



ACTION PLANS

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7 MONTPELIER PLACE, MANLY NSW 2095



DEVELOPMENT APPLICATION

THESE PLANS ARE FOR DEVELOPMENT APPROVAL ONLY.

ITEM DETAILS	DEVELOPMENT APPLICATION			
ADDRESS	7 MONTPELIER PLACE, MANLY NSW 2095			
LOT & DP/SP	LOT 7 DP 1105469			
COUNCIL	NORTHERN BEACHS COUNCIL (MANLY)			
SITE AREA	589.1m ²			
FRONTAGE	15.39m			
CONTROLS	PERMISSIBLE / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
	m / m ² / %	m / m ² / %	m / m ² / %	
LEP				
LAND ZONING	R2 – LOW DENSITY RESIDENTIAL	R2	R2	YES
MINIMUM LOT SIZE	500m ²	589.1m ²	UNCHANGED	YES
FLOOR SPACE RATIO	0.45 : 1 (265.095m ²)	0.48 : 1 (287.7m ²)	UNCHANGED	NO
MAXIMUM BUILDING HEIGHT	8.5m	9.9m	UNCHANGED	NO
KEY SITES	IDENTIFIED – PRECINCT 13	N/A	N/A	N/A
HAZARDS				
BIODIVERSITY	IDENTIFIED	N/A	N/A	N/A
FORESHORE SCENIC PRO. AREA	IDENTIFIED	N/A	N/A	N/A
DCP				
MANLY MAP – SIGNIFICANCE	IDENTIFIED - BANDICOOT	N/A	N/A	N/A
RESIDENTIAL OPEN SPACE	AREA OS3			
TOTAL OPEN SPACE (TOS)	55% (324.005m ²)	311.61m ² (53%)	UNCHANGED	NO
LANDSCAPE AREA	35% OF TOS (55%) : 113.40m ²	247.47m ²	UNCHANGED	YES
OPEN SPACE ABOVE GROUND	MAX. 40% OF TOS (55%) : 129.602m ²	66.11m ²	UNCHANGED	YES
PRINCIPAL PRIVATE OPEN SPACE	18m ²	36.5m ²	UNCHANGED	YES
FRONT SETBACK	PREVAILING BUILDING LINE: 6m	4.106m	UNCHANGED	NO
REAR SETBACK	8.0m	10.195m	UNCHANGED	YES
SIDE SETBACKS	1/3 WALL HEIGHT	E: 1.438 W: 1.508	E: UNCHANGED W: UNCHANGED	NO
CAR PARKING SPACES	Required: 1	2	UNCHANGED	YES

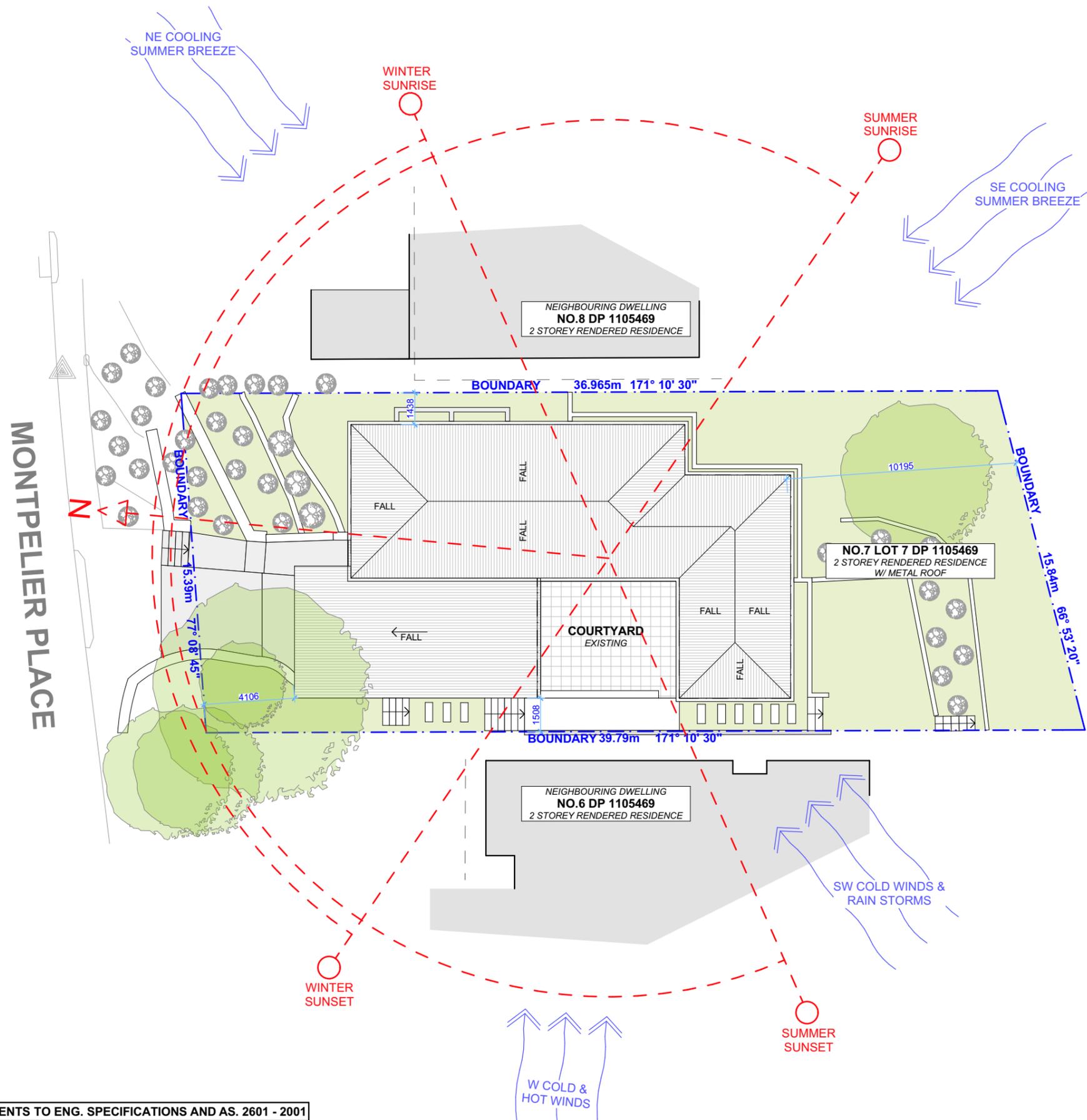
NCC & AS COMPLIANCES SPECIFICATIONS

- EARTHWORKS - PART 3.1.1 OF NCC
- EARTH RETAINING STRUCTURES - PART 3.1.2 OF NCC
- DRAINAGE - PART 3.1.3 OF NCC
- TERMITE-RISK MANAGEMENT - PART 3.1.4 OF NCC
- FOOTINGS & SLAB - PART 3.2 OF NCC INCLUDING AS 2870:2011
- MASONRY - PART 3.3 OF NCC INCLUDING AS 3700:2018
- FRAMING - PART 3.4 OF NCC
- SUB FLOOR VENTILATION - PART 3.4.1 OF NCC
- ROOF CLADDING AND WALL-CLADDING - PART 3.5 OF NCC
- GLAZING - PART 3.6 OF NCC INCLUDING AS 1288
- FIRE SAFETY - PART 3.7 OF NCC
- FIRE SEPARATION OF EXTERNAL WALLS - PART 3.7.2 OF NCC
- FIRE PROTECTION OF SEPARATING WALLS AND FLOORS- PART 3.7.3 OF NCC
- SMOKE ALARMS - PART 3.7.5 OF NCC
- WET AREAS AND EXTERNAL WATERPROOFING - PART 3.8.1 OF NCC
- ROOM HEIGHTS - PART 3.8.2 OF NCC
- FACILITIES - PART 3.8.3 OF NCC
- LIGHT - PART 3.8.4 OF NCC
- VENTILATION - PART 3.8.5 OF NCC
- SOUND INSULATION - PART 3.8.6 OF NCC
- STAIRWAY AND RAMP CONSTRUCTION - PART 3.9.1 OF NCC
- BARRIERS AND HANDRAILS - PART 3.9.2 OF NCC
- SWIMMING POOLS - PART 3.10.1 OF NCC
- CONSTRUCTION IN BUSHFIRE PRONE AREAS - PART 3.10.5 OF NCC
- FENCING & OTHER PROVISIONS - REGS & AS1926.1 2012
- DEMOLITION WORKS - AS2601-2001 THE DEMOLITION OF STRUCTURES.
- WATERPROOFING OF WET AREAS TO COMPLY WITH AS 3740-2010
- ALL PLUMBING & DRAINAGE WORK TO COMPLY WITH AS 3500:2018
- ALL PLASTERBOARD WORK TO COMPLY WITH AS 2588:2018
- ALL STRUCTURAL STEEL WORK TO COMPLY WITH AS 4100-1992 & AS 1554
- ALL CONCRETE WORK TO COMPLY WITH AS 3600:2018
- ALL ROOF SHEETING WORK TO COMPLY WITH AS 1562.1-2018
- ALL SKYLIGHTS TO COMPLY WITH AS 4285-2019
- ALL CERAMIC TILING TO COMPLY WITH AS 3958.1-2007 & 3958.2-1992
- ALL GLAZING ASSEMBLIES TO COMPLY WITH AS 2047-2014 & 1288
- ALL TIMBER RETAINING WALLS ARE TO COMPLY WITH AS 1720.1-2010, AS 1720.2-2006, AS 1720.4-2006, AS 1170.1-2002 & AS 1170.4-2007
- ALL RETAINING WALLS ARE TO COMPLY WITH 3700:2018 & AS 3600:2018
- ALL CONSTRUCTION TO COMPLY WITH AS 3959:2018

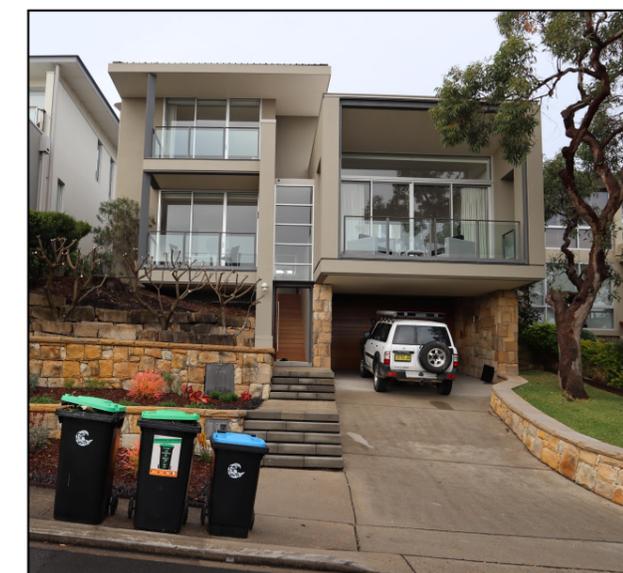
SHEET NUMBER	SHEET NAME	DATE PUBLISHED
DA00	COVER	1/10/2020
DA01	NOTATION	1/10/2020
DA02	SITE ANALYSIS	1/10/2020
DA03	SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN	1/10/2020
DA04	EXISTING LOWER GROUND FLOOR PLAN	1/10/2020
DA05	EXISTING GROUND FLOOR PLAN	1/10/2020
DA06	EXISTING FIRST FLOOR PLAN	1/10/2020
DA07	PROPOSED LOWER GROUND FLOOR PLAN	1/10/2020
DA08	PROPOSED GROUND FLOOR PLAN	1/10/2020
DA09	PROPOSED FIRST FLOOR PLAN	1/10/2020
DA10	NORTH / EAST ELEVATION	1/10/2020
DA11	SOUTH / WEST ELEVATION	1/10/2020
DA12	LONG / CROSS SECTION	1/10/2020
DA13	AREA CALCULATIONS / SAMPLE BOARD	1/10/2020
DA14	WINTER SOLSTICE 9 AM	1/10/2020
DA15	WINTER SOLSTICE 12 PM	1/10/2020
DA16	WINTER SOLSTICE 3 PM	1/10/2020

