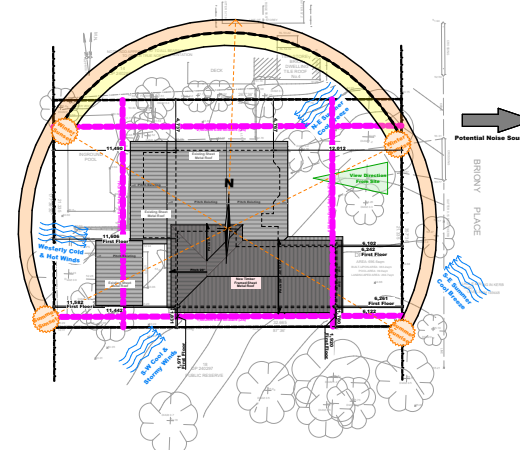
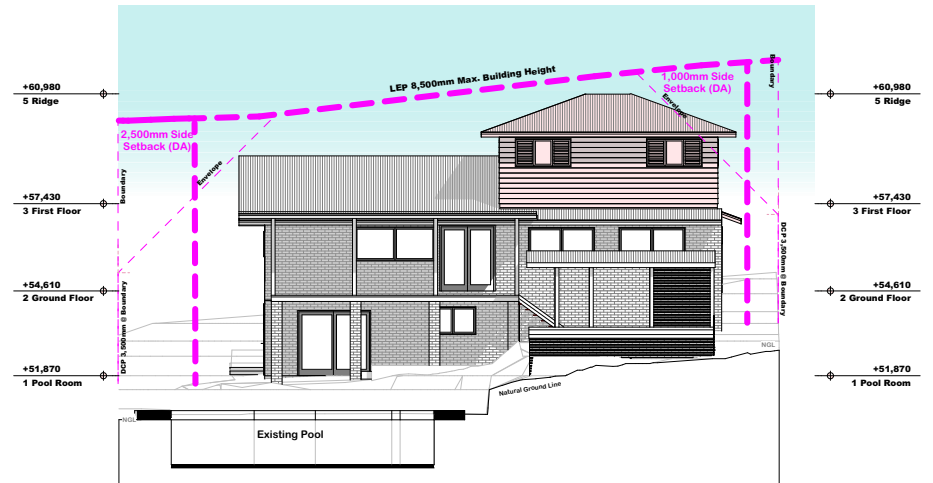
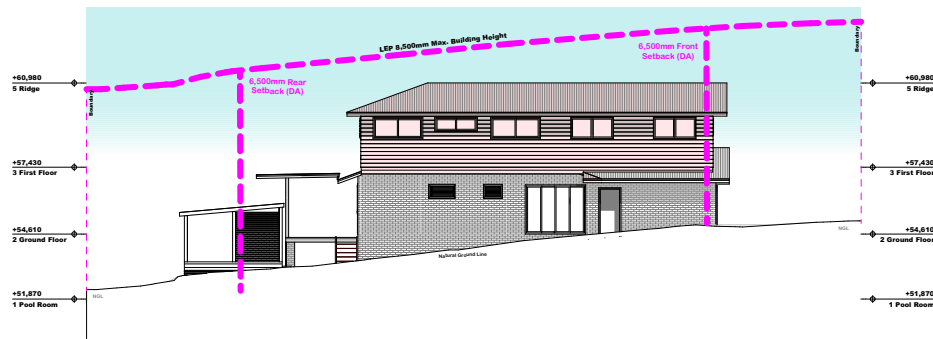
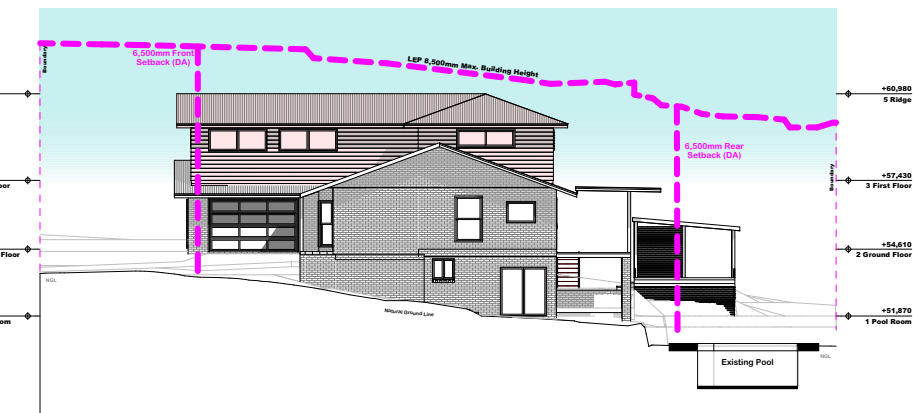
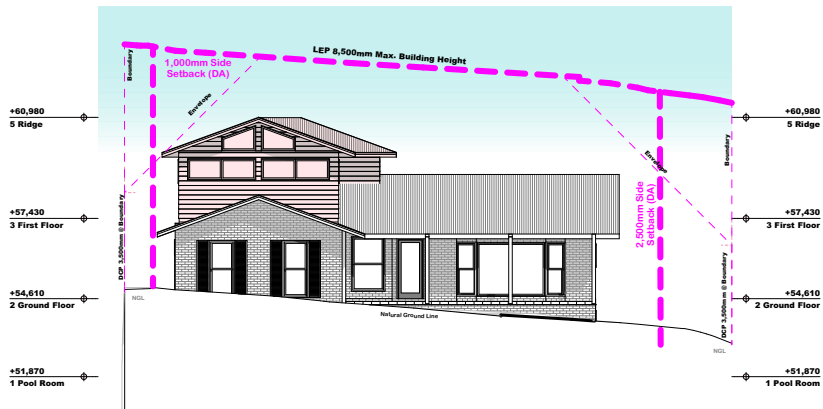




