



# ACTION PLANS

m: 0426 957 518  
e: [operations@actionplans.com.au](mailto:operations@actionplans.com.au)  
w: [www.actionplans.com.au](http://www.actionplans.com.au)

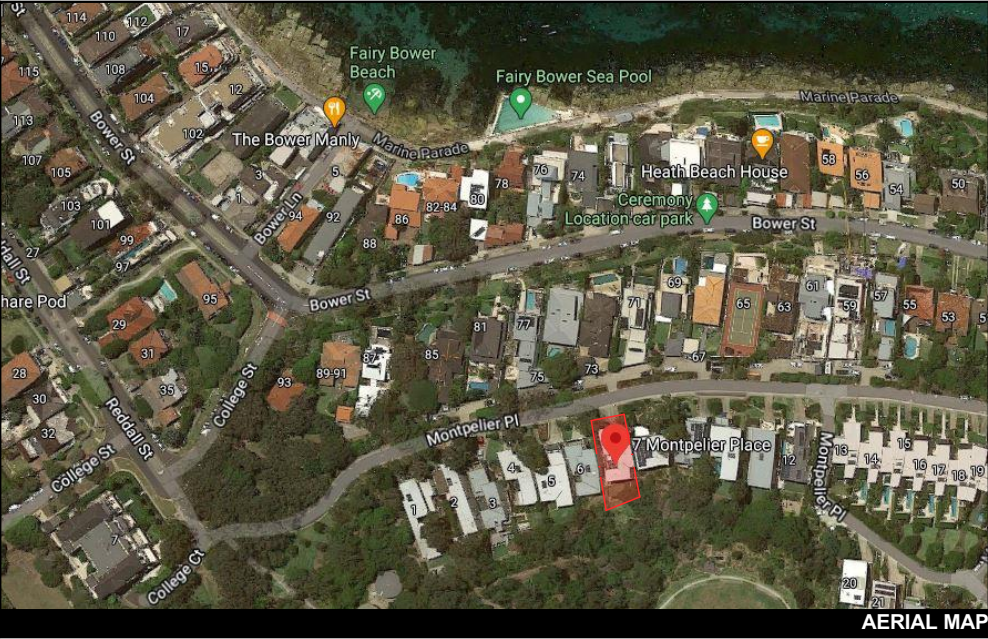
## DEVELOPMENT APPLICATION

THESE PLANS ARE FOR DEVELOPMENT APPROVAL ONLY.

ITEM DETAILS	DEVELOPMENT APPLICATION			
ADDRESS	7 MONTPELIER PLACE, MANLY NSW 2095			
LOT & DP/SP	LOT 7 DP 1105469			
COUNCIL	NORTHERN BEACHS COUNCIL (MANLY)			
SITE AREA	589.1m²			
FRONTAGE	15.39m			
CONTROLS	PERMISSIBLE / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
	m / m² / %	m / m² / %	m / m² / %	
<b>LEP</b>				
LAND ZONING	R2 – LOW DENSITY RESIDENTIAL	R2	R2	YES
MINIMUM LOT SIZE	500m²	589.1m²	UNCHANGED	YES
FLOOR SPACE RATIO	0.45 : 1 (265.095m²)	0.48 : 1 (287.7m²)	UNCHANGED	NO
MAXIMUM BUILDING HEIGHT	8.5m	9.9m	UNCHANGED	NO
KEY SITES	IDENTIFIED – PRECINCT 13	N/A	N/A	N/A
<b>HAZARDS</b>				
BIODIVERSITY	IDENTIFIED	N/A	N/A	N/A
FORESHORE SCENIC PRO. AREA	IDENTIFIED	N/A	N/A	N/A
<b>DCP</b>				
MANLY MAP – SIGNIFICANCE	IDENTIFIED - BANDICOOT	N/A	N/A	N/A
RESIDENTIAL OPEN SPACE	AREA OS3			
TOTAL OPEN SPACE (TOS)	55% (324.005m²)	311.61m² (53%)	UNCHANGED	NO
LANDSCAPE AREA	35% OF TOS (55%) : 113.40m²	247.47m²	UNCHANGED	YES
OPEN SPACE ABOVE GROUND	MAX. 40% OF TOS (55%) : 129.602m²	66.11m²	UNCHANGED	YES
PRINCIPAL PRIVATE OPEN SPACE	18m²	36.5m²	UNCHANGED	YES
FRONT SETBACK	PREVAILING BULDING LINE: 6m	4.106m	UNCHANGED	NO
REAR SETBACK	8.0m	10.195m	UNCHANGED	YES
SIDE SETBACKS	1/3 WALL HEIGHT	E: 1.438 W: 1.508	E: UNCHANGED W: UNCHANGED	NO
CAR PARKING SPACES	Required: 1	2	UNCHANGED	YES

SHEET NUMBER	SHEET NAME	DATE PUBLISHED
DA00	COVER	1/10/2020
DA01	NOTATION	1/10/2020
DA02	SITE ANALYSIS	1/10/2020
DA03	SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN	1/10/2020
DA04	EXISTING LOWER GROUND FLOOR PLAN	1/10/2020
DA05	EXISTING GROUND FLOOR PLAN	1/10/2020
DA06	EXISTING FIRST FLOOR PLAN	1/10/2020
DA07	PROPOSED LOWER GROUND FLOOR PLAN	1/10/2020
DA08	PROPOSED GROUND FLOOR PLAN	1/10/2020
DA09	PROPOSED FIRST FLOOR PLAN	1/10/2020
DA10	NORTH / EAST ELEVATION	1/10/2020
DA11	SOUTH / WEST ELEVATION	1/10/2020
DA12	LONG / CROSS SECTION	1/10/2020
DA13	AREA CALCULATIONS / SAMPLE BOARD	1/10/2020
DA14	WINTER SOLSTICE 9 AM	1/10/2020
DA15	WINTER SOLSTICE 12 PM	1/10/2020
DA16	WINTER SOLSTICE 3 PM	1/10/2020

## 7 MONTPELIER PLACE, MANLY NSW 2095



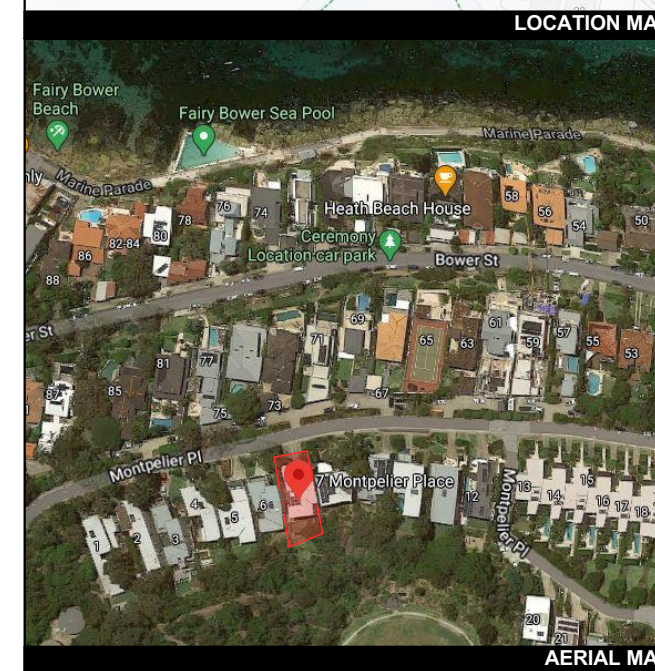
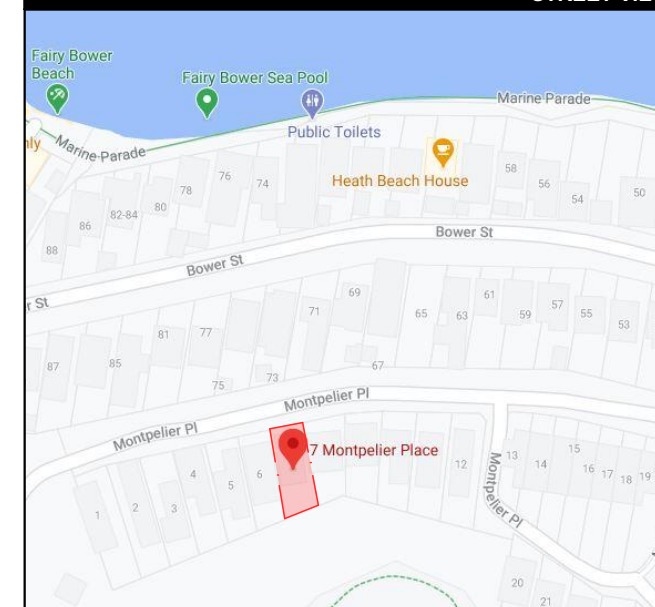
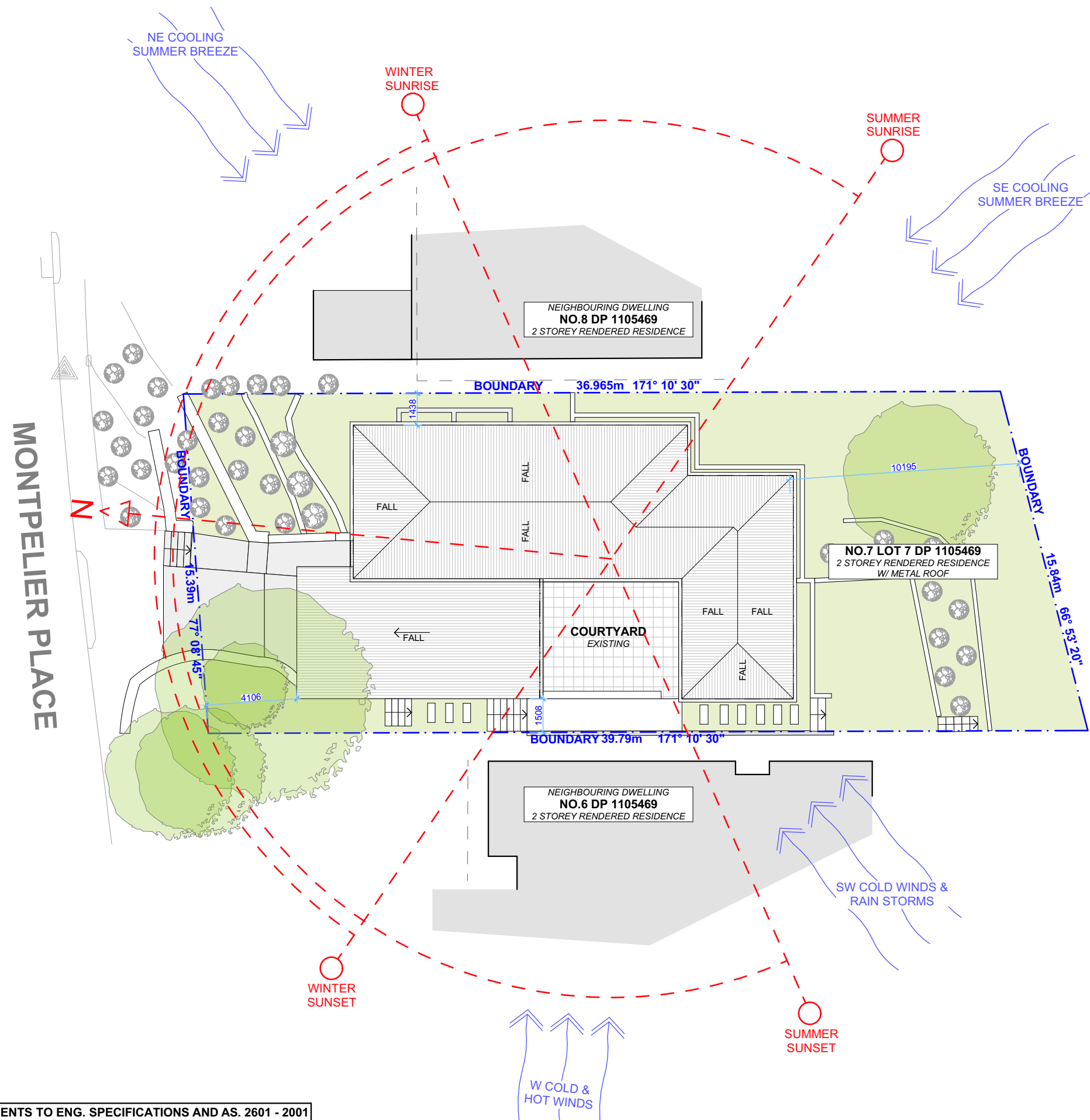
### NCC & AS COMPLIANCES SPECIFICATIONS

