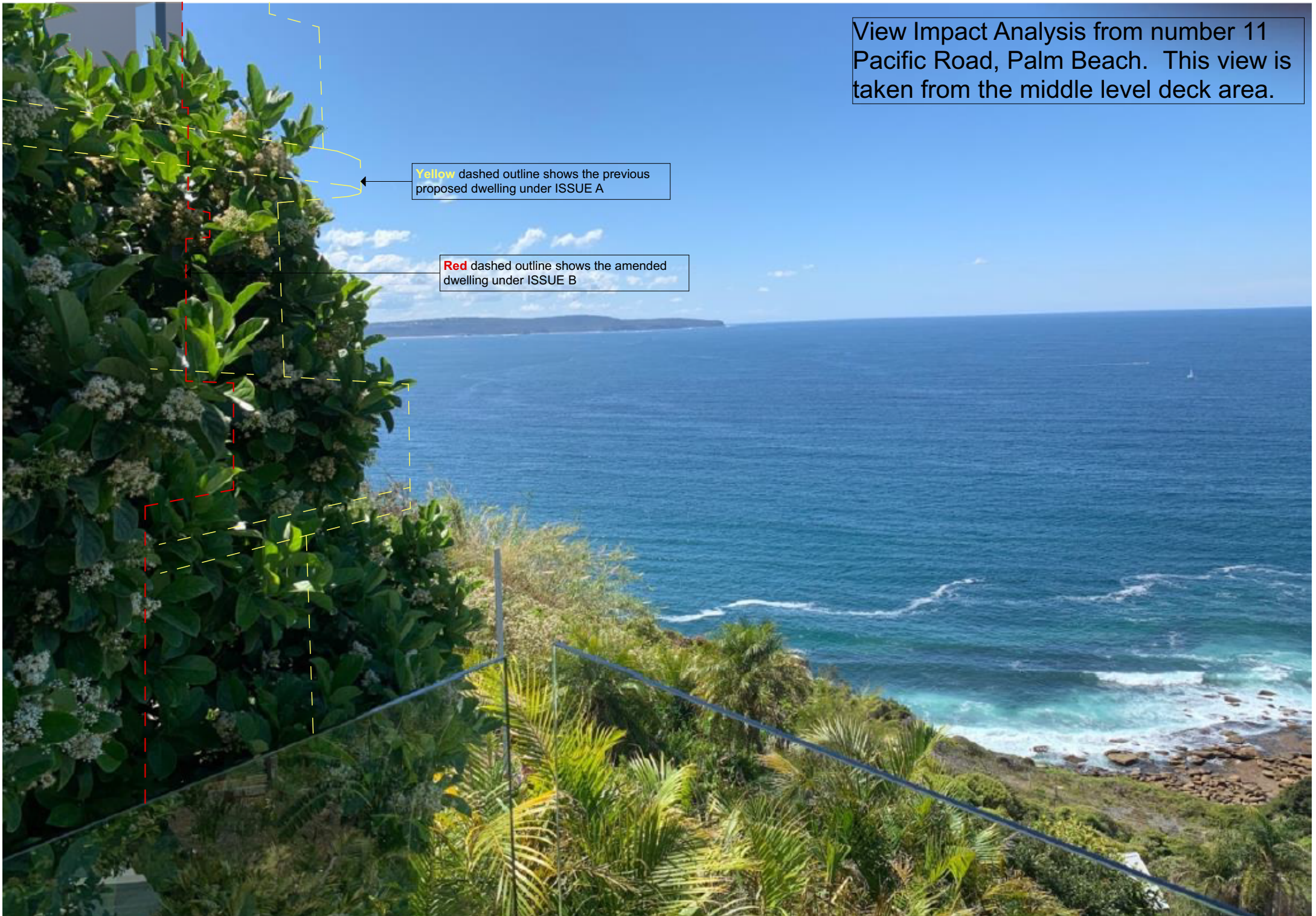


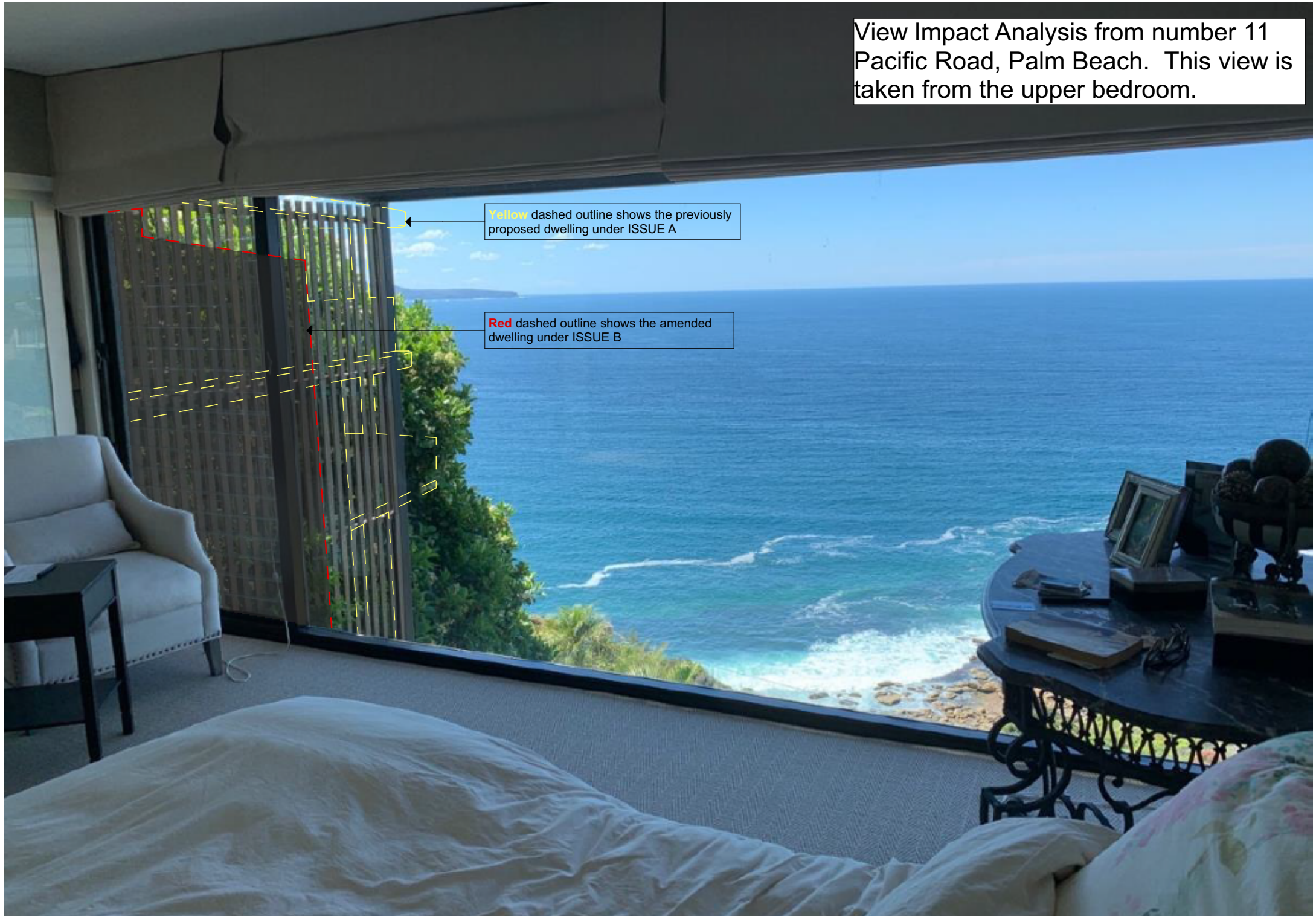
View Impact Analysis from number 11 Pacific Road, Palm Beach. This view is taken from the middle level deck area.

