

46 Killarney Drive
CASA BIANCA

sh.studio


U16 / 30 MADDOX STREET, ALEXANDRIA NSW 2015, SYDNEY / 02 9557 0808

FOLLOW US ON



DRAWINGS FOR DA APPROVAL


| NAME | DRAWING No. | TITLE | REVISION |
|-------------------------------|-------------|------------------------------|----------|
| DA | | | |
| | A000 | Coverpage | 02 |
| | A001 | General Legend | 02 |
| | A002 | Site Analysis | 02 |
| | A003 | Site Survey | 02 |
| | A004 | Demolition plan | 02 |
| | A004 | Site plan | 02 |
| | A005 | Landscaping Plan | 02 |
| | A006 | BASIX | 02 |
| | A007 | BASIX | 02 |
| | A008 | NatHERS | 02 |
| | A009 | NatHERS | 02 |
| Floor plans | | | |
| | A202 | Ground Floor | 02 |
| | A203 | First Floor | 02 |
| | A204 | Roof | 02 |
| Elevation and Sections | | | |
| | A301 | Elevations | 02 |
| | A302 | Elevations | 02 |
| | A303 | Sections | 02 |
| Control Plans | | | |
| | A401 | Control Plans | 02 |
| Shadow Plans | | | |
| | A500 | Shadow Diagrams | 02 |
| Schedules | | | |
| | A600 | Window Schedule | 02 |
| | A601 | Material and Finish Schedule | 02 |
| 3D Views | | | |
| | A800 | 3D Views | 02 |



Certificate No. # 4W6KFI6YPX

Scan QR code or follow website link for rating details.

Assessor name Tania Hannaford
Accreditation No. DMN/21/2023
Property Address 46 Killarney Drive,
 Killarney Heights, NSW, 2087



<https://www.fr5.com.au/QRCodeLanding?PublicId=4W6KFI6YPX>

PLOT INFORMATION - DA

DWELLING

| | | |
|-------------------|---------------------------------------|----------------------|
| ADDRESS | 46 Killarney Drive, Killarney Heights | |
| ESTIMATE FRONTAGE | | 24.33 m |
| SITE AREA | | 746.7 m ² |

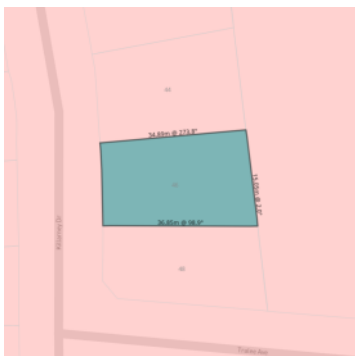
| | | |
|---------------------------|--|-------|
| Northern Beaches DCP 2011 | | |
| MAX BUILDING HEIGHT | | 8.5 m |
| MAX WALL HEIGHT | | 7.2 m |

| | | |
|------------------------|--|----------|
| SETBACKS | | |
| PRIMARY ROAD | | 6.5 m |
| SIDE SETBACK GF | | 0.9 m |
| REAR SETBACK | | 6 m |
| | | |
| SIDE BOUNDARY ENVELOPE | | 4 m, 45° |

| | | |
|--------------------|-----------------------------------|-----------------------|
| LANDSCAPE REQUIRED | | |
| MIN POS AREA | 60 m ² (5 m W / 5 m L) | |
| MIN LANDSCAPE | 40 % lot (1.5 m width) | 298.68 m ² |
| MIN SOIL DEPTH | | 1m |

| | | |
|---------------------|--|------------|
| PARKING RATE | | 1.5 spaces |
| VISITOR CAR PARKING | | 0.1 spaces |

| | |
|------|----------------------------|
| ZONE | R2 LOW DENSITY RESIDENTIAL |
|------|----------------------------|



BUILDING SPECIFICATION - CLASS 1

DEMOLITION

- AS 2601:2001 - THE DEMOLITION OF STRUCTURES

SITE PREPARATION

- PART 3.1 OF THE BCA [NCC 2022 VOLUME 2]

EARTHWORKS

- EARTHWORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE ENVIRONMENTAL PLANNING & ASSESSMENT ACT 2021, AND CONDITION OF DEVELOPMENT CONSENT AND THE RELEVANT PART 3.2.1 OF THE NCC 2022 (ABCB HOUSING PROVISIONS)
- AS 4678 EARTH RETAINING STRUCTURE ASSOCIATED WITH THE CONSTRUCTION OF A BUILDING OR STRUCTURE
- STORMWATER DRAINAGE - PART 3.3 OF THE NCC 2022 (ABCB HOUSING PROVISIONS)
- AS/NZS 3500.3:2021 - PLUMBING & DRAINAGE - STORMWATER DRAINAGE
- AS/NZS 3500 (2021) PART 1, 2 & 4 - PLUMBING & DRAINAGE - WATER SERVICES, SANITARY PLUMBING AND HEATED WATER SERVICES
- TERMITE PROTECTION - PART 3.1.4 OF THE NCC 2022 (ABCB HOUSING PROVISIONS) AND AS 3660.1:2014 - PROTECTION OF BUILDING FROM SUBTERRANEAN TERMITES.

FOOTINGS & SLABS

- PART 4.2 OF NCC 2022 (ABCB HOUSING PROVISIONS)
- AS 2159:2009 - PILING - DESIGN & INSTALLATION
- AS 2870:2011 - RESIDENTIAL SLABS & FOOTINGS
- AS 3600:2018 - CONCRETE STRUCTURES MASONRY

MASONRY STRUCTURES

- MANSORY CONSTRUCTION - PART 5 OF NCC 2022
- AS 3700:2018
- LINTELS IN MANSORY - PART 5.6.7 OF THE NCC 2022
- WEATHERPROOFING OF MASONRY - PART 5.7 OF NCC 2022 (ABCB HOUSING PROVISIONS)

FRAMING

- SUB - FLOOR VENTILATION - PART 6.2 OF THE NCC 2022
- STRUCTURAL STEEL MEMBERS - PART 6.3 OF THE NCC 2022
- AS 1720.1 - DESIGN OF TIMBER STRUCTURE
- AS 1720.5 NAIL-PLATED TIMBER ROOF TRUSSED
- NASH STANDARD RESIDENTIAL AND LOW-RISE STEEL FRAMING PART 1 AND 2
- RESIDENTIAL TIMBER -FRAMED CONSTRUCTION NON -CYCLONIC AREAS
- AS 1684.2 OR AS 1684.4
- AS 4100 - STEEL STRUCTURES
- AS/NZS 4600 - COLD -FORMED STEEL STRUCTURES

ROOF & WALL CLADDING

- SHEET ROOFING - PARTS 7.2 OF THE NCC 2022
- ROOF TILES AND SHINGLES - PARTS 7.3 OF THE NCC 2022
- ROOF TILE : AS 2049 (2002)
- INSTALLATION OF ROOF TILES : AS 2050:2018
- GUTTERS AND DOWNPIPES - PARTS 7.4 OF THE NCC 2022
- STORMWATER DRAINAGE- AS/NZS 3500.3 AND 1: 2021 -
- TIMBER AND COMPOSITE WALL CLADDING - PARTS 7.5 OF THE NCC 2022
- METAL WALL CLADDING - AS1562.1

GLAZING

- PART 8 OF THE NCC 2022
- AS 1288:2021 - GLASS IN BUILDINGS - SELECTION & INSTALLATION
- AS 2047:2014 - WINDOWS & EXTERNAL GLAZED DOORS IN BUILDINGS
- AS/NZS 2208:1996 - SAFETY GLAZING MATERIALS IN BUILDINGS

ENERGY EFFICIENCY

- PART 13 OF THE NCC 2022
- TO MEET THE BASIX CERTIFICATE REQUIREMENTS
- BUILDING SEALING - PART 13.4 OF THE NCC 2022
- SERVICES - PART 13.7 OF THE NCC 2022

ATTACHMENTS OF DECKS AND BALCONIES TO EXTERNAL WALLS OF BUILDINGS

- PART 12. OF THE NCC 2022
- FIXING OF DECKS AND BALCONIES TO EXTERNAL WALLS - PART 12.3.2 OF HTE NCC 2022
- FLASHINGS TO THE JUNCTION OF THE WALING PLATE AND EXTERNAL WALL - PART 12.3.3 OF HTE NCC 2022
- BRACING - - PART 12.3.4 OF HTE NCC 2022

FIRE SAFETY

- FIRE SEPARATION OF EXTERNAL WALL - PART 9.2 OF NCC 2022
- FIRE PROTECTION OF SEPARATING WALLS AND FLOORS - PART 9.3 OF NCC 2022
- FIRE SEPARATION OF GARAGE TOP DWELLINGS - PART 9.4 OF NCC 2022
- INTERCONNECTED HARDWIRED SMOKE ALARMS - PART 9.5 OF NCC 2022 AND AS 3786:2023
- ROOF LIGHTS - PART 9.2.10 OF THE NCC 2022
- HEATING APPLIANCES FOR A DOMESTIC SOLID FUEL BURNING APPLIANCE, AS/NZS 2918 OR FOR HEATING APPLIANCE, PART 12.4 OF THE ABCB HOUSING PROVISION.