- EARTHWORKS - PART 3.1.1 OF NCC
- EARTH RETAINING STRUCTURES - PART 3.1.2 OF NCC
- DRAINAGE - PART 3.1.3 OF NCC
- TERMITE-RISK MANAGEMENT - PART 3.1.4 OF NCC
- FOOTINGS & SLAB - PART 3.2 OF NCC INCLUDING AS 2870-2011
- MASONRY - PART 3.3 OF NCC INCLUDING AS 3700:2018
- FRAMING - PART 3.4 OF NCC
- SUB FLOOR VENTILATION - PART 3.4.1 OF NCC
- ROOF CLADDING AND WALL-CLADDING - PART 3.5 OF NCC
- GLAZING - PART 3.6 OF NCC INCLUDING AS 1288
- FIRE SAFETY - PART 3.7 OF NCC
- FIRE SEPARATION OF EXTERNAL WALLS - PART 3.7.2 OF NCC
- FIRE PROTECTION OF SEPARATING WALLS AND FLOORS- PART 3.7.3 OF NCC
- SMOKE ALARMS - PART 3.7.5 OF NCC
- WET AREAS AND EXTERNAL WATERPROOFING - PART 3.8.1 OF NCC
- ROOM HEIGHTS - PART 3.8.2 OF NCC
- FACILITIES - PART 3.8.3 OF NCC
- LIGHT - PART 3.8.4 OF NCC
- VENTILATION - PART 3.8.5 OF NCC
- SOUND INSULATION - PART 3.8.6 OF NCC
- STAIRWAYAND RAMP CONSTRUCTION - PART 3.9.1 OF NCC
- BARRIERS AND HANDRAILS - PART 3.9.2 OF NCC
- SWIMMING POOLS - PART 3.10.1 OF NCC
- CONSTRUCTION IN BUSHFIRE PRONE AREAS - PART 3.10.5 OF NCC
- FENCING & OTHER PROVISIONS - REGS & AS1926.1 2012
- DEMOLITION WORKS - AS2601-2001 THE DEMOLITION OF STRUCTURES.
- WATERPROOFING OF WET AREAS TO COMPLY WITH AS 3740-2010
- ALL PLUMBING & DRAINAGE WORK TO COMPLY WITH AS 3500:2018
- ALL PLASTERBOARD WORK TO COMPLY WITH AS 2588:2018
- ALL STRUCTURAL STEEL WORK TO COMPLY WITH AS 4100-1992 & AS 1554
- ALL CONCRETE WORK TO COMPLY WITH AS 3600:2018
- ALL ROOF SHEETING WORK TO COMPLY WITH AS 1562.1-2018
- ALL SKYLIGHTS TO COMPLY WITH AS 4285-2019
- ALL CERAMIC TILING TO COMPLY WITH AS 3958.1-2007 & 3958.2-1992
- ALL GLAZING ASSEMBLIES TO COMPLY WITH AS 2047-2014 & 1288
- ALL TIMBER RETAINING WALLS ARE TO COMPLY WITH AS 1720.1-2010, AS 1720.2-2006, AS 1720.4-2006, AS 1170.1-2002 & AS 1170.4-2007
- ALL RETAINING WALLS ARE TO COMPLY WITH 3700:2018 & AS 3600:2018
- ALL CONSTRUCTION TO COMPLY WITH AS 3959:2018

# NOTES

- APPROVED MEANS BY THE ‘RELEVANT LOCAL AUTHORITY’ OR COUNCIL
- THE OWNER WILL DIRECTLY PAY THE FEES ASSOCIATED WITH THE FOLLOWING:  
BUILDING APPROVAL FROM COUNCIL, FOOTPATH AND KERB DEPOSITS WITH THE LOCAL COUNCIL, INSURANCE FEE TO BUILDING SERVICES CORPORATION, LONG SERVICE LEAVE SERVICE LEVY FEE AND APPROVAL FEE BY WATER AND SEWERAGE AUTHORITY. ALL OTHER FEES ARE TO BE PAID BY THE BUILDER. THE AMOUNT OF ANY LOCAL AUTHORITY DEPOSITS WHICH ARE FORFEITED DUE TO DAMAGE OR OTHER CAUSE WILL BE DEDUCTED FROM THE PAYMENTS DUE TO THE BUILDER.
- THE BUILDER IS TO PROVIDE AT HIS/HER OWN EXPENSE ADEQUATE PUBLIC RISK INSURANCE AND ARRANGE INDEMNIFICATION UNDER THE WORKERS COMPENSATION ACT. WORKS INSURANCE TO BE STATED IN THE CONTRACT CONDITIONS.
- ALL WORK TO BE CARRIED OUT IN A TRADESMEN LIKE MANNER AND IN ACCORDANCE WITH THE STANDARDS CODES AND REGULATIONS OF THE STANDARDS ASSOCIATION OF AUSTRALIA, BUILDING CODE OF AUSTRALIA AND ANY STATUTORY AUTHORITY HAVING JURISDICTION OVER THE WORK.
- ALL TENDERERS ARE TO VISIT THE SITE TO SATISFY THEMSELVES AS TO THE NATURE AND EXTENT OF THE WORKS, FACILITIES AVAILABLE AND DIFFICULTIES ENTAILED IN THE WORKS AS VARIATIONS WILL NOT BE ALLOWED DUE TO WORK ARISING OWING TO NEGLIGENCE OF THIS CLAUSE.
- ALL WORK AND MATERIALS TO COMPLY WITH THE CURRENT AUSTRALIAN STANDARDS AT THE TIME OF COMMENCEMENT WERE APPLICABLE.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL STRUCTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH ANY SUCH WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.
- SET OUT DIMENSIONS SHOWN ON THIS DRAWING SHALL BE VARIFIED BY THE BUILDER ON SITE BEFORE COMMENCEMENT OF ANY WORK. DIMENSIONS SHOULD NOT BE OBTAINED BY SCALING THE DRAWINGS. USE ONLY FIGURED DIMENSIONS. ALL DIMENSIONS ARE IN MILLIMETRES.
- THE BUILDER IS TO ENSURE ALL CONSTRUCTION, LEVELS AND OTHER ITEMS COMPLY WITH THE CONDITIONS OF THE BUILDING APPROVAL.
- THE BUILDER IS TO COMPLY WITH ALL ORDINANCES, LOCAL AUTHORITY REGULATIONS AND THE REQUIREMENTS OF ALL SERVICES SUPPLY AUTHORITIES HAVING JURISDICTION OVER THE WORKS.
- ALL PLUMBING AND DRAINAGE WORK TO BE INSTALLED AND COMPLETED BY A LICENCED TRADESMAN AND IN ACCORDANCE WITH THE STATUTORY BODY HAVING AUTHORITY OVER THE WORKS. CONNECT ALL WASTE TO SYDNEY WATER SEWER LINE
- ALL NEW DOWNPIPES ARE TO BE CONNECTED TO THE EXISTING STORM WATER SYSTEM.
- ALL POWER AND STORMWATER OUTLET LOCATIONS SHALL BE DETERMINED ON SITE BY THE OWNER.
- SMOKE DETECTOR ALARM TO BE INSTALLED IN ACCORDANCE WITH AS3786 AND THE BUILDING CODE OF AUSTRALIA.
- ELECTRICAL WORK TO BE IN ACCORDANCE WITH SAA WIRING RULES AND BE DONE BY A LICENCED TRADESMAN
- ANY DETAILING IN ADDITION TO WHAT IS SUPPLIED SHALL BE RESOLVED BETWEEN THE OWNER AND THE BUILDER TO THE OWNERS APPROVAL, EXCEPT FOR ANY STRUCTURAL DETAILS OR DESIGN WHICH IS SUPPLIED BY THE ENGINEER.
- ALL TIMBER SIZES AND CONCRETE DETAILS TO BE CONFIRMED BY THE BUILDER PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL STRUCTURAL WORK IS TO BE IN ACCORDANCE WITH THE STRUCTURAL DETAILS PREPARED BY A STRUCTURAL ENGINEER (i.e.) PIERS, FOOTINGS, CONCRETE SLABS, RETAINING WALLS, STEELWORK, FORMWORK, UNDERPINNING, ADDITIONAL STRUCTURAL LOADS, TIMBER FRAMING, WIND BRACING AND ASSOCIATED CONNECTIONS. BUILDER TO OBTAIN PRIOR TO FINALISING TENDER.
- ANY WORK INDICATED ON THE PLANS BUT NOT SPECIFIED, AND ANY ITEM NOT SHOWN ON THE PLAN WHICH IS OBVIOUSLY NECESSARY AS A PART OF CONSTRUCTION AND/OR FINISH IS TO BE CONSIDERED AS SHOWN AND SPECIFIED, AND IS TO BE DONE AS PART OF THE CONTRACT. VARIATIONS WILL NOT BE PERMITTED WITHOUT THE WRITTEN CONSENT OF THE OWNER.
- THE BUILDER SHALL PROVIDE SEDIMENT AND SILTRATION CONTROL MEASURES AS REQUIRED BY COUNCIL AND MAINTAIN THEM THROUGH THE DURATION OF THE WORKS.
- A LEGIBLE COPY OF THE PLANS BEARING APPROVAL STAMPS MUST BE MAINTAINED ON THE JOB AT ALL TIMES. HOURS OF CONSTRUCTION WILL BE RESTRICTED TO THE TIMES AS REQUIRED BY THE BUILDING APPROVAL.
- THE BUILDER IS TO ARRANGE FOR ALL INSPECTIONS REQUIRED BY THE AUTHORITIES AND LENDING INSTITUTIONS TO THEIR REQUIREMENTS.
- THE BUILDER IS TO OBTAIN APPROVAL FOR INTERRUPTIONS TO EXISTING SERVICES AND MINIMISE THE DURATION AND NUMBER OF INTERRUPTIONS. ANY INTERRUPTIONS WITH EXISTING SERVICES AND EQUIPMENT TO BE ATTENDED TO BY THE APPROPRIATELY SKILLED TRADESMEN.
- THE BUILDER SHALL RESTORE, REINSTATE OR REPLACE ANY DAMAGE CAUSED TO EXISTING STRUCTURES OR LANDSCAPING BY CONSTRUCTION WORK OR WORKMEN. PROVIDE PROTECTION TO EXISTING TREES TO REMAIN AS REQUIRED BY APPROVAL CONDITIONS.
- ALL BRICKWORK IS TO BE SELECTED BY OWNER AND IS TO COMPLY WITH AS1640
- ALL MASONRY TO COMPLY WITH AS3700
- ALL METALWORK AND FLASHING ITEMS NECESSARY TO SATISFACTORY COMPLETE WORK SHALL BE PROVIDED.
- ALL GUTTERS, DOWNPIPES TO BE COLORBOND.
- ALL TIMBER CONSTRUCTION TO BE IN ACCORDANCE WITH THE AUSTRALIAN STANDARD 1684 “TIMBER FRAMING CODE”
- ALL GLAZING INSTALLED TO COMPLY WITH AS1288, 2047 AND IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATION
- ALL WALL AND CEILING LININGS TO BE PLASTERBOARD OR CEMENT RENDER AS SELECTED AND VILLA BOARD IN WET AREAS, TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS OR INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION.
- ALL BATHROOMS AND WET AREAS TO BE ADEQUATELY WATERPROOFED TO MANUFACTURERS SPECIFICATION AND AS3740 AND PART 3.8.1 OF THE BUILDING CODE OF AUSTRALIA HOUSING PROVISIONS
- STAIRS AND BALUSTRADES TO COMPLY WITH PART 3.9.1 & 3.9.2 OF THE BUILDING CODE OF AUSTRALIA HOUSING PROVISION.
- TERMITE PROTECTION MEASURES TO COMPLY WITH AS 3660 AND BE INSTALLED TO MANUFACTURERS SPECIFICATION.
- ANY DETAILING ADDITIONAL TO THAT SUPPLIED, SHALL BE RESOLVED BETWEEN THE OWNER AND THE BUILDER TO THE OWNERS APPROVAL. EXCEPT FOR ANY STRUCTURAL DETAILS OR DESIGN WHICH IS TO BE SUPPLIED BY THE STRUCTURAL ENGINEER.