Yellow dashed outline shows the previous proposed dwelling under ISSUE A

Red dashed outline shows the amended dwelling under ISSUE B



View Impact Analysis from number 11 Pacific Road, Palm Beach. This view is taken from the upper bedroom.



Yellow dashed outline shows the previously proposed dwelling under ISSUE A

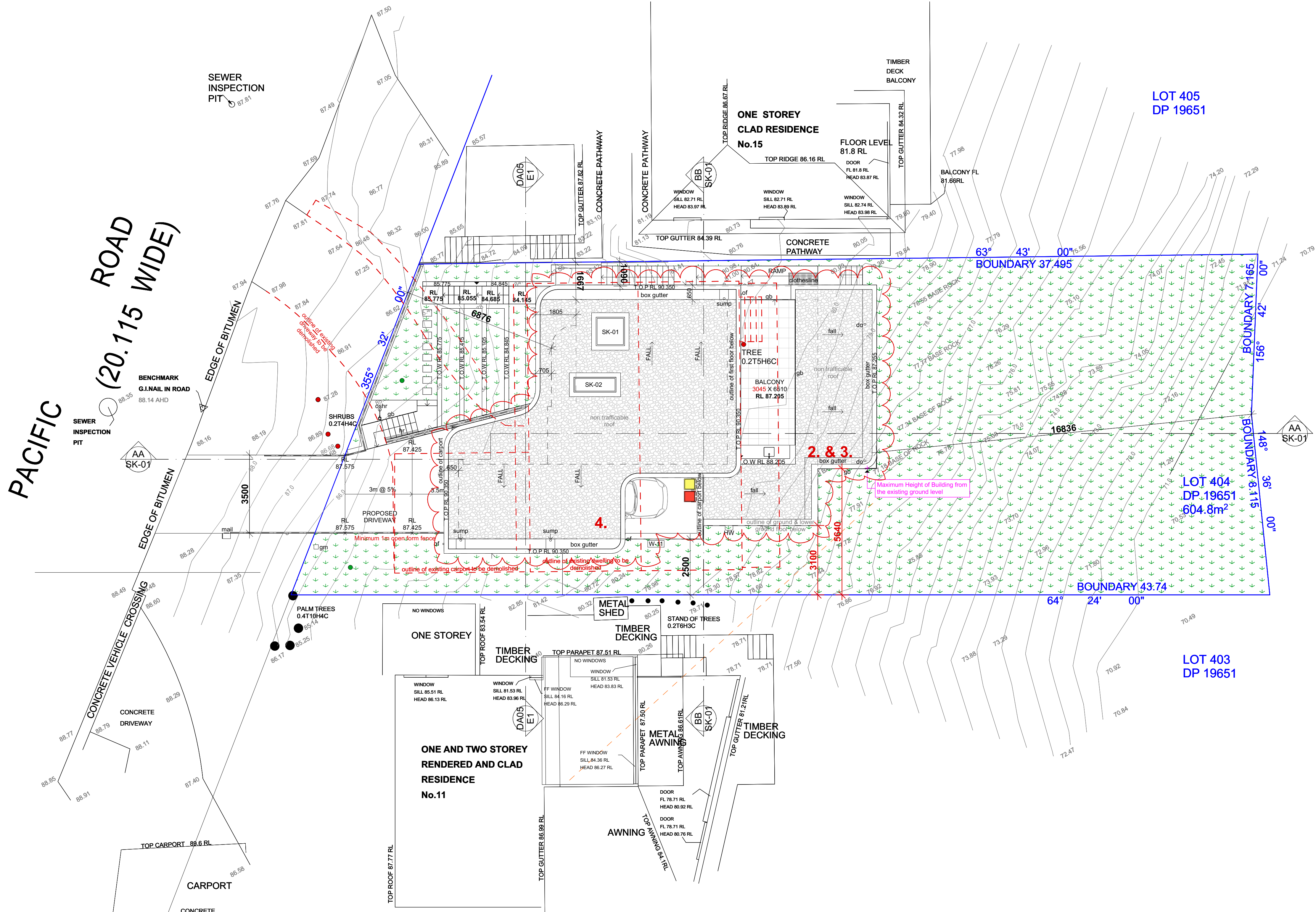
Red dashed outline shows the amended dwelling under ISSUE B

View Impact Analysis from number 11 Pacific Road, Palm Beach. This view is taken from the upper bedroom.

