

NOTES:

1. CAUTION: SHOULD ANY DEVELOPMENT OR CONSTRUCTION BE PLANNED ON OR NEAR THE BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE.
2. SERVICES SHOWN HEREON HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH DETAILED LOCATION AND DEPTH. MINIMISE YOUR RISK AND DIAL 1100 BEFORE YOU DIG.
3. THE BEARINGS ON THESE PLAN BOUNDARIES ARE FROM LAND TITLES OFFICE PLANS AND ARE SUBJECT TO FINAL SURVEY. BEARINGS SHOWN ARE BASED ON A TRUE MERIDIAN.
4. W DENOTES WINDOW. D DENOTES DOOR. WINDOW AND DOOR DEPTHS SHOWN ARE INDICATIVE ONLY.
5. ALL NEW WORKS MUST REFER TO THE BENCHMARK FOR LEVEL CONTROL.
6. TREE SPREADS ARE DIAGRAMMATIC ONLY AND MAY NOT BE SYMMETRICAL.
7. SRW, BRW, BLKRW, LRW, SLRW - DENOTE STONE, BRICK, BLOCK, LOG OR SLEEPER RETAINING WALL.
8. TOG, TOR DENOTE TOP OF GUTTER OR ROOF, K DENOTES TOP OF KERB, G DENOTES ROAD GUTTER.

PLAN OF

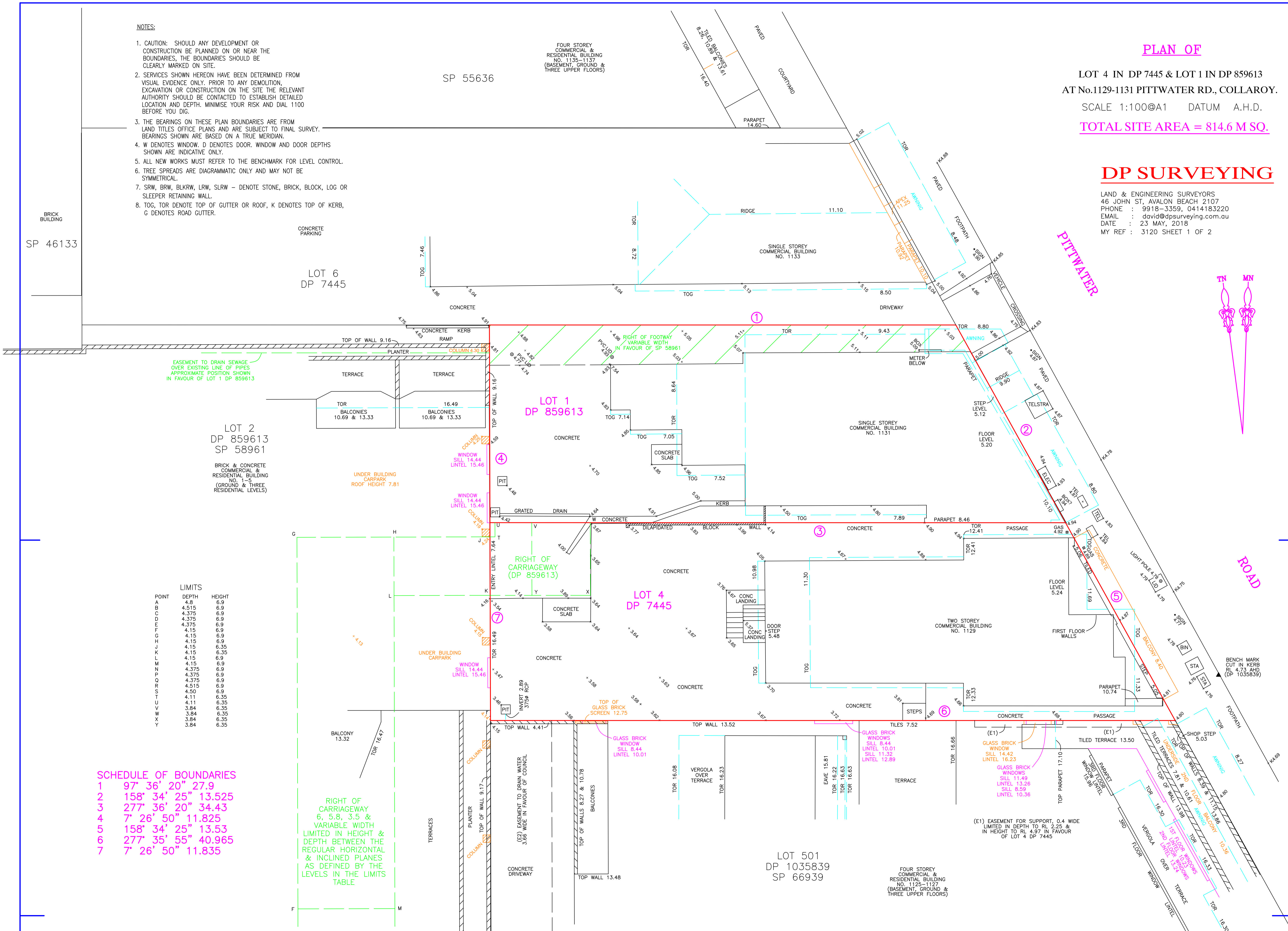
LOT 4 IN DP 7445 & LOT 1 IN DP 859613
AT No.1129-1131 PITTWATER RD., COLLAROY.