## ACTION PLANS

m: 0426 957 518  
e: [operations@actionplans.com.au](mailto:operations@actionplans.com.au)  
w: [www.actionplans.com.au](http://www.actionplans.com.au)

REV.	DATE	COMMENTS	DRWN	NOTES
A	12.08.2020	INITIAL DESIGN PLAN	AM	<p>This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.</p> <p>Do not scale measure from drawings. Figured dimensions are to be used only.</p> <p>The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.</p> <p>All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the</p>
B	17.08.2020	ADD. DIMENSIONS	RNA	
C	30.09.2020	DA DOCUMENTATION	LRP	

## LEGEND



**CLIENT**

STEVE & KAREN  
PERKS

## PROJECT ADDRESS

7 MONTEPIER PLACE,  
MANLY NSW 2095

## DRAWING NO.

DA02

## DATE \_\_\_\_\_

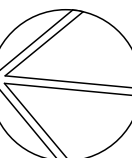
Thursday, 1 October  
2020

## DRAWING NAME

## SITE ANALYSIS

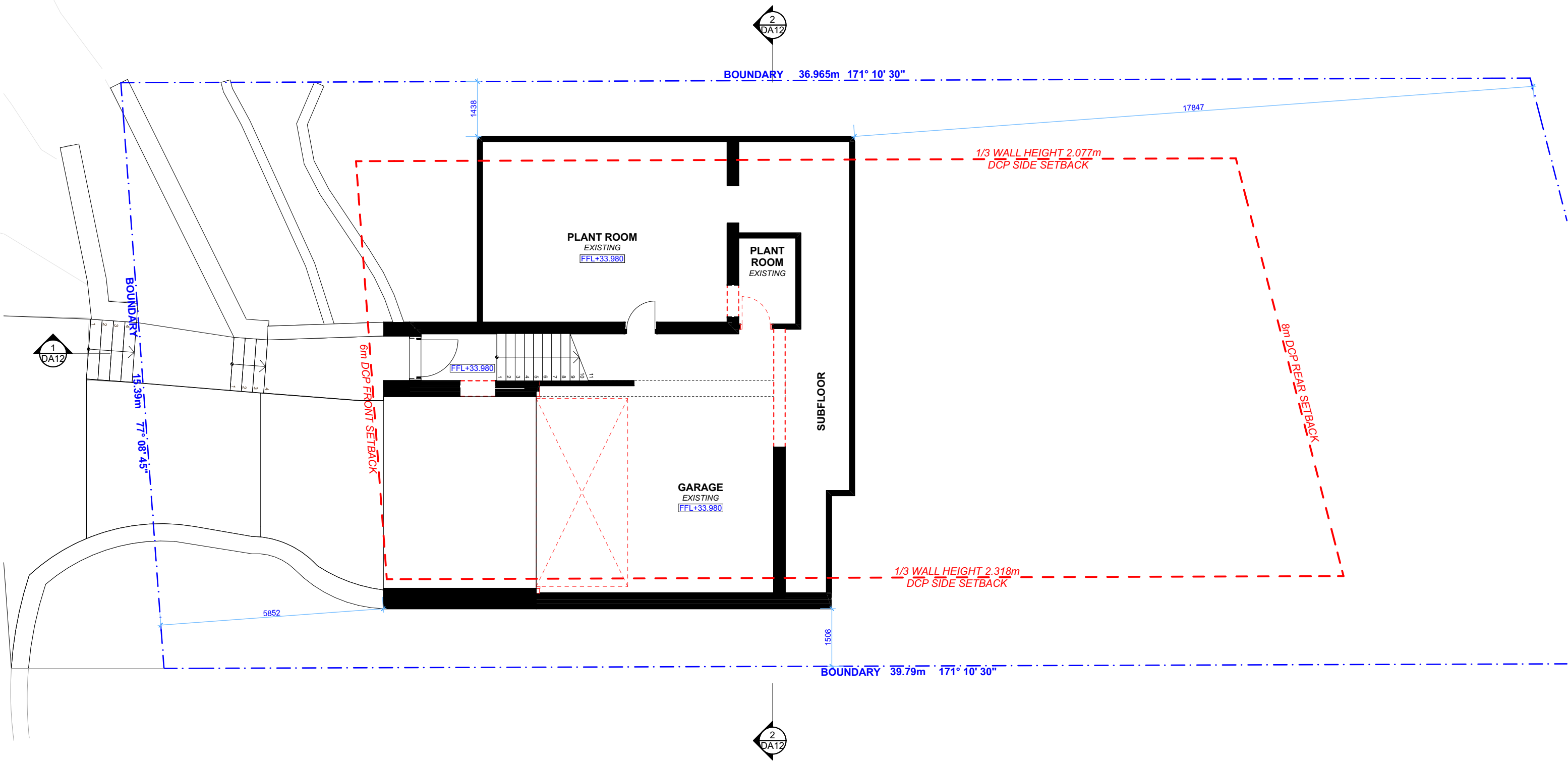
**SCALE**

1:200 @A3



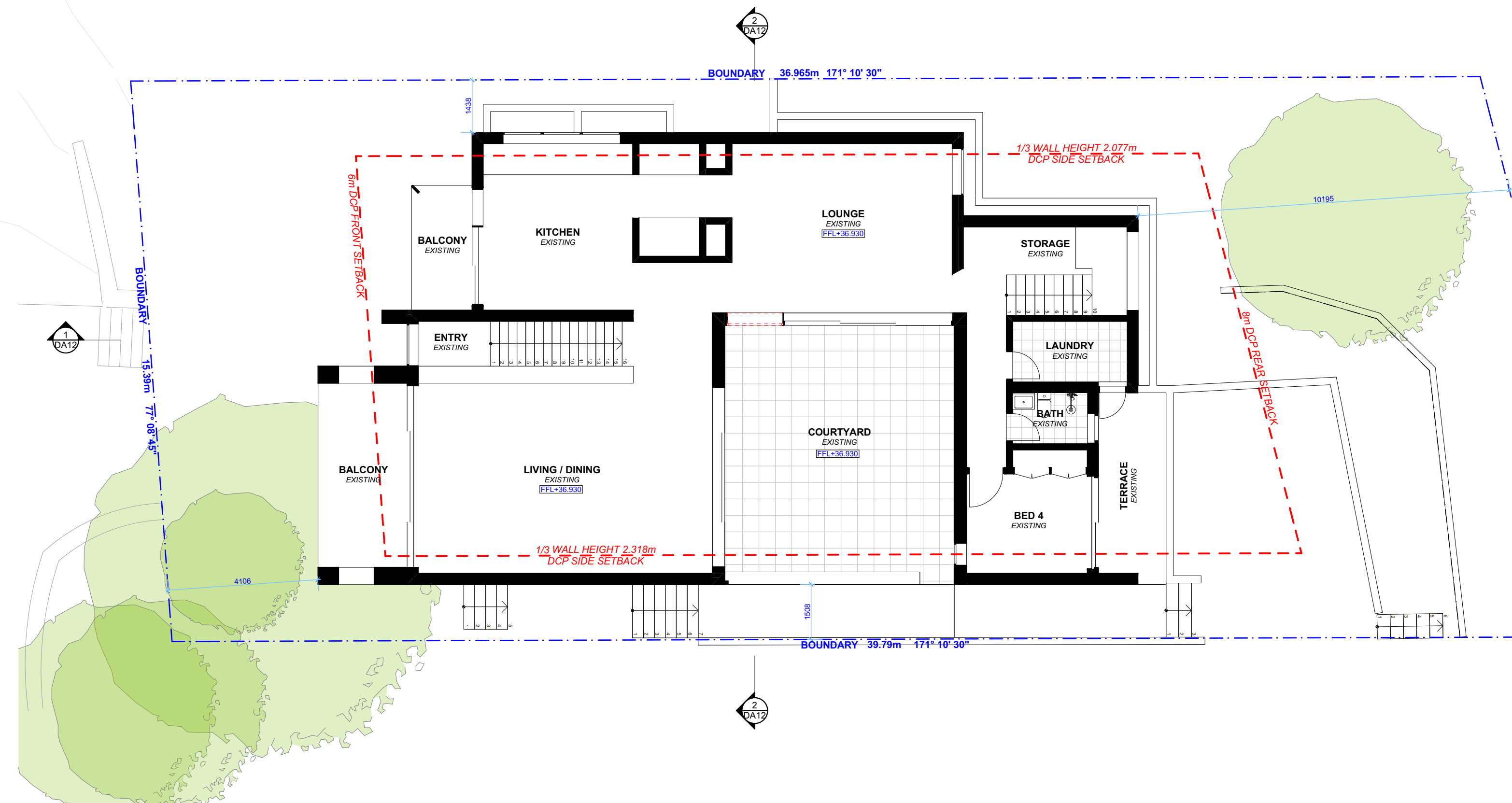






NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001

**CLIENT**  
STEVE & KAREN PERKS**PROJECT ADDRESS**  
7 MONTEPELIER PLACE,  
MANLY NSW 2095**DRAWING NO.**  
**DA04****DATE**  
Thursday, 1 October 2020**DRAWING NAME**  
EXISTING LOWER GROUND FLOOR PLAN**SCALE**  
1:100 @A3



m: 0426 957 518  
e: [operations@actionplans.com.au](mailto:operations@actionplans.com.au)  
w: [www.actionplans.com.au](http://www.actionplans.com.au)

## NOTES

This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.

