

THIS PLAN TO BE READ IN  
CONJUNCTION WITH  
DA2018/1487  
NORTHERN BEACHES COUNCIL

## SITE & STORMWATER MANAGEMENT PLAN

### SITE CRITERIA

No.22 BINBURRA AVENUE AVALON BEACH 2107 N.S.W.  
LOT 1 D.P. 22275

TOTAL SITE AREA BY SURVEY	= 1042	sq. m.
TOTAL SITE AREA BY APPROVAL	= 1040	sq. m.
APPROVED No.22 SITE AREA	= 761	sq. m.
APPROVED No.22A SITE AREA	= 279	sq. m.

No.22 SITE CRITERIA		
EXISTING HARDSTAND AREA	= 386.7	sq. m.
EXISTING LANDSCAPED AREA	= 374.3	sq. m.
EXISTING HARDSTAND AREA REMOVED	= 23.1	sq. m.
POST HARDSTAND AREA	= 363.6	sq. m.
POST LANDSCAPED AREA	= 397.4	sq. m.

No.22A SITE CRITERIA		
EXISTING HARDSTAND AREA	= 182.7	sq. m.
EXISTING LANDSCAPED AREA	= 96.3	sq. m.
PROPOSED DRIVEWAY AREA		
OVER EXISTING GRAVEL PARKING AREA	= 33.2	sq. m.

### GENERAL NOTES AND BCA COMPLIANCE

- EARTHWORKS METHOD OF EXCAVATION AND FILL TO COMPLY WITH PART 3.1.1. B.C.A.
- TERMITE RISK MANAGEMENT TO COMPLY WITH PART 3.1.3 OF THE B.C.A. AND AS3660-1
- FOOTINGS AND SLABS TO COMPLY WITH PART 3.2 OF THE B.C.A. , AS2870 AND ENGINEERS DETAILS
- MASONRY CONSTRUCTION TO COMPLY WITH PART 3.3 OF THE B.C.A. AND AS3700
- TIMBER FRAMING TO COMPLY WITH PART 3.4 OF THE B.C.A. AND AS1684
- GLAZING TO COMPLY WITH PART 3.6 OF THE B.C.A. AND AS1288
- SMOKE ALARMS TO COMPLY WITH PART 3.7.2 OF THE B.C.A. AND AS3786
- STAIR CONSTRUCTION TO COMPLY WITH PART 3.9.1 OF THE B.C.A.
- BALUSTRADES AND OTHER BARRIERS TO COMPLY WITH PART 3.9.2 OF THE B.C.A.
- NATURAL LIGHT TO COMPLY WITH PART 3.8.4 OF THE B.C.A.
- VENTILATION TO COMPLY WITH PART 3.8.5 OF THE B.C.A.
- ALL DAMP AND WEATHERPROOFING TO COMPLY WITH PART 3.8 OF THE B.C.A.
- ROOFING TO COMPLY WITH PART 3.5.1 OF THE B.C.A. AND AS/NZ1562
- FLOOR SURFACES OF WATER CLOSETS, SHOWER COMPARTMENTS AND THE A LIKE TO BE OF MATERIALS IMPERVIOUS TO MOISTURE AND WALLS FINISHED WITH AN APPROVED IMPERVIOUS FINISH TO COMPLY WITH THE REQUIREMENTS OF PART 3.8 OF THE B.C.A. AND AS3740
- CLOTHS WASHING, DRYING AND COOKING FACILITIES TO BE PROVIDED TO COMPLY WITH PART 3.8.3 OF THE B.C.A.