HEALTH & AMENITY

- H4FY CONDESATION AND WATER VAPOUR MANAGEMENT - BUILDING ELEMENTS IN AREAS SUBJECT TO WATER VAPOUR OR CONDENSATION MUST BE CONSTRUCTION TO REDUCE RISK TO THE HEALTH AND BUILDING OCCUPANTS.
- WET AREAS - PART 10.2 OF THE ABCB HOUSING PROVISION AND AS 3740
- WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS AND WATERPROOFING OF BALCONIES TO AS4654.2 -2012
- ROOM HEIGHTS - PART 10.3 NCC 2022
- KITCHEN, SANITARY AND WASHING FACILITIES - PART 10.6 OF THE ABCB HOUSING PROVISIONS AND AS 1668.2
- LIGHT - PARTS 10.5.1 OF THE HOUSING PROVISION STANDARD 2022
- VENTILATION - PARTS 10.6 OF THE HOUSING PROVISION STANDARD 2022
- SOUND INSULATION - PARTS 10.7 OF THE HOUSING PROVISION STANDARD 2022
- CONDENSATION MANAGEMENT - PART 10.8.7 OF THE HOUSING PROVISION STANDARD 2022
- FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS - PART 10.8.2 OF THE HOUSING PROVISION STANDARD 2022

SAFE MOVEMENT & ACCESS

- STAIRWAY AND RAMP CONSTRUCTION - PART 11.1 OF THE ABCB HOUSING PROVISION STANDARD 2022
- BARRIERS AND HANDRAILS - PART 11.3 OF THE ABCB HOUSING PROVISION STANDARD 2022
- AS 1428.1:2021, AS/NZS 1428.4.1:2009 AMDT 2 AND 1 - DESIGN FOR ACCESS & MOBILITY – GENERAL REQUIREMENTS FOR ACCESS - NEW BUILDING WORK
- AS 1657:2018 - FIXED PLATFORMS, WALKWAYS, STAIRWAYS & LADDERS - DESIGN, CONSTRUCTION & INSTALLATION

SWIMMING POOLS

- TO BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SWIMMING POOLS ACT 1992 [NO. 49] & SWIMMING POOLS REGULATION 2018
- AS 1926.1:2012 - SWIMMING POOL SAFETY - SAFETY BARRIERS FOR SWIMMING POOLS
- AS 1926.2:2007 - SWIMMING POOL SAFETY - LOCATION OF SAFETY BARRIERS FOR SWIMMING POOLS
- AS 1926.3:2010 - SWIMMING POOL SAFETY - WATER RECIRCULATION SYSTEMS

STRUCTURAL DESIGN MANUALS

- AS/NZS 1170.0:2002 - STRUCTURAL DESIGN ACTIONS - GENERAL PRINCIPLES
- AS/NSZ 1170.1:2002 - STRUCTURAL DESIGN ACTIONS - PERMANENT, IMPOSED & OTHER ACTIONS
- AS/NZS 1170.2:2011 - STRUCTURAL DESIGN ACTIONS - WIND ACTIONS
- AS/NZS 1170.3:2003 - STRUCTURAL DESIGN ACTIONS - SNOW & ICE ACTIONS
- AS 1170.4:2007 - STRUCTURAL DESIGN ACTIONS - EARTHQUAKE ACTIONS IN AUSTRALIA
- AS/NZS 1664.1:1997 - ALUMINIUM STRUCTURES - LIMIT STATE DESIGN
- AS/NZS 1664.2:1997 - ALUMINIUM STRUCTURES - ALLOWABLE STRESS DESIGN
- AS 1720.1:2010 - TIMBER STRUCTURES - DESIGN METHODS
- AS 1720.4:2006 - TIMBER STRUCTURES - FIRE RESISTANCE FOR STRUCTURAL ADEQUACY OF TIMBER MEMBERS
- AS 1720.5:2015 - TIMBER STRUCTURES - NAIL PLATED TIMBER ROOF TRUSSES

- AS/NZS 2269.0:2012 - PLYWOOD - STRUCTURAL - SPECIFICATIONS
- AS/NZS 2327:2017 - COMPOSITE STRUCTURES - COMPOSITE STEEL- CONCRETE CONSTRUCTION IN BUILDINGS
- AS 2159:2009 - PILING - DESIGN & INSTALLATION
- AS 3600:2018 - CONCRETE STRUCTURES
- AS 3700:2018 - MASONRY STRUCTURES
- AS 3850.1:2015 - PREFABRICATED CONCRETE STRUCTURES - GENERAL REQUIREMENTS
- AS 3850.2:2015 - PREFABRICATED CONCRETE STRUCTURES - BUILDING CONSTRUCTION
- AS 4055:2012 - WIND LOADS FOR HOUSING
- AS 4100:1998 - STEEL STRUCTURES

CAR PARKING

- AS/NZS 2890.1:2004 - PARKING FACILITIES - OFF-STREET CAR PARKING
- AS/NZS 2890.6:2009 - PARKING FACILITIES - OFF-STREET PARKING FOR PEOPLE WITH DISABILITIES

ABBREVIATIONS

NOTES & ROLES

| | |
|-------------|---------------------------------|
| APS | As per Architect Specifications |
| APES | As per Engineer Specifications |
| AS | Australian Standards |
| BCA | Building Code of Australia |
| BYO | By Others |
| TBC | To be confirm |
| COS | Confirm on Site |

FURNITURE

| | |
|------------|---------------|
| ST | Storage |
| BIR | Build in Robe |

FIXTURES

| | |
|------------------|--------------------------------|
| DP | Downpipe |
| FW | Floor waste |
| DW | Dishwasher |
| WM | Washmachine |
| DRY | Dryer |
| FRD / FRZ | Fridge / Freezer |
| RG | Kitchen Range (Stove and oven) |
| RWT | Rain Water Tank |

OPENING

| | |
|------------|----------------------|
| WHD | Wall Hole dimensions |
| D | Door |
| W | Window |

ANNOTATION LEGEND

| | |
|---------------|--------------------------|
| (E) RL | Existing Reference level |
| RL | Proposed Reference level |
| SL | Sea level |

GENERAL SYMBOL

| | |
|--|-----------------|
| | Smoke alarm |
| | Mechanical Vent |

NOTES

- DRAWINGS NOT ISSUED FOR CONSTRUCTION
- DO NOT SCALE OFF THIS DRAWING. USE NOTATED DIMENSIONS ONLY AS A GUIDE.
- VERIFY ALL DIMENSIONS ON-SITE AND RESOLVE ANY DISCREPANCIES OR OMISSIONS WITH THE SUPERINTENDANT PRIOR TO COMMENCING WORKS.
- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT SPECIFICATIONS & DRAWINGS
- ANY DISCREPANCIES BETWEEN THESE DRAWINGS & ENGINEERING ARE TO HAVE ENGINEER'S DETAILS PREVAIL.
- THESE DESIGNS, DRAWINGS & SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF SH STUDIO AND MUST NOT BE USED, REPRODUCED OR COPIED, WHOLLY OR IN PART, WITHOUT THE WRITTEN PERMISSION OF SH STUDIO.

LEGEND

| | | | |
|--|-------------------------------|--|----------|
| | SITE BOUNDARY | | DEMOLISH |
| | SUBDIVISION LINE | | DEMOLISH |
| | PROPOSED GROUND FLOOR OUTLINE | | NEW |
| | PROPOSED FIRST FLOOR OUTLINE | | NEW |

| | | | | |
|--------------|-------|------------|----------|-------------|
| SCALE | ISSUE | DATE | DRAWN BY | REVIEWED BY |
| NOT TO SCALE | 02 | 19/12/2024 | YZ | AP |
| @A2 1:1 | | | | |