Do not scale measure from drawings. Figured dimensions are to be used only.

The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.

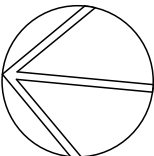
All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.

**CLIENT**  
STEVE & KAREN  
PERKS

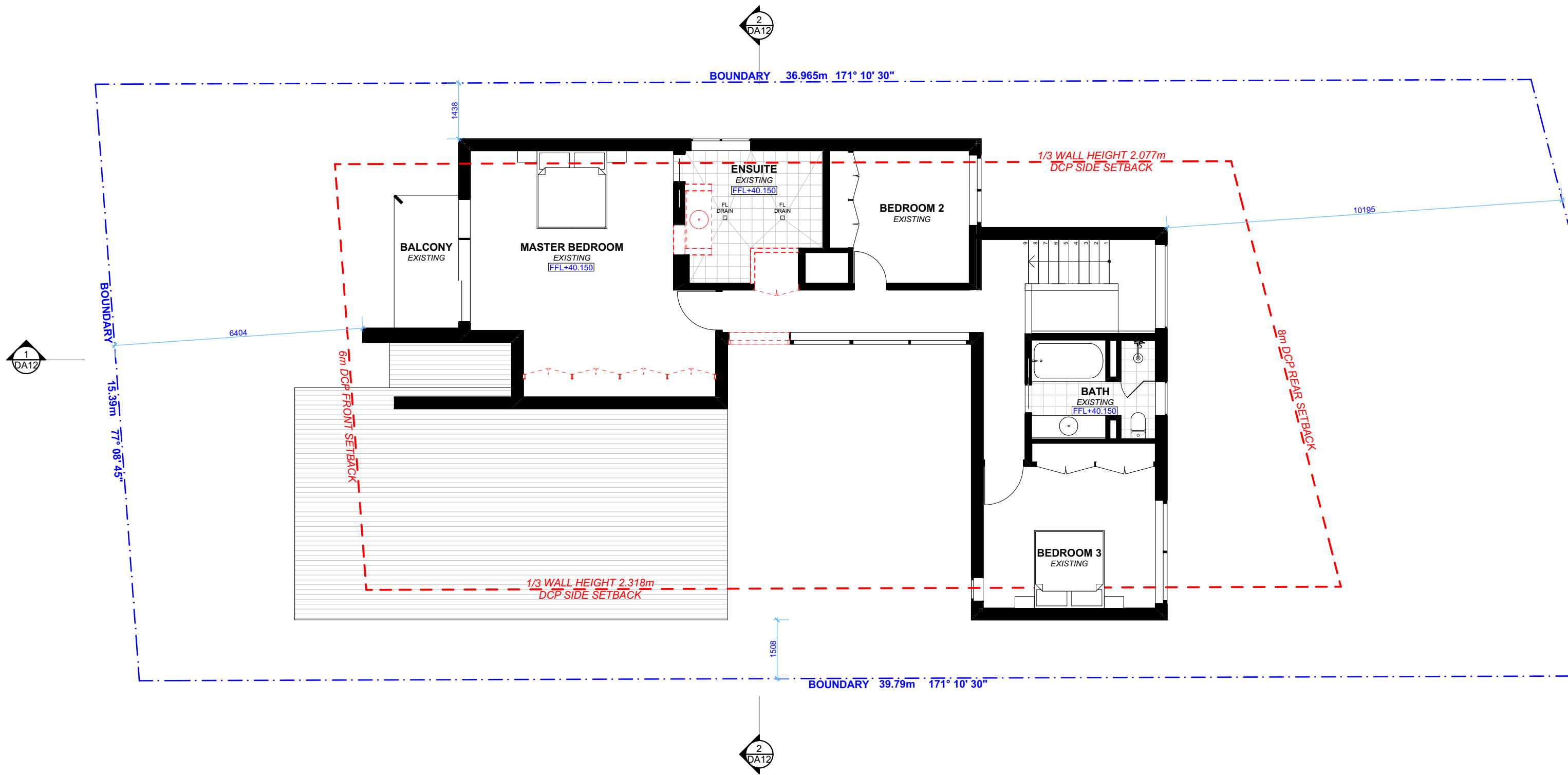
**PROJECT ADDRESS**  
7 MONTEPELIER PLACE,  
MANLY NSW 2095

**DRAWING NAME**  
EXISTING GROUND FLOOR PLAN

**SCALE**  
1:100 @A3







NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



ACTION PLANS

m: 0426 957 518  
e:operations@actionplans.com.au  
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN
A	12.08.2020	INITIAL DESIGN PLAN	AM
B	17.08.2020	ADD. DIMENSIONS	RNA
C	30.09.2020	DA DOCUMENTATION	LRP

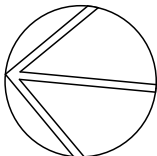
NOTES
This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.
Do not scale measure from drawings. Figured dimensions are to be used only.
The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.

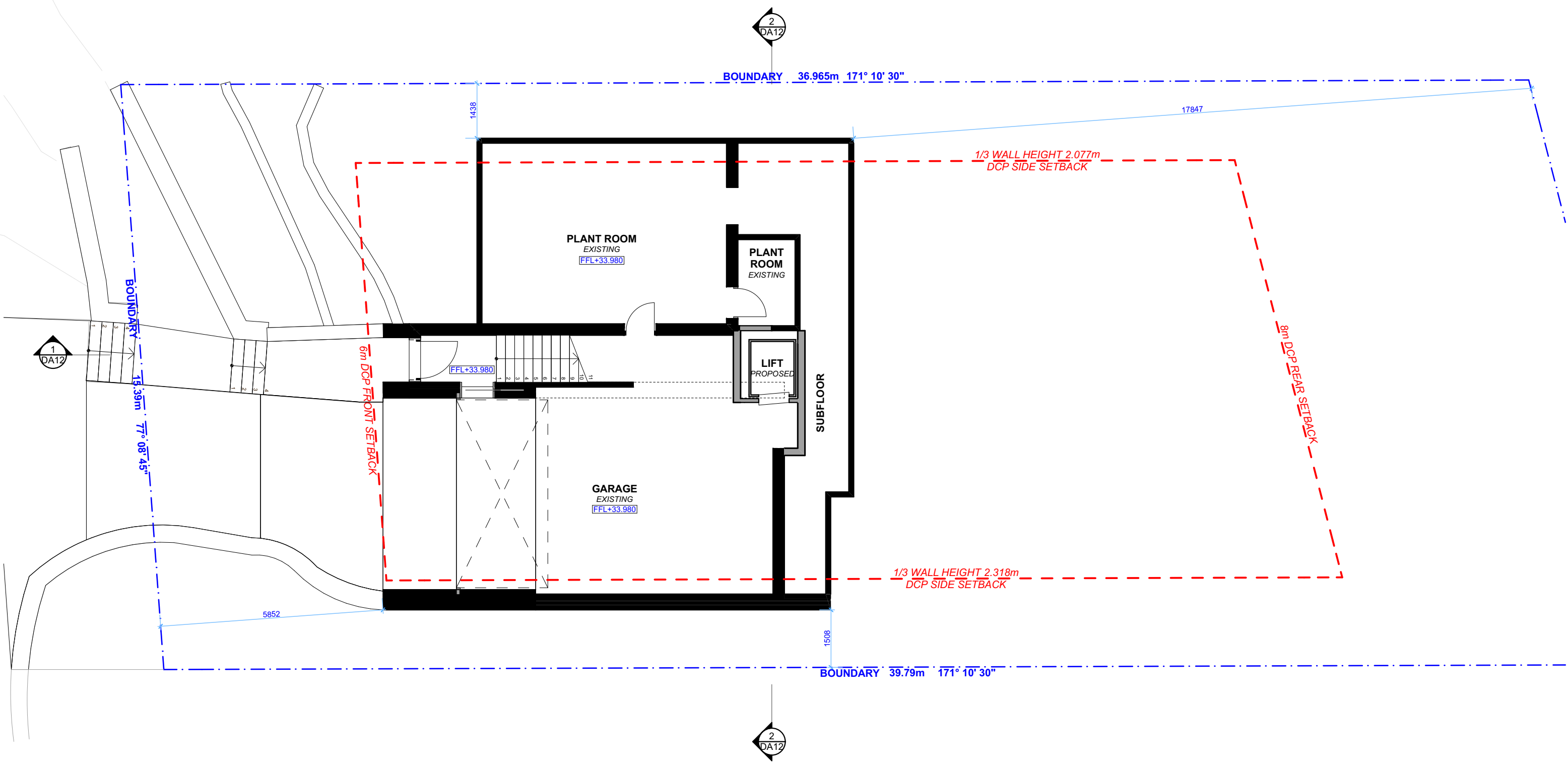
LEGEND
<div></div> EXISTING
<div></div> PROPOSED
<div></div> DEMOLISHED

CLIENT
STEVE & KAREN PERKS
PROJECT ADDRESS
7 MONTELIER PLACE, MANLY NSW 2095

DRAWING NO.
DA06
DATE
Thursday, 1 October 2020

DRAWING NAME
EXISTING FIRST FLOOR PLAN
SCALE
1:100 @A3





**ACTION PLANS**  
m: 0426 957 518  
e:operations@actionplans.com.au  
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN
A	12.08.2020	INITIAL DESIGN PLAN	AM
B	17.08.2020	ADD. DIMENSIONS	RNA
C	30.09.2020	DA DOCUMENTATION	LRP

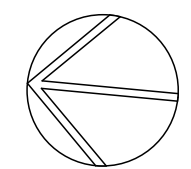
**NOTES**  
This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.  
Do not scale measure from drawings. Figured dimensions are to be used only.  
The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.  
All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.

