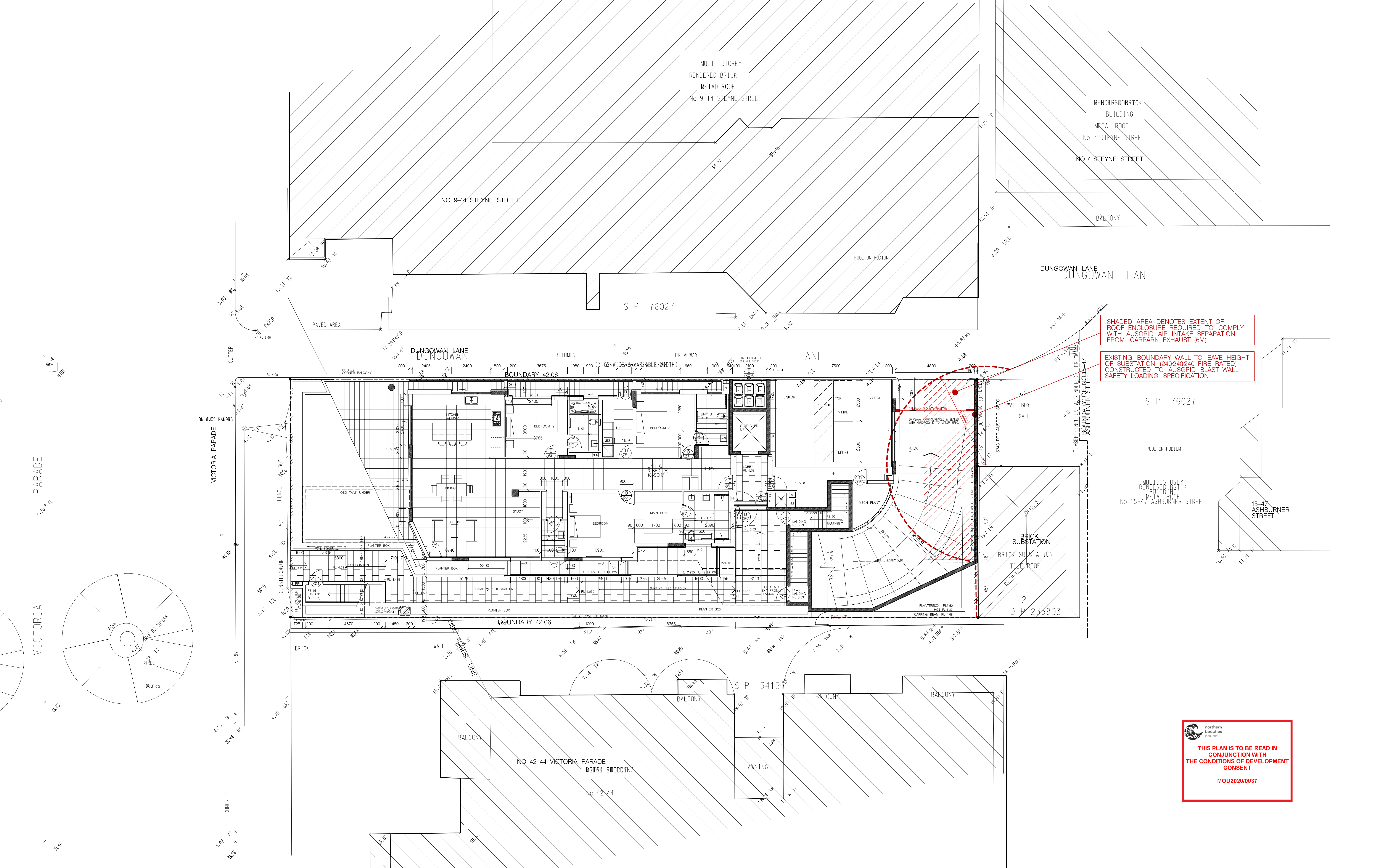




SHADED AREA DENOTES EXTENT OF ROOF ENCLOSURE REQUIRED TO COMPLY WITH AUSGRID AIR INTAKE SEPARATION FROM CARPARK EXHAUST (6M)

EXISTING BOUNDARY WALL TO EAVE HEIGHT OF SUBSTATION (240x240x240 FIRE RATED) CONSTRUCTED TO AUSGRID BLAST WALL SAFETY LOADING SPECIFICATION

