

Approx. True North
Magnetic North (PLAN)

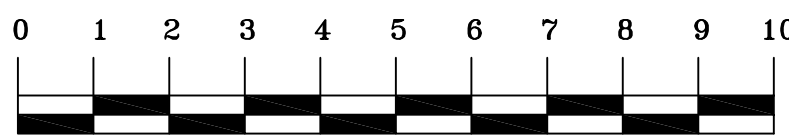
S.P.6865

S.P.8538

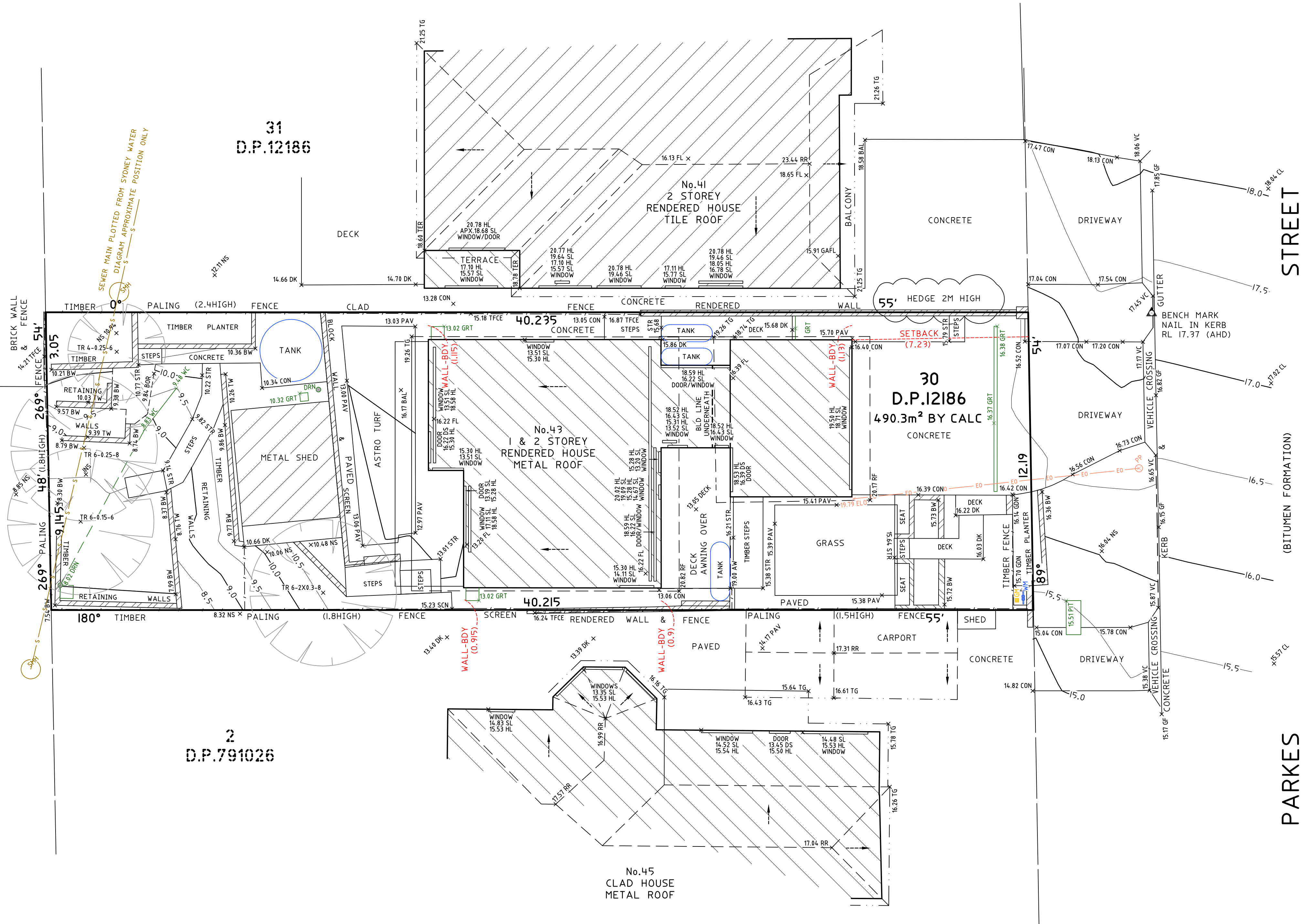
LEGEND:

AW = AWNING
BAL = BALCONY
BLD = EXTERNAL BUILDING
BMPL = BENCH MARK PLACED
BOR = BOTTOM OF ROCK
BW = BOTTOM WALL
CL = CENTRELINE
CON = CONCRETE
DK = DECK
DS = DOOR SILL LEVEL
ELO = ELECTRICITY LINE OVERHEAD
FL = FLOOR LEVEL
GAFL = GARAGE FLOOR LEVEL
GDN = GARDEN
GF = GUTTER LEVEL
GM = GAS METER
GRT = GRATE
HL = HOOD LEVEL
INS = INSPECTION PIT
NS = NATURAL SURFACE
PAY = PAVING
PIT = TOP OF PIT
RF = ROOF OF ROOF
RR = ROOF RIDGE
SCN = SCREEN
SL = SILL LEVEL
SMH = SEWER MAN HOLE
STR = STAIRS
TFCE = TOP OF FENCE
TG = TOP OF GUTTER
TLE = TREE LINE
TR = TREE
TW = TOP OF WALL
VC = VEHICLE CROSSING
WC = WATER COURSE
WM = WATER METER

EO = ELECTRICITY OVERHEAD
S = SEWER UNDERGROUND



SCALE 1:100



NOTES

- A FIELD SURVEY OF THE BOUNDARIES HAS BEEN CONDUCTED.
- WALL TO BOUNDARY DIMENSIONS SHOWN HEREON MUST NOT BE USED FOR CONSTRUCTION.
- IF CONSTRUCTION IS INTENDED TO BE UNDERTAKEN ON OR ADJACENT TO PROPERTY BOUNDARIES THE BOUNDARIES OF THE LAND MUST BE MARKED OR THE BUILDING SETOUT.
- THIS SURVEY IS FOR DESIGN PURPOSES OF THE SUBJECT LAND ONLY. THIS PLAN MUST NOT BE USED FOR ANY OTHER MATTER, PURPOSE OR CONSTRUCTION SETOUT.
- TREE SIZES ARE ESTIMATES ONLY.
- THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF ATS AWNINGS.
- RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
- EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
- ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. DIAL BEFORE YOU DIG SERVICES (DBYD) SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
- SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL.
- CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
- CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
- CONTOUR INTERVAL - 0.5 metre. - SPOT LEVELS SHOULD BE ADOPTED.
- POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE).
- THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.
- DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.
- COPYRIGHT © CMS SURVEYORS 2021.
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- THIS NOTICE MUST NOT BE ERASED.

STEPHEN EMERY
REGISTERED SURVEYOR BOSS1 NUMBER 1605

HORIZONTAL DATUM:
CO-ORDINATE SYSTEM: ASSUMED
MARKS ADOPTED: N/A
VERTICAL DATUM:
DATUM: AUSTRALIAN HEIGHT DATUM (AHD)
B.M. ADOPTED: PM 722
R.L. 21.53 (CLASS LB)
SOURCE: S.C.I.M.S. (7/6/2021)

FIRST ISSUE 23/06/2021

CLIENT:
JANE & BRUCE CLARK
C/- ATS AWNINGS
No.7/11 ROBERTSON PLACE
JAMISONTOWN, NSW, 2750

BOUNDARY IDENTIFICATION
AND DETAIL & LEVEL SURVEY
OVER LOT 30 IN DP12186
No.43 PARKES STREET
MANLY VALE, NSW, 2093

C.M.S. Surveyors
Pty Limited

ACN: 096 240 201
PO Box 463 Dee Why
NSW 2099
2/90A South Creek Road,
Dee Why NSW 2099
Telephone: (02) 9971 4802
Facsimile: (02) 9971 4822
E-mail: info@cmsurveyors.com.au