PROJECT
46 Killarney Drive

LAYOUT NAME

General Legend

PROJECT
A001



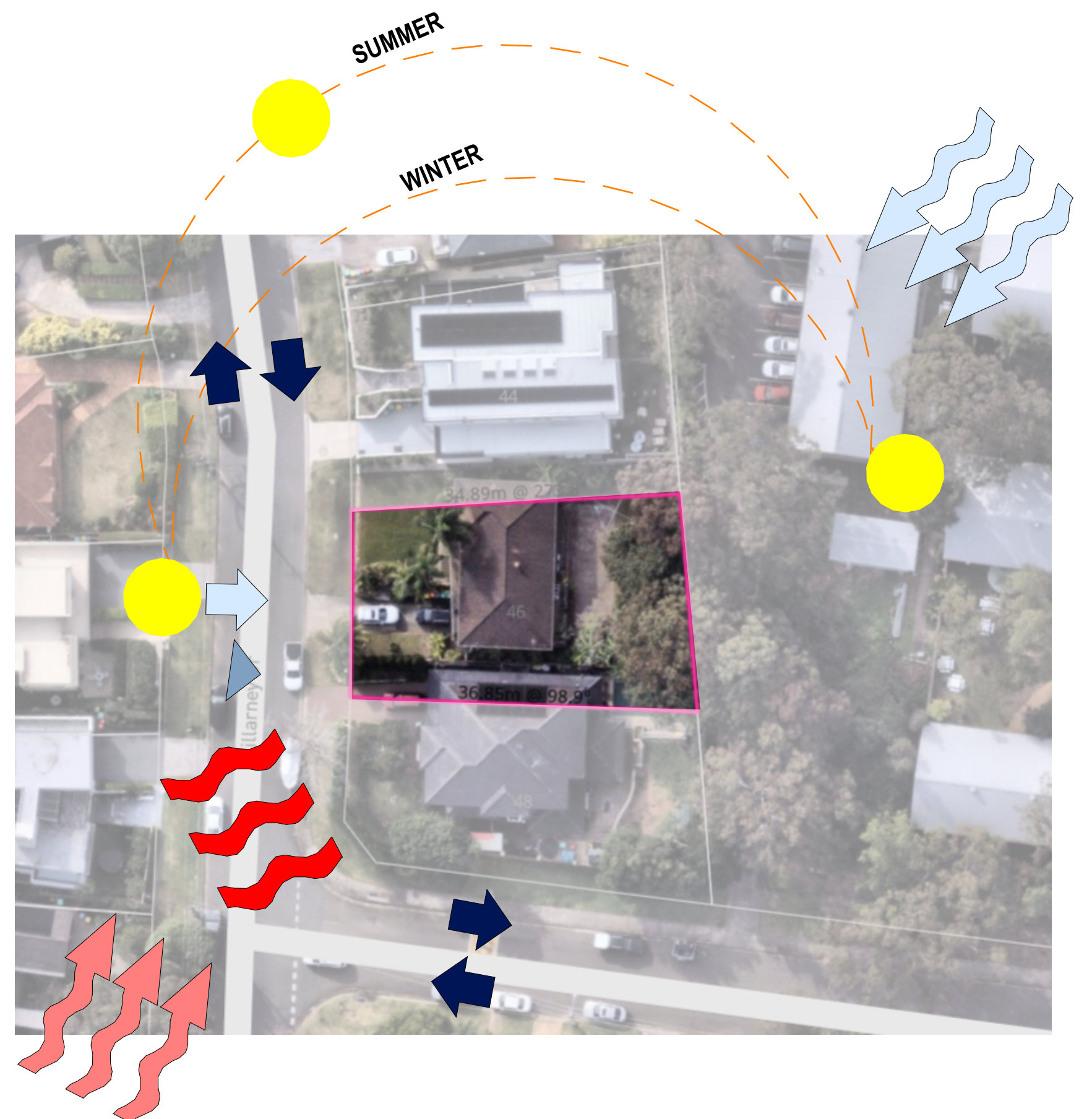
SHORE PROJECTS | sh.studio
by SHORE

U16 / 30 MADDOX ST, ALEXANDRIA, NSW 2015
INFO@SHORE.COM.AU • 61 2 9557 0808 WWW.SHORE.COM.AU



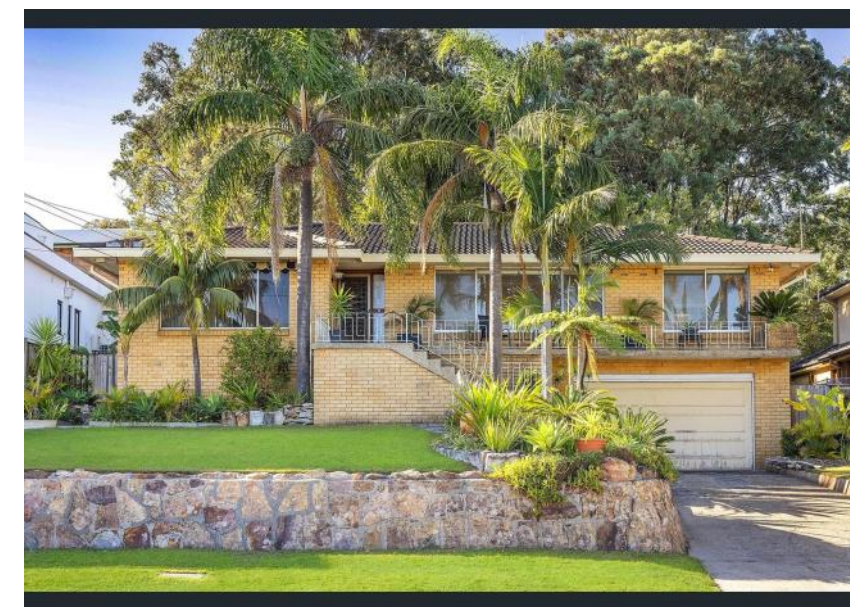


Certificate No. # 4W6KF16YPX
 Scan QR code or follow website link for rating details.
 Assessor name: Tania Hannaford
 Accreditation No.: DMN/21/2023
 Property Address: 46 Killarney Drive, Killarney Heights, NSW, 2087
<https://www.f15.com.au/QRCodeLanding?PublicId=4W6KF16YPX>



SITE ANALYSIS LEGEND

- Sun
- Vehicular Direction of Travel
- Vehicle Entry
- Cool Breezes
- Sun Path
- Main Building Entry
- Noise
- Warm Breezes



NOTES
 - DRAWINGS NOT ISSUED FOR CONSTRUCTION
 - DO NOT SCALE OFF THIS DRAWING. USE NOTATED DIMENSIONS ONLY AS A GUIDE.
 - VERIFY ALL DIMENSIONS ON-SITE AND RESOLVE ANY DISCREPANCIES OR OMISSIONS WITH THE SUPERINTENDANT PRIOR TO COMMENCING WORKS.
 - ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT SPECIFICATIONS & DRAWINGS.
 - ANY DISCREPANCIES BETWEEN THESE DRAWINGS & ENGINEERING ARE TO HAVE ENGINEER'S DETAILS PREVAIL.
 - THESE DESIGNS, DRAWINGS & SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF SH STUDIO AND MUST NOT BE USED, REPRODUCED OR COPIED, WHOLLY OR IN PART, WITHOUT THE WRITTEN PERMISSION OF SH STUDIO.

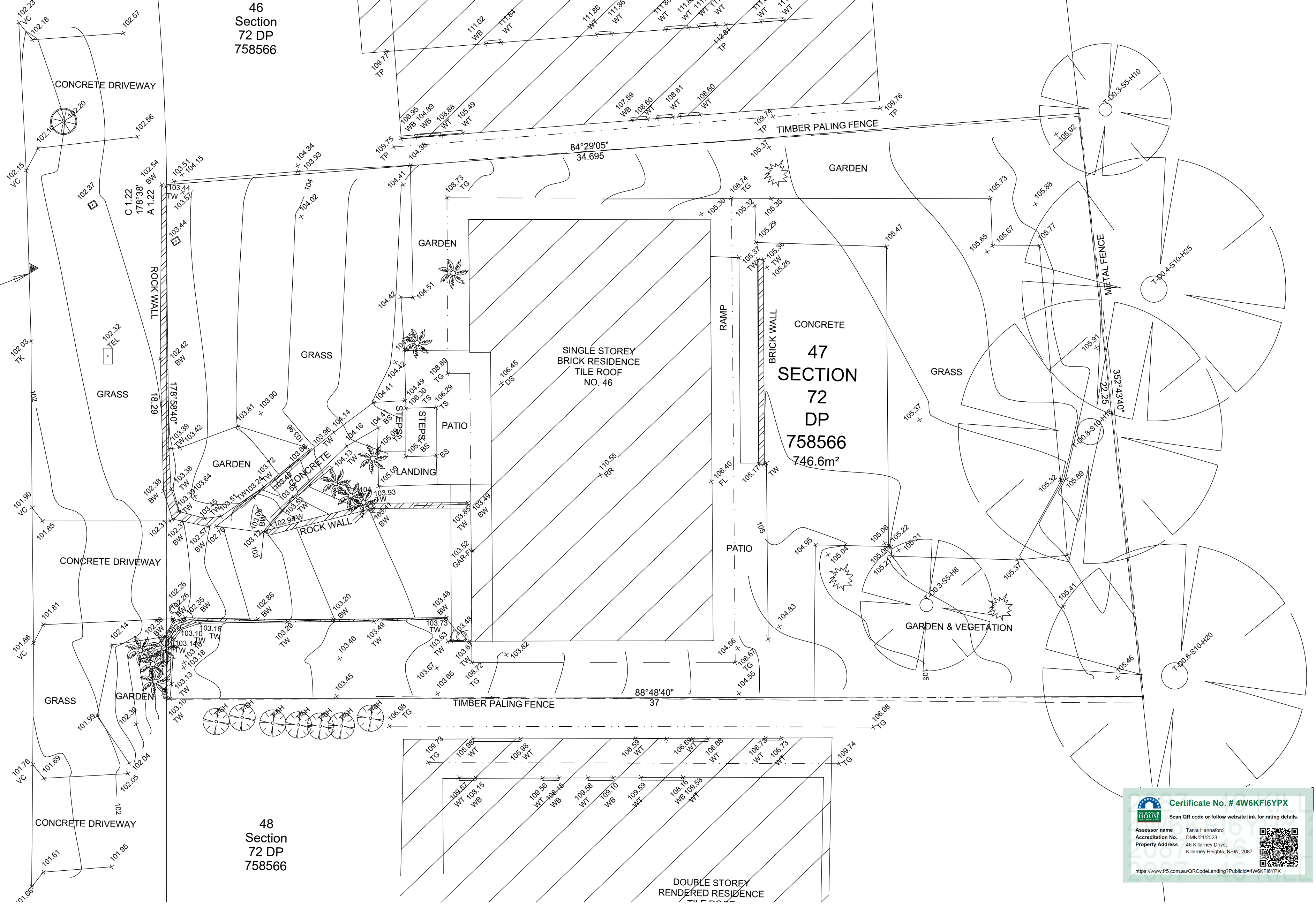
| LEGEND | |
|---|-------------------------------|
| | SITE BOUNDARY |
| | SUBDIVISION LINE |
| | PROPOSED GROUND FLOOR OUTLINE |
| | PROPOSED FIRST FLOOR OUTLINE |
| | DEMOLISH |
| | NEW |

SCALE: NOT TO SCALE @A2 1:1
 ISSUE: 02
 DATE: 19/12/2024
 DRAWN BY: YZ
 REVIEWED BY: AP
 PROJECT: 46 Killarney Drive

LAYOUT NAME: Site Analysis
 PROJECT: A002



KILLARNEY DRIVE



46
Section
72 DP
758566

47
SECTION
72
DP
758566
746.6m²

48
Section
72 DP
758566

NOTES
 - DRAWINGS NOT ISSUED FOR CONSTRUCTION
 - DO NOT SCALE OFF THIS DRAWING. USE NOTATED DIMENSIONS ONLY AS A GUIDE.
 - VERIFY ALL DIMENSIONS ON-SITE AND RESOLVE ANY DISCREPANCIES OR OMISSIONS WITH THE SUPERINTENDANT PRIOR TO COMMENCING WORKS.
 - ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT SPECIFICATIONS & DRAWINGS.
 - ANY DISCREPANCIES BETWEEN THESE DRAWINGS & ENGINEERING ARE TO HAVE ENGINEERS' DETAILS PREVAIL.
 - THESE DESIGNS, DRAWINGS & SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF SH STUDIO AND MUST NOT BE USED, REPRODUCED OR COPIED, WHOLLY OR IN PART, WITHOUT THE WRITTEN PERMISSION OF SH STUDIO.