Yellow dashed outline shows the previously proposed dwelling under ISSUE A

Red dashed outline shows the amended dwelling under ISSUE B





LEGEND	
●	existing tree to be removed
●	existing tree to be retained
●	proposed tree
ct	ceramic tiles
dp	downpipe
do	drainage outlet
rwt	rain water tank
of	overflow
oshr	outdoor shower
gm	gas meter
x21.10	existing RL's
---	outline of existing buildings to be demolished
T.O.W.	top of wall
T.O.P.	top of parapet

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REVISION	DESCRIPTION	DATE
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C	DA AMENDMENTS Additional information provided in accordance with councils email dated 5.3.21	03/2021

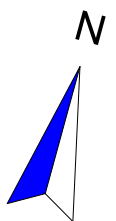
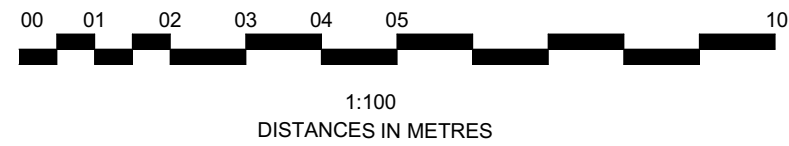
CONTROLS
ZONE:
E4 ENVIRONMENTAL LIVING
ACID SULFATE SOILS:
CLASS 5
MAX BUILDING HEIGHT:
10m MAX BUILDING HEIGHT
GEOTECHNICAL HAZARD:
H1 GEOTECHNICAL HAZARD
LANDSCAPE AREA:
60% LANDSCAPE AREA = 376.03m²
(inc impervious area)

PROJECT
PROPOSED DWELLING HOUSE
FOR
WILLIAM & NANCY GROUNDS
ADDRESS
13 PACIFIC ROAD PALM BEACH, NSW, 2108 LOT NO. 404 | DP NO. 19651

SITE ROOF PLAN
ARCHITECT
JAMISA ARCHITECTS PTY LTD
Nominated Architect: Jamie Grounds NSW Registration No. 7265
Suite 4, 112 Cronulla St, Cronulla
PH/FAX: 9523 6499

SCALE 1:100 @ A1
DRAWN MC
CHECKED JG
SUBMISSION DATE SEPTEMBER 2020
JOB NUMBER 03/2018/07

DRAWING NUMBER ISSUE
DA01 C



WALL LEGEND

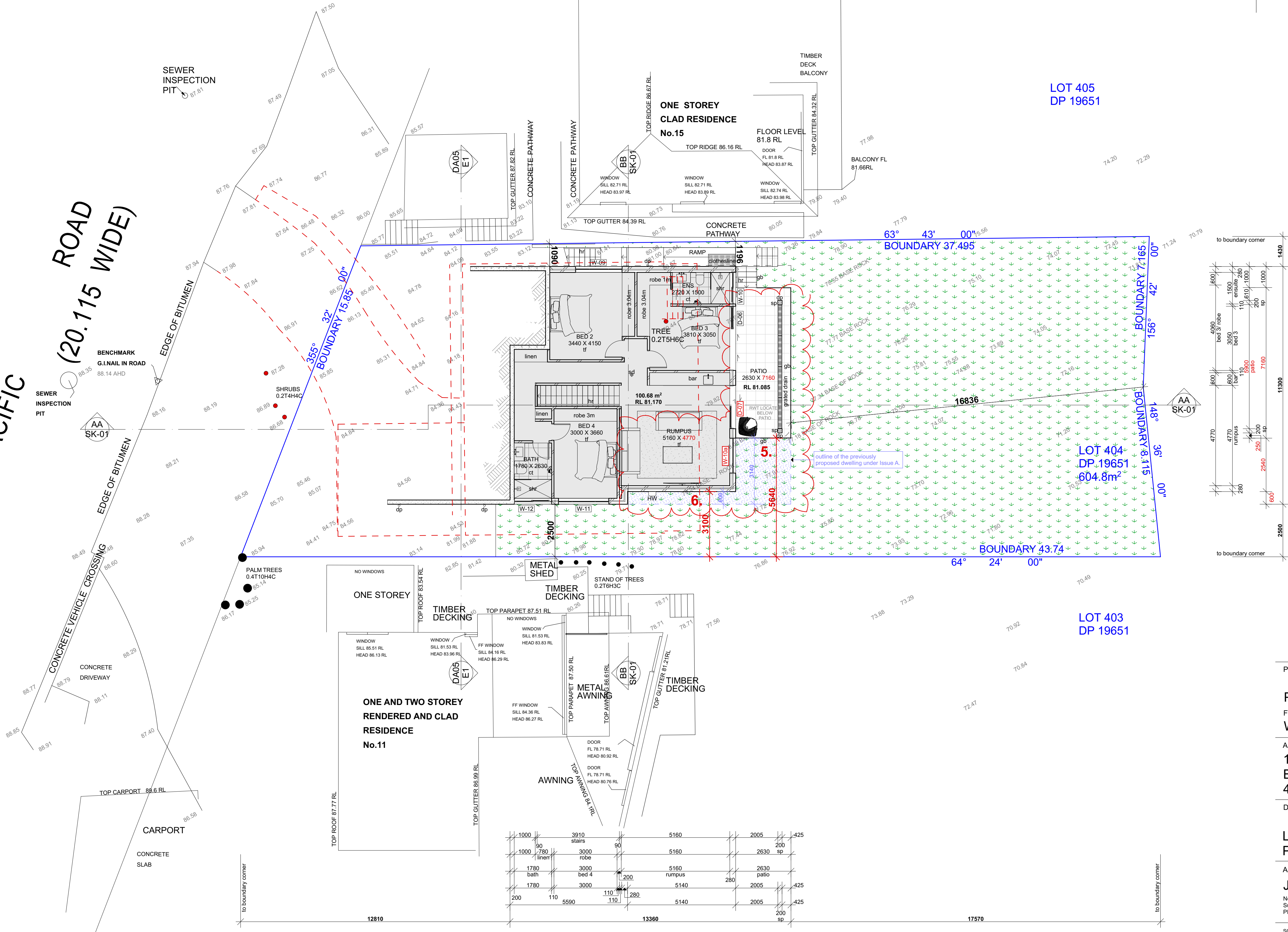
Symbol	Type	Finish
	230mm Double Cavity Brick	Rendered
	200mm AFS Logic Wall	
	110mm Single Brick	Face Brick
	90mm Timber Framed	

LEGEND

	existing tree to be removed
	existing tree to be retained
	proposed tree
ct	ceramic tiles
tf	timber floor
dp	downpipe
do	drainage outlet
rwt	rain water tank
of	overflow
hr	handrail
gm	gas meter
T.O.W.	top of wall
T.O.P.	top of parapet
sd	smoke detector
sp	structural post
shr	shower
gb	glass balustrade
x21.10	existing RL's
	outline of existing buildings to be demolished

LOWER GROUND FLOOR PLAN

SCALE 1:100

PACIFIC ROAD
(20.115 WIDE)ROAD
(20.115 WIDE)