 **northern beaches council**
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
MOD2020/0037

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MANLY OWNER'S GROUP
46 Victoria Parade, Manly, 2095

ISSUE	REV	DATE	DESCRIPTION	OWN	CHK	ISSUE	REV	DATE	DESCRIPTION	OWN	CHK
SUB	A	08/05/18	ISSUED FOR APPROVAL/PRICING	SS	PA						
CC	B	19/08/18	CONSULTANT ISSUE FOR COORDINATION	SS	PA						
C	00/08/18		SERVICE REBBS FOR COORDINATION	SS	PA						
D	22/08/18		SERVICE REBBS ADJUSTED	SS	PA						
1	05/09/18		AFC ISSUE	SS	PA						
2	07/09/18		NOTES ADDED	LO	PR						
3	27/09/18		NOTES/DIMENSIONS ADDED	LO	PR						
4	22/09/19		FOR AUSGRID APPROVAL	LO	PR						
5	10/01/20		NOTES ADDED	LO	PR						

Residential Development @
VICTORIA PARADE, MANLY, NSW

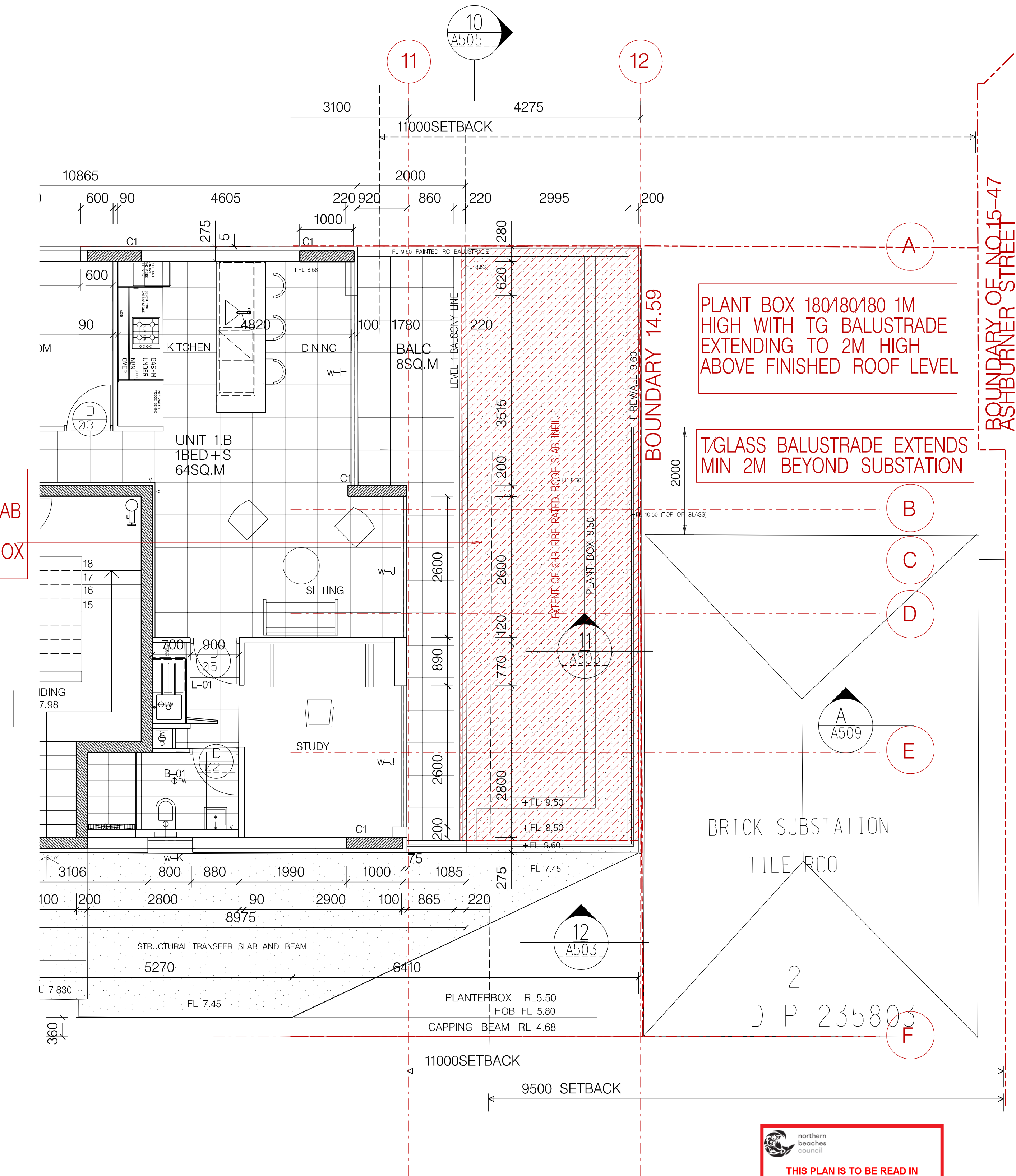
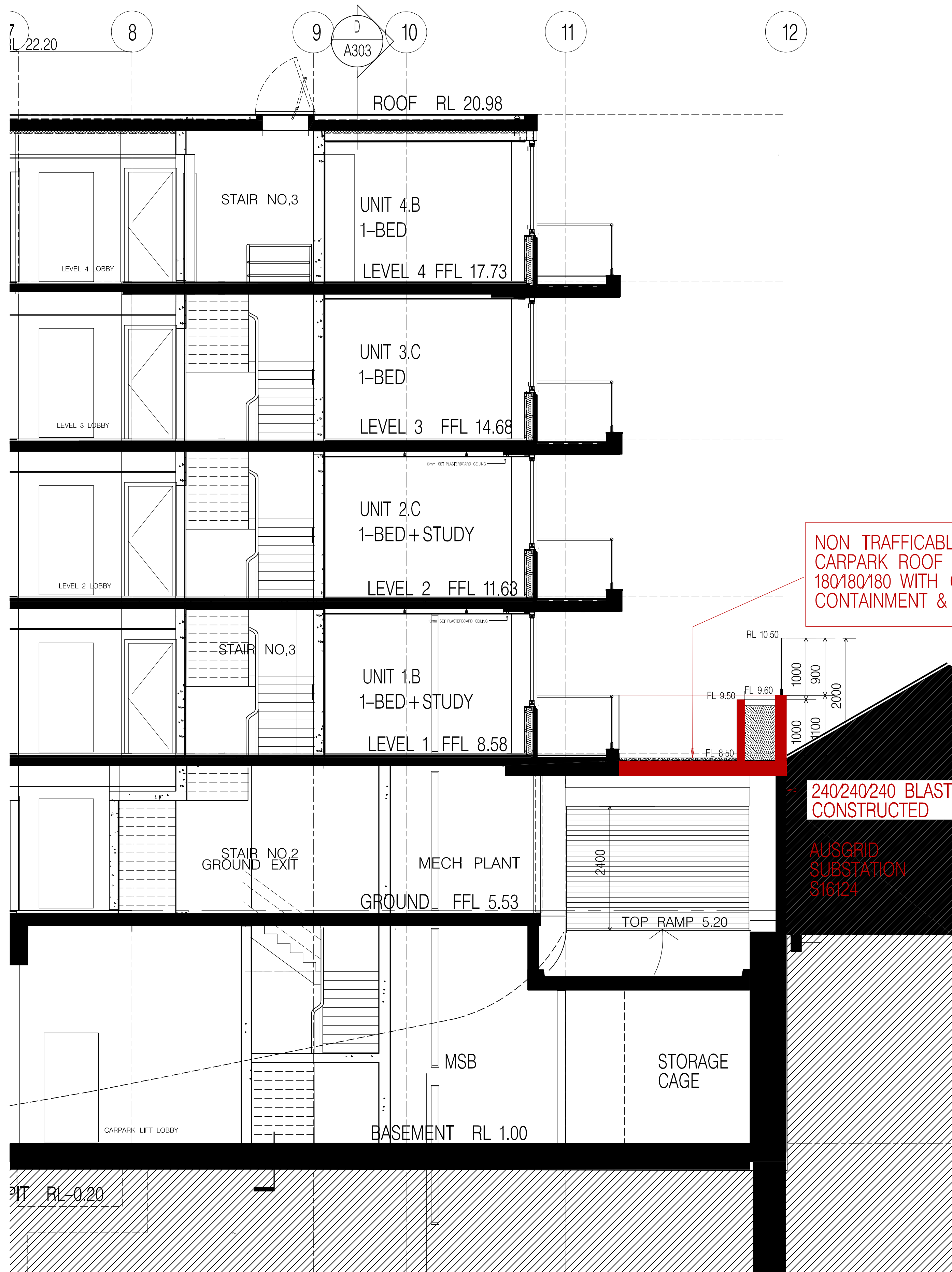
CC-AUGUST 2018
1=100 @ A1

