LIGHT TIMBER FRAMING CODE
- ALL STRUCTURAL BEAMS/POSTS ARE AN INDICATION ONLY. REFER TO ENGINEERS DETAILS FOR ALL LOCATIONS & CONNECTIONS.



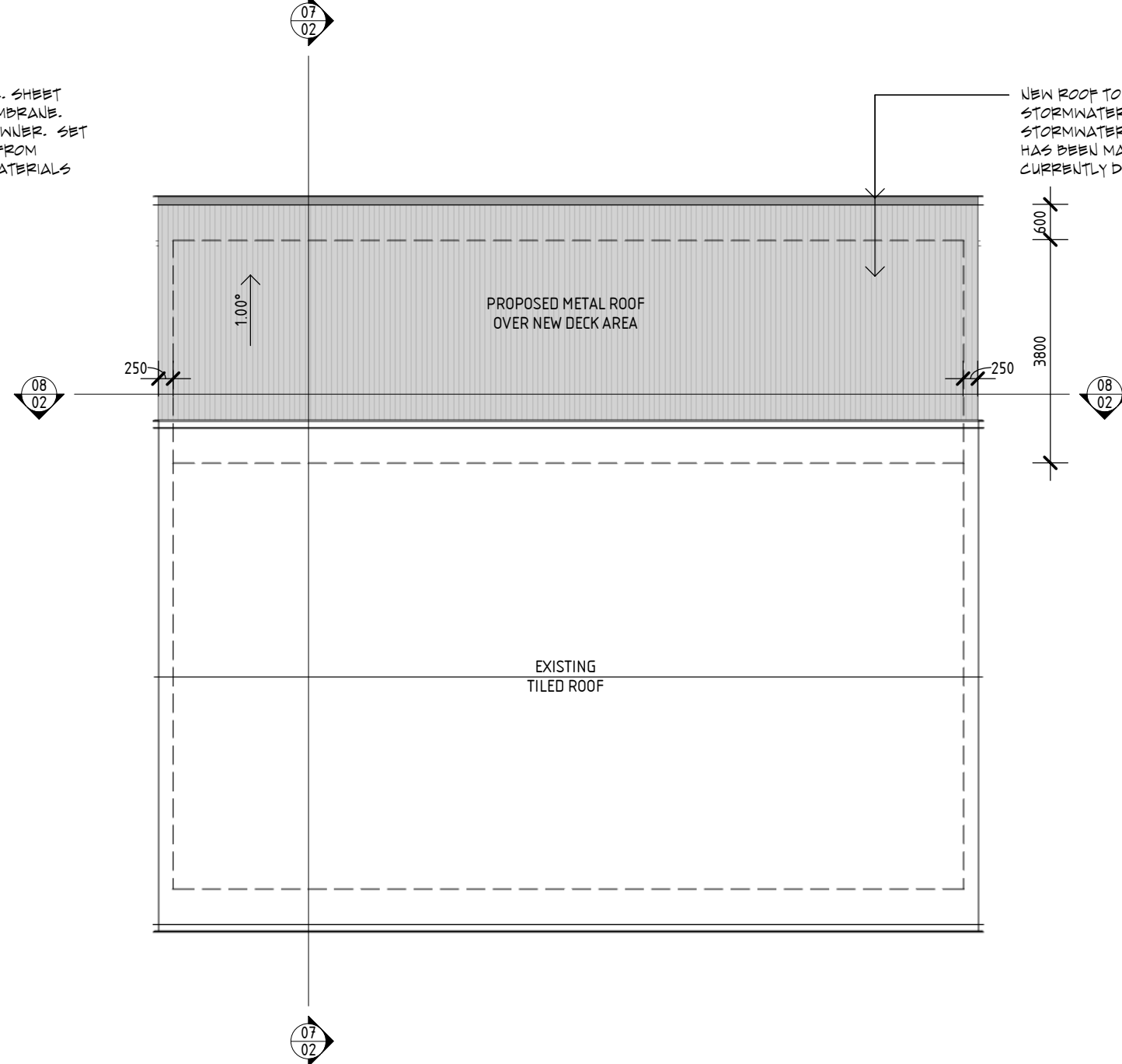
08 SECTION B 1:100



01 GROUND FLOOR PLAN 1:100



02 FIRST FLOOR PLAN 1:100



03 ROOF PLAN 1:100

GENERAL CONSTRUCTION NOTES:

ALL WORK TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES, COUNCIL AND ALL RELEVANT AUSTRALIAN STANDARDS. BUILDER TO ENSURE COMPLIANCE WITH WORKCOVER REQUIREMENTS. PLANS TO BE READ IN CONJUNCTION WITH SPECIFICATION & STRUCTURAL ENGINEERS DRAWINGS. WHEN PROPRIETARY PRODUCTS ARE REFERRED TO, INSTALL IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS. ALL LEVELS (R.L.'S) SHOWN ARE FINISHED LEVELS. BUILDER TO ALLOW FOR SET DOWNS AS REQUIRED. CHECK ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES AND OMISSIONS TO DESIGN CONFIDENTIAL.

SURVEY INFORMATION

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EROSION CONTROL

NOT REQUIRED. NO SITE DISTURBANCE OTHER THAN A FEW POST HOLES THAT ARE SURROUNDED BY LAWN.