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PROJECT

PROPOSED DWELLING HOUSE
FOR
WILLIAM & NANCY GROUNDS

ADDRESS

13 PACIFIC ROAD PALM
BEACH, NSW, 2108 LOT NO.
404 | DP NO. 19651

DRAWING TITLE

LOWER GROUND FLOOR
PLAN

ARCHITECT

JAMISA ARCHITECTS PTY LTD

Nominated Architect: Jamie Grounds NSW Registration No. 7265
Suite 4, 112 Cronulla St, Cronulla
PH/FAX: 9523 6499

SCALE 1:100 @ A1

DRAWN MC

CHECKED JG

SUBMISSION DATE SEPTEMBER 2020

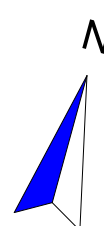
JOB NUMBER 03/2018/07




DRAWING NUMBER

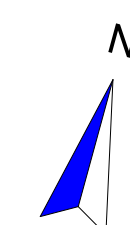
ISSUE

DA02

B

1:100
DISTANCES IN METRES

LEGEND	
	existing tree to be removed
	existing tree to be retained
	proposed tree
ct	ceramic tiles
tf	timber floor
dp	downpipe
do	drainage outlet
rwt	rain water tank
of	overflow
oshr	outdoor shower
gm	gas meter
T.O.W.	top of wall
T.O.P.	top of parapet
sd	smoke detector
sp	structural post
shr	shower
wip	walk in pantry
ref	refrigerator
cpd	cupboard
ply	pantry
ov	oven
wm	washing machine
dry	dryer
hr	handrail
gb	glass balustrade
x21.10	existing RL's
—	outline of existing buildings to be demolished

[illegible]

WALL LEGEND		
Symbol	Type	Finish
	280mm Double Cavity Brick	Rendered
	250mm Double Brick	Rendered (external + internal face)
	110mm Timber Framed	Lightweight Cladding
	90mm Timber Framed	

FIRST FLOOR PLAN
SCALE 1:100

PACIFIC ROAD
(20.115 WIDE)

SEWER
INSPECTION
PIT

SEWER
INSPECTION
PIT

CARPOT

CONCRETE
SLAB

ONE AND TWO STOREY
RENDERED AND CLAD
RESIDENCE
No.11

ONE STOREY
CLAD RESIDENCE
No.15

LOT 405
DP 19651


LOT 404
DP 19651
604.8m²

LOT 403
DP 19651

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B	DA AMENDMENTS 1. First floor plan reconfigured with the rear first floor setback increased by 2.305m to ensure compliance with the maximum 10m Building Height limit. 2. The width of the first floor balcony has been reduced and the storage area at the rear of the carport has been deleted. 3. The non trafficable portion of the first floor balcony has been removed to comply with the maximum 10m Building Height limit. 4. The carport roof over the proposed driveway has been reduced in length by 4.505m to comply with the maximum 10m Building Height limit. 5. The southern portion of the ground floor and lower ground floor balconies shown hatched on plan have been removed. 6. The ramp up on the lower ground floor has been setback a further 600mm from the southern side boundary. 7. The southern external wall of the WC and Butlers Pantry on the ground floor have been aligned with the external walls above and below. 8. The southern side solid driveway has been replaced with an open form fence.	03/2021

LEGEND

 Area Included in FSR

shr	shower	tf	timber floor
dp	downpipe	gm	gas meter
ct	ceramic tiles	em	electrical meter
cpt	carpet	do	drainage outlet
sd	smoke detector	gb	glass balustrade
hr	handrail	oshr	outdoor shower

PROJECT

PROPOSED DWELLING HOUSE
FOR
WILLIAM & NANCY GROUNDS

ADDRESS
13 PACIFIC ROAD PALM
BEACH, NSW, 2108 LOT NO.
404 | DP NO. 19651

DRAWING TITLE

FIRST FLOOR PLAN

ARCHITECT

JAMISA ARCHITECTS PTY LTD
Nominated Architect: Jamie Grounds NSW Registration No. 7265
Suite 4, 112 Cronulla St, Cronulla
PH/FAX: 9523 6499