NOTES

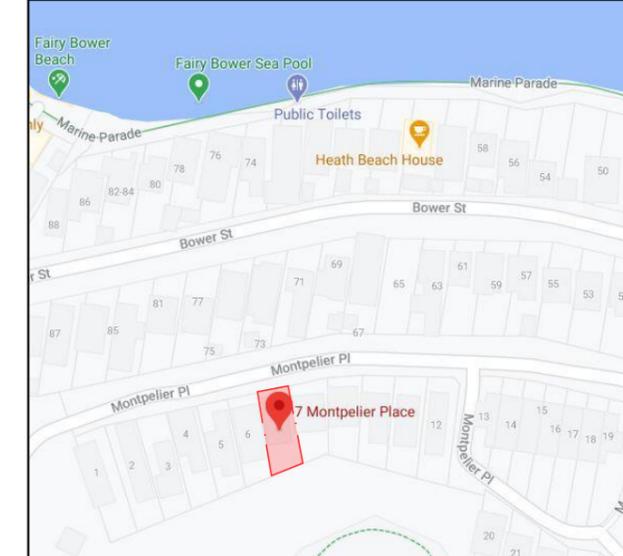
- APPROVED MEANS BY THE 'RELEVANT LOCAL AUTHORITY' OR COUNCIL
- THE OWNER WILL DIRECTLY PAY THE FEES ASSOCIATED WITH THE FOLLOWING:
BUILDING APPROVAL FROM COUNCIL, FOOTPATH AND KERB DEPOSITS WITH THE LOCAL COUNCIL, INSURANCE FEE TO BUILDING SERVICES CORPORATION, LONG SERVICE LEAVE SERVICE LEVY FEE AND APPROVAL FEE BY WATER AND SEWERAGE AUTHORITY. ALL OTHER FEES ARE TO BE PAID BY THE BUILDER. THE AMOUNT OF ANY LOCAL AUTHORITY DEPOSITS WHICH ARE FORFEITED DUE TO DAMAGE OR OTHER CAUSE WILL BE DEDUCTED FROM THE PAYMENTS DUE TO THE BUILDER.
- THE BUILDER IS TO PROVIDE AT HIS/HER OWN EXPENSE ADEQUATE PUBLIC RISK INSURANCE AND ARRANGE INDEMNIFICATION UNDER THE WORKERS COMPENSATION ACT. WORKS INSURANCE TO BE STATED IN THE CONTRACT CONDITIONS.
- ALL WORK TO BE CARRIED OUT IN A TRADESMEN LIKE MANNER AND IN ACCORDANCE WITH THE STANDARDS CODES AND REGULATIONS OF THE STANDARDS ASSOCIATION OF AUSTRALIA, BUILDING CODE OF AUSTRALIA AND ANY STATUTORY AUTHORITY HAVING JURISDICTION OVER THE WORK.
- ALL TENDERERS ARE TO VISIT THE SITE TO SATISFY THEMSELVES AS TO THE NATURE AND EXTENT OF THE WORKS, FACILITIES AVAILABLE AND DIFFICULTIES ENTAILED IN THE WORKS AS VARIATIONS WILL NOT BE ALLOWED DUE TO WORK ARISING OWING TO NEGLIGENCE OF THIS CLAUSE.
- ALL WORK AND MATERIALS TO COMPLY WITH THE CURRENT AUSTRALIAN STANDARDS AT THE TIME OF COMMENCEMENT WERE APPLICABLE.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL STRUCTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH ANY SUCH WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.
- SET OUT DIMENSIONS SHOWN ON THIS DRAWING SHALL BE VERIFIED BY THE BUILDER ON SITE BEFORE COMMENCEMENT OF ANY WORK. DIMENSIONS SHOULD NOT BE OBTAINED BY SCALING THE DRAWINGS. USE ONLY FIGURED DIMENSIONS. ALL DIMENSIONS ARE IN MILLIMETRES.
- THE BUILDER IS TO ENSURE ALL CONSTRUCTION, LEVELS AND OTHER ITEMS COMPLY WITH THE CONDITIONS OF THE BUILDING APPROVAL.
- THE BUILDER IS TO COMPLY WITH ALL ORDINANCES, LOCAL AUTHORITY REGULATIONS AND THE REQUIREMENTS OF ALL SERVICES SUPPLY AUTHORITIES HAVING JURISDICTION OVER THE WORKS.
- ALL PLUMBING AND DRAINAGE WORK TO BE INSTALLED AND COMPLETED BY A LICENCED TRADESMAN AND IN ACCORDANCE WITH THE STATUTORY BODY HAVING AUTHORITY OVER THE WORKS. CONNECT ALL WASTE TO SYDNEY WATER SEWER LINE
- ALL NEW DOWNPIPES ARE TO BE CONNECTED TO THE EXISTING STORM WATER SYSTEM.
- ALL POWER AND STORMWATER OUTLET LOCATIONS SHALL BE DETERMINED ONSITE BY THE OWNER.
- SMOKE DETECTOR ALARM TO BE INSTALLED IN ACCORDANCE WITH AS3786 AND THE BUILDING CODE OF AUSTRALIA.
- ELECTRICAL WORK TO BE IN ACCORDANCE WITH SAA WIRING RULES AND BE DONE BY A LICENCED TRADESMAN
- ANY DETAILING IN ADDITION TO WHAT IS SUPPLIED SHALL BE RESOLVED BETWEEN THE OWNER AND THE BUILDER TO THE OWNERS APPROVAL, EXCEPT FOR ANY STRUCTURAL DETAILS OR DESIGN WHICH IS SUPPLIED BY THE ENGINEER.
- ALL TIMBER SIZES AND CONCRETE DETAILS TO BE CONFIRMED BY THE BUILDER PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL STRUCTURAL WORK IS TO BE IN ACCORDANCE WITH THE STRUCTURAL DETAILS PREPARED BY A STRUCTURAL ENGINEER (i.e.) PIERS, FOOTINGS, CONCRETE SLABS, RETAINING WALLS, STEELWORK, FORMWORK, UNDERPINNING, ADDITIONAL STRUCTURAL LOADS, TIMBER FRAMING, WIND BRACING AND ASSOCIATED CONNECTIONS. BUILDER TO OBTAIN PRIOR TO FINALISING TENDER.
- ANY WORK INDICATED ON THE PLANS BUT NOT SPECIFIED, AND ANY ITEM NOT SHOWN ON THE PLAN WHICH IS OBVIOUSLY NECESSARY AS A PART OF CONSTRUCTION AND/OR FINISH IS TO BE CONSIDERED AS SHOWN AND SPECIFIED, AND IS TO BE DONE AS PART OF THE CONTRACT. VARIATIONS WILL NOT BE PERMITTED WITHOUT THE WRITTEN CONSENT OF THE OWNER.
- THE BUILDER SHALL PROVIDE SEDIMENT AND SILTRATION CONTROL MEASURES AS REQUIRED BY COUNCIL AND MAINTAIN THEM THROUGH THE DURATION OF THE WORKS.
- A LEGIBLE COPY OF THE PLANS BEARING APPROVAL STAMPS MUST BE MAINTAINED ON THE JOB AT ALL TIMES. HOURS OF CONSTRUCTION WILL BE RESTRICTED TO THE TIMES AS REQUIRED BY THE BUILDING APPROVAL.
- THE BUILDER IS TO ARRANGE FOR ALL INSPECTIONS REQUIRED BY THE AUTHORITIES AND LENDING INSTITUTIONS TO THEIR REQUIREMENTS.
- THE BUILDER IS TO OBTAIN APPROVAL FOR INTERRUPTIONS TO EXISTING SERVICES AND MINIMISE THE DURATION AND NUMBER OF INTERRUPTIONS. ANY INTERRUPTIONS WITH EXISTING SERVICES AND EQUIPMENT TO BE ATTENDED TO BY THE APPROPRIATELY SKILLED TRADESMEN.
- THE BUILDER SHALL RESTORE, REINSTATE OR REPLACE ANY DAMAGE CAUSED TO EXISTING STRUCTURES OR LANDSCAPING BY CONSTRUCTION WORK OR WORKMEN. PROVIDE PROTECTION TO EXISTING TREES TO REMAIN AS REQUIRED BY APPROVAL CONDITIONS.
- ALL BRICKWORK IS TO BE SELECTED BY OWNER AND IS TO COMPLY WITH AS1640
- ALL MASONRY TO COMPLY WITH AS3700
- ALL METALWORK AND FLASHING ITEMS NECESSARY TO SATISFACTORY COMPLETE WORK SHALL BE PROVIDED.
- ALL GUTTERS, DOWNPIPES TO BE COLORBOND.
- ALL TIMBER CONSTRUCTION TO BE IN ACCORDANCE WITH THE AUSTRALIAN STANDARD 1684 "TIMBER FRAMING CODE"
- ALL GLAZING INSTALLED TO COMPLY WITH AS1288, 2047 AND IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATION
- ALL WALL AND CEILING LININGS TO BE PLASTERBOARD OR CEMENT RENDER AS SELECTED AND VILLA BOARD IN WET AREAS, TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS OR INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION.
- ALL BATHROOMS AND WET AREAS TO BE ADEQUATELY WATERPROOFED TO MANUFACTURERS SPECIFICATION AND AS3740 AND PART 3.8.1 OF THE BUILDING CODE OF AUSTRALIA HOUSING PROVISIONS
- STAIRS AND BALUSTRADES TO COMPLY WITH PART 3.9.1 & 3.9.2 OF THE BUILDING CODE OF AUSTRALIA HOUSING PROVISION.
- TERMITE PROTECTION MEASURES TO COMPLY WITH AS 3660 AND BE INSTALLED TO MANUFACTURERS SPECIFICATION.
- ANY DETAILING ADDITIONAL TO THAT SUPPLIED, SHALL BE RESOLVED BETWEEN THE OWNER AND THE BUILDER TO THE OWNERS APPROVAL. EXCEPT FOR ANY STRUCTURAL DETAILS OR DESIGN WHICH IS TO BE SUPPLIED BY THE STRUCTURAL ENGINEER.



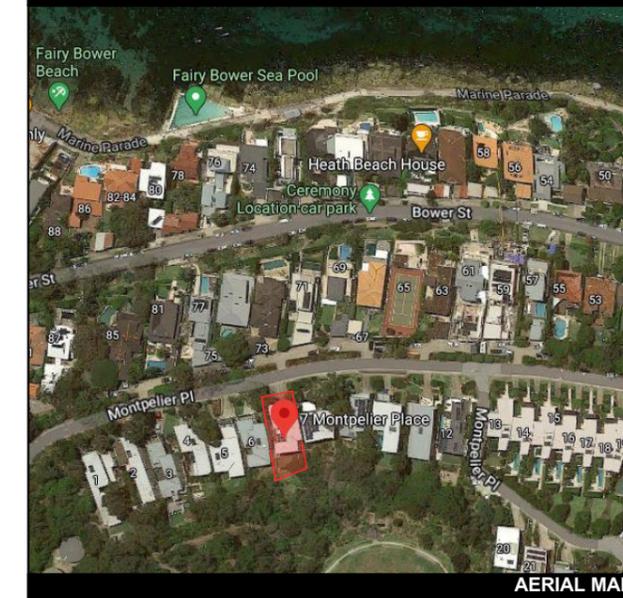
NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



STREET VIEW



LOCATION MAP



AERIAL MAP

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REV.	DATE	COMMENTS	DRWN
A	12.08.2020	INITIAL DESIGN PLAN	AM
B	17.08.2020	ADD. DIMENSIONS	RNA
C	30.09.2020	DA DOCUMENTATION	LRP

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LEGEND

- EXISTING
- PROPOSED
- DEMOLISHED

CLIENT

STEVE & KAREN PERKS

PROJECT ADDRESS

7 MONTPELIER PLACE,
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DRAWING NO.

DA02

DATE

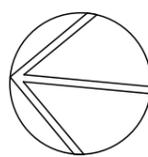
Thursday, 1 October 2020

DRAWING NAME

SITE ANALYSIS

SCALE

1:200 @A3





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LEGEND

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- PROPOSED
- DEMOLISHED

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7 MONTPELIER PLACE, MANLY NSW 2095

DRAWING NO.