SCALE 1:100@A1 DATUM A.H.D.

TOTAL SITE AREA = 814.6 M SQ.

DP SURVEYING

LAND & ENGINEERING SURVEYORS
46 JOHN ST, AVALON BEACH 2107
PHONE : 9918-3359, 0414183220
EMAIL : david@dpsurveying.com.au
DATE : 23 MAY, 2018
MY REF : 3120 SHEET 1 OF 2



EASEMENT TO DRAIN SEWAGE OVER EXISTING LINE OF PIPES APPROXIMATE POSITION SHOWN IN FAVOUR OF LOT 1 DP 859613

LOT 2 DP 859613 SP 58961
BRICK & CONCRETE COMMERCIAL & RESIDENTIAL BUILDING NO. 1-5 (GROUND & THREE RESIDENTIAL LEVELS)

LIMITS

POINT	DEPTH	HEIGHT
A	4.8	6.9
B	4.515	6.9
C	4.375	6.9
D	4.375	6.9
E	4.375	6.9
F	4.15	6.9
G	4.15	6.9
H	4.15	6.9
I	4.15	6.9
J	4.15	6.35
K	4.15	6.35
L	4.15	6.9
M	4.15	6.9
N	4.375	6.9
O	4.375	6.9
P	4.375	6.9
Q	4.375	6.9
R	4.515	6.9
S	4.50	6.9
T	4.11	6.35
U	4.11	6.35
V	3.84	6.35
W	3.84	6.35
X	3.84	6.35
Y	3.84	6.35

SCHEDULE OF BOUNDARIES

1	97° 36' 20" 27.9
2	158° 34' 25" 13.525
3	277° 36' 20" 34.43
4	7° 26' 50" 11.825
5	158° 34' 25" 13.53
6	277° 35' 55" 40.965
7	7° 26' 50" 11.835

RIGHT OF CARRIAGEWAY 6, 5.8, 3.5 & VARIABLE WIDTH LIMITED IN HEIGHT & DEPTH BETWEEN THE REGULAR HORIZONTAL & INCLINED PLANES AS DEFINED BY THE LIMITS IN THE LIMITS TABLE

(E1) EASEMENT FOR SUPPORT, 0.4 WIDE LIMITED IN DEPTH TO RL 2.25 & IN HEIGHT TO RL 4.97 IN FAVOUR OF LOT 4 DP 7445

POINT	DEPTH	HEIGHT
A	4.5	6.9
B	4.515	6.9
C	4.375	6.9
D	4.375	6.9
E	4.375	6.9
F	4.15	6.9
G	4.15	6.9
H	4.15	6.9
I	4.15	6.9
J	4.15	6.9
K	4.15	6.9
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T	4.11	6.35
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LOT 2
DP 859613
SP 58961