SCALE 1:100 @ A1

DRAWN MC

CHECKED JG

SUBMISSION DATE SEPTEMBER 2020

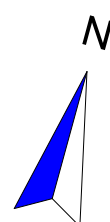
JOB NUMBER 03/2018/07

DRAWING NUMBER

ISSUE

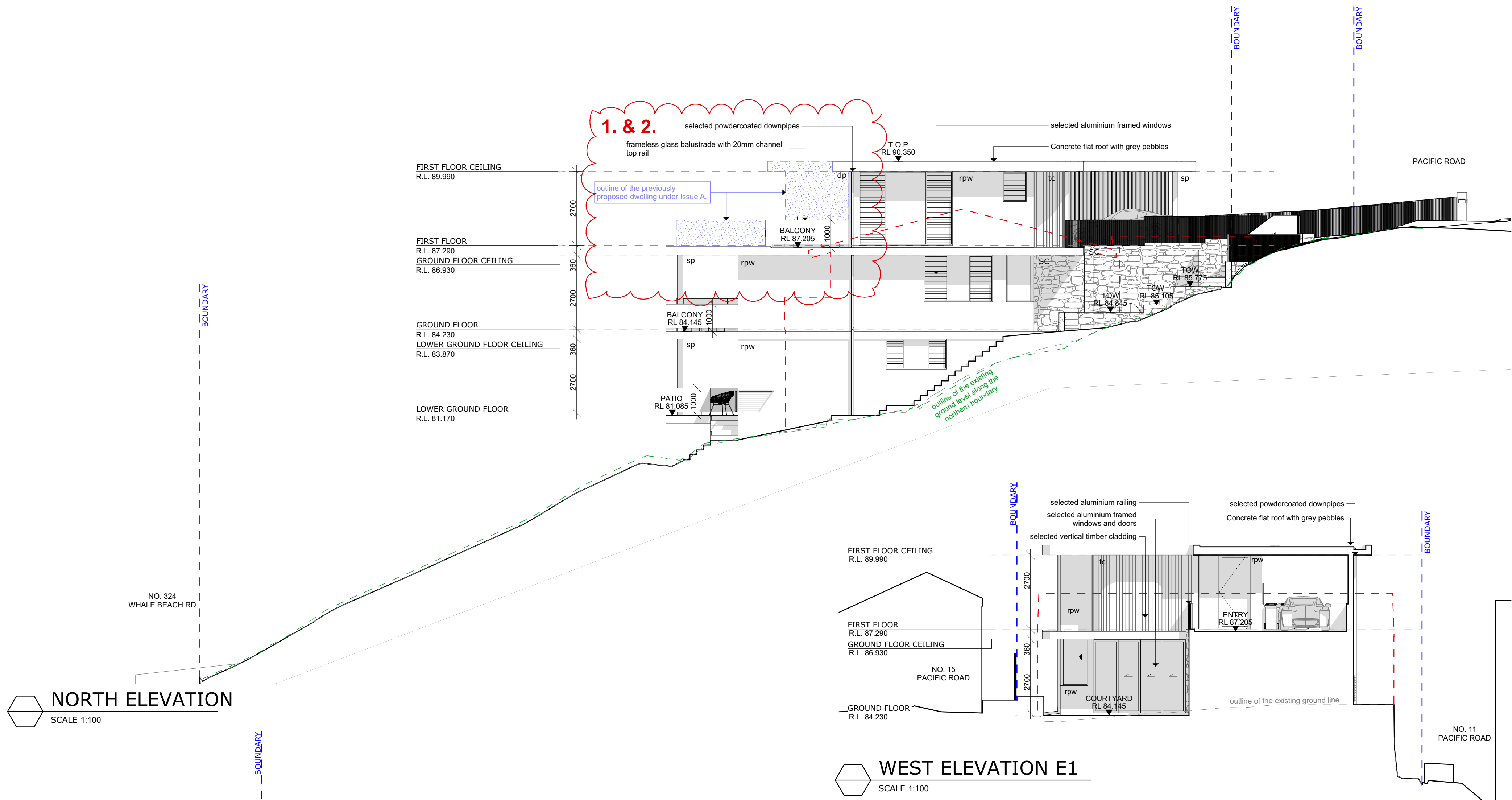
DA04

B



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REVISION	DESCRIPTION	DATE
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B	DA AMENDMENTS 1. First floor plan reconfigured with the rear first floor setback increased by 2.365m to ensure compliance with the maximum 10m Building Height limit. 2. The width of the first floor balcony has been reduced and the storage area at the rear of the carport has been deleted. 3. The non trafficable portion of the first floor balcony has been removed to comply with the maximum 10m Building Height limit. 4. The carport roof over the proposed driveway has been reduced in length by 4.505m to comply with the maximum 10m Building Height limit. 5. The southern portion of the ground floor and lower ground floor balconies shown hatched on plan have been removed. 6. The ramp on the lower ground floor has been setback a further 600mm from the southern side boundary. 7. The southern external wall of the WC and Butlers Pantry on the ground floor have been aligned with the external walls above and below. 8. The southern side solid driveway has been replaced with an open form fence.	03/2021
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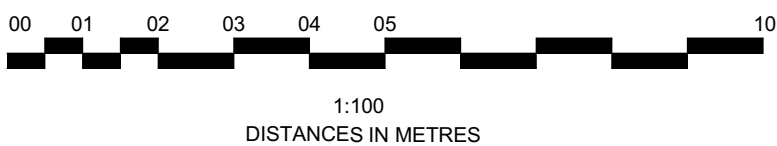
LEGEND	
of	overflow
dp	downpipe
tc	timber cladding
T.O.P	top of parapet
rpw	rendered & painted masonry wall
hw	hot water system
em	elec. meter
gm	gas meter
---	outline of existing buildings to be demolished
SC	stone cladding

PROJECT
PROPOSED DWELLING HOUSE
FOR
WILLIAM & NANCY GROUNDS
ADDRESS
13 PACIFIC ROAD PALM BEACH, NSW, 2108 LOT NO. 404 | DP NO. 19651

ELEVATIONS
ARCHITECT
JAMISA ARCHITECTS PTY LTD
Nominated Architect: Jamie Grounds NSW Registration No. 7265
Suite 4, 112 Cronulla St, Cronulla
PH/FAX: 9523 6499

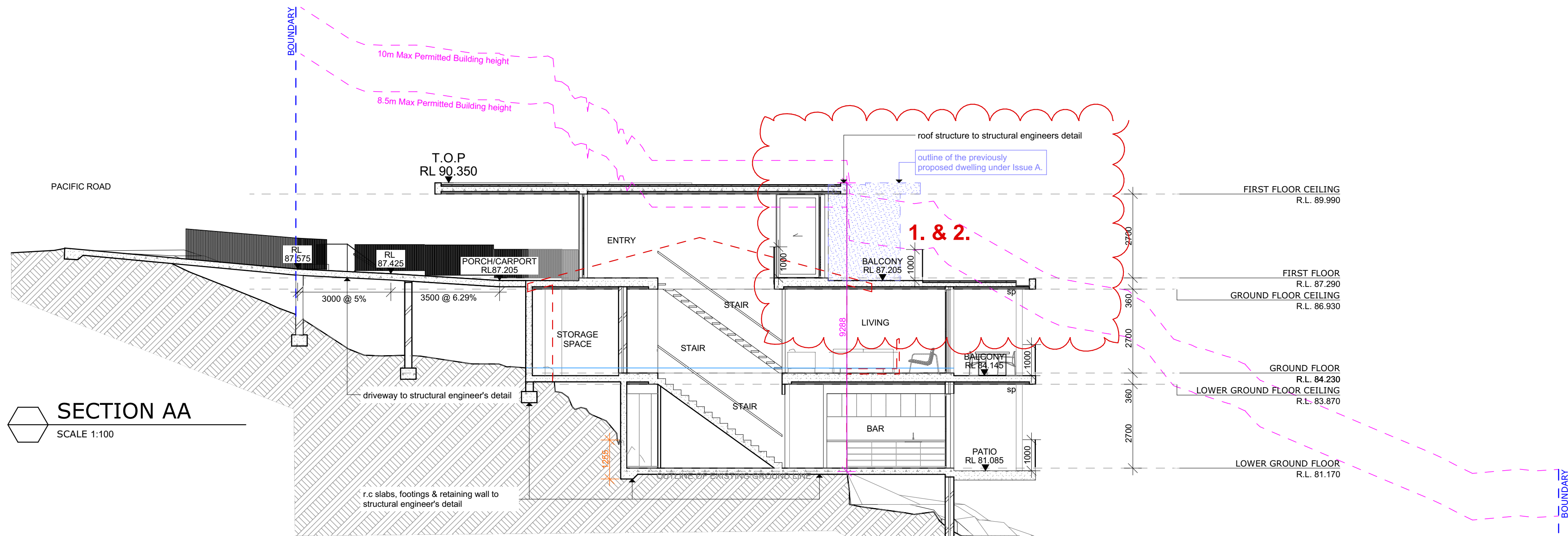
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DRAWN MC
CHECKED JG
SUBMISSION DATE SEPTEMBER 2020
JOB NUMBER 03/2018/07