DA03

DATE

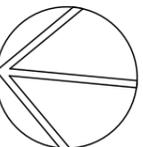
Thursday, 1 October 2020

DRAWING NAME

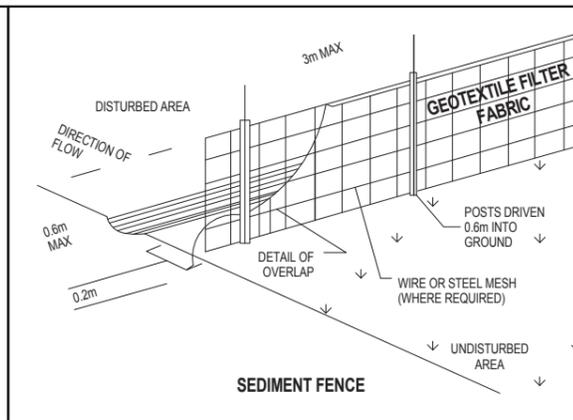
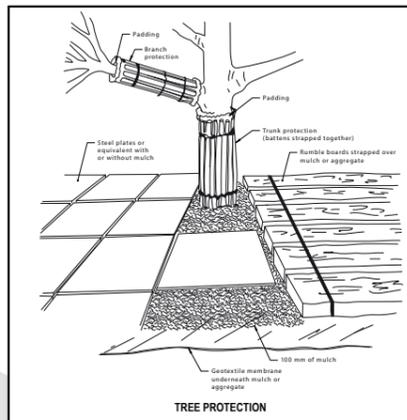
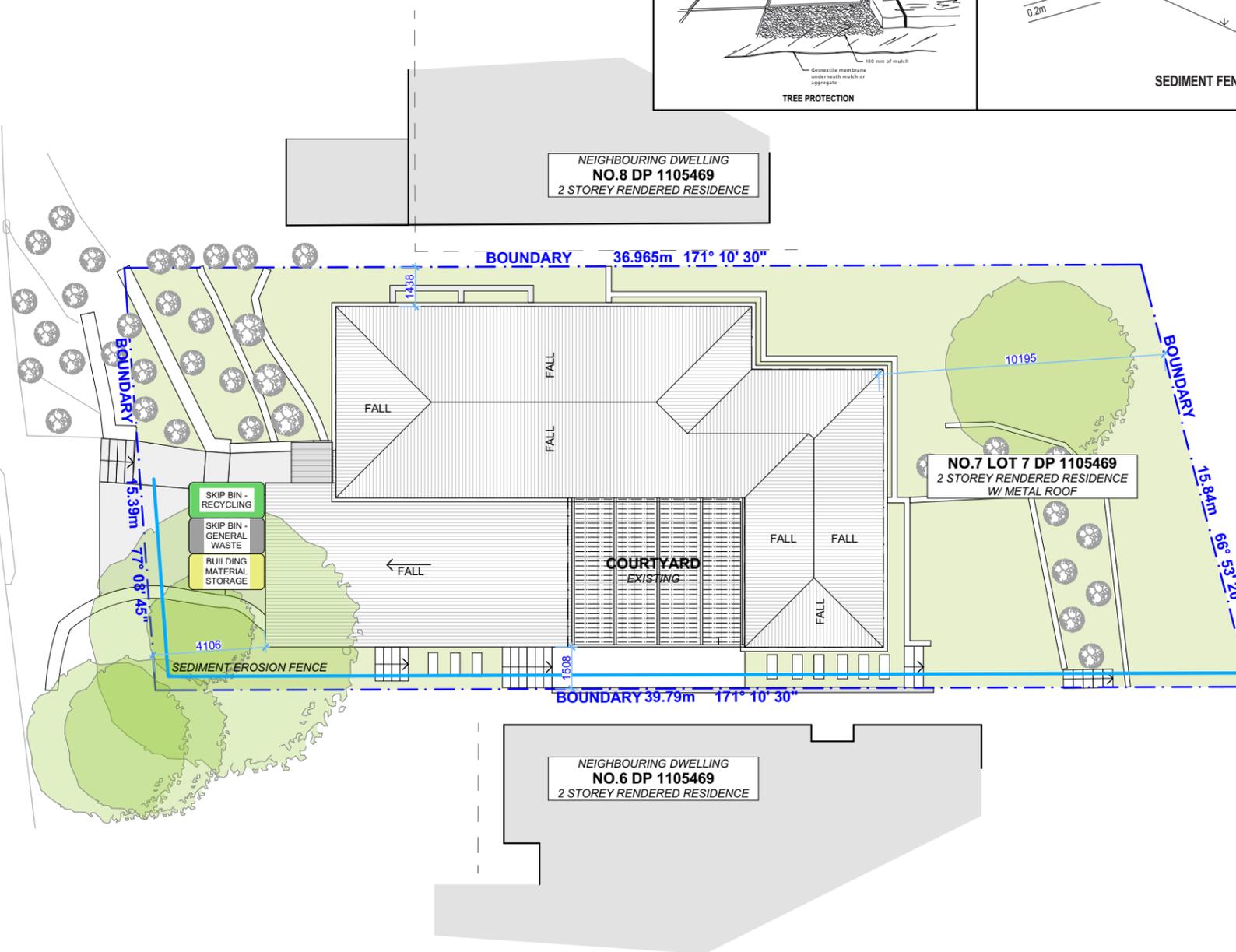
SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN

SCALE

1:200 @A3



MONTPELIER PLACE



NOTES REGARDING BOUNDARY
 THE INFORMATION SHOWN ON THIS PLAN IS FOR DESIGN PURPOSES ONLY. THE POSITION OF BOUNDARY LINES HAVE BEEN ESTABLISHED BY A SURVEY TO MEET THE IDENTIFICATION REQUIREMENTS FOR COUNCIL AND NOT FOR REGISTRATION WITH THE LAND REGISTRATION SERVICES NSW NOR MAY THIS PLAN BE USED FOR ANY OTHER PURPOSE. SUBSEQUENT REGISTERED OR OTHER SURVEYS MAY AFFECT THE DEFINED BOUNDARY POSITIONS IN THIS AREA. ANY DIFFERENCES OF THIS NATURE ARE BEYOND THE PURPOSES OF THIS PLAN. THIS PLAN IS FOR THE ABOVE STATED PURPOSES ONLY. RESTRICTIONS ON THE TITLE HAVE NOT BEEN INVESTIGATED. IF FURTHER DEVELOPMENT IS CONTEMPLATED OR CONSTRUCTION INTENDED THEN IT IS IMPORTANT THAT A SURVEY SET OUT IS CARRIED OUT.

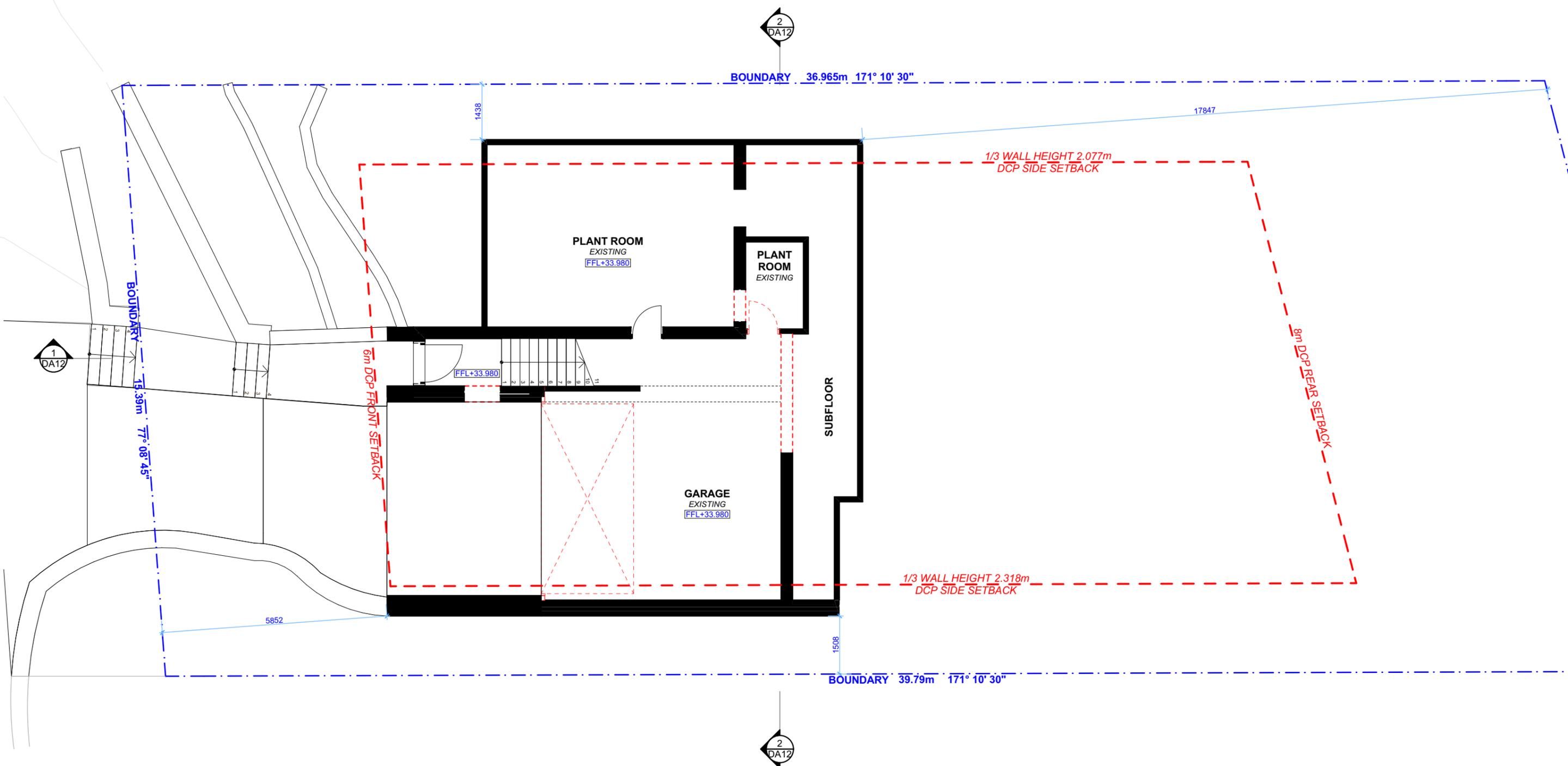
DUST CONTROL :
 TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

SEDIMENT NOTE :
 1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
 2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
 3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
 4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
 5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

STOCKPILES :
 ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.
 ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.
 IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