### BASIX REQUIREMENTS

TO BE READ INCONJUNCTION WITH THE  
BASIX CERTIFICATE NUMBER A325103

NEW SHOWER HEAD MINIMUM RATING ----- 3 STAR RATING

NEW TOILET MINIMUM RATING ----- 3 STAR RATING

ALL NEW TAP FITTINGS MINIMUM RATING ----- 3 STAR RATING

STANDARD ALUMINIUM FRAMED WINDOWS AND DOORS  
W1 = SINGLE PYROLYTIC LOW-E GLAZING (or U-VALUE : 5.7, SHGC : 0.45)  
W2 = SINGLE CLEAR GLAZING (or U-VALUE : 7.63, SHGC : 0.75)  
D1 = SINGLE PYROLYTIC LOW-E GLAZING (or U-VALUE : 5.7, SHGC : 0.45)  
HOT WATER SERVICE EXISTING TO REMAIN

APPLICANT MUST ENSURE A MINIMUM OF 40% OF NEW OR ALTERED  
LIGHT FITTINGS ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT,  
OR LIGHT-EMITTING-DIODE(LED) LAMPS

IF IN  
DOUBT  
ASK

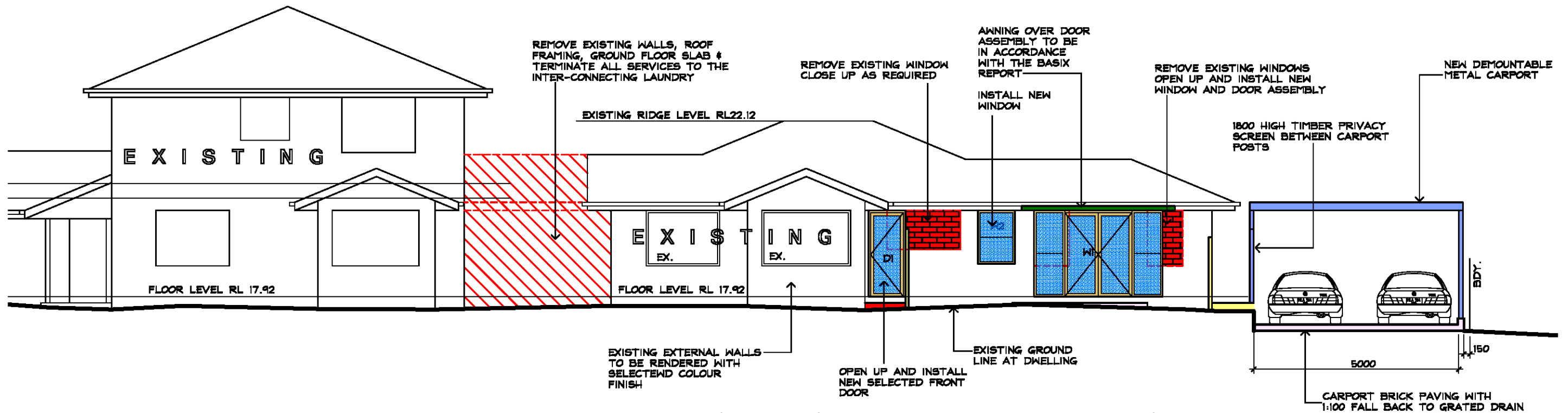
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**H&C DESIGN PTY. LTD.**  
60 FULLER STREET COLLAROY PLATEAU  
PHONE ( 02 ) 9944-0830  
A.C.N. 008079192