LEGEND

| | | | |
|--|-------------------------------|--|----------|
| | SITE BOUNDARY | | DEMOLISH |
| | SUBDIVISION LINE | | NEW |
| | PROPOSED GROUND FLOOR OUTLINE | | |
| | PROPOSED FIRST FLOOR OUTLINE | | |

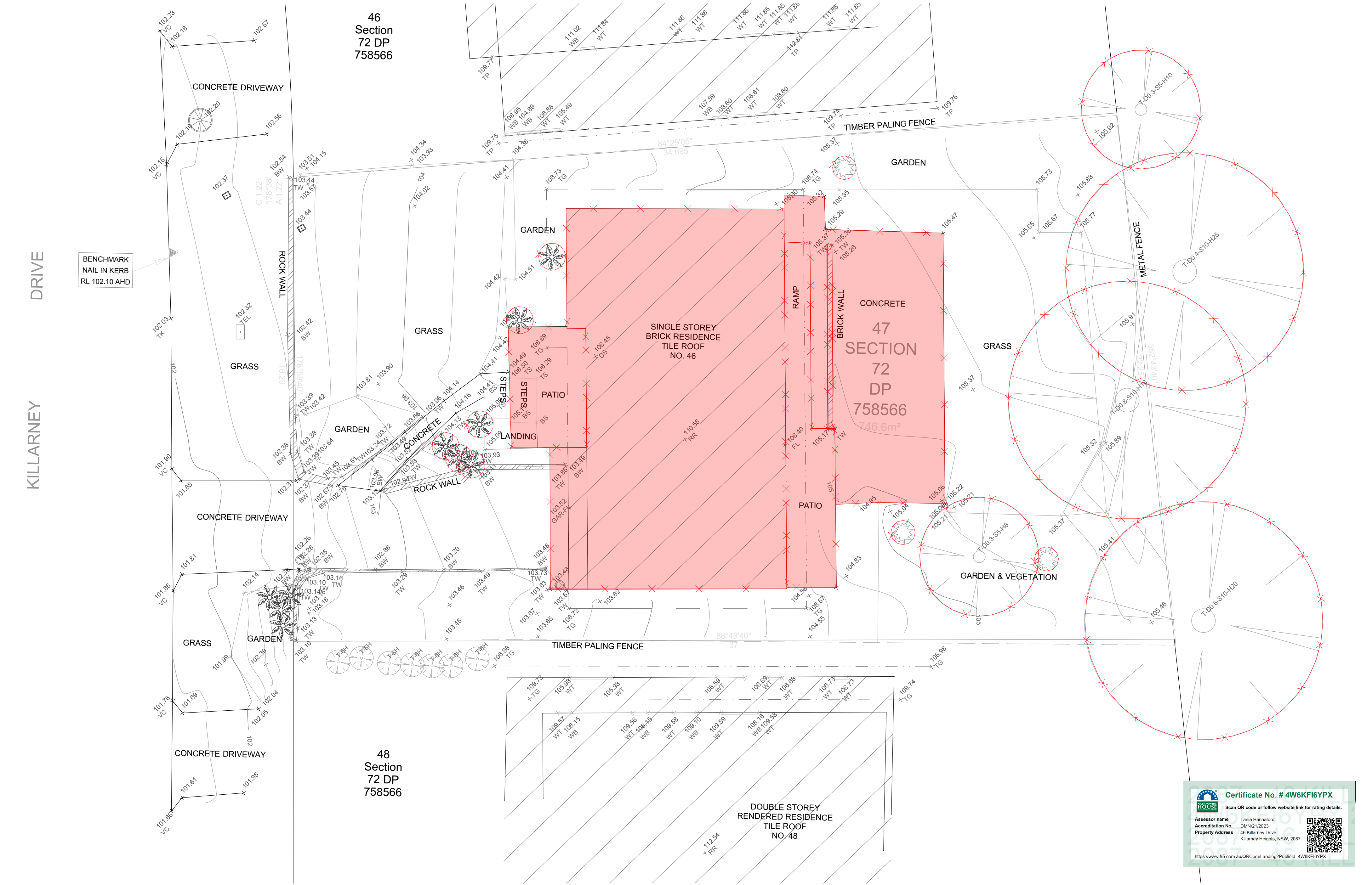
| | | | | | |
|--------------------|------------|------------|----------|-------------|-------------|
| SCALE | ISSUE | DATE | DRAWN BY | REVIEWED BY | LAYOUT NAME |
| NOT TO SCALE | 02 | 19/12/2024 | YZ | AP | Site Survey |
| @A2 | 1:100, 1:1 | | | | |
| PROJECT | PROJECT | | | | |
| 46 Killarney Drive | A003 | | | | |

Certificate No. # 4W6KF16YPX

Scan QR code or follow website link for rating details.

| | |
|-------------------|---|
| Assessor name | Tania Hannaford |
| Accreditation No. | DMR/21/2023 |
| Property Address | 46 Killarney Drive, Killarney Heights, NSW, 2087 |

<https://www.f5.com.au/QRCodeLanding?PublicId=4W6KF16YPX>



46
Section
72 DP
758566

48
Section
72 DP
758566

47
SECTION
72
DP
758566
746.6m²

SINGLE STOREY
BRICK RESIDENCE
TILE ROOF
NO. 46

DOUBLE STOREY
RENDERED RESIDENCE
TILE ROOF
NO. 48

NOTES
 - DRAWINGS NOT ISSUED FOR CONSTRUCTION
 - DO NOT SCALE OFF THIS DRAWING. USE NOTATED DIMENSIONS ONLY AS A GUIDE.
 - VERIFY ALL DIMENSIONS ON-SITE AND RESOLVE ANY DISCREPANCIES OR OMISSIONS WITH THE SUPERINTENDANT PRIOR TO COMMENCING WORKS.
 - ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT SPECIFICATIONS & DRAWINGS.
 - ANY DISCREPANCIES BETWEEN THESE DRAWINGS & ENGINEERING ARE TO HAVE ENGINEERS' DETAILS PREVAIL.
 - THESE DESIGNS, DRAWINGS & SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF SH STUDIO AND MUST NOT BE USED, REPRODUCED OR COPIED, WHOLLY OR IN PART, WITHOUT THE WRITTEN PERMISSION OF SH STUDIO.

LEGEND

| | | | |
|--|-------------------------------|--|----------|
| | SITE BOUNDARY | | DEMOLISH |
| | SUBDIVISION LINE | | NEW |
| | PROPOSED GROUND FLOOR OUTLINE | | |
| | PROPOSED FIRST FLOOR OUTLINE | | |

| | | | | |
|--------------------|------------|------------|----------|-------------|
| SCALE | ISSUE | DATE | DRAWN BY | REVIEWED BY |
| NOT TO SCALE | 02 | 19/12/2024 | YZ | AP |
| @A2 | 1:100, 1:1 | | | |
| PROJECT | | | | |
| 46 Killarney Drive | | | | |

| | |
|-----------------|---------|
| LAYOUT NAME | PROJECT |
| Demolition plan | A004 |

Certificate No. # 4W6KF16YPX

Scan QR code or follow website link for rating details.

Assessor name: Tania Hannaford
 Accreditation No.: DMN/21/2023
 Property Address: 46 Killarney Drive, Killarney Heights, NSW, 2087

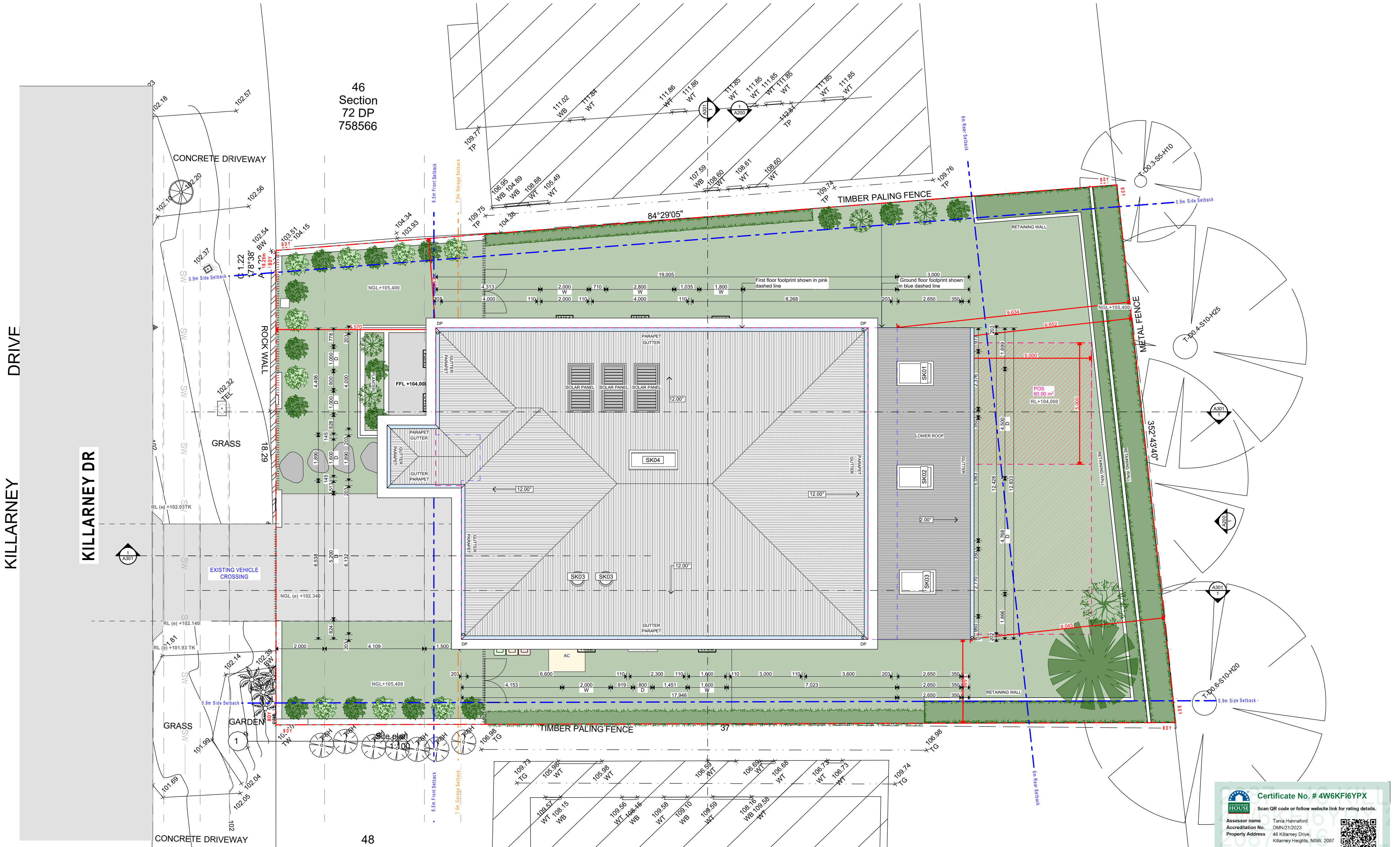
<https://www.f5.com.au/QRCodeLanding?PublicId=4W6KF16YPX>

KILLARNEY DRIVE

KILLARNEY DR

46
Section
72 DP
758566

48



Certificate No. # 4W6KF16YPX

Scan QR code or follow website link for rating details.