STORMWATER

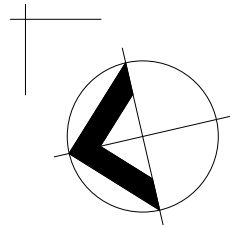
STORMWATER RUN-OFF FROM ALL NEW IMPERVIOUS AREAS AND SUBSOIL DRAINAGE SYSTEMS SHALL BE PIPED TO THE EXISTING SITE DRAINAGE SYSTEM. THE INSTALLATION OF NEW DRAINAGE COMPONENTS MUST BE COMPLETED BY A LICENSED CONTRACTOR IN ACCORDANCE WITH ASS5000.3 (PLUMBING CODE) AND THE BCA. NO STORMWATER RUNOFF IS TO BE PLACED INTO THE SYDNEY WATER SEWER SYSTEM. IF AN ILLEGAL SEWER CONNECTION IS FOUND DURING CONSTRUCTION, THE DRAINAGE SYSTEM MUST BE RECTIFIED TO THE SATISFACTION OF COUNCIL AND SYDNEY WATER.

DEMOLITION

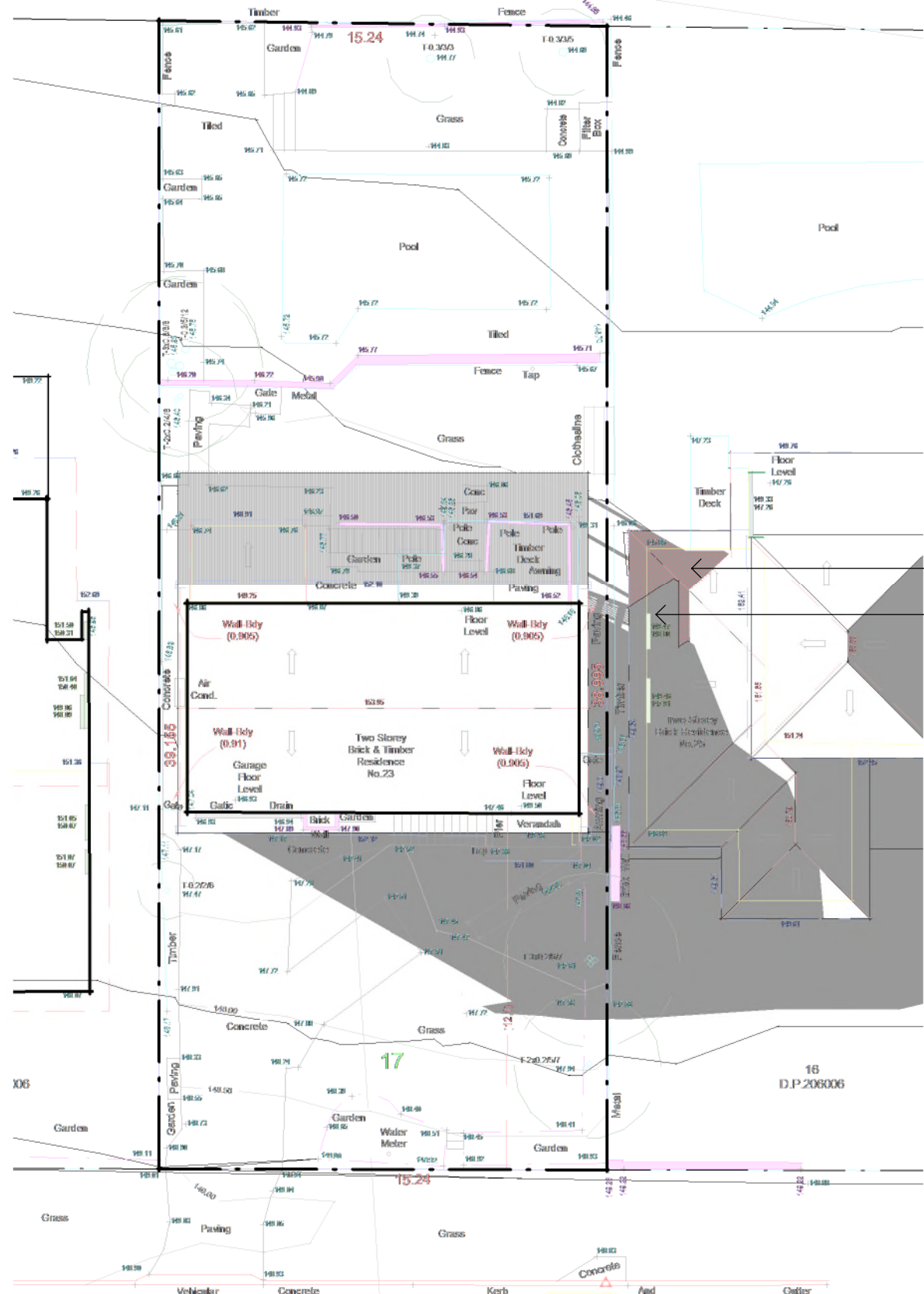
THE DEMOLITION WORK SHALL COMPLY WITH THE PROVISIONS OF AUSTRALIAN STANDARD AS2601:2001 THE DEMOLITION OF STRUCTURES. HAZARDOUS MATERIALS REMOVAL TO AS 2601 clause 1.6.2.