Development Application - Project 3 - Alterations & Additions				
3 Briony Place, Mona Vale 2103, NSW				
Northern Beaches Council				
Site Area = 696.8m²				
Lot 15 - DP 240287				
Planning Controls	Applied/Required	Existing	Proposed	Compliance
WLEP				
Min. Lot Size	700m²	696.8m²	Remains as is	Yes
Height of buildings	8.5m	5.2m	7.47m	Yes
Land Zone	C4- Environmental	C4	Remains as is	Yes
Floor space ratio	N/A	N/A	Remains as is	Yes
Heritage	N/A	N/A	Remains as is	Yes
Acid sulfate soils	Class 5	N/A	Remains as is	Yes
Flood Risk	N/A	N/A	Remains as is	Yes
Landscape Risk	N/A	N/A	Remains as is	Yes
Coastline Hazard	N/A	N/A	Remains as is	Yes
PDOP				
Landscape Open Space	Min. 50% of site area	36% - 250.8m²	36% - 250.8m²	Remains as is
Private Open Space	60m² Min. dimension of 3m	244.67m²	244.67m²	Remains as is
Setbacks:				
Front (DA)	6.5m	6.12m	6.34m	Merit - Existing Non-compliance
Side (DA)	1m one side / 2.5m other side	N = 4.73m S = 1.78	N = 4.73m S = 1.92	Yes
Rear (DA)	6.5m	11.44m	11.58m	Yes

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LEGEND

Existing	Masonry	Concrete	Roof Above
Demolished	Timber	Concrete Block	Structure Above/ Below



Andy's Home Design PTY LTD
Director: Andy Sellar
ABN: 32 624 682 024
0430-592-043
info@andyshome.design

DRAWING TITLE:

SITE PLANS A4 Notification Plan

SITE:

3 BRIONY PLACE MONA VALE NSW 2103

LOT 15 D.P. 240287

Drawn | Checked
Publish Date:
Project Status
Client
Project NO.
Revision NO.

Andy Sellar |
14/04/2022
Concept Initiation
Client
ROBERT & JANICE McCORM
3AND0122
01



PROJECT NAME:
Project #3
DRAWING NO.
DA101