Assessor name: Tania Hannaford
 Accreditation No.: DMN/21/2023
 Property Address: 46 Killarney Drive, Killarney Heights, NSW, 2087

<https://www.f5.com.au/QRCodeLanding?PublicId=4W6KF16YPX>

NOTES

- DRAWINGS NOT ISSUED FOR CONSTRUCTION
- DO NOT SCALE OFF THIS DRAWING. USE NOTATED DIMENSIONS ONLY AS A GUIDE.
- VERIFY ALL DIMENSIONS ON-SITE AND RESOLVE ANY DISCREPANCIES OR OMISSIONS WITH THE SUPERINTENDANT PRIOR TO COMMENCING WORKS.
- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT SPECIFICATIONS & DRAWINGS.
- ANY DISCREPANCIES BETWEEN THESE DRAWINGS & ENGINEERING ARE TO HAVE ENGINEER'S DETAILS PREVAIL.
- THESE DESIGNS, DRAWINGS & SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF SH STUDIO AND MUST NOT BE USED, REPRODUCED OR COPIED, WHOLLY OR IN PART, WITHOUT THE WRITTEN PERMISSION OF SH STUDIO.

LEGEND

| | | | |
|--|-------------------------------|--|----------|
| | SITE BOUNDARY | | DEMOLISH |
| | SUBDIVISION LINE | | NEW |
| | PROPOSED GROUND FLOOR OUTLINE | | |
| | PROPOSED FIRST FLOOR OUTLINE | | |

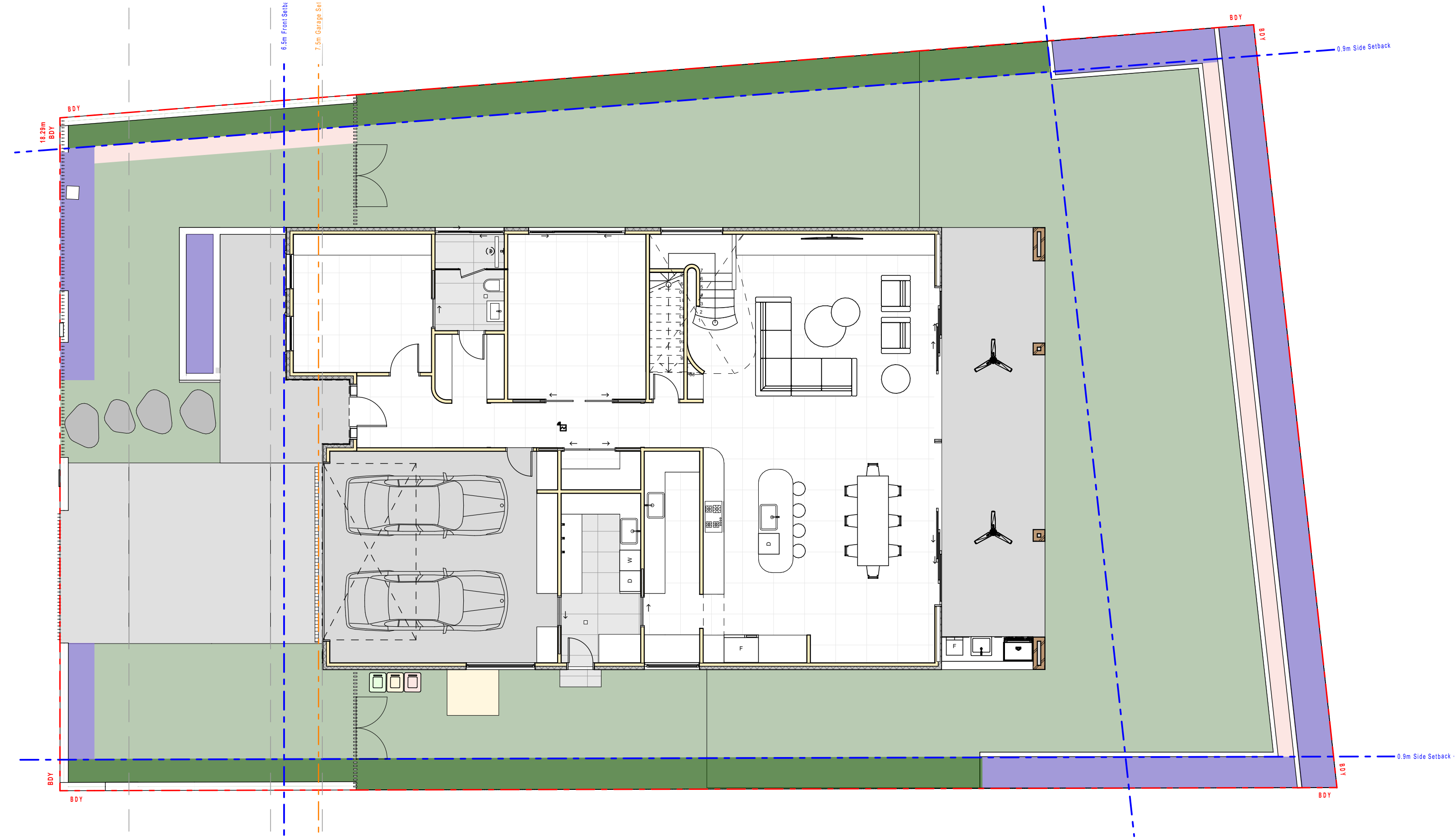
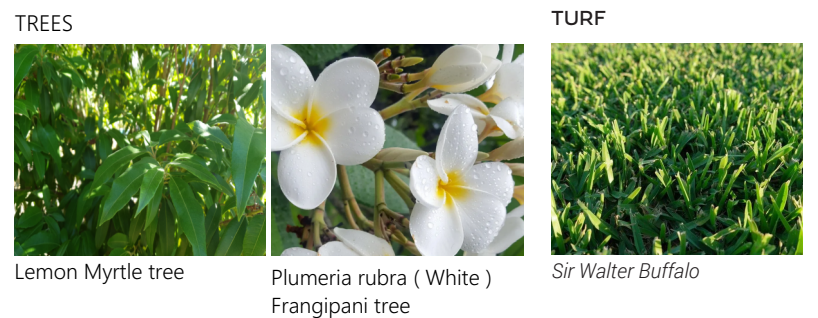
| | | | | |
|--------------|--------------------|------------|----------|-------------|
| SCALE | ISSUE | DATE | DRAWN BY | REVIEWED BY |
| NOT TO SCALE | 02 | 19/12/2024 | YZ | AP |
| @A2 | 1:100, 1:1 | | | |
| PROJECT | 46 Killarney Drive | | | |
| PROJECT | A004 | | | |

LAYOUT NAME
Site plan

PROJECT
A004

SHORE PROJECTS | sh.studio by SHORE

1/6 / 30 MADDOX ST. ALEXANDRIA, NSW 2015
 INFO@SHORE.COM.AU • 61 2 9557 0808 WWW.SHORE.COM.AU



| SYM | Botanical Name | Common Name | Mature Height | Pot Size | Spacing /m2 |
|---|-----------------------------|------------------------|---------------|----------|-------------|
| TREES | | | | | |
| Lm | Lemon Myrtle tree | Backhouseia citriodora | 8m | 100L | As shown |
| Pr | Plumeria Rubra | frangipani | 8m | 100L | As shown |
| MIX 1 - SCREENING/LARGE SHRUBS | | | | | |
| Vo | Viburnum odoratissimum | Sweet Viburnum | 4m | 200mm | 3/m2 |
| As | Acmena smithii | Common Lilly Pilly | 3m | 200mm | 3/m2 |
| Mp | Murraya paniculata | Murraya | 3m | 200mm | 3/m2 |
| MIX 2 - SMALL SHRUBS | | | | | |
| Wf | Westringia fruticosa | Blue Gem | 2m | 200mm | 4/m2 |
| Hv | Hardenbergia violacea | Purple Coral Pea | 1.5m | 200mm | 4/m2 |
| Dt | Dracaena trifasciata | Mother in law tongue | 1.0m | 100mm | 3/m2 |
| Asp | Alcantarea Silver plum | Giant bromeliad | 1.5m | 200mm | 4/m2 |
| MIX 3 - GRASSES / STRAPPY PLANTS | | | | | |
| Lh | Lomandra tanika | Slender Mat Rush | 1m | 140mm | 4/m2 |
| Fn | Ficinia nodosa | Knobby Club Rush | 1m | 140mm | 4/m2 |
| Dc | Dianella caerulea | Little Jess | 1m | 140mm | 4/m2 |
| Pa | Pennisetum alopecuroides | Nafray | 1m | 140mm | 4/m2 |
| MIX 4 - GROUND COVERS | | | | | |
| Pf | Carpobrotus glaucescens | Pig-face | 0.3m | 50mm | 6/m2 |
| La | Liriope muscari 'Amethyst' | Lilyturf | 0.4m | 150mm | 6/m2 |
| Ci | Casuarina 'Cousin It' | Cousin it | 0.2m | 150mm | 6/m2 |
| Tj | Trachelospermum jasminoides | Star Jasmine | 4m | 140mm | 6/m2 |
| Ss | Senecio serpens | Blue Chalk Sticks | 0.3m | 140mm | 6/m2 |
| Oj | Ophiopogon japonicus | Mondo Grass | 0.3m | 50mm | 6/m2 |
| Vb | Viola banksii | Native Violet | 0.3m | 50mm | 6/m2 |
| Ts | Thymus serpyllum | Creeping thyme | 0.3m | 50mm | 6/m2 |
| Tu | Sir Walter Buffalo | | | | |

LEGEND

- EXTENT OF WORKS
- PROPOSED TURF
- MIX 1 - SCREENING / LARGE SHRUBS
- MIX 2 - SMALL SHRUBS
- MIX 3 - GRASSES / STRAPPY LEAVES AND ACCENT PLANTS
- MIX 4 - GROUND COVER PLANTING
- Concrete driveway
- Tree Planting
- EXISTING TREE
- TREE TO BE RELOCATED
- TREE TO BE REMOVED
- STEEL EDGING

PROPOSED LANDSCAPE AREA

| LANDSCAPE CALCULATION | |
|---------------------------|-----------------------------|
| ZONE | M2 |
| Z1 - FRONT BUILDING LINE | 79.25 |
| Z2 - BEHIND BUILDING LINE | 337.28 |
| TOTAL | 416.53 m² |

REQUIREMENTS

| LANDSCAPE REQUIRED | | |
|--------------------|-----------------------------------|-----------------------|
| MIN POS AREA | 60 m ² (5 m W / 5 m L) | |
| MIN LANDSCAPE | 40% lot (1.5 m width) | 298.68 m ² |
| MIN SOIL DEPTH | | 1m |



LEGEND & SCHEDULE

- NOTES:
- ALL FINAL PLANT QUANTITIES INDICATED ON PLANS SHALL BE CHECKED AND VERIFIED BY SUCCESSFUL LANDSCAPE CONTRACTOR.
 - ANY PLANT SUBSTITUTES REQUIRED DUE TO UNAVAILABILITY SHALL BE RECOMMENDED BY THE LANDSCAPE CONTRACTOR TO BEST MATCH SUBSTITUTED PLANTS AND APPROVED PRIOR TO PURCHASING BY THE LANDSCAPE ARCHITECT.
 - WORKS CERTIFIED FOR FINAL OCCUPANCY CERTIFICATE ARE TO MATCH APPROVED LANDSCAPE PLANS.
 - LANDSCAPE CONTRACTOR SHALL LOCATE AND AVOID SITE STORM WATER & DRAINAGE SERVICES. LOCATE TREES A MINIMUM 1.25M FROM PTS.
 - ALL PLANTING AROUND EXISTING TREES SHALL BE ADJUSTED TO AVOID DAMAGE AND CLASHING WITH SURFACE ROOTS.