Date JULY 2018  
Drawn HENK.  
Scale 1:200  
Job No. 18153-01

NOTES:-  
1. Builder to check and confirm all necessary dimensions on site prior to the commencement of construction. DO NOT SCALE THE DRAWING  
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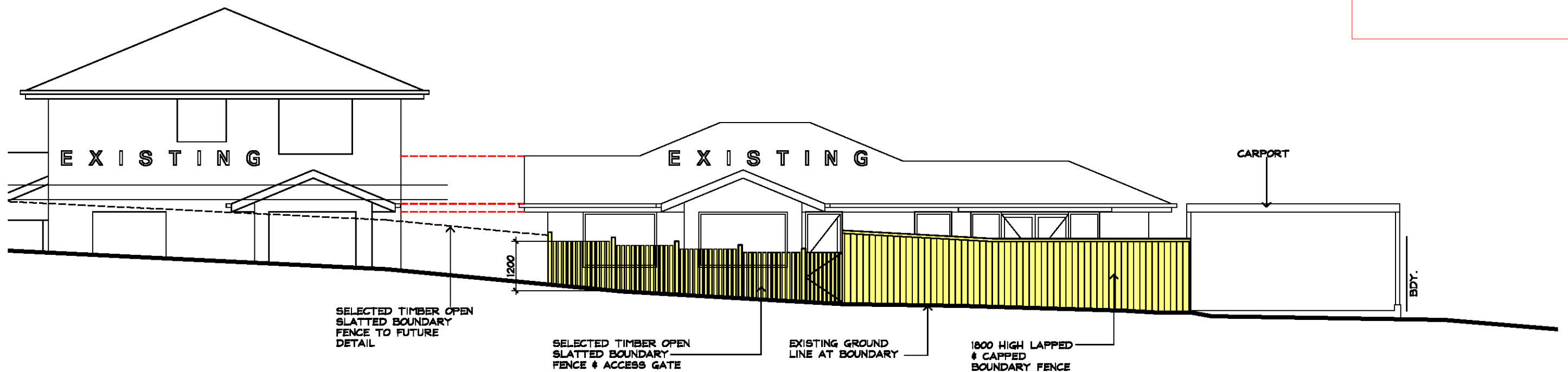
Project **PROPOSED ADDITIONS & ALTERATIONS**  
**22A BINBURRA AVENUE AVALON BEACH**  
FOR **I.C. & C.R. OVZINSKY**