**LEGEND**  
■ EXISTING  
■ PROPOSED  
- - - DEMOLISHED

**CLIENT**  
STEVE & KAREN PERKS  
  
**PROJECT ADDRESS**  
7 MONTPELIER PLACE,  
MANLY NSW 2095

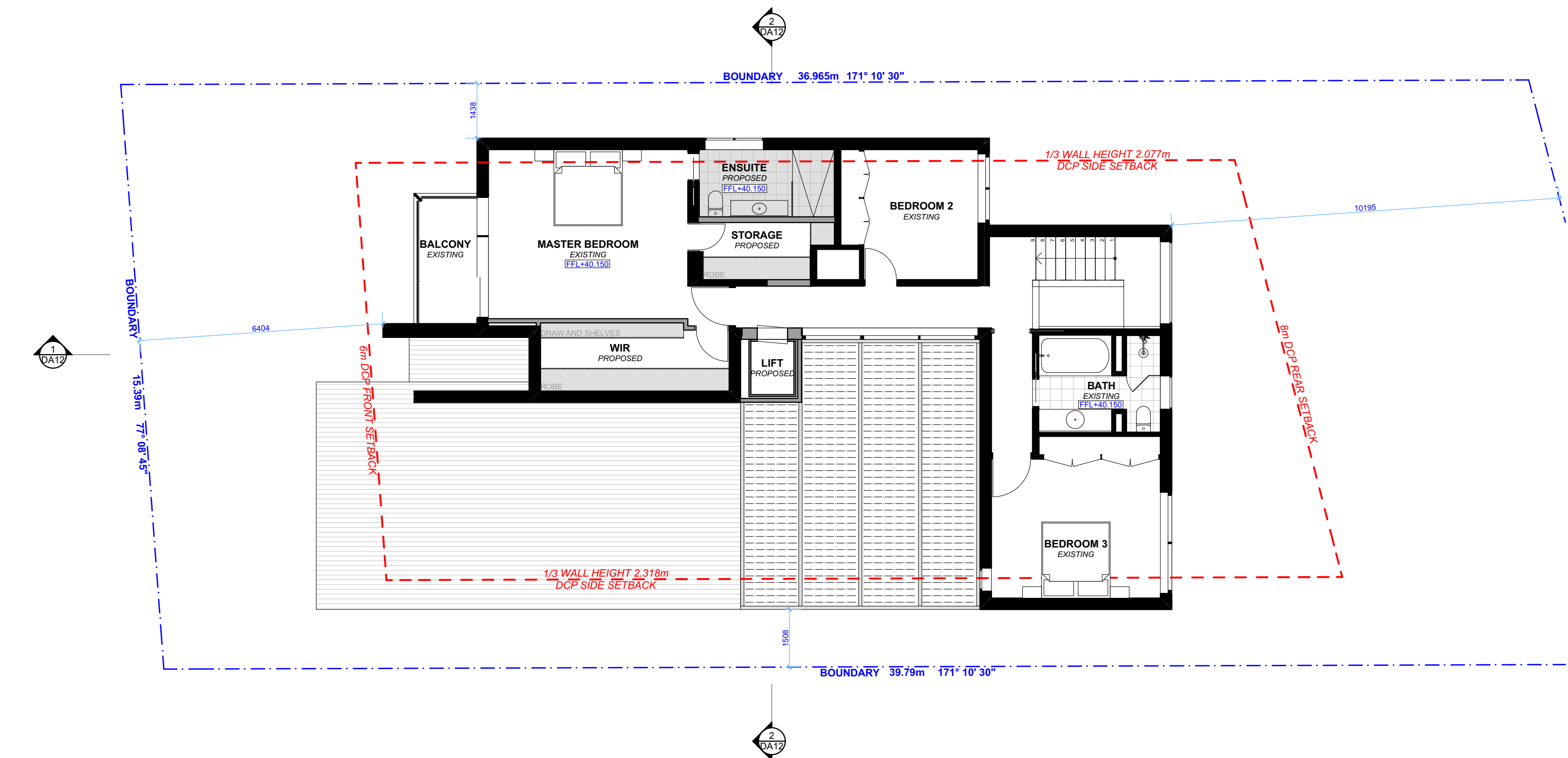
**DRAWING NO.**  
**DA07**  
  
**DATE**  
Thursday, 1 October 2020

**DRAWING NAME**  
PROPOSED LOWER GROUND FLOOR PLAN  
  
**SCALE**  
1:100 @A3

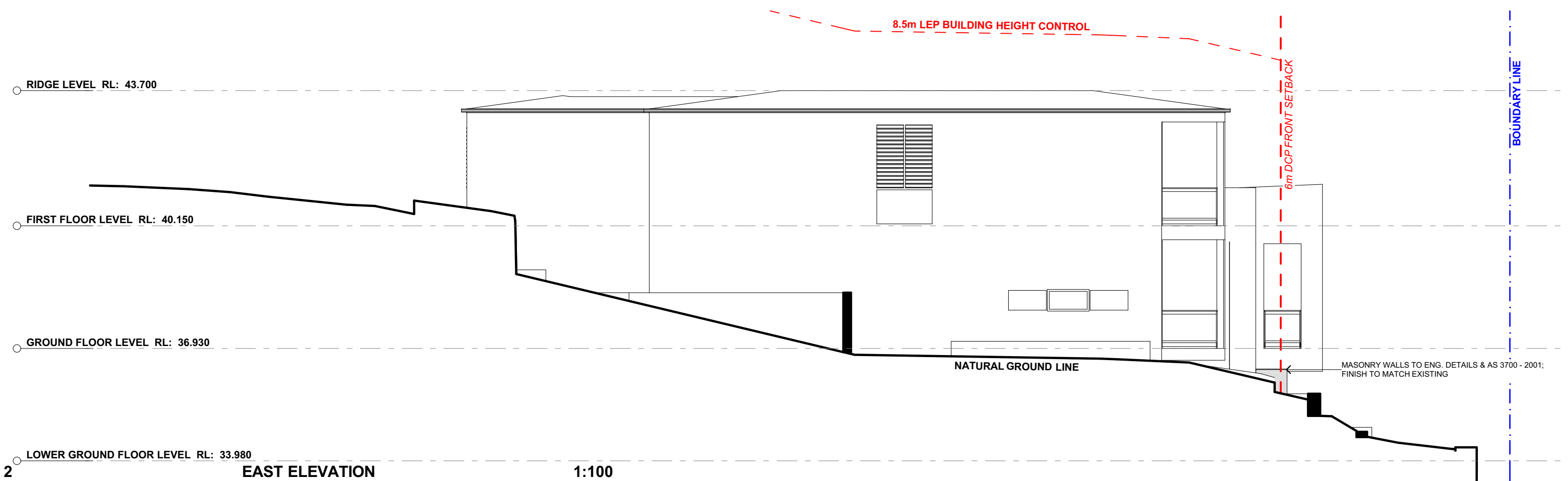
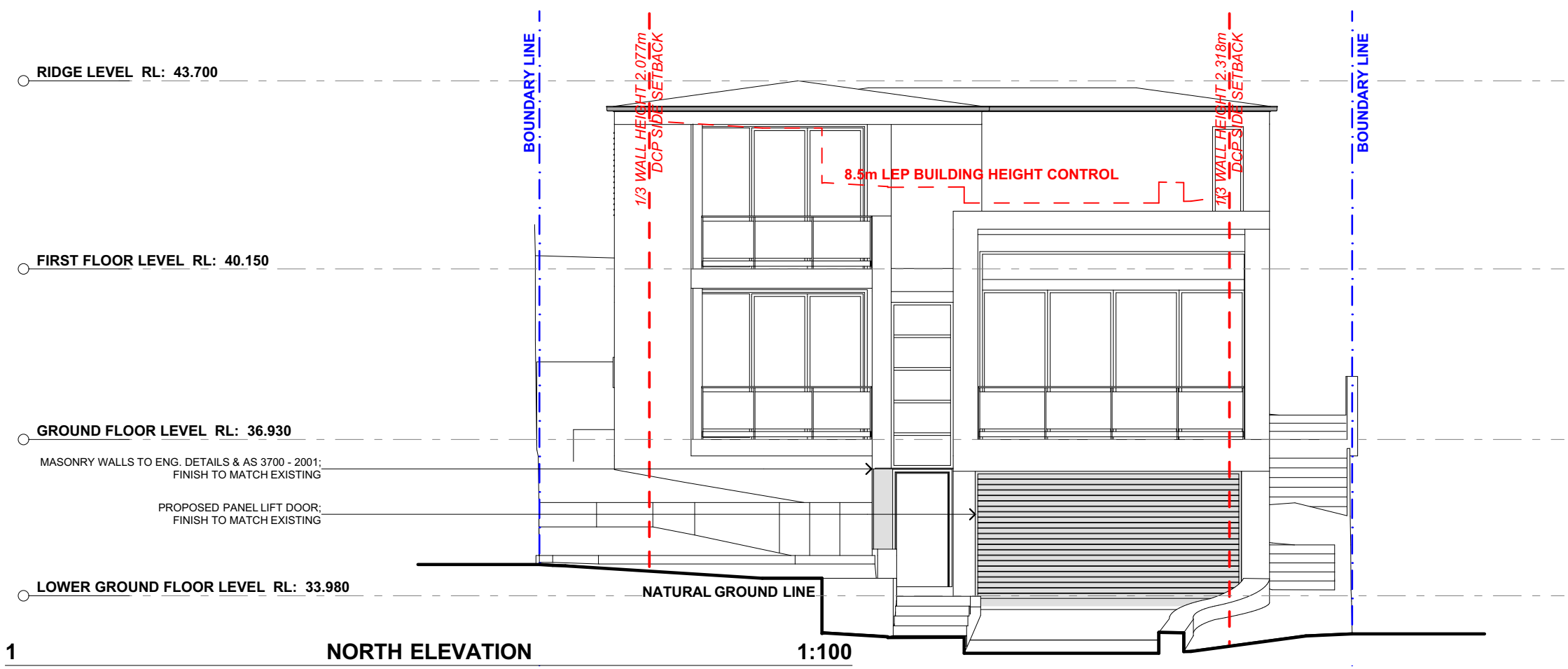















# ACTION PLANS

m: 0426 957 518  
e:operations@actionplans.com.au  
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN	NOTES
A	12.08.2020	INITIAL DESIGN PLAN	AM	<p>This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.</p> <p>Do not scale measure from drawings. Figured dimensions are to be used only.</p> <p>The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.</p> <p>All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.</p>
B	17.08.2020	ADD. DIMENSIONS	RNA	
C	30.09.2020	DA DOCUMENTATION	LRP	