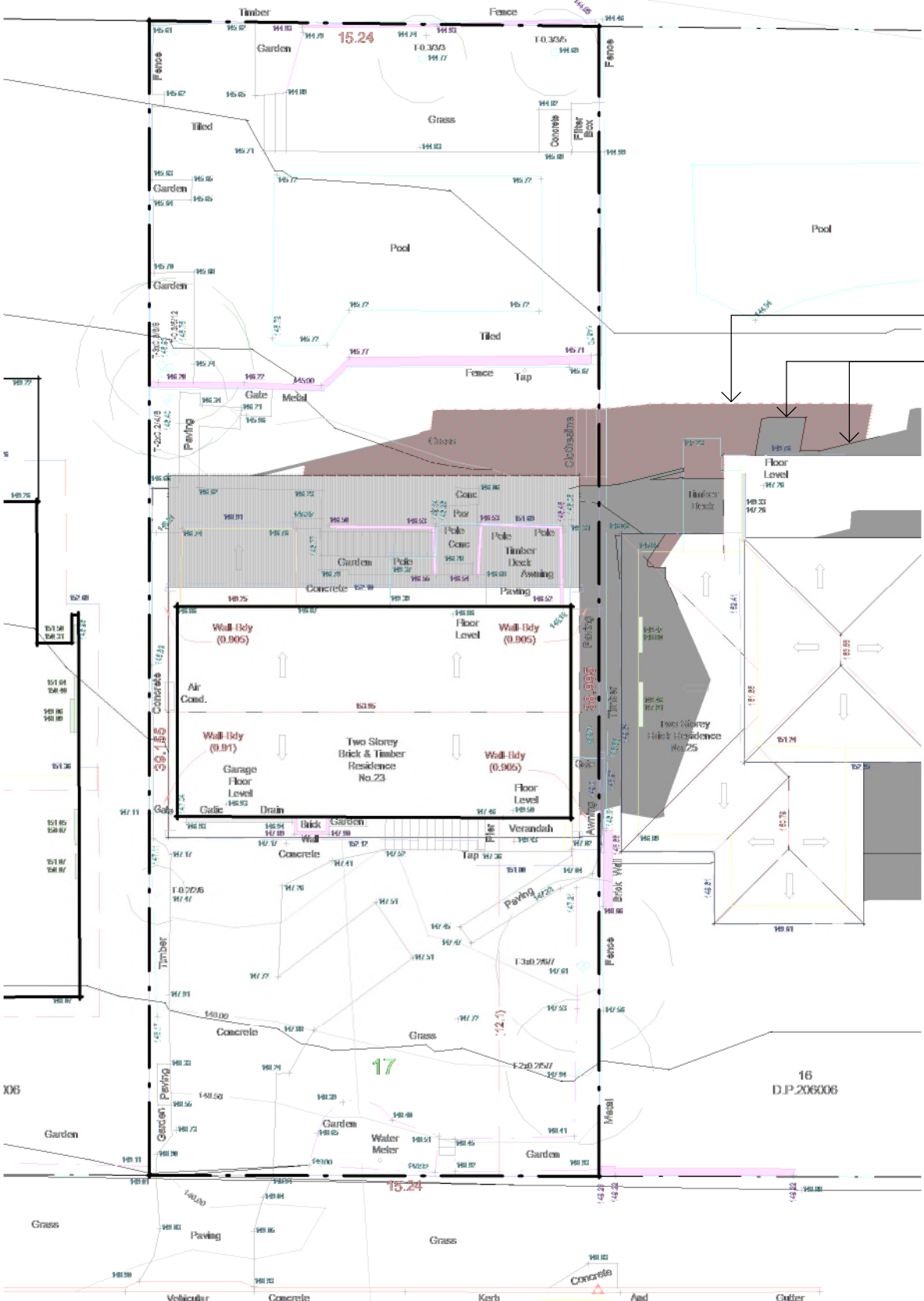




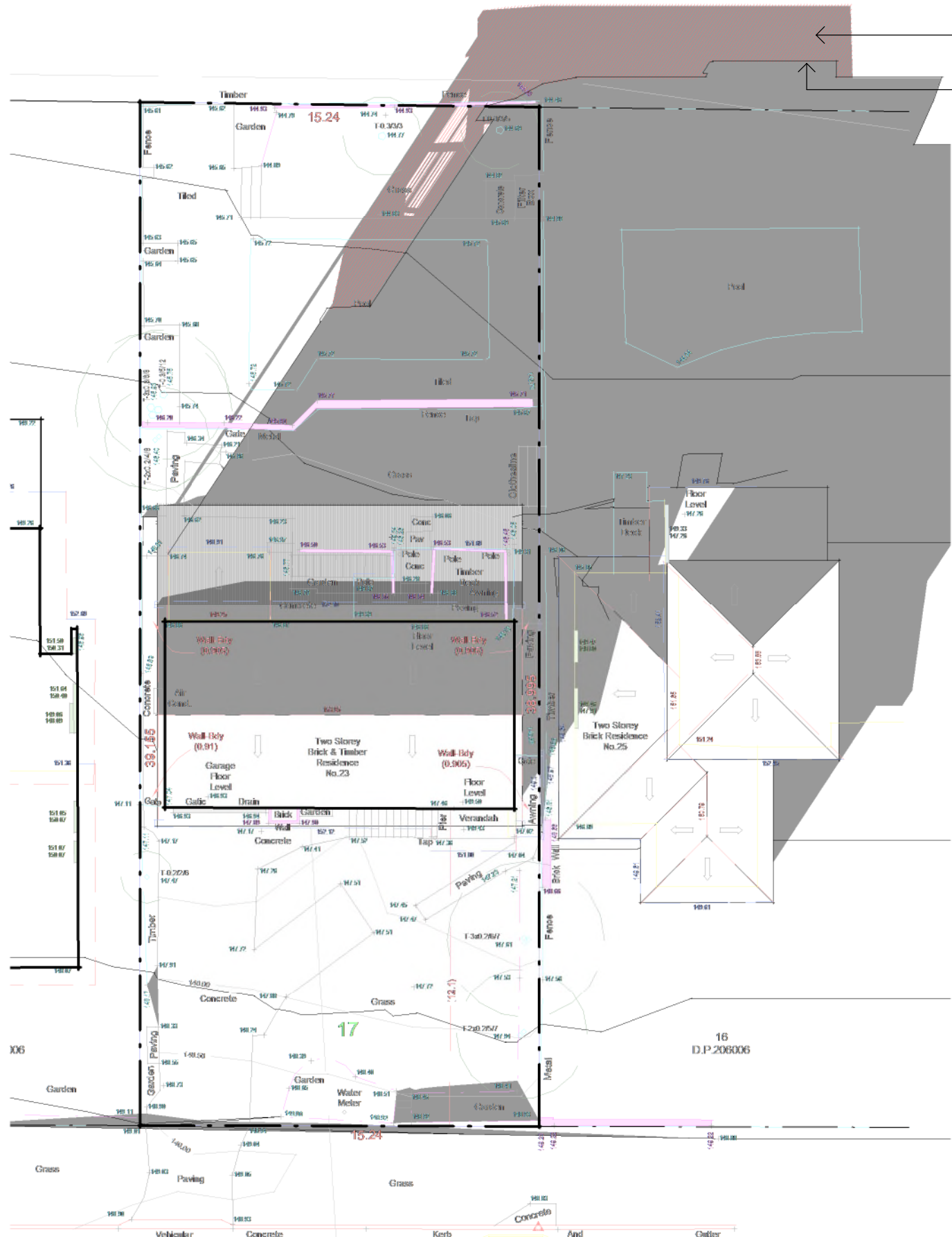
PRICE RESIDENCE - 23 Courtley