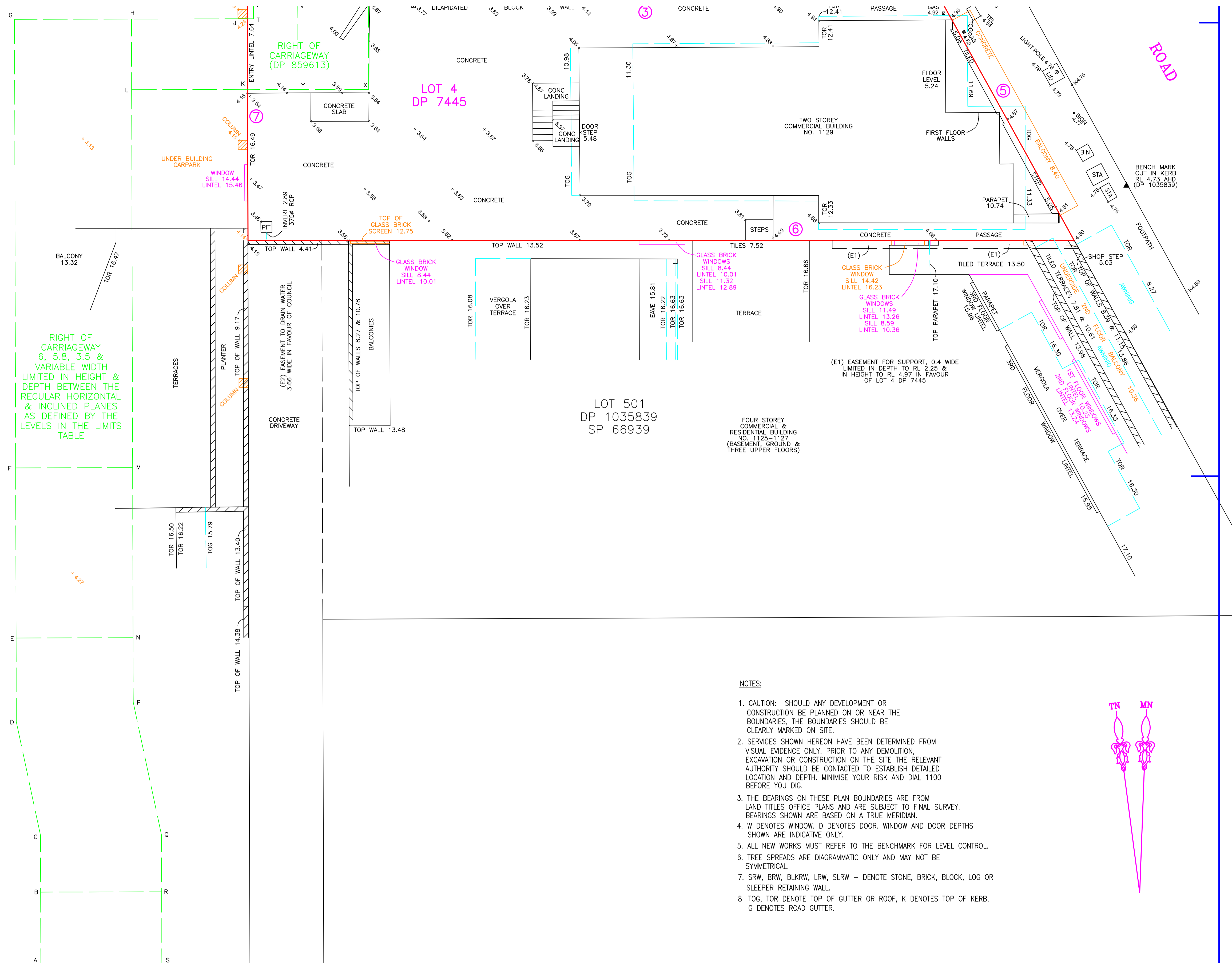
BRICK & CONCRETE
COMMERCIAL &
RESIDENTIAL BUILDING
NO. 1-5
(GROUND & THREE
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PLAN OF

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AT No.1129-1131 PITTWATER RD., COLLAROY.

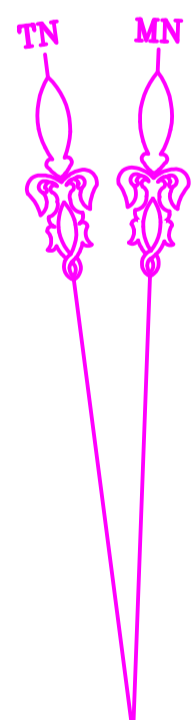
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COLLARROY

STREET