DRAWING NUMBER
DA05
ISSUE
C

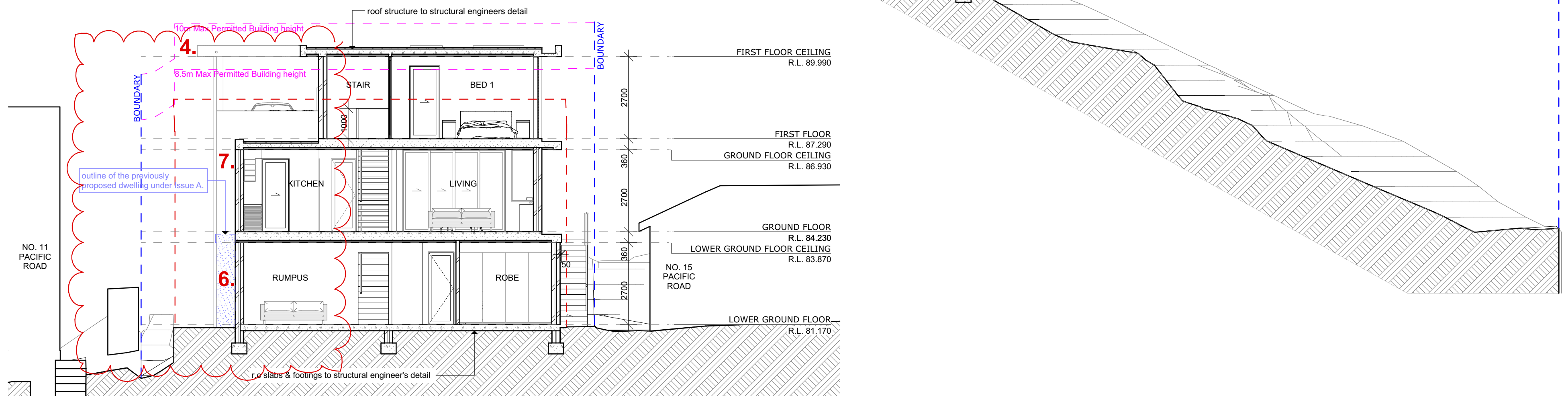


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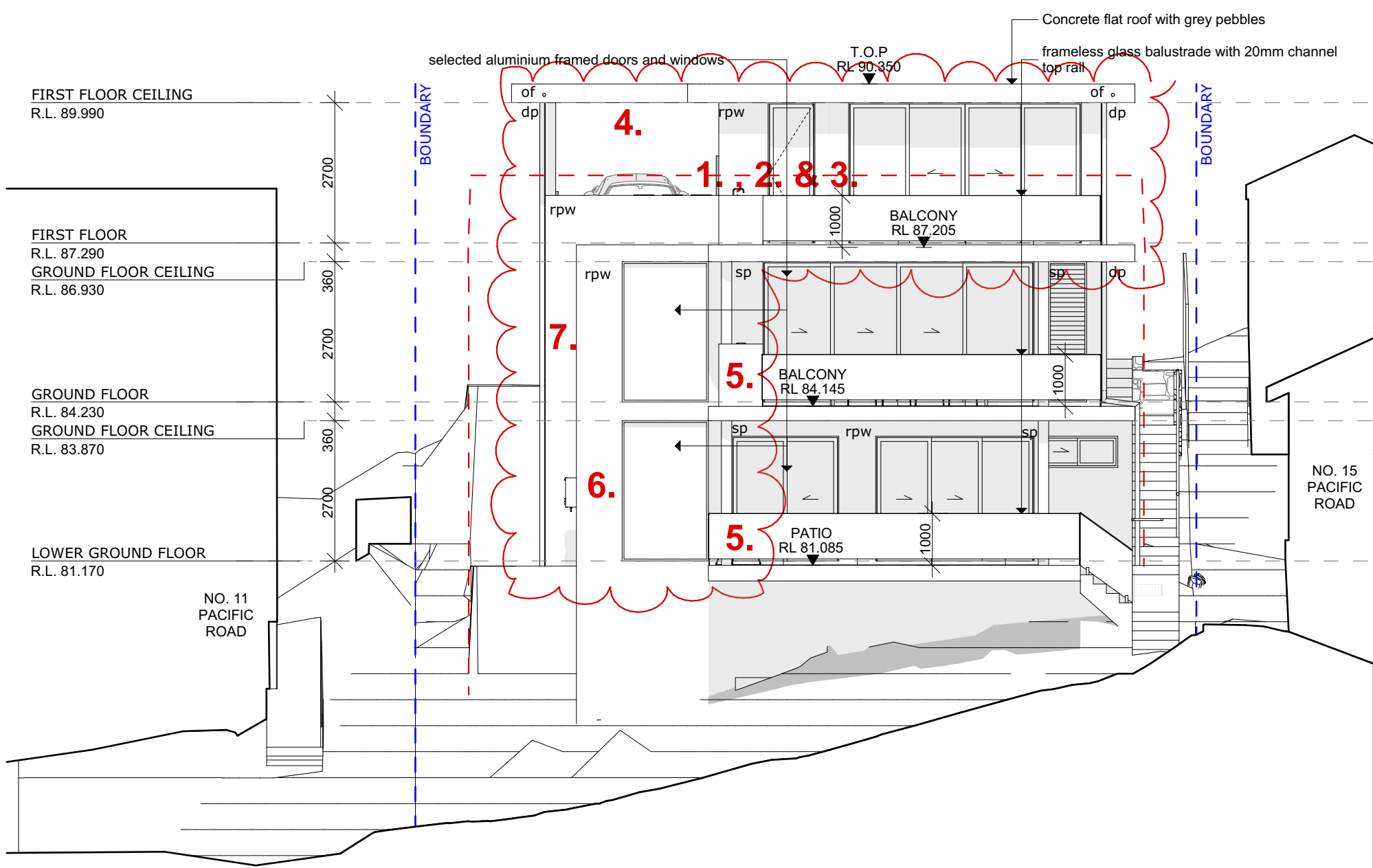
REVISION	DESCRIPTION	DATE
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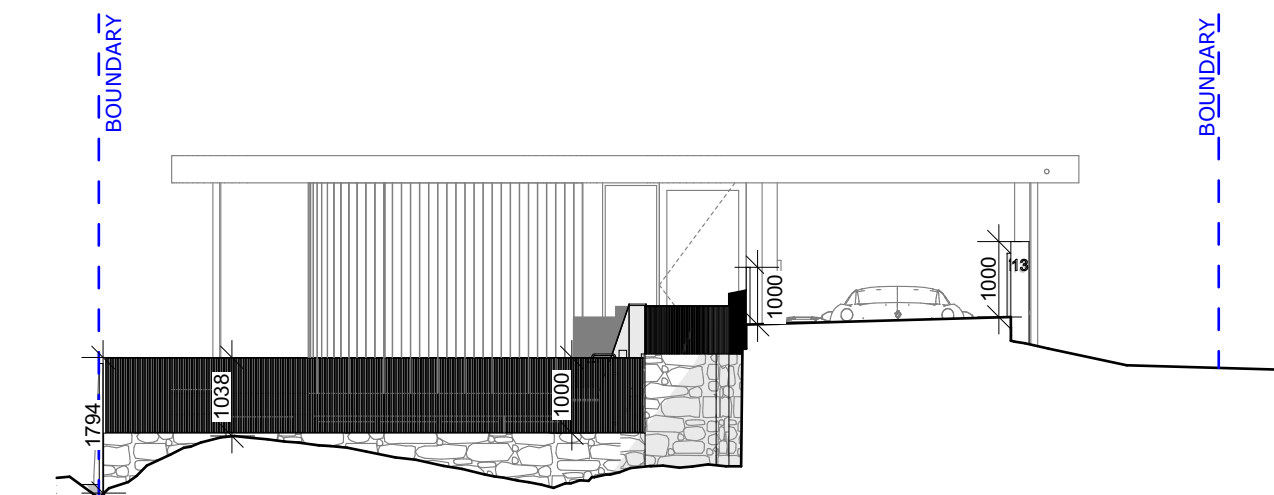
SECTION AA
SCALE 1:100