Road, Beacon Hill



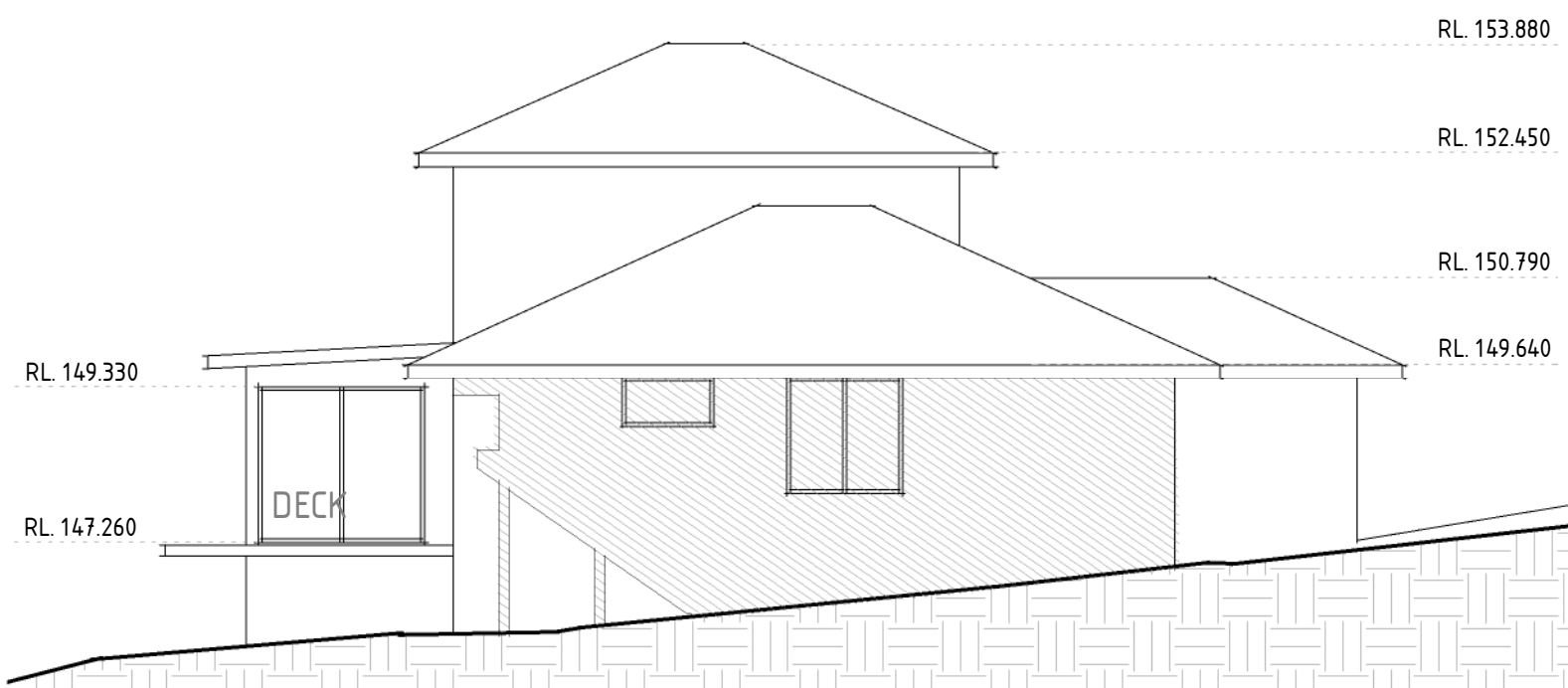
01 COURTLEY ROAD  
9AM WINTER SOLSTICE  
1:200