NORTH EAST ELEVATION

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STREET ELEVATION

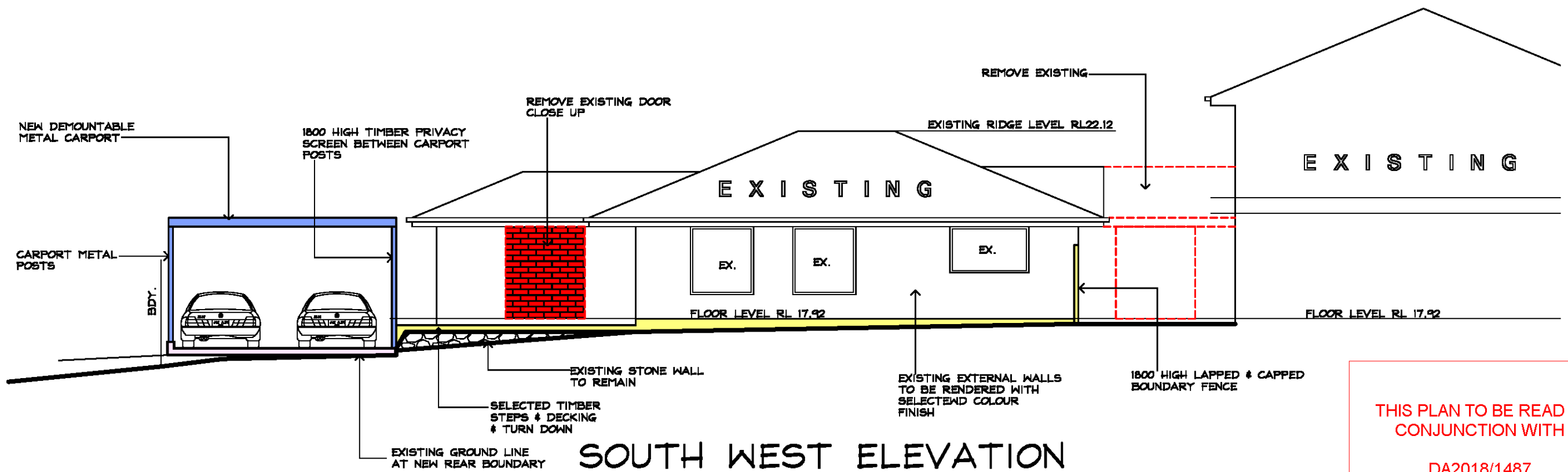
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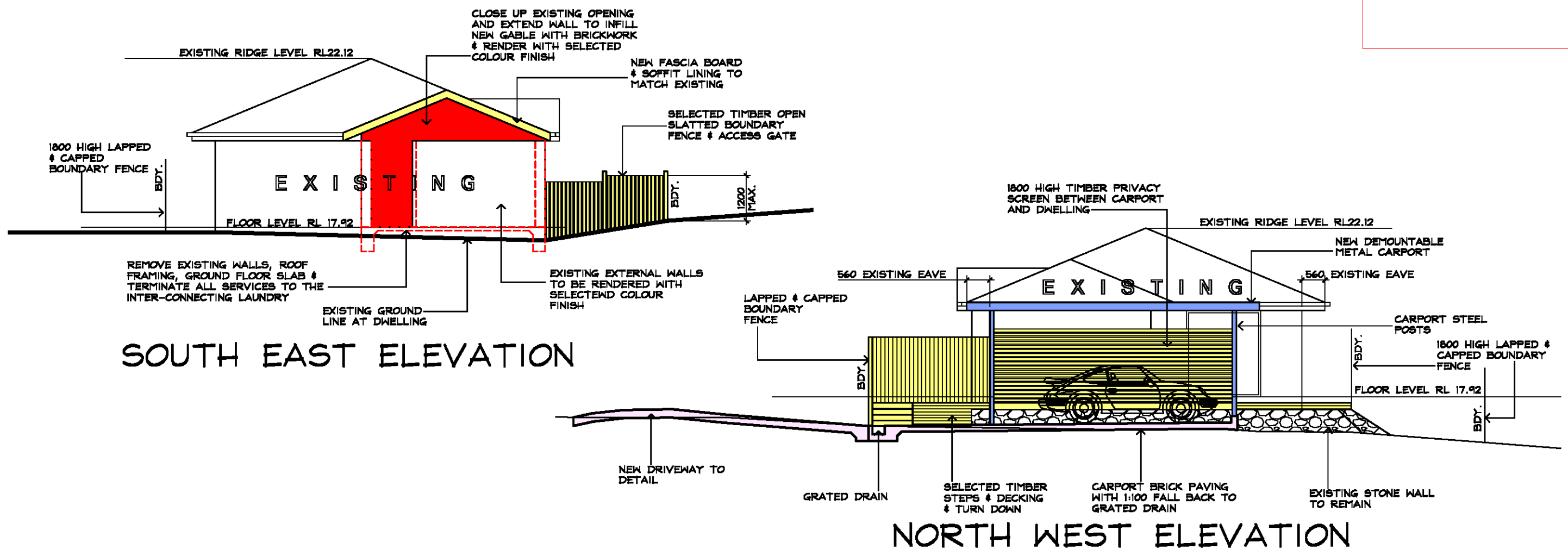
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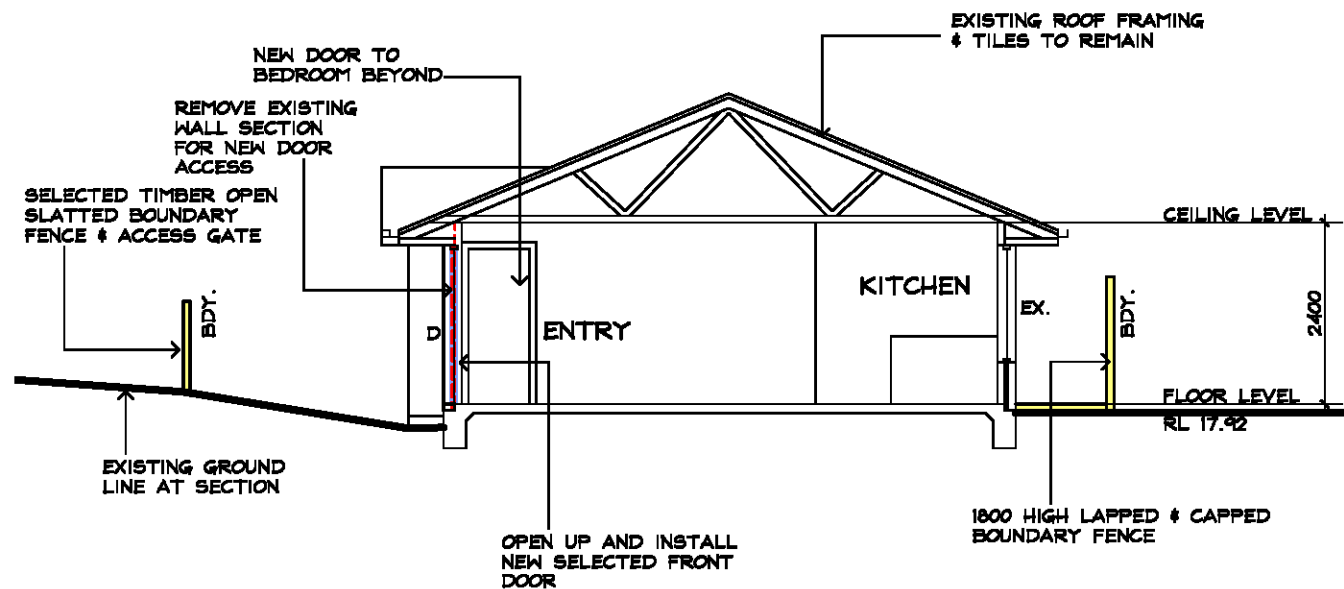
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Job No. 18153-04