**LEGEND**

EXISTING

PROPOSED

DEMOLISHED

**CLIENT**

STEVE & KAREN PERKS

**PROJECT ADDRESS**

7 MONTPELIER PLACE,  
MANLY NSW 2095

**DRAWING NO.**

DA10

**DATE**

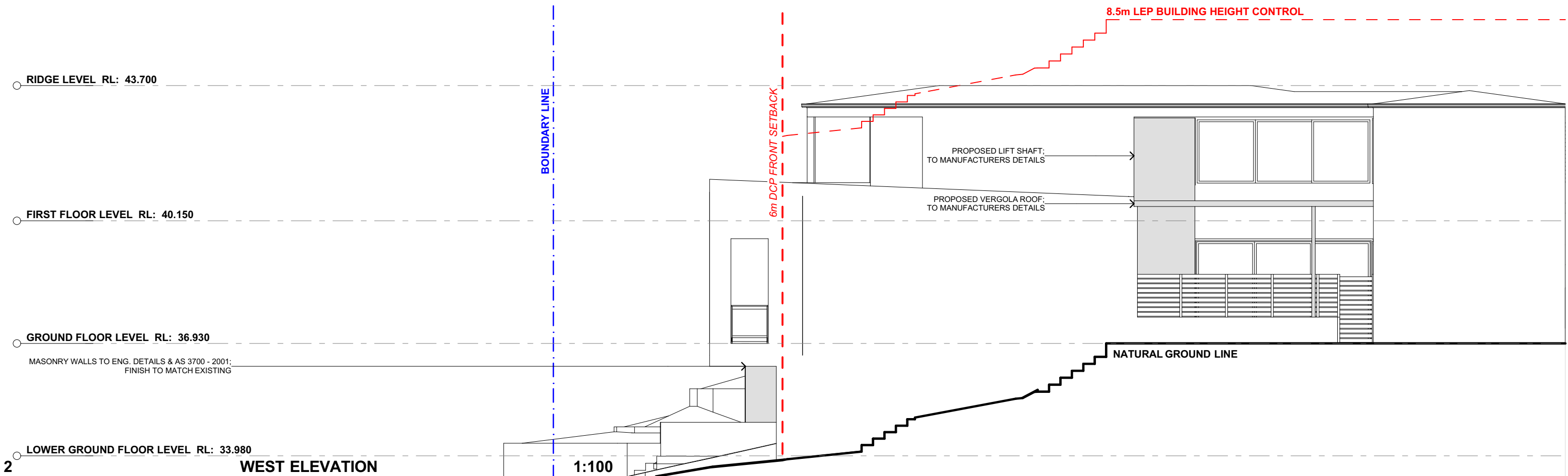
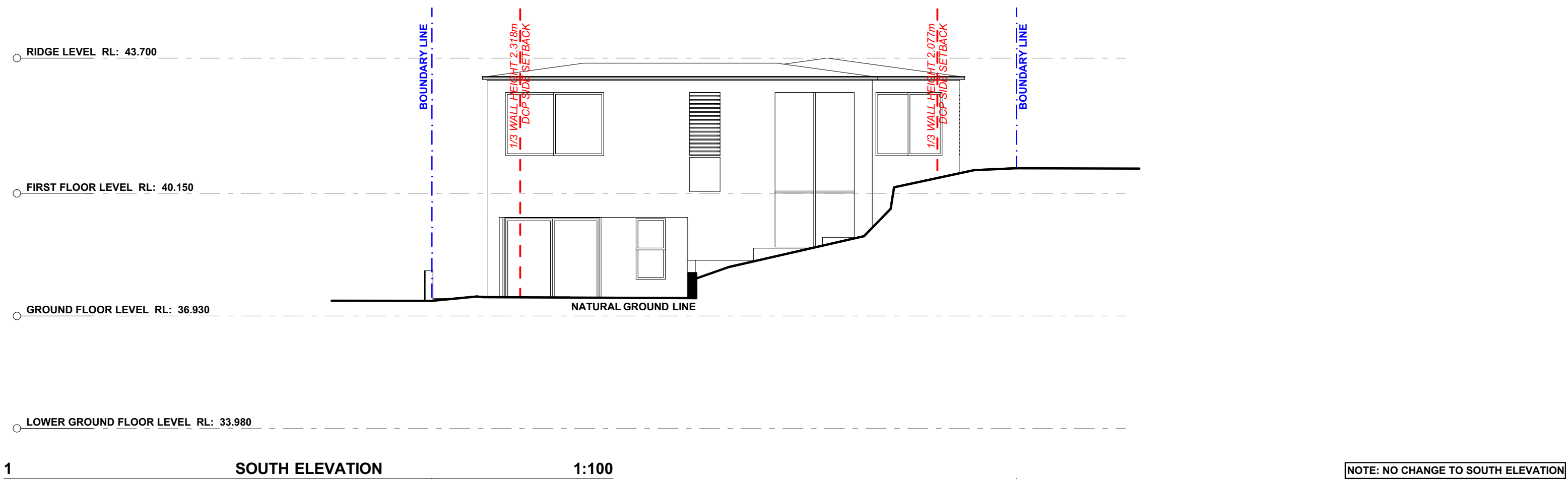
Thursday, 1 October 2020


**DRAWING NAME**

NORTH / EAST ELEVATION

**SCALE**

1:100 @A3





# ACTION PLANS

m: 0426 957 518  
e:operations@actionplans.com.au  
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN	NOTES
A	12.08.2020	INITIAL DESIGN PLAN	AM	This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans. Do not scale measure from drawings. Figured dimensions are to be used only. The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components. All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.
B	17.08.2020	ADD. DIMENSIONS	RNA	
C	30.09.2020	DA DOCUMENTATION	LRP	

### LEGEND

- EXISTING
- PROPOSED
- DEMOLISHED

### CLIENT

STEVE & KAREN PERKS

### PROJECT ADDRESS

7 MONTEPELIER PLACE,  
MANLY NSW 2095

### DRAWING NO.

DA11

### DATE

Thursday, 1 October 2020

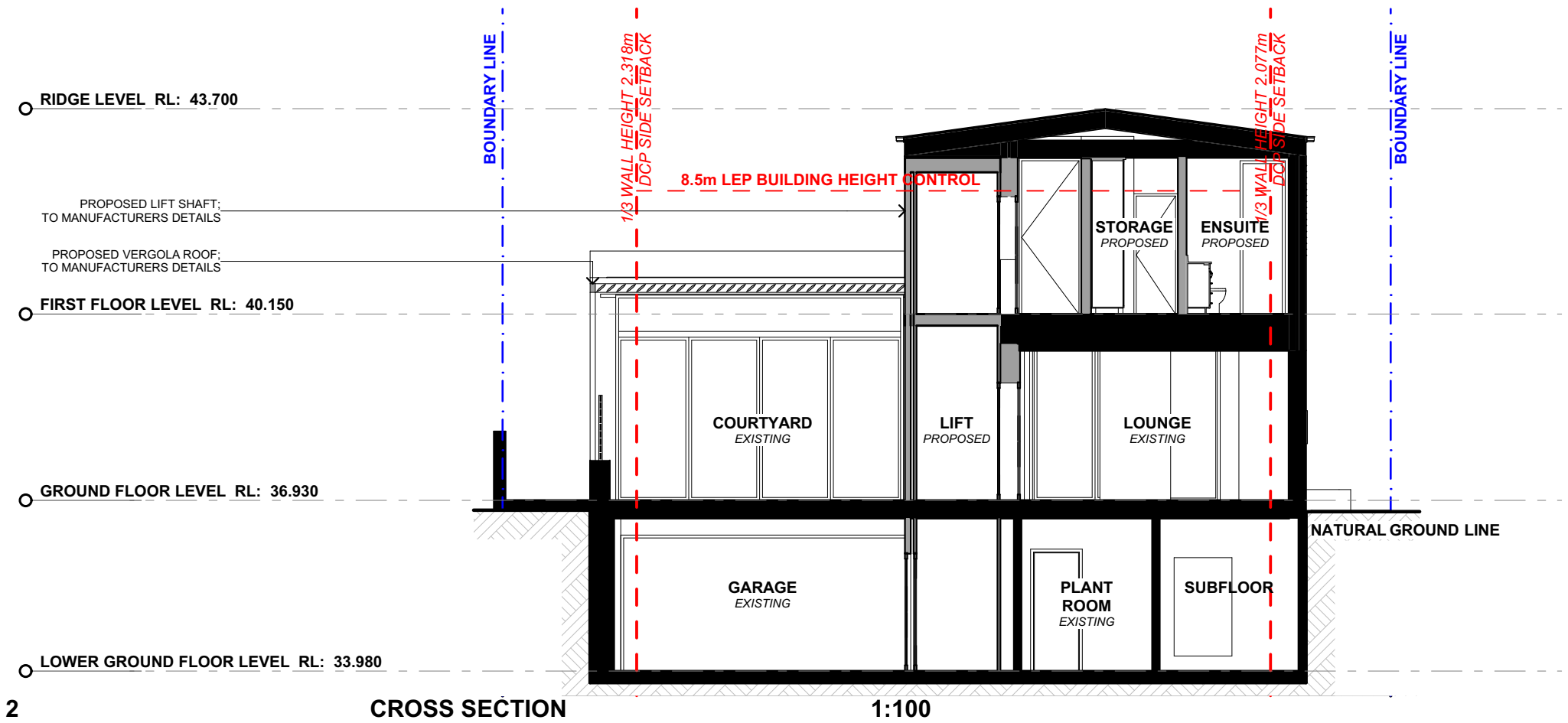
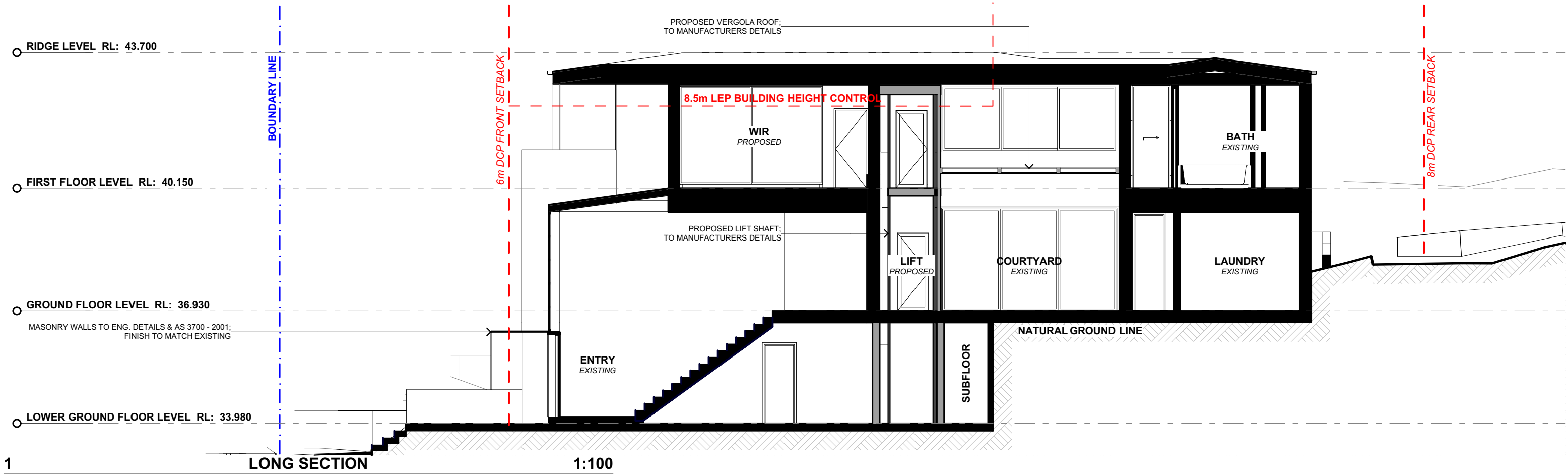
### DRAWING NAME


SOUTH / WEST ELEVATION

### SCALE

1:100 @A3







# ACTION PLANS

m: 0426 957 518  
e:operations@actionplans.com.au  
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN	NOTES
A	12.08.2020	INITIAL DESIGN PLAN	AM	<p>This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.</p> <p>Do not scale measure from drawings. Figured dimensions are to be used only.</p> <p>The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.</p> <p>All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.</p>
B	17.08.2020	ADD. DIMENSIONS	RNA	
C	30.09.2020	DA DOCUMENTATION	LRP	