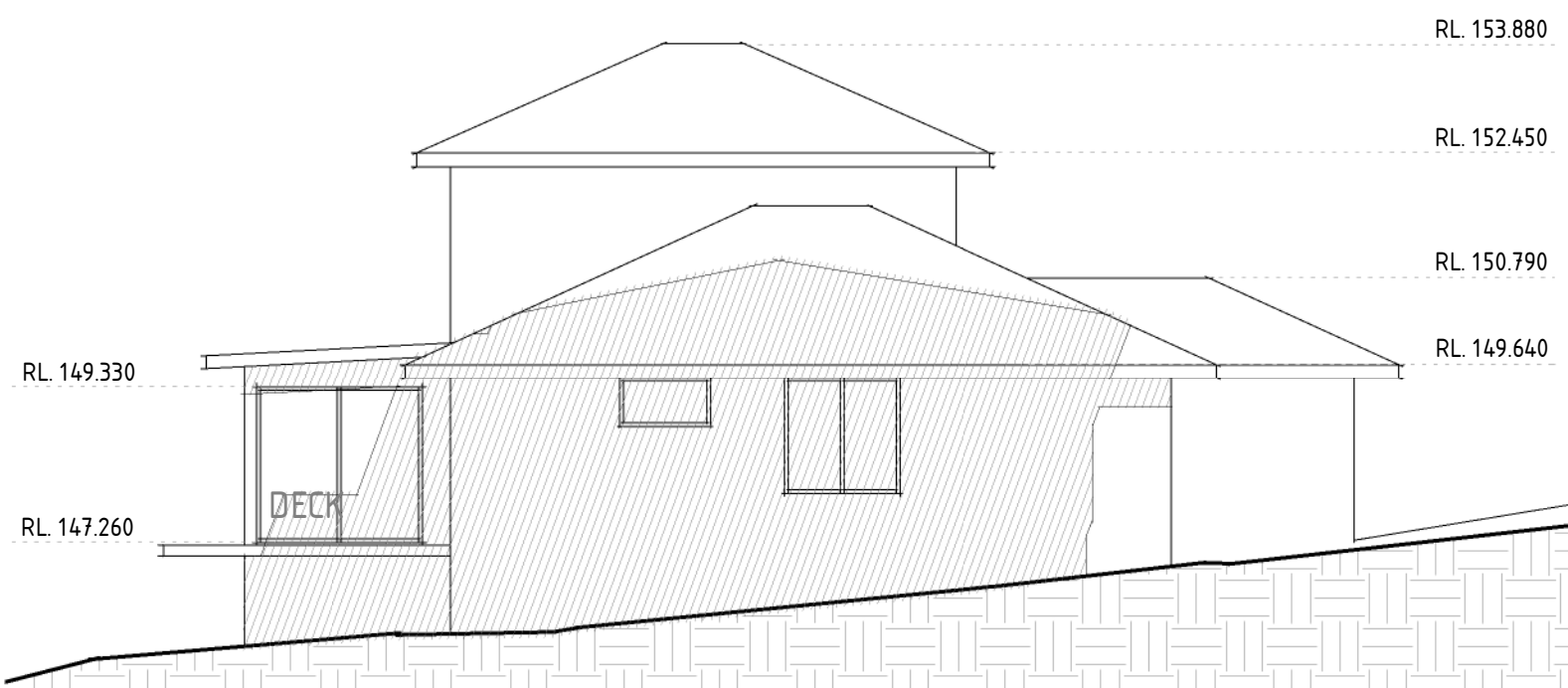
02 COURTLEY ROAD  
12NOON WINTER SOLSTICE  
1:200