GUTTER PROTECTION :
 PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING



NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



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B	17.08.2020	ADD. DIMENSIONS	RNA	
C	30.09.2020	DA DOCUMENTATION	LRP	

LEGEND
 ■ EXISTING
 ■ PROPOSED
 - - - DEMOLISHED

CLIENT
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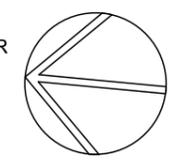
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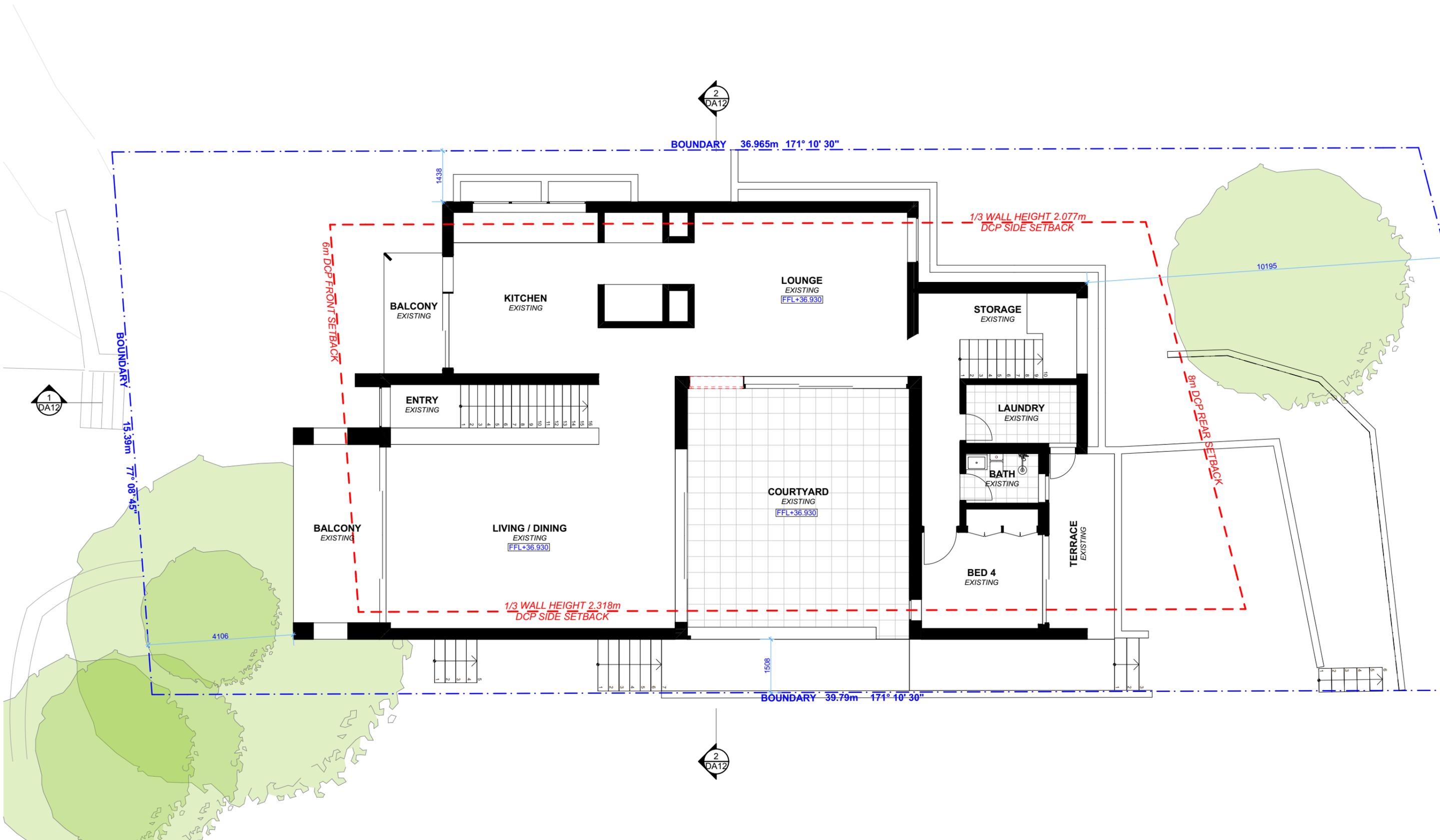
DRAWING NO.
DA04

DATE
 Thursday, 1 October 2020

DRAWING NAME
 EXISTING LOWER GROUND FLOOR PLAN

SCALE
 1:100 @A3





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-  PROPOSED
-  DEMOLISHED

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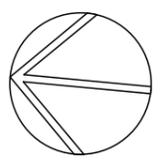
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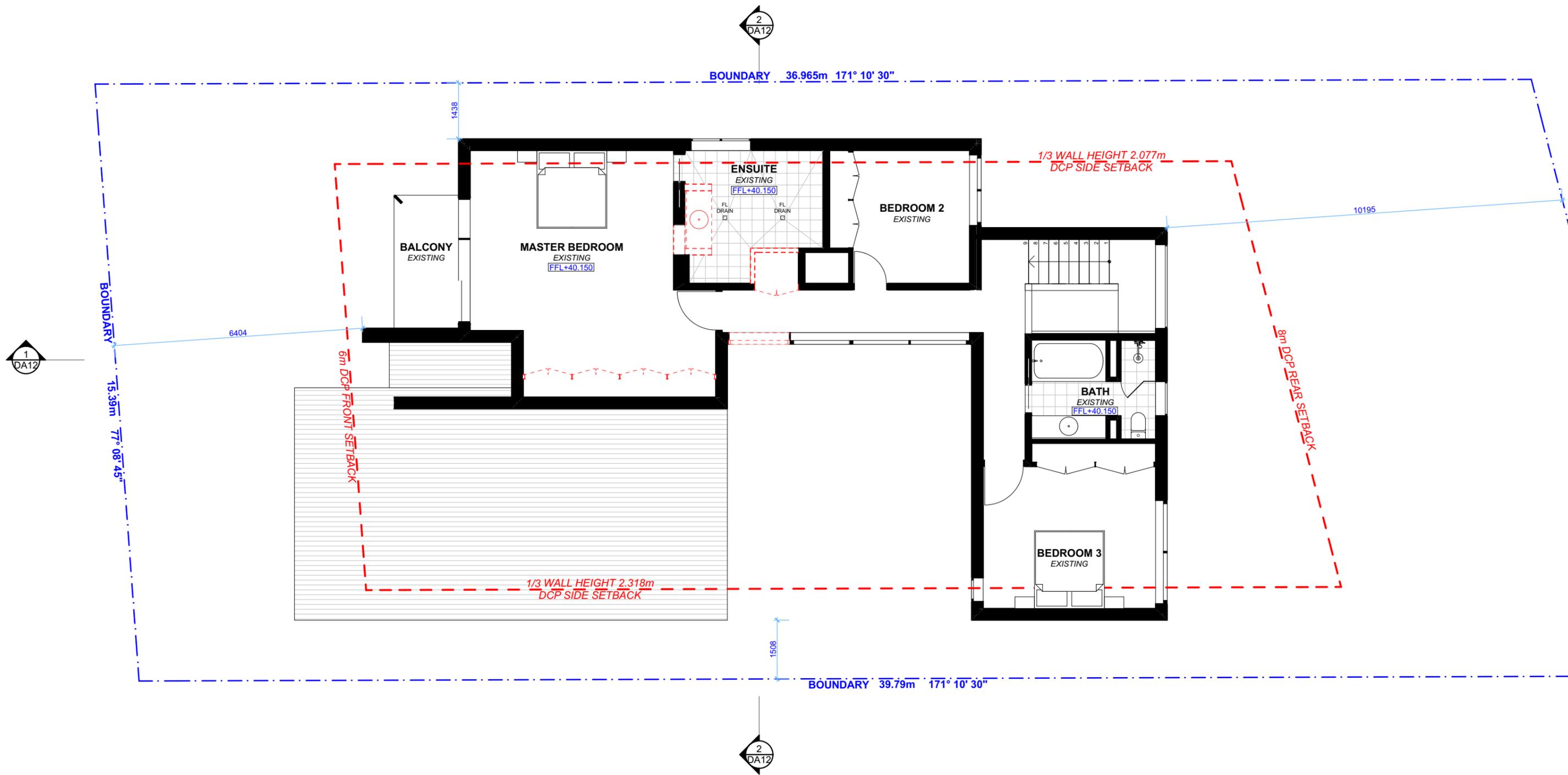
DRAWING NO.
DA05

DATE
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DRAWING NAME
 EXISTING GROUND FLOOR PLAN

SCALE
 1:100 @A3





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LEGEND

- EXISTING (solid black line)
- PROPOSED (solid grey line)
- DEMOLISHED (dashed red line)

CLIENT
 STEVE & KAREN PERKS

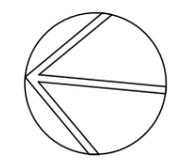
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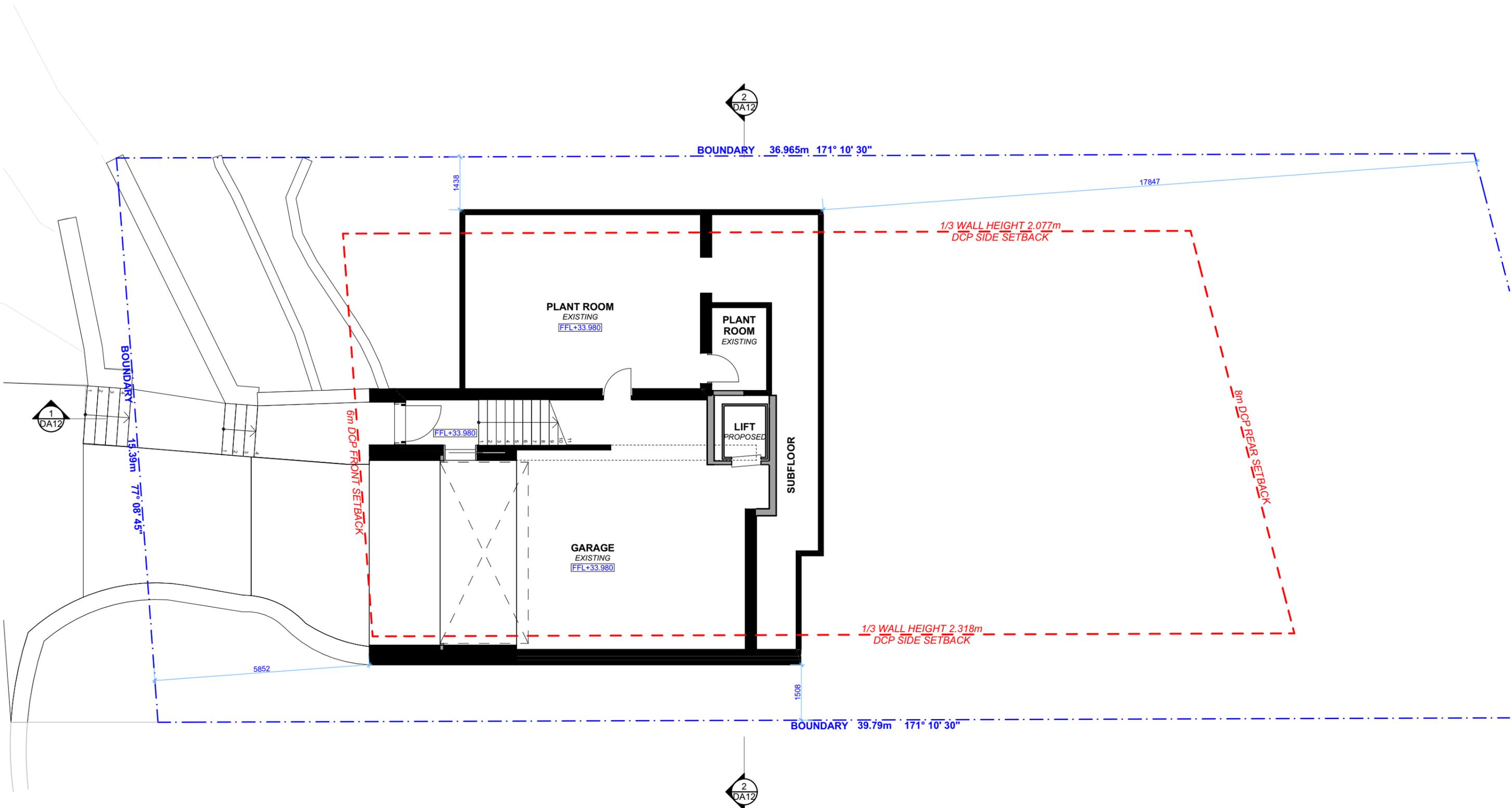
DRAWING NO.
DA06

DATE
 Thursday, 1 October 2020

DRAWING NAME
 EXISTING FIRST FLOOR PLAN

SCALE
 1:100 @A3





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B	17.08.2020	ADD. DIMENSIONS	RNA	
C	30.09.2020	DA DOCUMENTATION	LRP	

LEGEND
 ■ EXISTING
 ■ PROPOSED
 - - - DEMOLISHED

CLIENT
 STEVE & KAREN PERKS

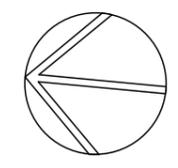
PROJECT ADDRESS
 7 MONTELIER PLACE,
 MANLY NSW 2095