**LEGEND**

EXISTING

PROPOSED

DEMOLISHED

**CLIENT**

STEVE & KAREN PERKS

**PROJECT ADDRESS**

7 MONTEPELIER PLACE,  
MANLY NSW 2095

**DRAWING NO.**

DA12

**DATE**

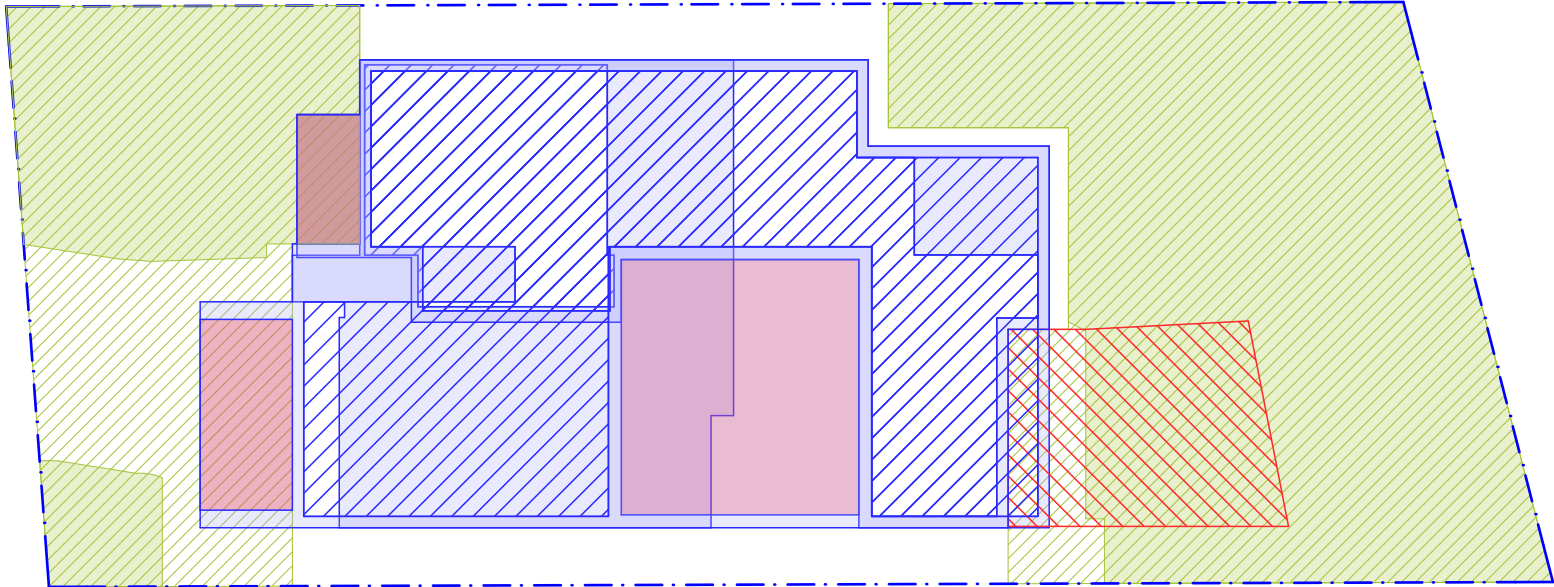
Thursday, 1 October 2020

**DRAWING NAME**

LONG / CROSS SECTION

**SCALE**

1:100 @A3



ITEM DETAILS		DEVELOPMENT APPLICATION			
ADDRESS		7 MONTPELIER PLACE, MANLY NSW 2095			
LOT & DP/SP		LOT 7 DP 1105469			
COUNCIL		NORTHERN BEACHS COUNCIL (MANLY)			
SITE AREA		589.1m <sup>2</sup>			
FRONTAGE		15.39m			
CONTROLS		PERMISSIBLE / REQUIRED m / m <sup>2</sup> / %	EXISTING m / m <sup>2</sup> / %	PROPOSED m / m <sup>2</sup> / %	COMPLIANCE
LEP					
MINIMUM LOT SIZE		500m <sup>2</sup>	589.1m <sup>2</sup>	UNCHANGED	YES
FLOOR SPACE RATIO		0.45 : 1 (265.095m <sup>2</sup> )	0.48 : 1 (287.7m <sup>2</sup> )	UNCHANGED	NO
DCP					
RESIDENTIAL OPEN SPACE		AREA OS3			
TOTAL OPEN SPACE (TOS)		55% (324.005m <sup>2</sup> )	311.61m <sup>2</sup> (53%)	UNCHANGED	NO
LANDSCAPE AREA		35% OF TOS (55%) : 113.40m <sup>2</sup>	247.47m <sup>2</sup>	UNCHANGED	YES
OPEN SPACE ABOVE GROUND		MAX. 40% OF TOS (55%) : 129.602m <sup>2</sup>	66.11m <sup>2</sup>	UNCHANGED	YES
PRINCIPAL PRIVATE OPEN SPACE		18m <sup>2</sup>	36.5m <sup>2</sup>	UNCHANGED	YES

1

PROPOSED AREA CALCULATIONS

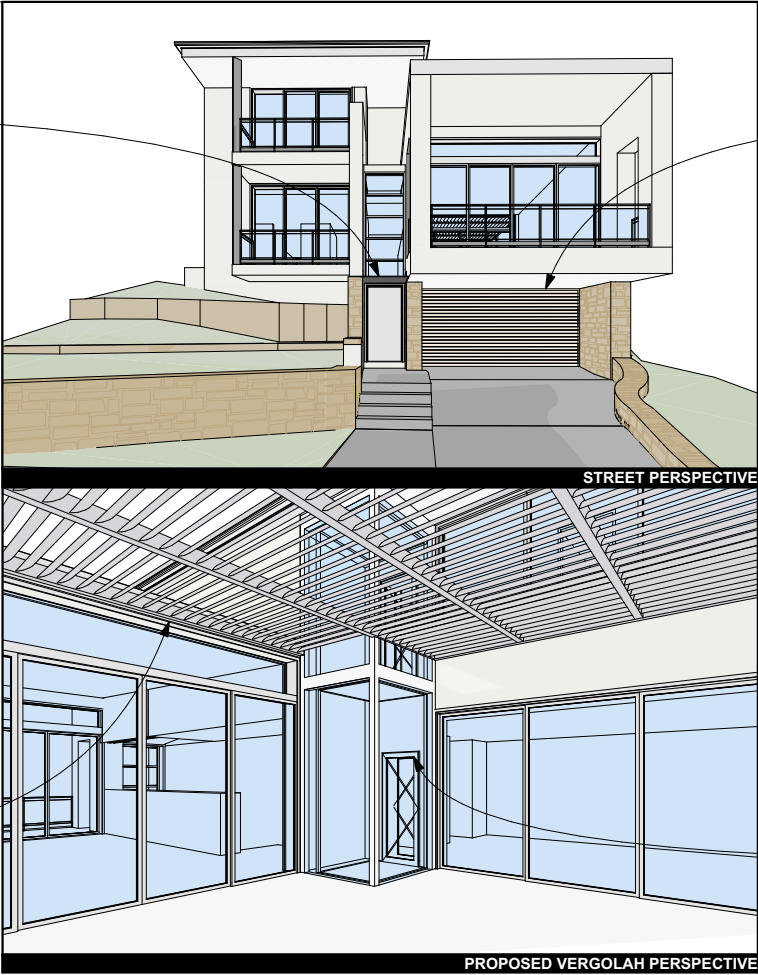
1:200

MT  
METAL ROOF SHEETING  
COLOUR TO BE CONFIRMED BY CLIENT & MATCH EXISTING  
WHERE MARKED ON ELEVATION.

PLD  
PANEL LIFT GARAGE DOOR  
COLOUR TO BE CONFIRMED BY CLIENT  
WHERE MARKED ON ELEVATION.

PVR  
PROPOSED VERGOLA ROOF  
TO MANUFACTURER'S DETAILS  
WHERE MARKED ON ELEVATION.

PLS  
PROPOSED LIFT SHAFT  
TO MANUFACTURER'S DETAILS  
WHERE MARKED ON ELEVATION.



ACTION PLANS

m: 0426 957 518  
e:operations@actionplans.com.au  
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN
A	12.08.2020	INITIAL DESIGN PLAN	AM
B	17.08.2020	ADD. DIMENSIONS	RNA
C	30.09.2020	DA DOCUMENTATION	LRP

**NOTES**  
This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.  
Do not scale measure from drawings. Figured dimensions are to be used only.  
The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.  
All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.

LEGEND

- LOT SIZE
- FLOOR SPACE RATIO
- TOTAL OPEN SPACE
- LANDSCAPE AREA
- OPEN SPACE
- PRIVATE OPEN SPACE

CLIENT

STEVE & KAREN PERKS

**PROJECT ADDRESS**  
7 MONTPELIER PLACE,  
MANLY NSW 2095

DRAWING NO.

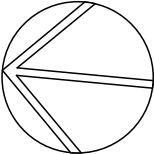
DA13

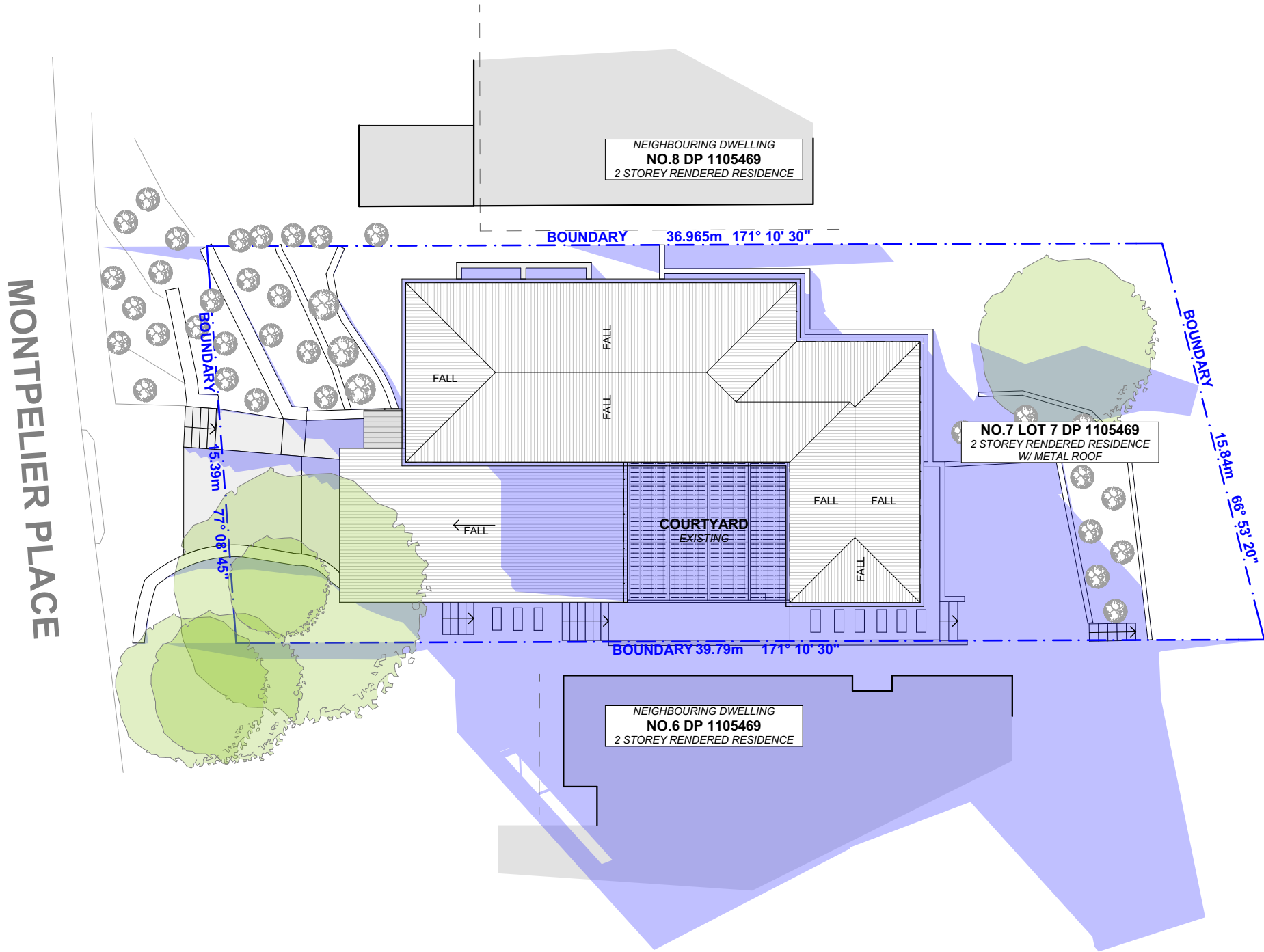
**DATE**  
Thursday, 1 October  
2020

DRAWING NAME

AREA CALCULATIONS /  
SAMPLE BOARD

**SCALE**  
1:200 @A3





NOTE: NO CHANGE TO SHADOW FOR WINTER SOLSTICE 9AM



ACTION PLANS

m: 0426 957 518  
e:operations@actionplans.com.au  
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN
A	12.08.2020	INITIAL DESIGN PLAN	AM
B	17.08.2020	ADD. DIMENSIONS	RNA
C	30.09.2020	DA DOCUMENTATION	LRP

**NOTES**  
This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.  
Do not scale measure from drawings. Figured dimensions are to be used only.  
The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.  
All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.