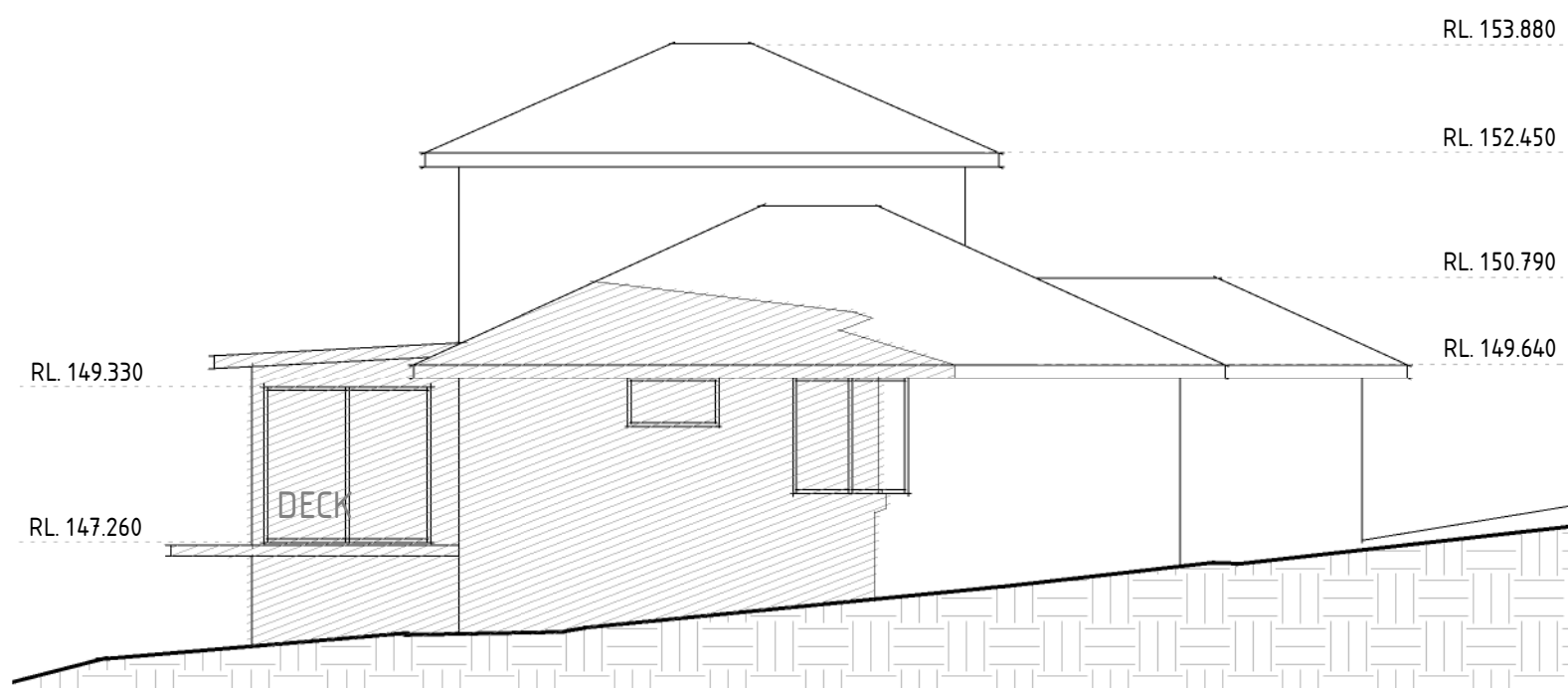
03 COURTLEY ROAD  
3PM WINTER SOLSTICE  
1:200



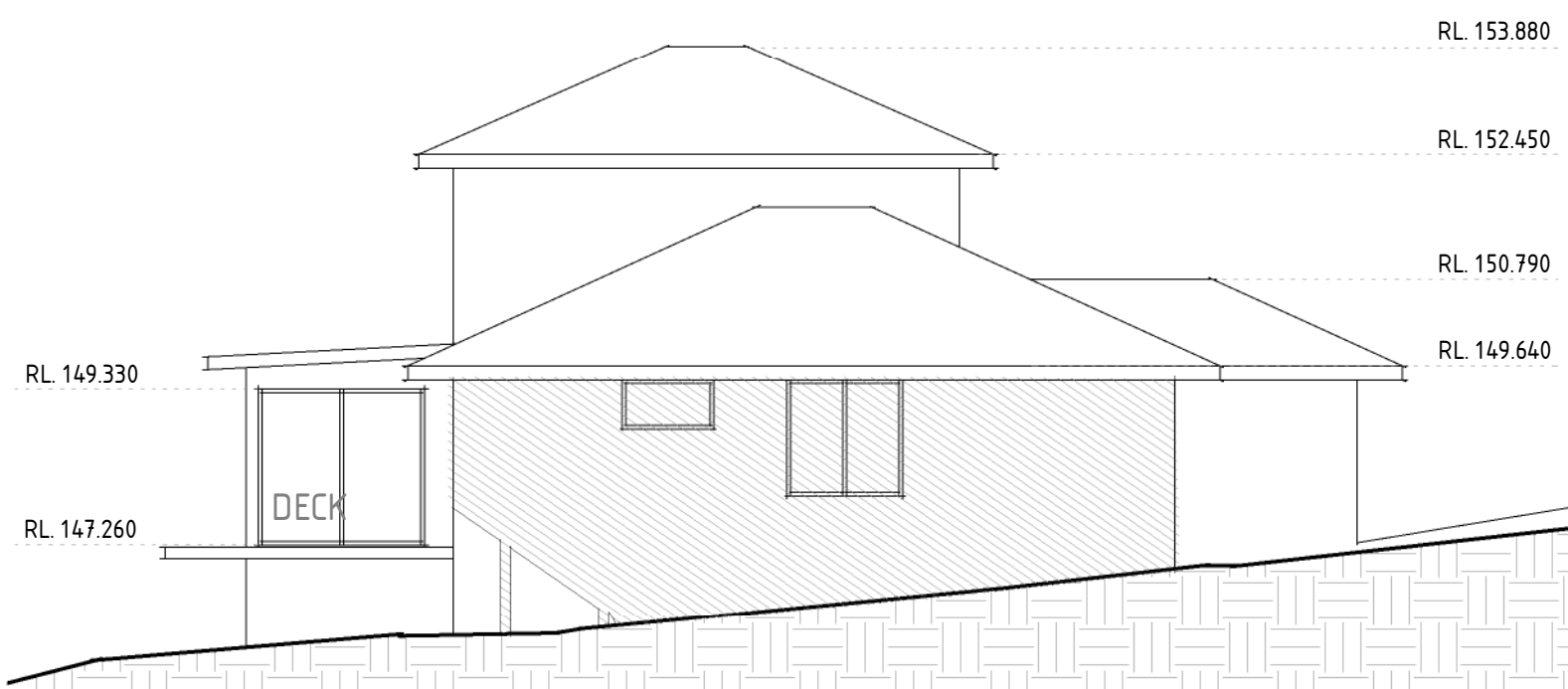
04 NORTH ELEVATION #25 9AM WINTER SOLSTICE EXISTING  
1:100