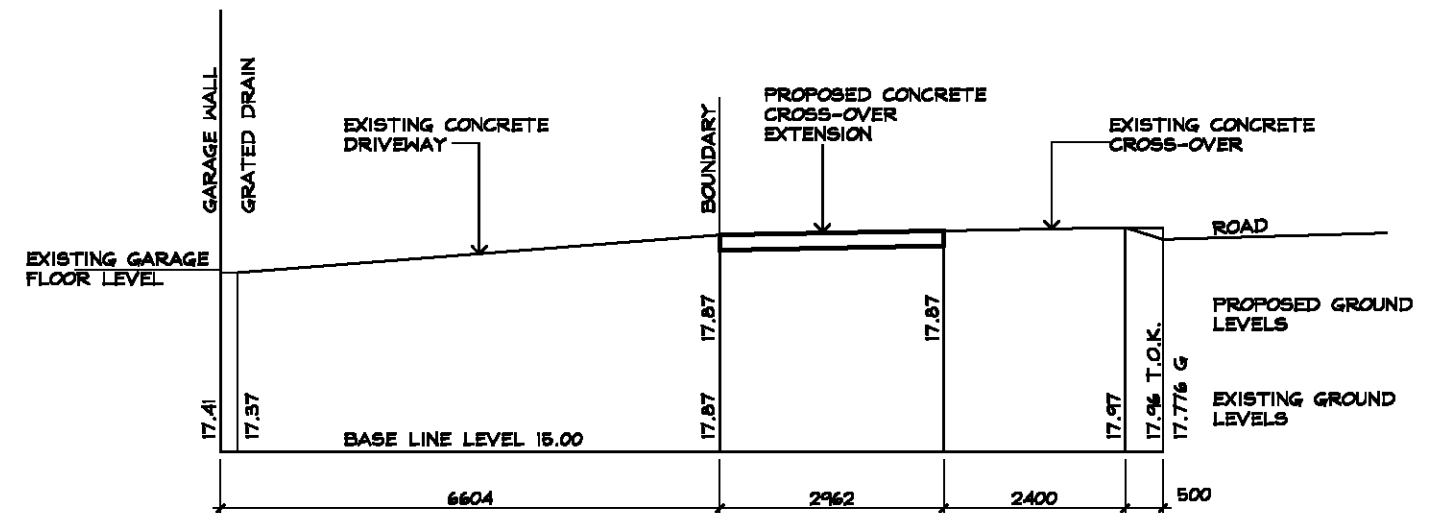
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Project **PROPOSED ADDITIONS & ALTERATIONS**  
**22A BINBURRA AVENUE AVALON BEACH**  
FOR **I.C. & C.R. OVZINSKY**