**LEGEND**

EXISTING SHADOWS

PROPOSED SHADOWS

**CLIENT**  
STEVE & KAREN PERKS

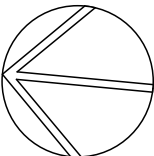
**PROJECT ADDRESS**  
7 MONTPELIER PLACE,  
MANLY NSW 2095

**DRAWING NO.**  
DA14

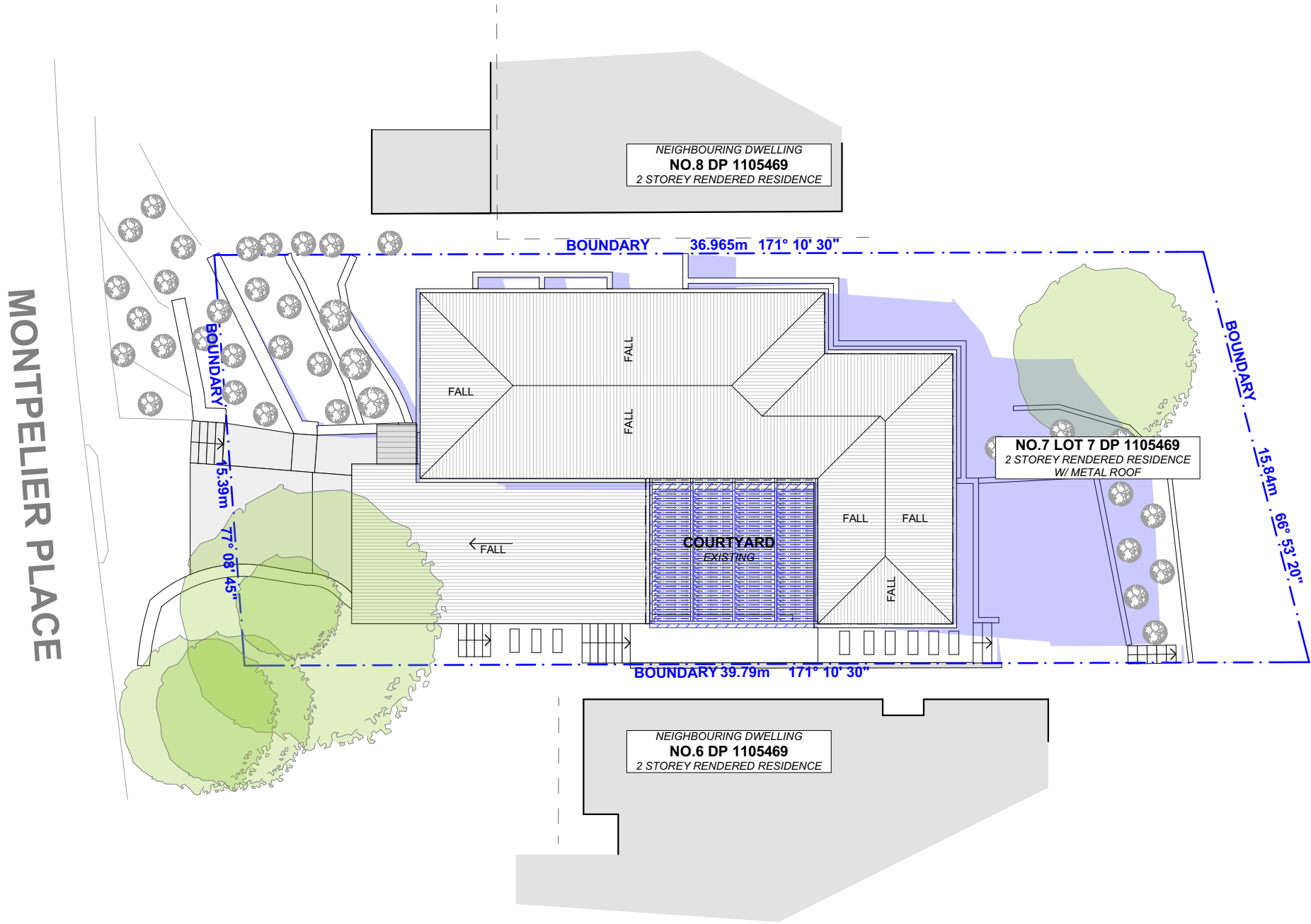
**DATE**  
Thursday, 1 October 2020

**DRAWING NAME**  
WINTER SOLSTICE 9 AM

**SCALE**  
1:200 @A3









# ACTION PLANS

m: 0426 957 518  
e:operations@actionplans.com.au  
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN
A	12.08.2020	INITIAL DESIGN PLAN	AM
B	17.08.2020	ADD. DIMENSIONS	RNA
C	30.09.2020	DA DOCUMENTATION	LRP

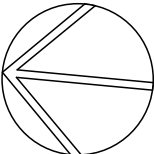
**NOTES**  
This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.  
Do not scale measure from drawings. Figured dimensions are to be used only.  
The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.  
All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.

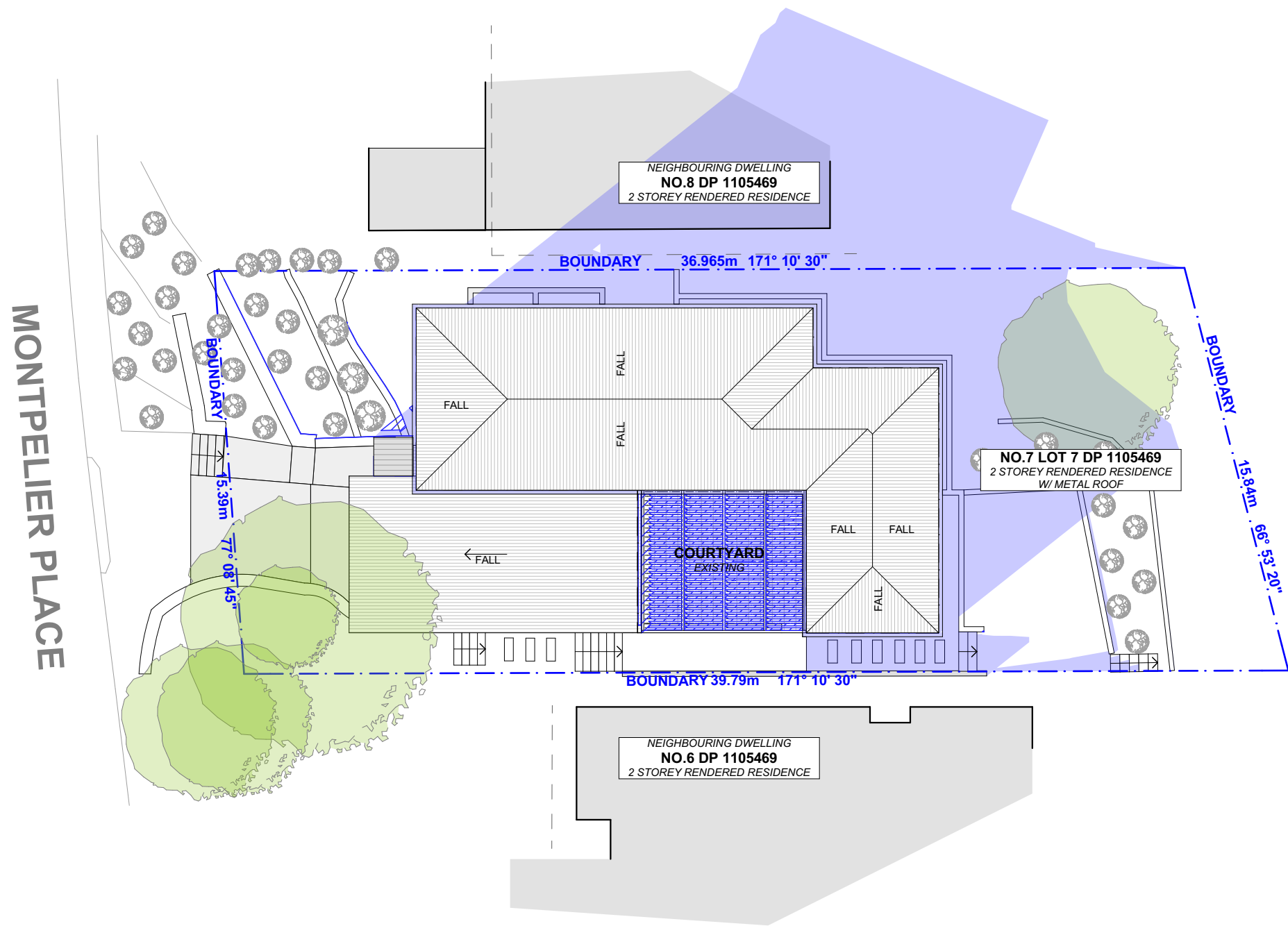
**LEGEND**  
 EXISTING SHADOWS  
 PROPOSED SHADOWS

**CLIENT**  
STEVE & KAREN PERKS  
  
**PROJECT ADDRESS**  
7 MONTPELIER PLACE,  
MANLY NSW 2095

**DRAWING NO.**  
**DA15**  
  
**DATE**  
Thursday, 1 October 2020

**DRAWING NAME**  
WINTER SOLSTICE 12 PM  
  
**SCALE**  
1:200 @A3





**ACTION PLANS**

m: 0426 957 518  
e:operations@actionplans.com.au  
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN
A	12.08.2020	INITIAL DESIGN PLAN	AM
B	17.08.2020	ADD. DIMENSIONS	RNA
C	30.09.2020	DA DOCUMENTATION	LRP

NOTES
This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.
Do not scale measure from drawings. Figured dimensions are to be used only.
The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.
All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.

LEGEND
<div>EXISTING SHADOWS</div>
<div>PROPOSED SHADOWS</div>

CLIENT
STEVE & KAREN PERKS
PROJECT ADDRESS
7 MONTPELIER PLACE, MANLY NSW 2095

DRAWING NO.
DA16
DATE
Thursday, 1 October 2020

DRAWING NAME
WINTER SOLSTICE 3 PM
SCALE
1:200 @A3