LGA: NORTHERN BEACHES SHEET 1 OF 1

SURVEYED TH	DRAWN ABS	CHECKED TH	APPROVED DR
SURVEY INSTRUCTION 20419	SCALE 1:100 A1 1:200 A3	DATE OF SURVEY 11/6/2021	
DRAWING NAME 20419detail	CAD FILE 20419detail 1.dwg	ISSUE 1	

TITLE INDICATES THAT LOT 30 IN D.P.12186 IS SUBJECT TO:
- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- A1910334 RESTRICTION(S) ON THE USE OF LAND (NOT INVESTIGATED)
- A1910335 POSITIVE COVENANT (NOT INVESTIGATED)

SKETCH

43 PARKES STREET
MANLY VALE

SKETCH SHOWING
WORK AS EXECUTED
OFFSETS OF STRUCTURES
RELATIVE TO BOUNDARIES
AND NUMEROUS LEVELS



PARKES

STREET

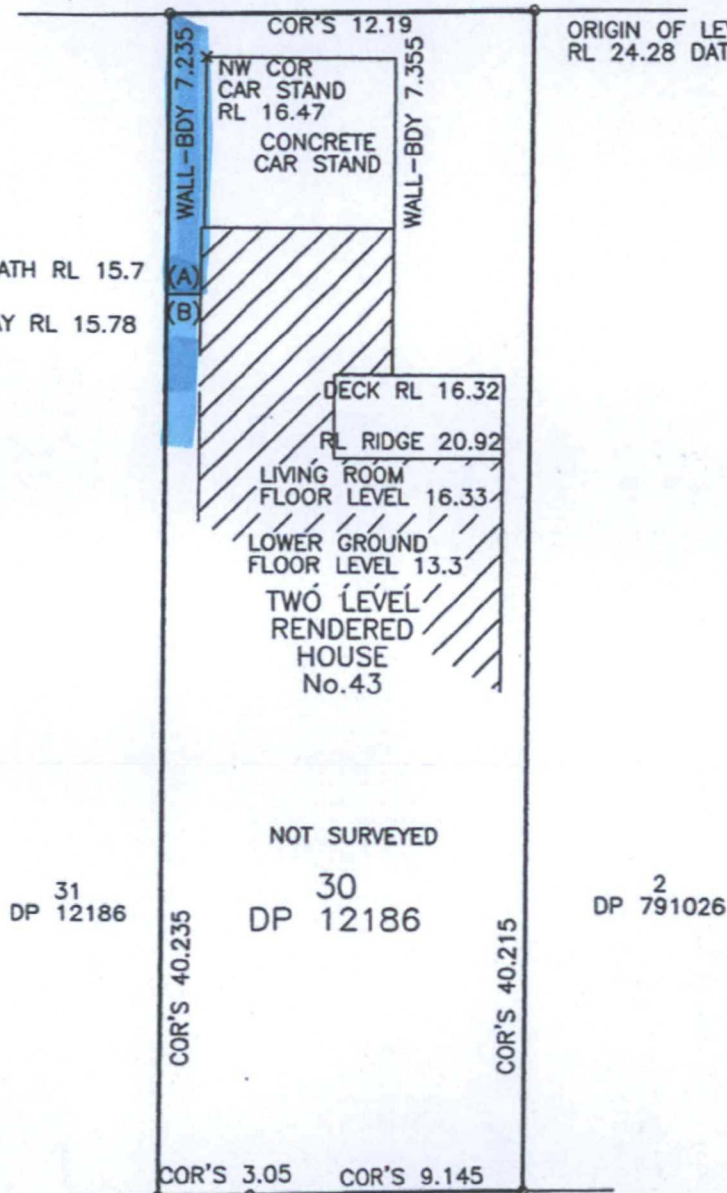
(A) On Plan As
15620

(A)=CONCRETE PATH RL 15.7

(B)=TIMBER WALKWAY RL 15.78

(B) On Plan As
15790

ORIGIN OF LEVELS PM 767
RL 24.28 DATUM: AHD



J.B. Richards

J.B. RICHARDS

(No. 1902)

DATE: 3/06/2011

Surveyor registered under
The Surveying and Spatial Information Act, 2002