SECTION BB
SCALE 1:100



EAST ELEVATION
SCALE 1:100



FRONT FENCE ELEVATION
SCALE 1:100

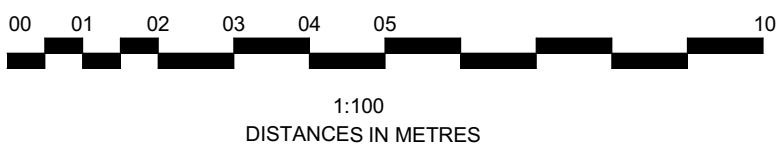
LEGEND
of overflow
sp structural post
dp downpipe
rpw rendered & painted masonry wall
— outline of existing buildings to be demolished

PROJECT
PROPOSED DWELLING HOUSE
FOR
WILLIAM & NANCY GROUNDS
ADDRESS
13 PACIFIC ROAD PALM BEACH, NSW, 2108 LOT NO. 404 | DP NO. 19651
DRAWING TITLE

SECTIONS
ARCHITECT
JAMISA ARCHITECTS PTY LTD
Nominated Architect: Jamie Grounds NSW Registration No. 7265
Suite 4, 112 Cronulla St, Cronulla
PH/FAX: 9523 6499

SCALE 1:100 @ A1
DRAWN MC
CHECKED JG
SUBMISSION DATE SEPTEMBER 2020
JOB NUMBER 03/2018/07

DRAWING NUMBER
DA06
ISSUE
B





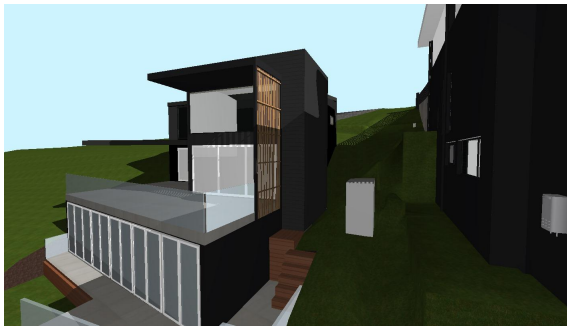
June 21st - 9am
Existing overshadowing on No.11 Pacific Road



June 21st - 9am
Proposed overshadowing on No.11 Pacific Road



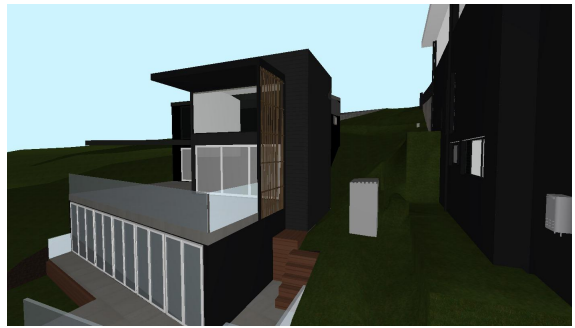
June 21st - 12pm
Existing overshadowing on No.11 Pacific Road