FOR APPROVAL

SITE GROUND PLAN

2424-A001

5



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CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT
MOD2020/0037

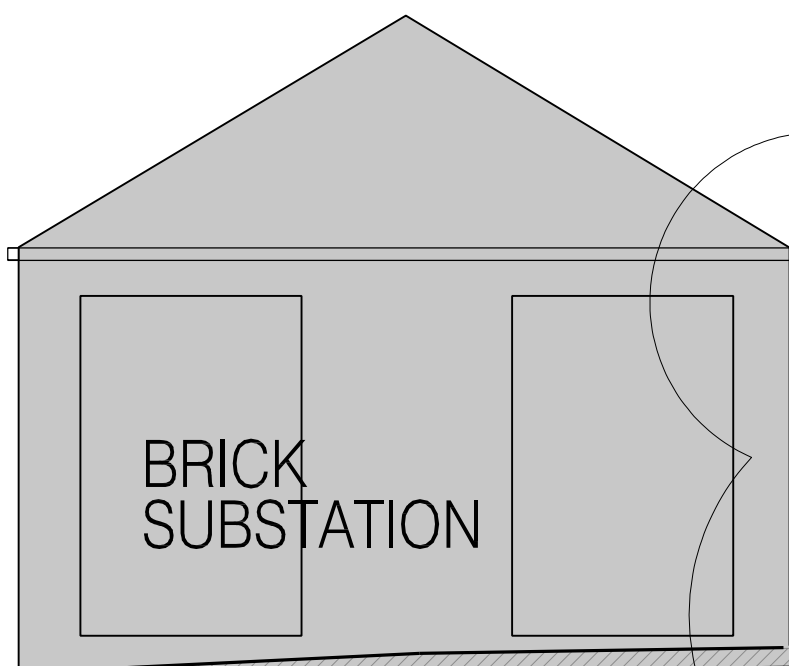
ISSUE	REV	DATE	DESCRIPTION	DRY	CHK	ISSUE	REV	DATE	DESCRIPTION	DRY	CHK
SW	A	09/01/18	ISSUED FOR APPROVAL/PRICING	SS	PR						
CC	B	19/08/18	CONSULTANT ISSUE FOR COORDINATION	SS	PR						
C	C	20/09/18	SERVICE RISERS FOR COORDINATION	SS	PR						
D	D	22/09/18	SERVICE RISERS ADJUSTED	SS	PR						
1	05/01/18		AFC ISSUE	SS	PR						
2	07/01/18		NOTES ADDED	LO	PR						
3	22/01/18		NOTES/REVISIONS ADDED	LO	PR						
4	09/01/19		REQUIRED AUSGRID RLS ADDED	LO	PR						
5	10/01/20		ROOF FIRE RATING 180/180/180	LO	PR						
6	22/04/20		PLANTER & BALUSTRADE REV TO AUSGRID SPEC	LO	PR						



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT MOD2020/0037

DRIVEWAY ROOF ENCLOSURE SPANNING TO EXISTING BOUNDARY BLAST WALL

RECESSED SECURITY SHUTTER TO BASEMENT CARPARK



BASEMENT ENTRY

VISITOR PARKING

LD1

PRIVACY SCREENS ALONG LENGTH OF GROUND FLOOR UNIT

BASEMENT RL 1.00

PATH RL 4.10

GROUND RL 5.53

LEVEL 1 RL 8.58

LEVEL 2 RL 11.63

LEVEL 3 RL 14.68

LEVEL 4 RL 17.73

ROOF RL 20.98

LOP RL 21.78

F

E

D

C

B

A

5245

2565

960

840

4970

ROOF RL 20.98

CEILING RL 20.43

ROOF RL 20.15

TOP OF PARAPET RL19.61

LEVEL 4 RL 17.73

LEVEL 3 RL 14.68

LEVEL 2 RL 11.63

LEVEL 1 RL 8.58

GROUND RL 5.53

BASEMENT RL 1.00

STACKER PIT RL -1.00

RENDERED & PAINTED MASONRY

FIXED TG BALUSTRADE WITH TOPRAIL
MASONRY BALUSTRADE END PANEL

ADJOINING SUBSTATION

TOP OF PLANTER BOX
ANGLED WALL TO
BASEMENT PARKING

TOP OF PILE CAP RETAINING WALL

REQUIRED DRIVEWAY ROOF SLAB
& PLANTERBOX 1800x1800 WITH
TGLASS BALUSTRADE (SHADED)
TO AUSGRID SPECIFICATION
CARPARK DRIVEWAY 2400x2400 BOUNDARY BLAST WALL