NOTES

- DRAWINGS NOT ISSUED FOR CONSTRUCTION.
- DO NOT SCALE OFF THIS DRAWING. USE NOTATED DIMENSIONS ONLY AS A GUIDE.
- VERIFY ALL DIMENSIONS ON-SITE AND RESOLVE ANY DISCREPANCIES OR OMISSIONS WITH THE SUPERINTENDANT PRIOR TO COMMENCING WORKS.
- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT SPECIFICATIONS & DRAWINGS.
- ANY DISCREPANCIES BETWEEN THESE DRAWINGS & ENGINEERING ARE TO HAVE ENGINEERS' DETAILS PREVAIL.
- THESE DESIGNS, DRAWINGS & SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF SH STUDIO AND MUST NOT BE USED, REPRODUCED OR COPIED, WHOLLY OR IN PART, WITHOUT THE WRITTEN PERMISSION OF SH STUDIO.

LEGEND

| | | | |
|--|-------------------------------|--|----------|
| | SITE BOUNDARY | | DEMOLISH |
| | SUBDIVISION LINE | | NEW |
| | PROPOSED GROUND FLOOR OUTLINE | | |
| | PROPOSED FIRST FLOOR OUTLINE | | |

SCALE: NOT TO SCALE @A2
 ISSUE: 02
 DATE: 19/12/2024
 DRAWN BY: YZ
 REVIEWED BY: AP
 PROJECT: 46 Killarney Drive

LAYOUT NAME: Landscaping Plan
 PROJECT: A005

Single Dwelling

Certificate number: 1776414S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Friday, 06 December 2024
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



| Project summary | | |
|---------------------------|---|-------------|
| Project name | 46 Killarney Drive Killarney Heights | |
| Street address | 46 KILLARNEY Drive KILLARNEY HEIGHTS 2087 | |
| Local Government Area | Northern Beaches Council | |
| Plan type and plan number | Deposited Plan DP758566 | |
| Lot no. | 47 | |
| Section no. | 72 | |
| Project type | dwelling house (detached) | |
| No. of bedrooms | 5 | |
| Project score | | |
| Water | ✓ 45 | Target 40 |
| Thermal Performance | ✓ Pass | Target Pass |
| Energy | ✓ 91 | Target 72 |
| Materials | ✓ -100 | Target n/a |

| Certificate Prepared by | |
|-------------------------|---------------------------|
| Name / Company Name: | Plan for Tomorrow Limited |
| ABN (if applicable): | |

Description of project

| Project address | | Assessor details and thermal loads | |
|--|---|---|--------------------|
| Project name | 46 Killarney Drive Killarney Heights | Assessor number | DMN/21/2023 |
| Street address | 46 KILLARNEY Drive KILLARNEY HEIGHTS 2087 | Certificate number | 4W6KF16YPX |
| Local Government Area | Northern Beaches Council | Climate zone | 56 |
| Plan type and plan number | Deposited Plan DP758566 | Area adjusted cooling load (MJ/ m ² -year) | 14 |
| Lot no. | 47 | Area adjusted heating load (MJ/ m ² -year) | 16 |
| Section no. | 72 | Project score | |
| Project type | | Water | ✓ 45 Target 40 |
| Project type | dwelling house (detached) | Thermal Performance | ✓ Pass Target Pass |
| No. of bedrooms | 5 | Energy | ✓ 91 Target 72 |
| Site details | | Materials | ✓ -100 Target n/a |
| Site area (m ²) | 747 | | |
| Roof area (m ²) | 415 | | |
| Conditioned floor area (m ²) | 343.8 | | |
| Unconditioned floor area (m ²) | 17.0 | | |
| Total area of garden and lawn (m ²) | 424 | | |
| Roof area of the existing dwelling (m ²) | 0 | | |

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

| Water Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| Fixtures | | | |
| The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development. | | ✓ | ✓ |
| The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development. | | ✓ | ✓ |
| The applicant must install taps with a minimum rating of 4 star in the kitchen in the development. | | ✓ | |
| The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development. | | ✓ | |
| Alternative water | | | |
| Rainwater tank | | | |
| The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. | ✓ | ✓ | ✓ |
| The applicant must configure the rainwater tank to collect rain runoff from at least 414.8 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam). | | ✓ | ✓ |
| The applicant must connect the rainwater tank to: | | | |
| • all toilets in the development | | ✓ | ✓ |
| • the cold water tap that supplies each clothes washer in the development | | ✓ | ✓ |
| • at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) | | ✓ | ✓ |

| Thermal Performance and Materials commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| Simulation Method | | | |
| Assessor details and thermal loads | | | |
| The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development. | | | |
| The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol. | | | |
| The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below. | | | |
| The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications. | ✓ | ✓ | ✓ |
| The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications. | | ✓ | ✓ |
| The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate. | ✓ | ✓ | ✓ |

| Thermal Performance and Materials commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|--------------------|--|-----------------|
| Construction | | | |
| The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below. | ✓ | ✓ | ✓ |
| The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below. | | | ✓ |
| Construction | | Area - m ² | Insulation |
| floor - concrete slab on ground, conventional slab. | 173.6 | expanding foam | |
| garage floor - concrete slab on ground. | 40.5 | none | |
| external wall: AAC veneer; frame: timber - H2 treated softwood. | all external walls | fibreglass batts or roll | |
| external garage wall: AAC veneer; frame: timber - H2 treated softwood. | 41.9 | none | |
| internal wall: plasterboard; frame: timber - H2 treated softwood. | 388.4 | fibreglass batts or roll | |
| ceiling and roof - flat ceiling / pitched roof, framed - metal roof, timber - H2 treated softwood. | 414.8 | ceiling: fibreglass batts or roll; roof: none. | |

| Thermal Performance and Materials commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|-------------------------------|-----------------|
| Glazing | | | |
| The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table. | ✓ | ✓ | ✓ |
| Frames | | Maximum area - m ² | |
| aluminium | | 66.67 | |
| timber | | 3.58 | |
| uPVC | | 0 | |
| steel | | 0 | |
| composite | | 0 | |
| Glazing | | Maximum area - m ² | |
| single | | 35 | |
| double | | 35.25 | |
| triple | | 0 | |

NOTES
- DRAWINGS NOT ISSUED FOR CONSTRUCTION
- DO NOT SCALE OFF THIS DRAWING. USE NOTATED DIMENSIONS ONLY AS A GUIDE.
- VERIFY ALL DIMENSIONS ON-SITE AND RESOLVE ANY DISCREPANCIES OR OMISSIONS WITH THE SUPERINTENDANT PRIOR TO COMMENCING WORKS.
- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT SPECIFICATIONS & DRAWINGS.
- ANY DISCREPANCIES BETWEEN THESE DRAWINGS & ENGINEERING ARE TO HAVE ENGINEERS' DETAILS PREVAIL.
- THESE DESIGNS, DRAWINGS & SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF SH STUDIO AND MUST NOT BE USED, REPRODUCED OR COPIED, WHOLLY OR IN PART, WITHOUT THE WRITTEN PERMISSION OF SH STUDIO.

| LEGEND | | | |
|--------|-------------------------------|--|----------|
| | SITE BOUNDARY | | DEMOLISH |
| | SUBDIVISION LINE | | NEW |
| | PROPOSED GROUND FLOOR OUTLINE | | |
| | PROPOSED FIRST FLOOR OUTLINE | | |

SCALE NOT TO SCALE @A2 1:1.57, 1:1
ISSUE 02
DATE 19/12/2024
DRAWN BY YZ
REVIEWED BY AP

PROJECT
46 Killarney Drive

LAYOUT NAME
BASIX

PROJECT
A006



Certificate No. # 4W6KF16YPX
Scan QR code or follow website link for rating details.

Assessor name: Tania Hannaford
Accreditation No.: DMN/21/2023
Property Address: 46 Killarney Drive, Killarney Heights, NSW, 2087

https://www.f5.com.au/QRCodeLanding?PublicId=4W6KF16YPX







| Energy Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| Hot water | | | |
| The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars. | ✓ | ✓ | ✓ |
| Cooling system | | | |
| The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5 | | ✓ | ✓ |
| The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5 | | ✓ | ✓ |
| Heating system | | | |
| The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0 | | ✓ | ✓ |
| The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0 | | ✓ | ✓ |
| Ventilation | | | |
| The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off | | ✓ | ✓ |
| Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off | | ✓ | ✓ |
| Laundry: natural ventilation only, or no laundry; Operation control: n/a | | ✓ | ✓ |
| Artificial lighting | | | |
| The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps. | | ✓ | ✓ |
| Natural lighting | | | |
| The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting. | ✓ | ✓ | ✓ |

| Energy Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| Alternative energy | | | |
| The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system. | ✓ | ✓ | ✓ |
| The photovoltaic system must consist of: • photovoltaic collectors with the capacity to generate at least 5 peak kilowatts of electricity, installed at an angle between 10 degrees and 25 degrees to the horizontal facing north | ✓ | ✓ | ✓ |
| Other | | | |
| The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling. | | ✓ | |
| The applicant must install a fixed outdoor clothes drying line as part of the development. | | ✓ | |

| Legend |
|--|
| In these commitments, "applicant" means the person carrying out the development. |
| Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development). |
| Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development. |
| Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued. |

NOTES

- DRAWINGS NOT ISSUED FOR CONSTRUCTION
- DO NOT SCALE OFF THIS DRAWING. USE NOTATED DIMENSIONS ONLY AS A GUIDE.
- VERIFY ALL DIMENSIONS ON-SITE AND RESOLVE ANY DISCREPANCIES OR OMISSIONS WITH THE SUPERINTENDANT PRIOR TO COMMENCING WORKS.
- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT SPECIFICATIONS & DRAWINGS.
- ANY DISCREPANCIES BETWEEN THESE DRAWINGS & ENGINEERING ARE TO HAVE ENGINEER'S DETAILS PREVAIL.
- THESE DESIGNS, DRAWINGS & SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF SH STUDIO AND MUST NOT BE USED, REPRODUCED OR COPIED, WHOLLY OR IN PART, WITHOUT THE WRITTEN PERMISSION OF SH STUDIO.

| LEGEND | |
|--|-------------------------------|
|  | SITE BOUNDARY |
|  | SUBDIVISION LINE |
|  | PROPOSED GROUND FLOOR OUTLINE |
|  | PROPOSED FIRST FLOOR OUTLINE |
|  | DEMOLISH |
|  | NEW |

SCALE NOT TO SCALE @A2 1:1.57, 1:1

ISSUE 02

DATE 19/12/2024

DRAWN BY YZ

REVIEWED BY AP

PROJECT 46 Killarney Drive

LAYOUT NAME BASIX

PROJECT A007



Certificate No. # 4W6KF16YPX

Scan QR code or follow website link for rating details.