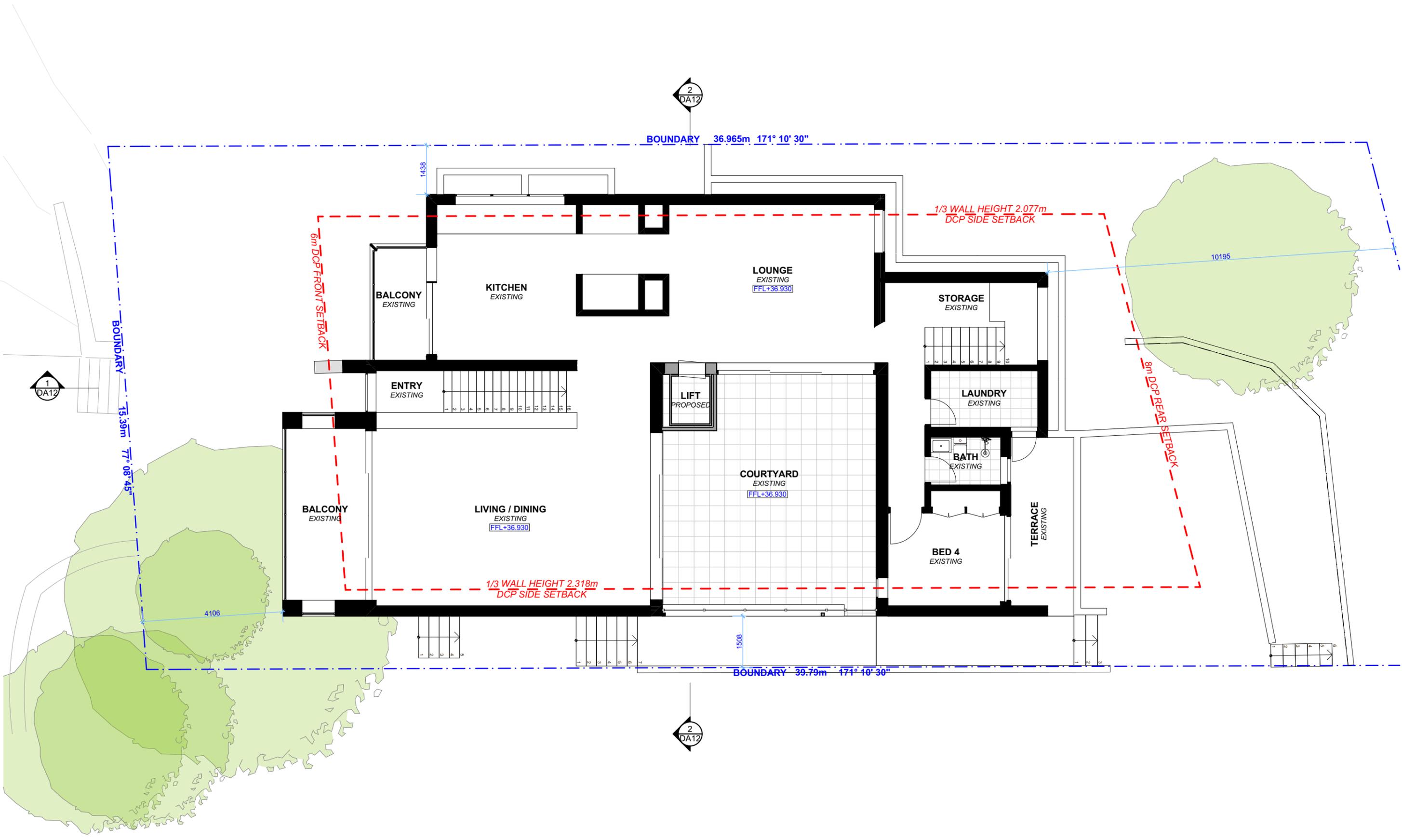
DRAWING NO.
DA07

DATE
 Thursday, 1 October 2020

DRAWING NAME
 PROPOSED LOWER GROUND FLOOR PLAN

SCALE
 1:100 @A3





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C	30.09.2020	DA DOCUMENTATION	LRP

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LEGEND
 ■ EXISTING
 ■ PROPOSED
 - - - DEMOLISHED

CLIENT
 STEVE & KAREN PERKS

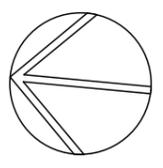
PROJECT ADDRESS
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 MANLY NSW 2095

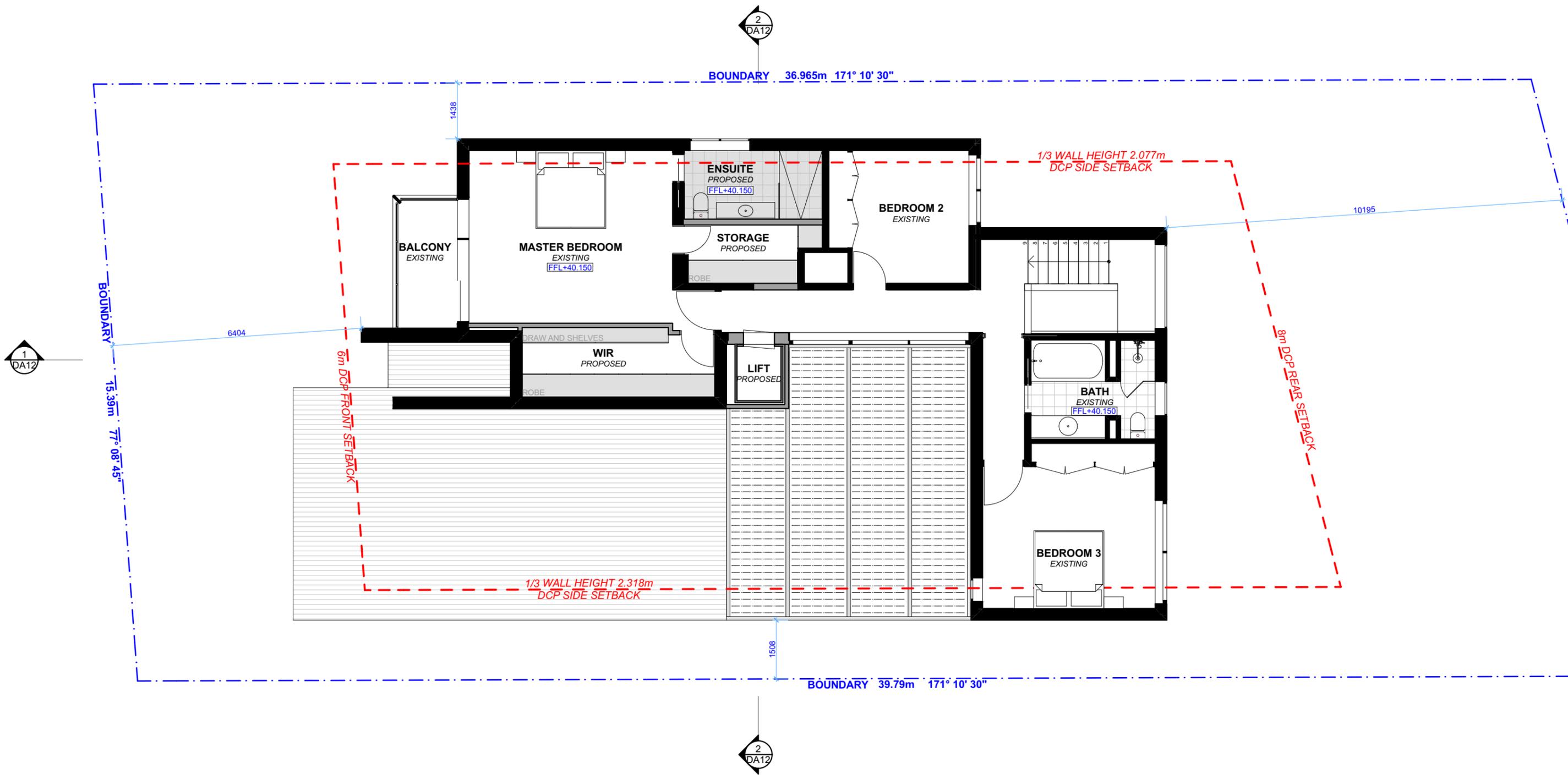
DRAWING NO.
DA08

DATE
 Thursday, 1 October 2020

DRAWING NAME
 PROPOSED GROUND FLOOR PLAN

SCALE
 1:100 @A3





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C	30.09.2020	DA DOCUMENTATION	LRP

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LEGEND

- EXISTING
- PROPOSED
- DEMOLISHED

CLIENT

STEVE & KAREN PERKS

PROJECT ADDRESS

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DRAWING NO.

DA09

DATE

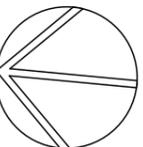
Thursday, 1 October 2020

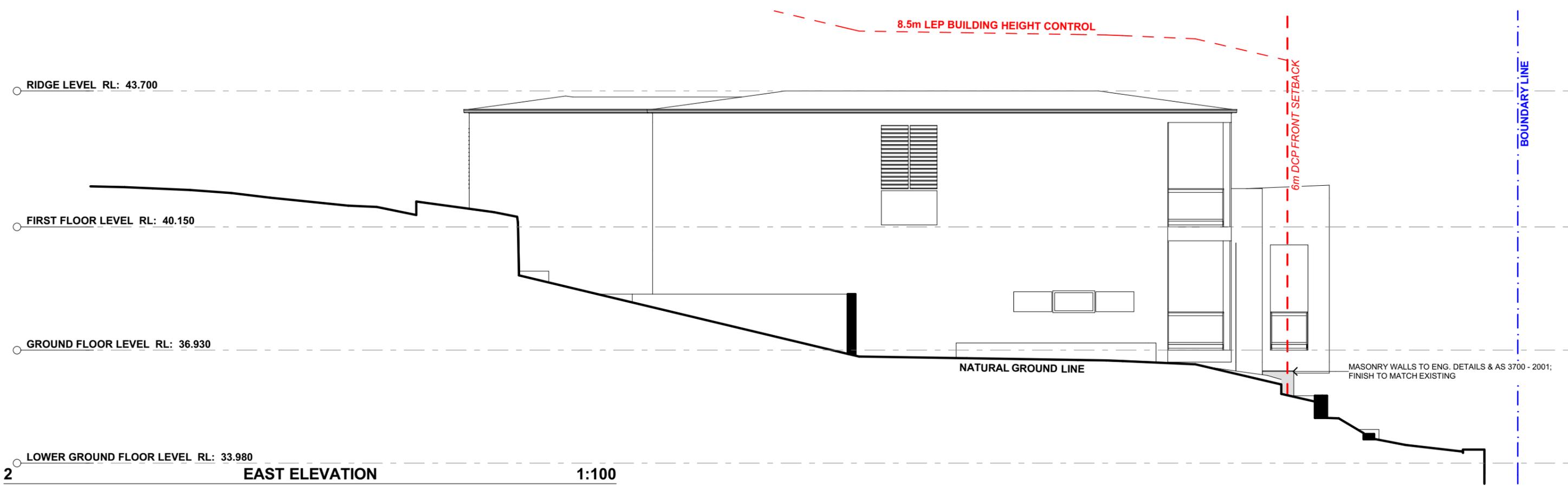
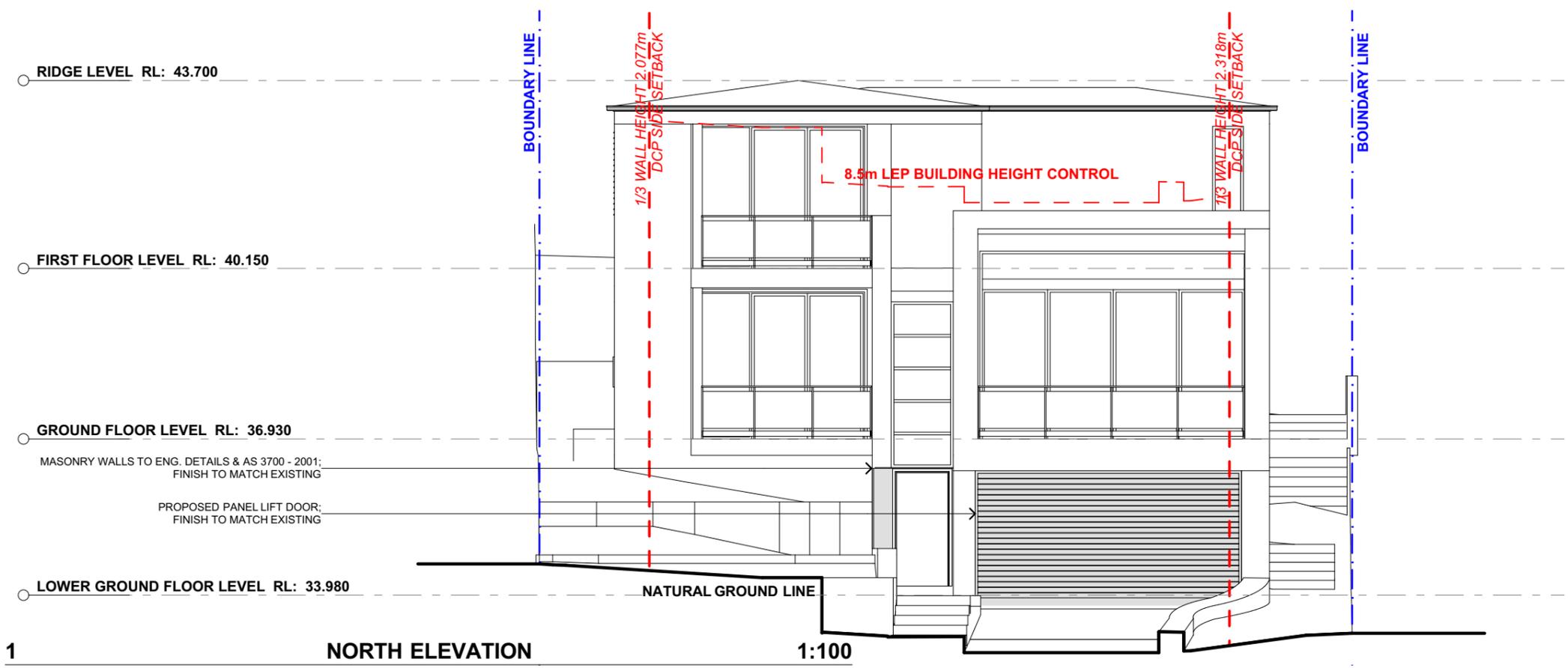
DRAWING NAME