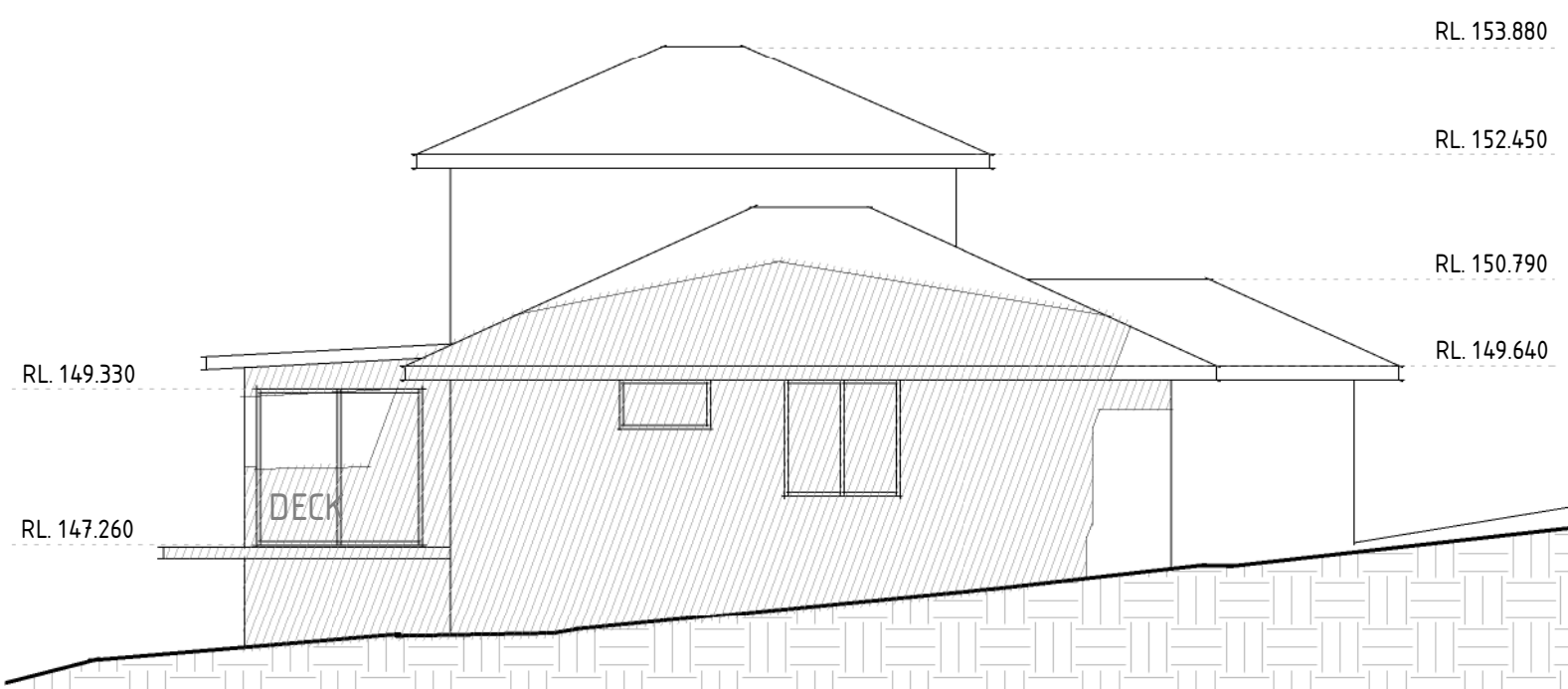
06 NORTH ELEVATION #25 12NOON WINTER SOLSTICE EXISTING  
1:100