Assessor name Tania Hannaford

Accreditation No. DMA/21/2023

Property Address 46 Killarney Drive, Killarney Heights, NSW, 2087

<https://www.f5.com.au/QRCodeLanding?PublicId=4W6KF16YPX>

SHORE PROJECTS | sh.studio by SHORE

U18 / 30 MADDOCK ST, ALEXANDRIA, NSW 2015
INFO@SHORE.COM.AU • 61 2 9557 0808 WWW.SHORE.COM.AU

| 4W6KF6YPX NatHERS Certificate | | | | | 7 Star Rating as of 3 Dec 2024 | | | | |
|-------------------------------|-----------------------------------|-----|----------|------|--------------------------------|--|--|--|--|
| SHR | INTFLRR - Intermediate Floor R4.0 | 1.5 | Enclosed | R4.0 | Tiles | | | | |
| Master Ensuite | INTFLRR - Intermediate Floor R4.0 | 8.2 | Enclosed | R4.0 | Tiles | | | | |
| Master Ensuite | INTFLRR - Intermediate Floor R4.0 | 0.9 | Enclosed | R4.0 | Tiles | | | | |
| Upper Hallway | INTFLRR - Intermediate Floor R4.0 | 2.7 | Enclosed | R4.0 | Carpet | | | | |
| Upper Hallway | INTFLRR - Intermediate Floor R4.0 | 8.9 | Enclosed | R4.0 | Carpet | | | | |
| Leisure | INTFLRR - Intermediate Floor R4.0 | 35 | Enclosed | R4.0 | Carpet | | | | |
| Leisure | INTFLRR - Intermediate Floor R4.0 | 6.2 | Enclosed | R4.0 | Carpet | | | | |

| 4W6KF6YPX NatHERS Certificate | | | | | 7 Star Rating as of 3 Dec 2024 | | | | |
|-------------------------------|--------------|------|-----|--|--------------------------------|--|--|--|--|
| Ensuite 4 | Plasterboard | R6.0 | Yes | | | | | | |
| Ensuite 3 | Plasterboard | R6.0 | Yes | | | | | | |
| Bedroom 3 | Plasterboard | R6.0 | Yes | | | | | | |
| Bedroom 3 | Plasterboard | R6.0 | Yes | | | | | | |
| Bedroom 3 | Plasterboard | R2.5 | Yes | | | | | | |
| WIR 3 | Plasterboard | R6.0 | Yes | | | | | | |
| Bedroom 2 | Plasterboard | R2.5 | Yes | | | | | | |
| Bedroom 2 | Plasterboard | R6.0 | Yes | | | | | | |
| WIR 2 | Plasterboard | R2.5 | Yes | | | | | | |
| WIR 2 | Plasterboard | R6.0 | Yes | | | | | | |
| Ensuite 2 | Plasterboard | R2.5 | Yes | | | | | | |
| Ensuite 2 | Plasterboard | R6.0 | Yes | | | | | | |
| WIL | Plasterboard | R6.0 | Yes | | | | | | |
| Master Bedroom | Plasterboard | R2.5 | Yes | | | | | | |
| Master Bedroom | Plasterboard | R6.0 | Yes | | | | | | |
| Master Bedroom | Plasterboard | R2.5 | Yes | | | | | | |
| Master Bedroom | Plasterboard | R6.0 | Yes | | | | | | |
| Master WIR | Plasterboard | R6.0 | Yes | | | | | | |
| Master WIR | Plasterboard | R2.5 | Yes | | | | | | |
| SHR | Plasterboard | R2.5 | Yes | | | | | | |
| SHR | Plasterboard | R6.0 | Yes | | | | | | |
| Master Ensuite | Plasterboard | R6.0 | Yes | | | | | | |
| Master Ensuite | Plasterboard | R2.5 | Yes | | | | | | |
| Upper Hallway | Plasterboard | R6.0 | Yes | | | | | | |
| Upper Hallway | Plasterboard | R6.0 | Yes | | | | | | |
| Leisure | Plasterboard | R6.0 | Yes | | | | | | |
| Leisure | Plasterboard | R2.5 | Yes | | | | | | |

| 4W6KF6YPX NatHERS Certificate | | | | | 7 Star Rating as of 3 Dec 2024 | | | | |
|-------------------------------|-----------------------------------|--|------------------|--|--------------------------------|--|--|--|--|
| Location | Construction material/type | Bulk insulation R-value [may include edge batt values] | Reflective wrap* | | | | | | |
| Double Garage | INTFLRR - Intermediate Floor R4.0 | R4.0 | No | | | | | | |
| Study/Guest Bedroom | INTFLRR - Intermediate Floor R4.0 | R4.0 | No | | | | | | |
| Entry/Hallway 1 | INTFLRR - Intermediate Floor R4.0 | R4.0 | No | | | | | | |
| Hallway 2 | INTFLRR - Intermediate Floor R4.0 | R4.0 | No | | | | | | |
| Home Theatre | INTFLRR - Intermediate Floor R4.0 | R4.0 | No | | | | | | |
| WIL | INTFLRR - Intermediate Floor R4.0 | R4.0 | No | | | | | | |
| Laundry | INTFLRR - Intermediate Floor R4.0 | R4.0 | No | | | | | | |
| WIP | INTFLRR - Intermediate Floor R4.0 | R4.0 | No | | | | | | |
| Store | INTFLRR - Intermediate Floor R4.0 | R4.0 | No | | | | | | |
| Ensuite | INTFLRR - Intermediate Floor R4.0 | R4.0 | No | | | | | | |
| Kitchen/Din/Liv- ng | Plasterboard | R6.0 | Yes | | | | | | |
| Kitchen/Din/Liv- ng | INTFLRR - Intermediate Floor R4.0 | R4.0 | No | | | | | | |
| Bedroom 4 | Plasterboard | R2.5 | Yes | | | | | | |
| Bedroom 4 | Plasterboard | R6.0 | Yes | | | | | | |
| WIR 4 | Plasterboard | R2.5 | Yes | | | | | | |
| WIR 4 | Plasterboard | R6.0 | Yes | | | | | | |
| Ensuite 4 | Plasterboard | R2.5 | Yes | | | | | | |

| 4W6KF6YPX NatHERS Certificate | | | | | 7 Star Rating as of 3 Dec 2024 | | | | |
|-------------------------------|----------|--------------|-------------|------------|--------------------------------|--|--|--|--|
| Location | Quantity | Type | Height [mm] | Width [mm] | Sealed/unsealed | | | | |
| Laundry | 1 | Exhaust Fans | 250 | 250 | Sealed | | | | |
| Ensuite | 1 | Exhaust Fans | 250 | 250 | Sealed | | | | |
| Kitchen/Din/Living | 1 | Exhaust Fans | 250 | 250 | Sealed | | | | |
| Kitchen/Din/Living | 1 | Heater Flues | 300 | 300 | Unsealed | | | | |
| Ensuite 4 | 1 | Exhaust Fans | 250 | 250 | Sealed | | | | |
| Ensuite 3 | 1 | Exhaust Fans | 250 | 250 | Sealed | | | | |
| Ensuite 2 | 1 | Exhaust Fans | 250 | 250 | Sealed | | | | |
| Master Ensuite | 1 | Exhaust Fans | 250 | 250 | Sealed | | | | |

| 4W6KF6YPX NatHERS Certificate | | | | | 7 Star Rating as of 3 Dec 2024 | | | | |
|--|----------------------------|-------------------|---------------------|--|--------------------------------|--|--|--|--|
| Location | Added insulation [R-value] | Solar absorptance | Roof shade [colour] | | | | | | |
| Framed Flat - Flat Framed (Metal Deck) | 0.0 | 0.67 | Dark | | | | | | |
| Cont.Altic-Continuous | 0.0 | 0.67 | Dark | | | | | | |

| 4W6KF6YPX NatHERS Certificate | | | | | 7 Star Rating as of 3 Dec 2024 | | | | |
|-------------------------------|---|--------------------|--------------------------|-------------------------|--------------------------------|--|--|--|--|
| Building element | Steel section dimensions [height x width, mm] | Frame spacing [mm] | Steel thickness [BMT,mm] | Thermal break [R-value] | | | | | |
| No Data Available | | | | | | | | | |

| 4W6KF6YPX NatHERS Certificate | | | | | 7 Star Rating as of 3 Dec 2024 | | | | |
|---|----------|-----------|---------------------------------|----------------------|--------------------------------|--|--|--|--|
| Appliance/ system type | Location | Fuel type | Minimum efficiency/ performance | Recommended capacity | | | | | |
| No Whole of Home performance assessment conducted for this certificate. | | | | | | | | | |

| 4W6KF6YPX NatHERS Certificate | | | | | 7 Star Rating as of 3 Dec 2024 | | | | |
|---|----------|-----------|---------------------------------|----------------------|--------------------------------|--|--|--|--|
| Appliance/ system type | Location | Fuel type | Minimum efficiency/ performance | Recommended capacity | | | | | |
| No Whole of Home performance assessment conducted for this certificate. | | | | | | | | | |