EXISTING FENCE ON BALCONY EDGE

BALCONY RL 9.89

NO. 9-14 STEYNE STREET

ENTRY TO
BASEMENTDUNGOWAN
LANE RL 4.90

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ISSUE	REV	DATE	DESCRIPTION	DRW	CHK	ISSUE	REV	DATE	DESCRIPTION	DRW	CHK
SS CC	A	08/05/18	ISSUED FOR APPROVAL/PRICING	SS	PR	7	20/08/18	Level 4 & 2 floors removed (SS REQ.)	EV	PR	
	B	12/09/18	CONSULTANT ISSUE FOR COORDINATION	SS	PR	8	05/09/18	NOTES ADDED	EV	PR	
	C	20/08/18	SERVICE RISERS FOR COORDINATION	SS	PR	9	10/01/20	AUSGRID ROOF ENCLOSURE OF DRIVEWAY REQ.	EV	PR	
	D	27/08/18	SERVICE RISERS ADJUSTED	SS	PR						
	1	02/02/18	ARC ISSUE	SS	PR						
	2	02/02/18	NOTES ADDED	LD	PR						
	3	22/02/18	NOTES/DIMENSIONS ADDED	LD	PR						
	4	12/03/18	LOUVER TAGS ADDED	LD	PR						
	5	02/04/19	RC BALUSTRADE LEVEL WINDOW W-J REV	LD	PR						
	6	20/09/19	LMB2 GEN REVISION	EV	PR						

Residential Development @
VICTORIA PARADE, MANLY, NSW

CC-AUGUST 2018
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FOR APPROVAL

SOUTH ELEVATION

2424- A202

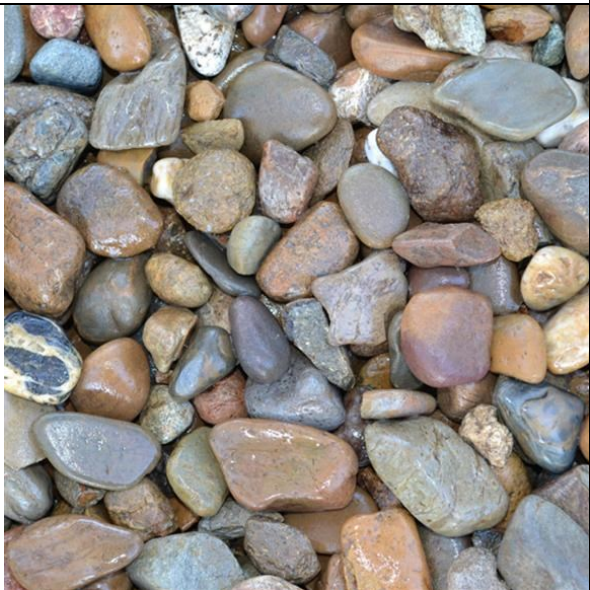
10



ARCHITECTURAL NON TRAFFICABLE CONCRETE ROOF AREAS - EXTERNAL FINISH

Job No:	Job Name / Address	Date	Revision
2424	46 Victoria Parade, Manly	JAN 2020	A

EXTERIOR MATERIALS – Addendum 1 - Non Trafficable Roof Terrace

CONCRETE ROOF					
Code	Image	Location	Description	Specification	R
CR1		Level 1 – South Concrete Roof over driveway entry ramp	200mm RC suspended slab 180/180/180 with seamless Waterproof membrane covered with impact board for 60mm deep pebble ballast evenly spread. Ref drawing A002 for extent	Sandy/Brown washed river gravel. Ensure gravel size is adequate to prevent removal by birds. (30mm-40mm diameter) Australian Native Landscapes (\$106/tonne)  THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT MOD2020/0037	A