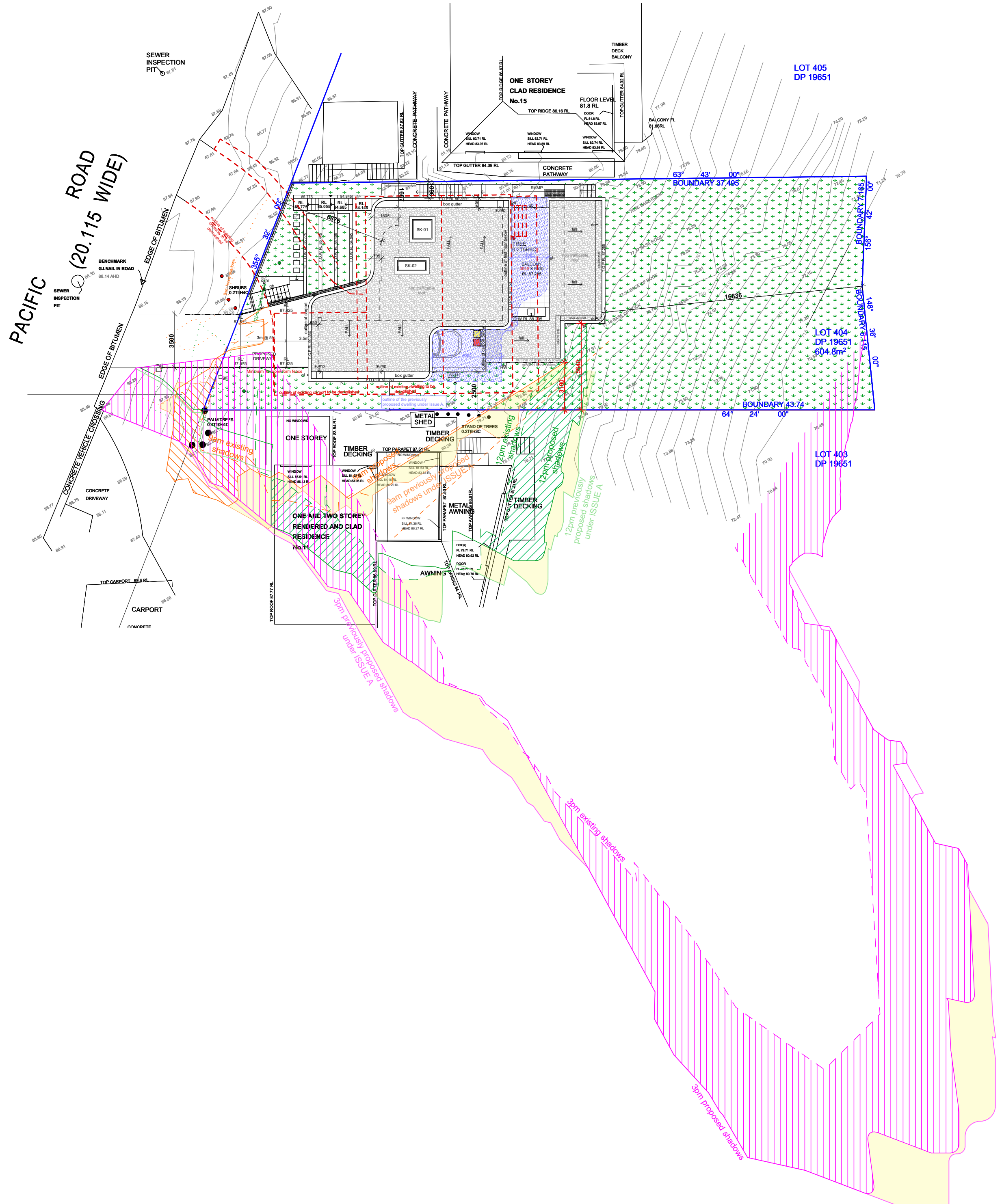
June 21st - 12pm
Proposed overshadowing on No.9 Pacific Road



June 21st - 3pm
Existing overshadowing on No.11 Pacific Road



June 21st - 3pm
Proposed overshadowing on No.11 Pacific Road

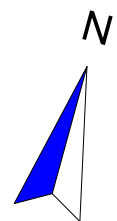
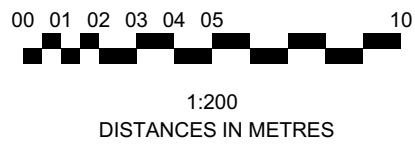


LEGEND

- Existing shadows
- Proposed shadows
- Fence shadows
- Extent of additional overshadowing on adjoining properties due to proposed development at 9:00am on June 21st
- Extent of additional overshadowing on adjoining properties due to proposed development at 12:00pm on June 21st
- Extent of additional overshadowing on adjoining properties due to proposed development at 3:00pm on June 21st
- Extent of additional sunlight on adjoining properties due to amendments made to the proposed development on June 21st

SHADOW DIAGRAMS - JUNE 21st

1:200 SCALE



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PROJECT

PROPOSED DWELLING HOUSE
FOR
WILLIAM & NANCY GROUNDS

ADDRESS

13 PACIFIC ROAD PALM
BEACH, NSW, 2108 LOT NO.
404 | DP NO. 19651

DRAWING TITLE

SHADOWS DIAGRAMS
JUNE 21

ARCHITECT

JAMISA ARCHITECTS PTY LTD
Nominated Architect: Jamie Grounds NSW Registration No. 7265
Suite 4, 112 Cronulla St, Cronulla
PH/FAX: 9523 6499

SCALE: 1:200 @ A1
DRAWN: MC
CHECKED: JG
SUBMISSION DATE: SEPTEMBER 2020
JOB NUMBER: 03/2018/07

DRAWING NUMBER

DA09

ISSUE

B



Selected timber cladding
Colour: Euro Selekt cladd 'silver oak' or similar






rendered & painted walls
colour: Dulux 'Monument' or similar

selected powdercoated aluminium windows & doors
colour: Dulux Duralloy 'Black Matt' or similar

Selected vertical powdercoated aluminium railing
Colour: Dulux Duralloy 'Black Matt'

Acrylic render with painted finish.
Colour: 'Dulux Lexicon Quarter' or similar

Stone Clad Wall
Colour: Eco Outdoor Freeform 'Wamberal'

	Dulux Powdercoat- 'Black Matt'
	Eco Outdoor freeform stone wall Colour: 'Wamberal'
	Eco Outdoor freeform stone wall Colour: 'Wamberal'
	Dulux 'Lexicon Quarter'
	Dulux - 'Monument'

Note: Dulux & Colorbond colours can be replaced by similar products

selected frameless glass balustrade with
20mm powdercoated channel top rail

Acrylic render with painted finish.
Colour: 'Dulux Lexicon Quarter' or similar



rendered & painted walls
colour: Dulux 'Monument' or similar

selected powdercoated aluminium windows & doors
colour: Dulux Duralloy 'Black Matt' or
similar

	Dulux Powdercoat- 'Black Matt'
	Eco Outdoor freeform stone wall Colour: 'Wamberal'
	Eco Outdoor freeform stone wall Colour: 'Wamberal'
	Dulux 'Lexicon Quarter'
	Dulux - 'Monument'

Note: Dulux & Colorbond colours can
be replaced by similiar products

selected frameless glass balustrade with
20mm powdercoated channel top rail

Acrylic render with painted finish.
Colour: 'Dulux Lexicon Quarter' or similar

selected powdercoated aluminium windows & doors
colour: Dulux Duralloy 'Black Matt' or
similar

rendered & painted walls
colour: Dulux 'Monument' or similar

selected gutters & downpipes
colour: Colorbond 'monument' or
similar



	Dulux Powdercoat- 'Black Matt'
	Eco Outdoor freeform stone wall Colour: 'Wamberal'
	Eco Outdoor freeform stone wall Colour: 'Wamberal'
	Dulux 'Lexicon Quarter'
	Dulux - 'Monument'