PROPOSED FIRST FLOOR PLAN

SCALE

1:100 @A3






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B	17.08.2020	ADD. DIMENSIONS	RNA	
C	30.09.2020	DA DOCUMENTATION	LRP	

LEGEND
 [White Box] EXISTING
 [Grey Box] PROPOSED
 [Red Dashed Line] DEMOLISHED

CLIENT
 STEVE & KAREN PERKS

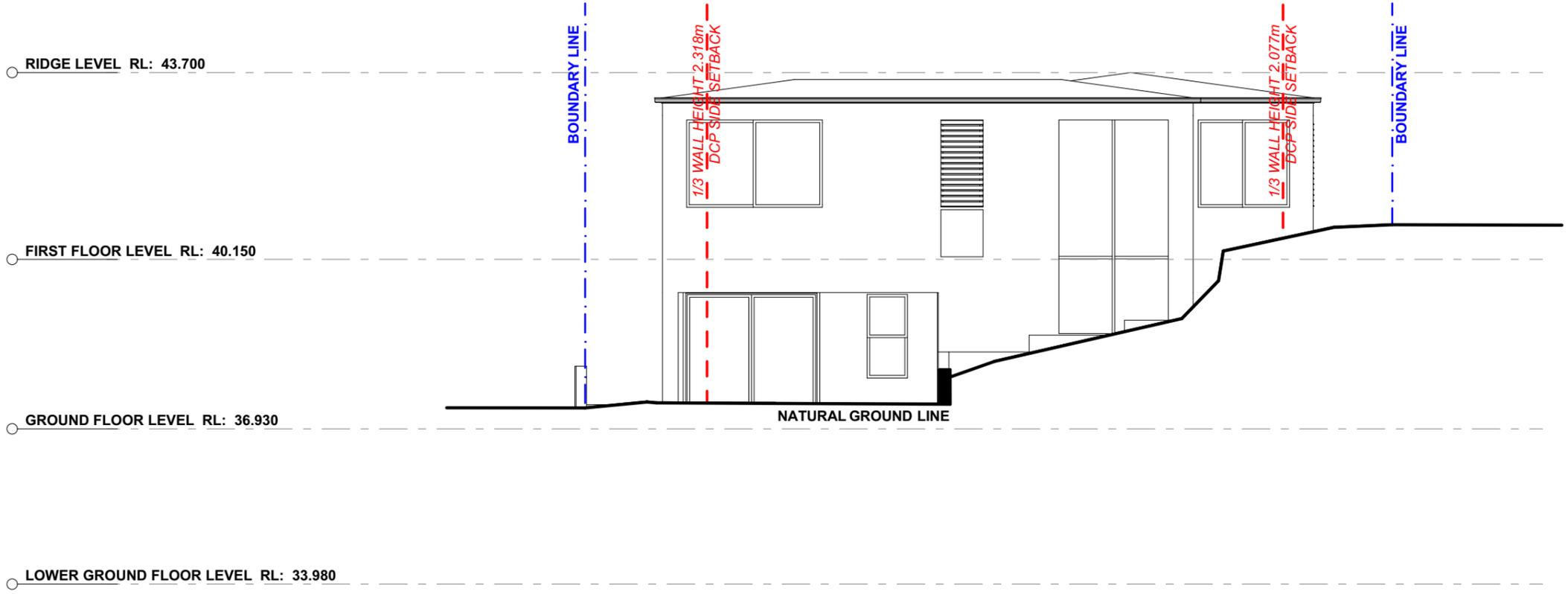
PROJECT ADDRESS
 7 MONTPELIER PLACE,
 MANLY NSW 2095

DRAWING NO.
DA10

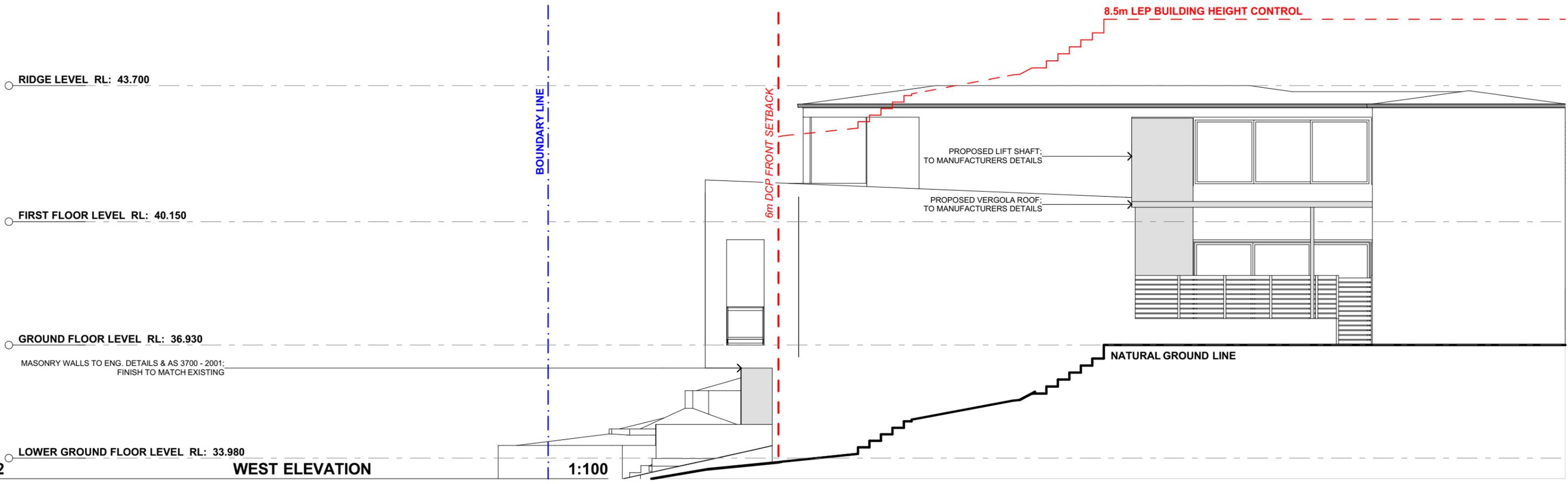
DATE
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DRAWING NAME
 NORTH / EAST ELEVATION