SECTION

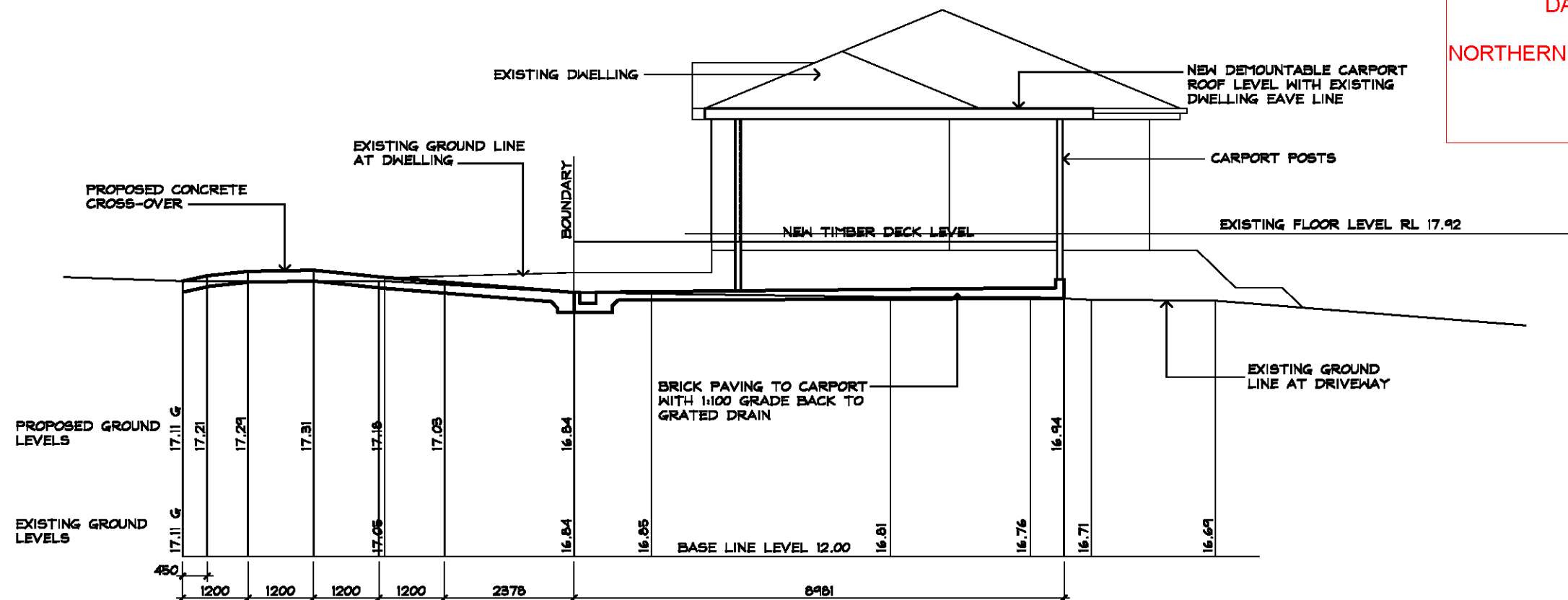


DRIVEWAY LONGITUDINAL SECTION  
- BINBURRA AVENUE

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DRIVEWAY LONGITUDINAL SECTION  
- BURRAWONG ROAD

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