08 NORTH ELEVATION #25 3PM WINTER SOLSTICE EXISTING/PROPOSED  
1:100



05 NORTH ELEVATION #25 9AM WINTER SOLSTICE PROPOSED  
1:100



07 NORTH ELEVATION #25 12NOON WINTER SOLSTICE PROPOSED  
1:100

**CERTIFIED SHADOW DIAGRAMS**  
- SHADOW DIAGRAMS ARE SHOWN FOR 21ST JUNE (WINTER SOLSTICE) AT 9AM, 12NOON & 3PM.  
- THE DIAGRAMS USE THE LEVELS & LOCATIONS FROM THE SUPPLIED TOPOGRAPHICAL SURVEY.  
- THE MODELLING IS SET TO TRUE NORTH.  
- THE DIAGRAMS CLEARLY SHOW THE EXISTING SHADOW & HIGHLY THE PROPOSED ADDITIONAL SHADOWS FOR EASY ASSESSMENT.  
- I AM SUITABLY QUALIFIED AS AN ARCHITECTURAL DRAFTSMAN & BUILDING DESIGNER TO PREPARE ACCURATE SHADOW DIAGRAMS.

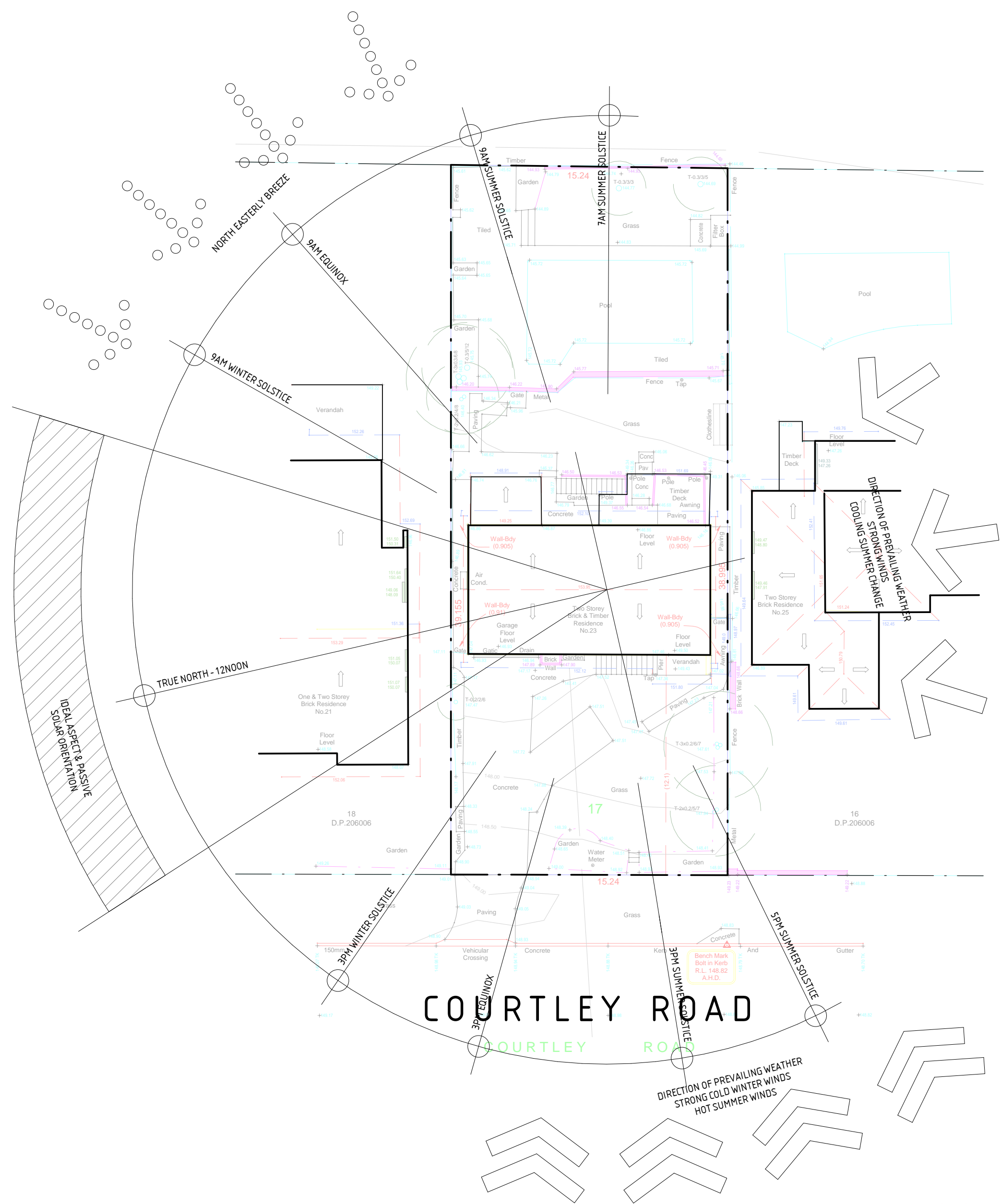
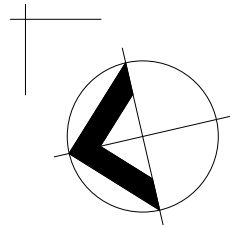
DEAN MAHER - DESIGN CONFIDENTIAL

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ISSUED FOR DEVELOPMENT APPLICATION 12.11.2021







01 SITE ANALYSIS PLAN  
1:200



AERIAL PHOTOGRAPH BY SIX MAPS  
APPROX SCALE 1:200