SCALE
 1:100 @A3



NOTE: NO CHANGE TO SOUTH ELEVATION



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B	17.08.2020	ADD. DIMENSIONS	RNA	
C	30.09.2020	DA DOCUMENTATION	LRP	

LEGEND
 [White Box] EXISTING
 [Grey Box] PROPOSED
 [Red Dashed Line] DEMOLISHED

CLIENT
 STEVE & KAREN PERKS

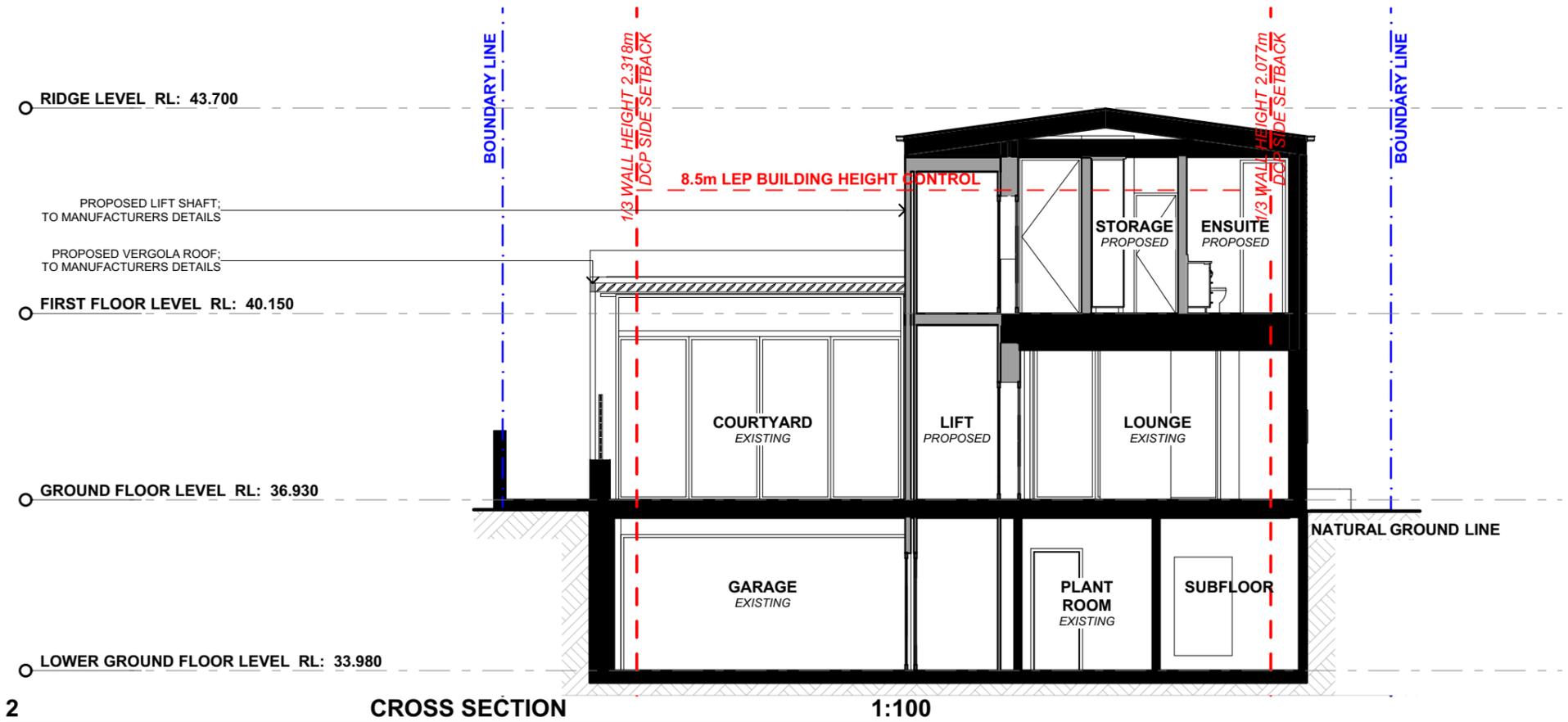
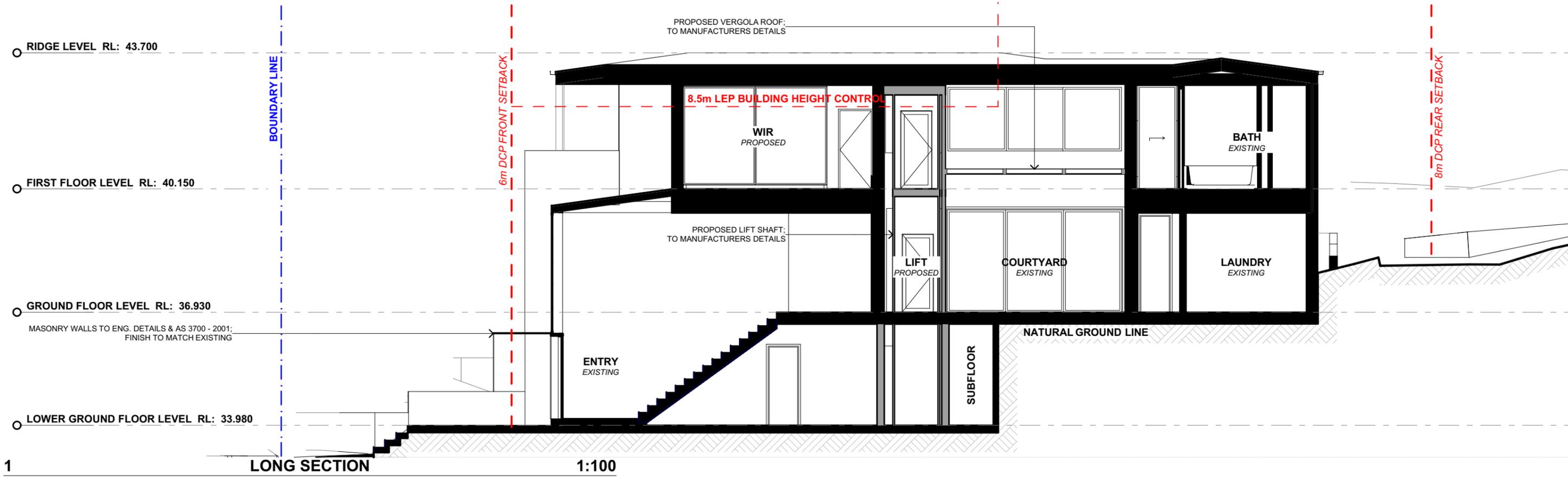
PROJECT ADDRESS
 7 MONTPELIER PLACE,
 MANLY NSW 2095

DRAWING NO.
DA11

DATE
 Thursday, 1 October 2020

DRAWING NAME
 SOUTH / WEST ELEVATION

SCALE
 1:100 @A3



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B	17.08.2020	ADD. DIMENSIONS	RNA	
C	30.09.2020	DA DOCUMENTATION	LRP	

LEGEND

EXISTING (white box)

PROPOSED (grey box)

DEMOLISHED (red dashed line)

CLIENT
 STEVE & KAREN PERKS

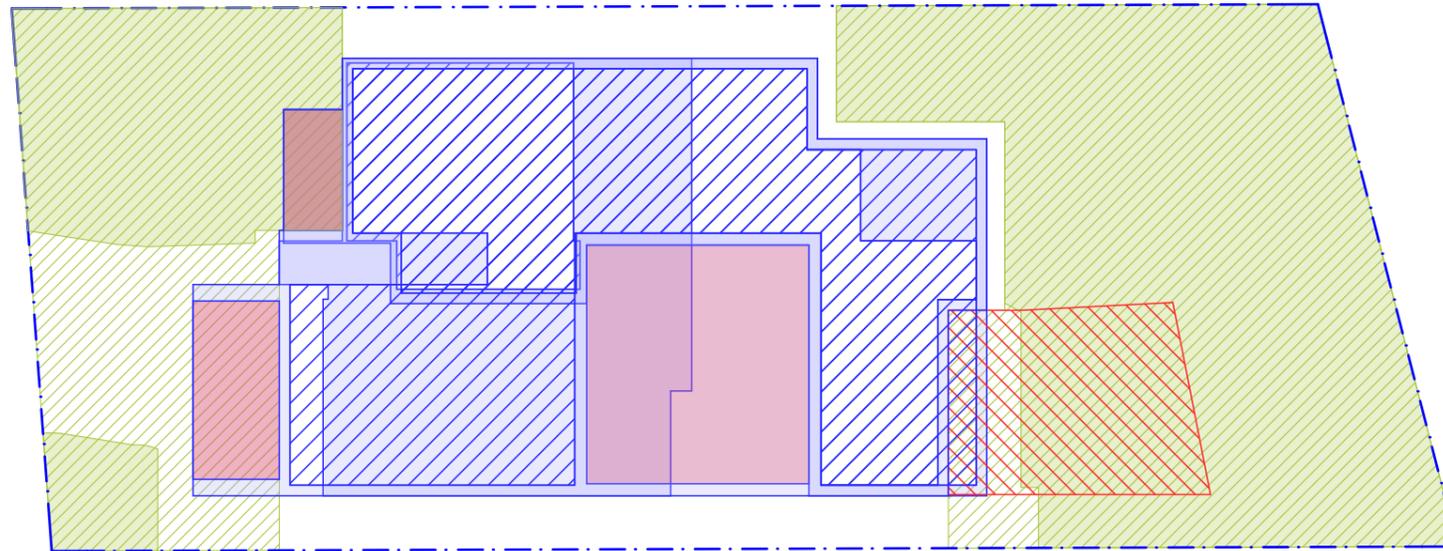
PROJECT ADDRESS
 7 MONTELIER PLACE,
 MANLY NSW 2095

DRAWING NO.
DA12

DATE
 Thursday, 1 October 2020

DRAWING NAME
 LONG / CROSS SECTION

SCALE
 1:100 @A3



ITEM DETAILS		DEVELOPMENT APPLICATION		
ADDRESS	7 MONTEPELIER PLACE, MANLY NSW 2095			
LOT & DP/SP	LOT 7 DP 1105469			
COUNCIL	NORTHERN BEACHS COUNCIL (MANLY)			
SITE AREA	589.1m ²			
FRONTAGE	15.39m			
CONTROLS	PERMISSIBLE / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
	m / m ² / %	m / m ² / %	m / m ² / %	
LEP				
MINIMUM LOT SIZE	500m ²	589.1m ²	UNCHANGED	YES
FLOOR SPACE RATIO	0.45 : 1 (265.095m ²)	0.48 : 1 (287.7m ²)	UNCHANGED	NO
DCP				
RESIDENTIAL OPEN SPACE	AREA OS3			
TOTAL OPEN SPACE (TOS)	55% (324.005m ²)	311.61m ² (53%)	UNCHANGED	NO
LANDSCAPE AREA	35% OF TOS (55%) : 113.40m ²	247.47m ²	UNCHANGED	YES
OPEN SPACE ABOVE GROUND	MAX. 40% OF TOS (55%) : 129.602m ²	66.11m ²	UNCHANGED	YES
PRINCIPAL PRIVATE OPEN SPACE	18m ²	36.5m ²	UNCHANGED	YES



1

PROPOSED AREA CALCULATIONS

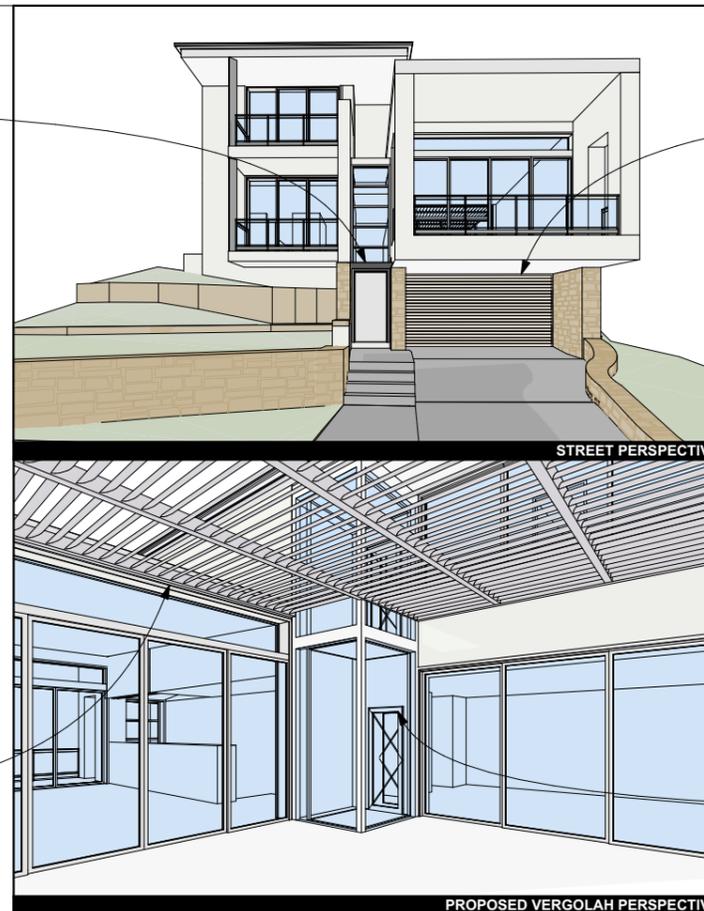
1:200

MT
METAL ROOF SHEETING
COLOUR TO BE CONFIRMED BY CLIENT & MATCH EXISTING
WHERE MARKED ON ELEVATION.

PLD
PANEL LIFT GARAGE DOOR
COLOUR TO BE CONFIRMED BY CLIENT
WHERE MARKED ON ELEVATION.

PVR
PROPOSED VERGOLA ROOF
TO MANUFACTURER'S DETAILS
WHERE MARKED ON ELEVATION.

PLS
PROPOSED LIFT SHAFT
TO MANUFACTURER'S DETAILS
WHERE MARKED ON ELEVATION.



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C	30.09.2020	DA DOCUMENTATION	LRP

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LEGEND



CLIENT
STEVE & KAREN PERKS

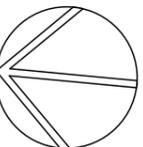
PROJECT ADDRESS
7 MONTEPELIER PLACE,
MANLY NSW 2095

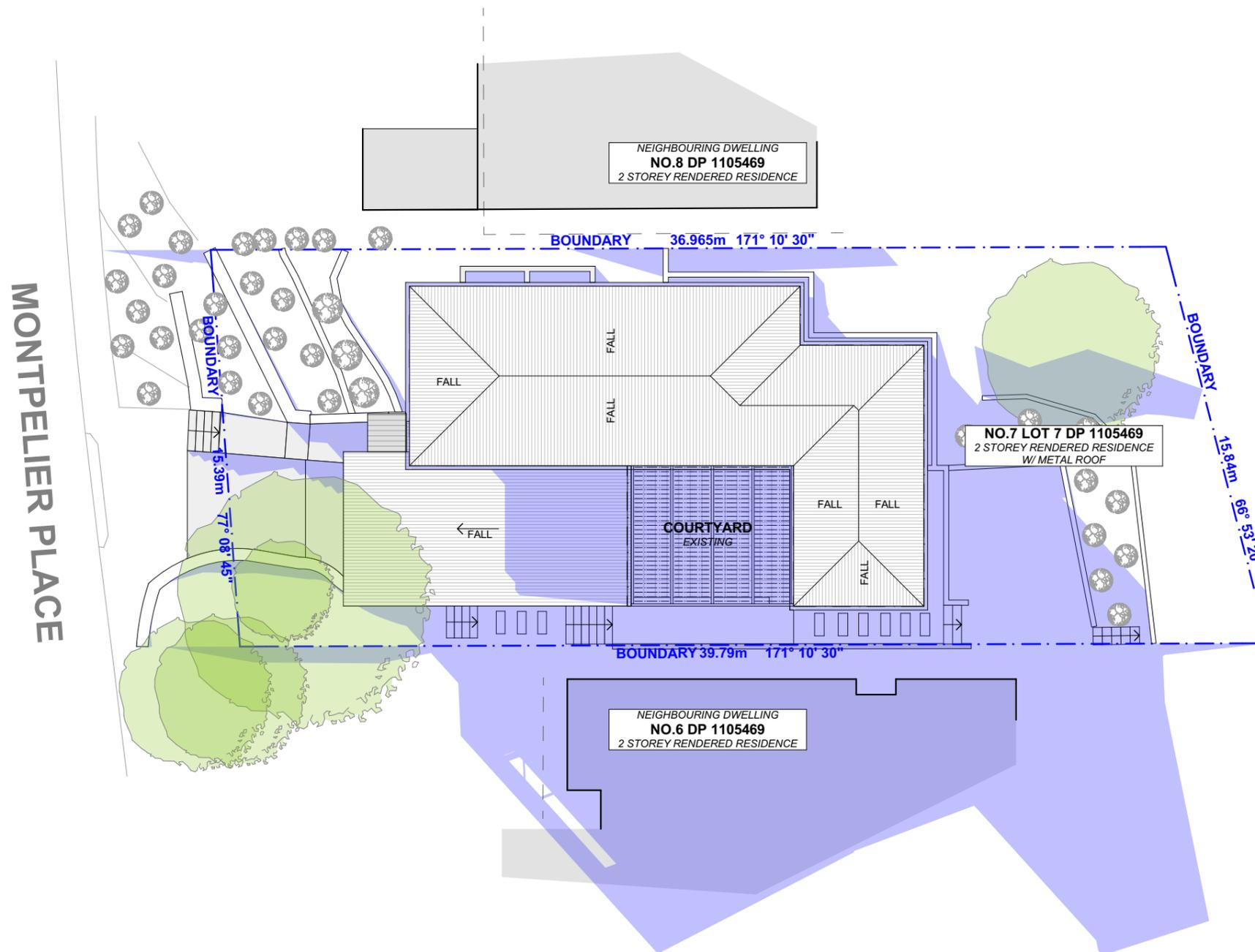
DRAWING NO.
DA13

DATE
Thursday, 1 October
2020

DRAWING NAME
AREA CALCULATIONS /
SAMPLE BOARD

SCALE
1:200 @A3





NOTE: NO CHANGE TO SHADOW FOR WINTER SOLSTICE 9AM



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LEGEND
 EXISTING SHADOWS
 PROPOSED SHADOWS

CLIENT
 STEVE & KAREN PERKS

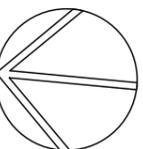
PROJECT ADDRESS
 7 MONTPELIER PLACE,
 MANLY NSW 2095

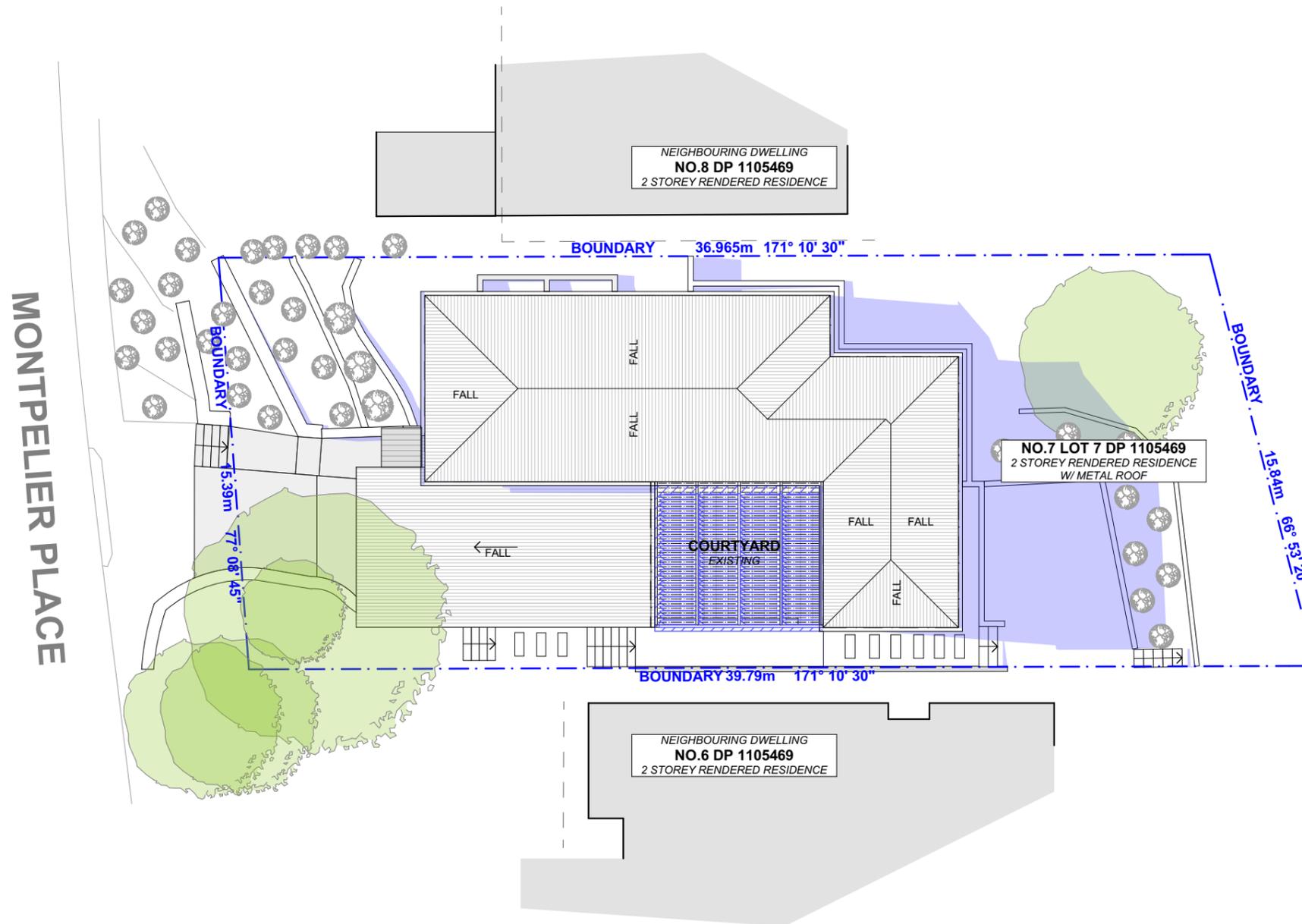
DRAWING NO.
DA14

DATE
 Thursday, 1 October 2020

DRAWING NAME
 WINTER SOLSTICE 9 AM

SCALE
 1:200 @A3





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REV.	DATE	COMMENTS	DRWN
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LEGEND

- EXISTING SHADOWS
- PROPOSED SHADOWS

CLIENT

STEVE & KAREN PERKS

PROJECT ADDRESS

7 MONTPELIER PLACE,
 MANLY NSW 2095

DRAWING NO.

DA15

DATE

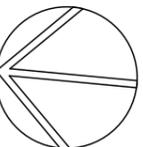
Thursday, 1 October 2020

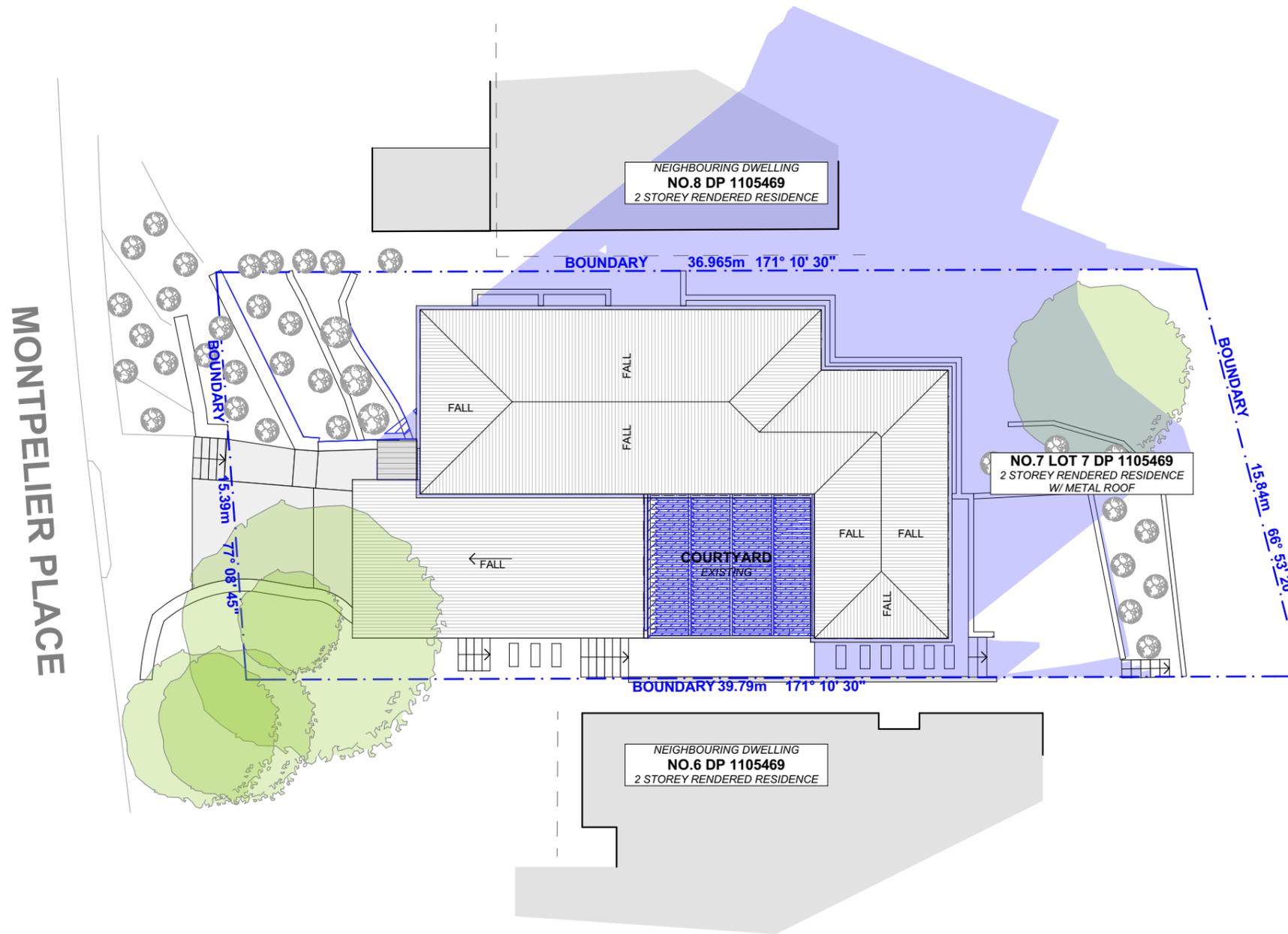
DRAWING NAME

WINTER SOLSTICE 12 PM

SCALE

1:200 @A3





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LEGEND

- EXISTING SHADOWS
- PROPOSED SHADOWS

CLIENT

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PROJECT ADDRESS

7 MONTPELIER PLACE,
 MANLY NSW 2095

DRAWING NO.

DA16

DATE

Thursday, 1 October 2020

DRAWING NAME

WINTER SOLSTICE 3 PM

SCALE

1:200 @A3