| 4W6KF6YPX NatHERS Certificate | | | | | 7 Star Rating as of 3 Dec 2024 | | | | |
|---|----------|-----------|---------------------------------|----------------------|--------------------------------|--|--|--|--|
| Appliance/ system type | Location | Fuel type | Minimum efficiency/ performance | Recommended capacity | | | | | |
| No Whole of Home performance assessment conducted for this certificate. | | | | | | | | | |

| 4W6KF6YPX NatHERS Certificate | | | | | 7 Star Rating as of 3 Dec 2024 | | | | |
|---|----------|-----------|---------------------------------|----------------------|--------------------------------|--|--|--|--|
| Appliance/ system type | Location | Fuel type | Minimum efficiency/ performance | Recommended capacity | | | | | |
| No Whole of Home performance assessment conducted for this certificate. | | | | | | | | | |

| 4W6KF6YPX NatHERS Certificate | | | | | 7 Star Rating as of 3 Dec 2024 | | | | |
|---|----------|-----------|---------------------------------|----------------------|--------------------------------|--|--|--|--|
| Appliance/ system type | Location | Fuel type | Minimum efficiency/ performance | Recommended capacity | | | | | |
| No Whole of Home performance assessment conducted for this certificate. | | | | | | | | | |

| 4W6KF6YPX NatHERS Certificate | | | | | 7 Star Rating as of 3 Dec 2024 | | | | |
|-------------------------------|--|--|--|--|--------------------------------|--|--|--|--|
| STCs | Small-scale Technology Certificates, certificates created by the REC registry for renewable energy technologies that may be brought and used as part of the Small-scale Renewable Energy Scheme operated by the Clean Energy Regulatory Authority | | | | | | | | |
| Thermal breaks | are materials with an R-value greater than or equal to 0.2 that must separate the metal frame from the cladding. This includes, but is not limited to, materials such as timber battens greater than or equal to 20mm thick, continuous thermal breaks such as polystyrene insulation sheathing, plastic strips or furring channels. | | | | | | | | |
| U-value | the rate of heat transfer through a window. The lower the U-value, the better the insulating ability. | | | | | | | | |
| Unconditioned | a zone within a dwelling that is assumed to not require heating and cooling based on standard occupancy assumptions. | | | | | | | | |
| Vertical shading features | provides shading to the building in the vertical plane and can be parallel or perpendicular to the subject wall/window. Includes privacy screens, other walls in the building (using walls), fences, other buildings, vegetation (protected or labeled heritage trees). | | | | | | | | |
| Window shading device | a device fixed to windows that provides shading e.g. window awnings or screens but excludes horizontal or vertical shading features* (eg eaves and balconies) | | | | | | | | |

| 4W6KF6YPX NatHERS Certificate | | | | | 7 Star Rating as of 3 Dec 2024 | | | | |
|--|---|--|--|--|--------------------------------|--|--|--|--|
| Annual energy load | the predicted amount of energy required for heating and cooling, based on standard occupancy assumptions. | | | | | | | | |
| AFRC | Australian Fenestration Rating Council | | | | | | | | |
| Assessed floor area | the floor area modelled in the software for the purpose of the NatHERS assessment. Note, this may not be consistent with the floor area in the design documents. | | | | | | | | |
| Ceiling penetrations | features that require a penetration to the ceiling, including downlights, vents, exhaust fans, range hoods, chimneys and flues. Excludes fixtures attached to the ceiling with small holes through the ceiling for wiring, e.g. ceiling fans, pendant lights, and heat and cooling ducts. | | | | | | | | |
| Conditioned | a zone within a dwelling that is expected to require heating and cooling based on standard occupancy assumptions. In some circumstances it will include garages. | | | | | | | | |
| CCP | Coefficient of performance | | | | | | | | |
| Custom windows | windows listed in NatHERS software that are available on the market in Australia and have a WERS (Window Energy Rating Scheme) rating. | | | | | | | | |
| Default windows | windows that are representative of a specific type of window product and whose properties have been derived by statistical methods. | | | | | | | | |
| EER | Energy Efficiency Ratio, measure of how much cooling can be achieved by an air conditioner for a single kWh of electricity input. | | | | | | | | |
| Energy use | This is your homes rating without solar or batteries. | | | | | | | | |
| Energy value | The net cost to society including, but not limited to, costs to the building user, the environment and energy networks (as defined in the ABCB Housing Provisions Standard). | | | | | | | | |
| Entrance door | those equity-ventilation benefits in the modelling software and must not be modelled as a door when opening to a normally ventilated corridor in a Class 2 building. | | | | | | | | |
| Exposure category – exposed | terrain with no obstructions e.g. flat grazing land, ocean-frontage, exposed high-rise unit (usually above 10 floors). | | | | | | | | |
| Exposure category – open | terrain with few obstructions at a similar height e.g. grasslands with few well scattered obstructions below 10m, farmland with scattered sheds, lightly vegetated bush blocks, elevated units (e.g. above 3 floors). | | | | | | | | |
| Exposure category – suburban | terrain with numerous, closely spaced obstructions below 10m e.g. suburban housing, heavily vegetated bushland areas. | | | | | | | | |
| Exposure category – protected | terrain with numerous, closely spaced obstructions over 10m e.g. city and industrial areas. | | | | | | | | |
| Horizontal shading feature | provides shading to the building in the horizontal plane, e.g. eaves, verandahs, pergolas, carports, or overhangs or balconies from upper levels. | | | | | | | | |
| National Construction Code (NCC) Class | the NCC groups buildings by their function and use, and assigns a classification code. NatHERS software models NCC Class 1, 2 or 4 buildings and attached Class 10a buildings. Definitions can be found at www.abcb.gov.au. | | | | | | | | |
| Net zero home | a home that achieves a net zero energy value.* | | | | | | | | |
| Opening percentage | the operability percentage or operable (movable) area of doors or windows that is used in ventilation calculations. | | | | | | | | |
| Provisional value | an assumed value that does not represent an actual value. For example, if the wall colour is unspecified in the documentation, a provisional value of 'medium' must be modelled. Acceptable provisional values are outlined in the NatHERS technical Note and can be found at www.nathers.gov.au. | | | | | | | | |
| Recommended capacity | this is the capacity or size of equipment that is recommended by NatHERS to achieve the desired comfort conditions in the zone or zones serviced. This is a recommendation and the final selection sizing should be confirmed by a suitably qualified person. | | | | | | | | |
| Reflective wrap (also known as foil) | can be applied to walls, roofs and ceilings. When combined with an appropriate air gap and emissivity value, it provides insulative properties. | | | | | | | | |
| Roof window | for NatHERS this is typically an operable window (i.e. can be opened), will have a plaster or similar light well if there is an attic space, and generally does not have a diffuser. | | | | | | | | |
| Shading features | includes neighbouring buildings, fences, and wing walls, but excludes eaves. | | | | | | | | |
| Solar heat gain coefficient (SHGC) | the fraction of incident solar radiation admitted through a window, both directly transmitted as well as absorbed and subsequently re-emitted. SHGC is expressed as a number between 0 and 1. The lower a window's SHGC, the less solar heat it transmits. | | | | | | | | |
| Skylight (also known as roof light) | for NatHERS this is typically a moulded unit with flexible reflective tubing (light wells) and a diffuser at ceiling level. | | | | | | | | |

*Refer to glossary. Generated on 3 Dec 2024 using FirstRates: 5.5.5a (3.22) for 4772/DP758566, 46 Killarney Drive, Killarney Heights, NSW, 2087. Page 11 of 16

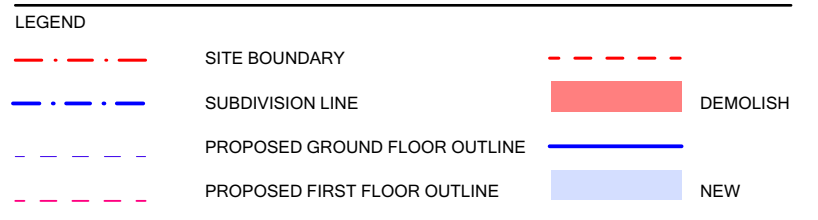
*Refer to glossary. Generated on 3 Dec 2024 using FirstRates: 5.5.5a (3.22) for 4772/DP758566, 46 Killarney Drive, Killarney Heights, NSW, 2087. Page 12 of 16

*Refer to glossary. Generated on 3 Dec 2024 using FirstRates: 5.5.5a (3.22) for 4772/DP758566, 46 Killarney Drive, Killarney Heights, NSW, 2087. Page 13 of 16

*Refer to glossary. Generated on 3 Dec 2024 using FirstRates: 5.5.5a (3.22) for 4772/DP758566, 46 Killarney Drive, Killarney Heights, NSW, 2087. Page 14 of 16

*Refer to glossary. Generated on 3 Dec 2024 using FirstRates: 5.5.5a (3.22) for 4772/DP758566, 46 Killarney Drive, Killarney Heights, NSW, 2087. Page 15 of 16

NOTES
- DRAWINGS NOT ISSUED FOR CONSTRUCTION
- DO NOT SCALE OFF THIS DRAWING. USE NOTATED DIMENSIONS ONLY AS A GUIDE.
- VERIFY ALL DIMENSIONS ON-SITE AND RESOLVE ANY DISCREPANCIES OR OMISSIONS WITH THE SUPERINTENDANT PRIOR TO COMMENCING WORKS.
- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT SPECIFICATIONS & DRAWINGS.
- ANY DISCREPANCIES BETWEEN THESE DRAWINGS & ENGINEERING ARE TO HAVE ENGINEERS' DETAILS PREVAIL.
- THESE DESIGNS, DRAWINGS & SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF SH STUDIO AND MUST NOT BE USED, REPRODUCED OR COPIED, WHOLLY OR IN PART, WITHOUT THE WRITTEN PERMISSION OF SH STUDIO.



| SCALE | ISSUE | DATE | DRAWN BY | REVIEWED BY |
|--------------|-------------|------------|----------|-------------|
| NOT TO SCALE | 02 | 19/12/2024 | YZ | AP |
| @A2 | 1:1.82, 1:1 | | | |

PROJECT
46 Killarney Drive

LAYOUT NAME
NatHERS

PROJECT
A009

SHORE PROJECTS
sh.studio
by SHORE

UNI / 30 MADDOX ST, ALEXANDRIA, NSW 2015
INFO@SHORE.COM.AU • +61 2 9557 0808 WWW.SHORE.COM.AU

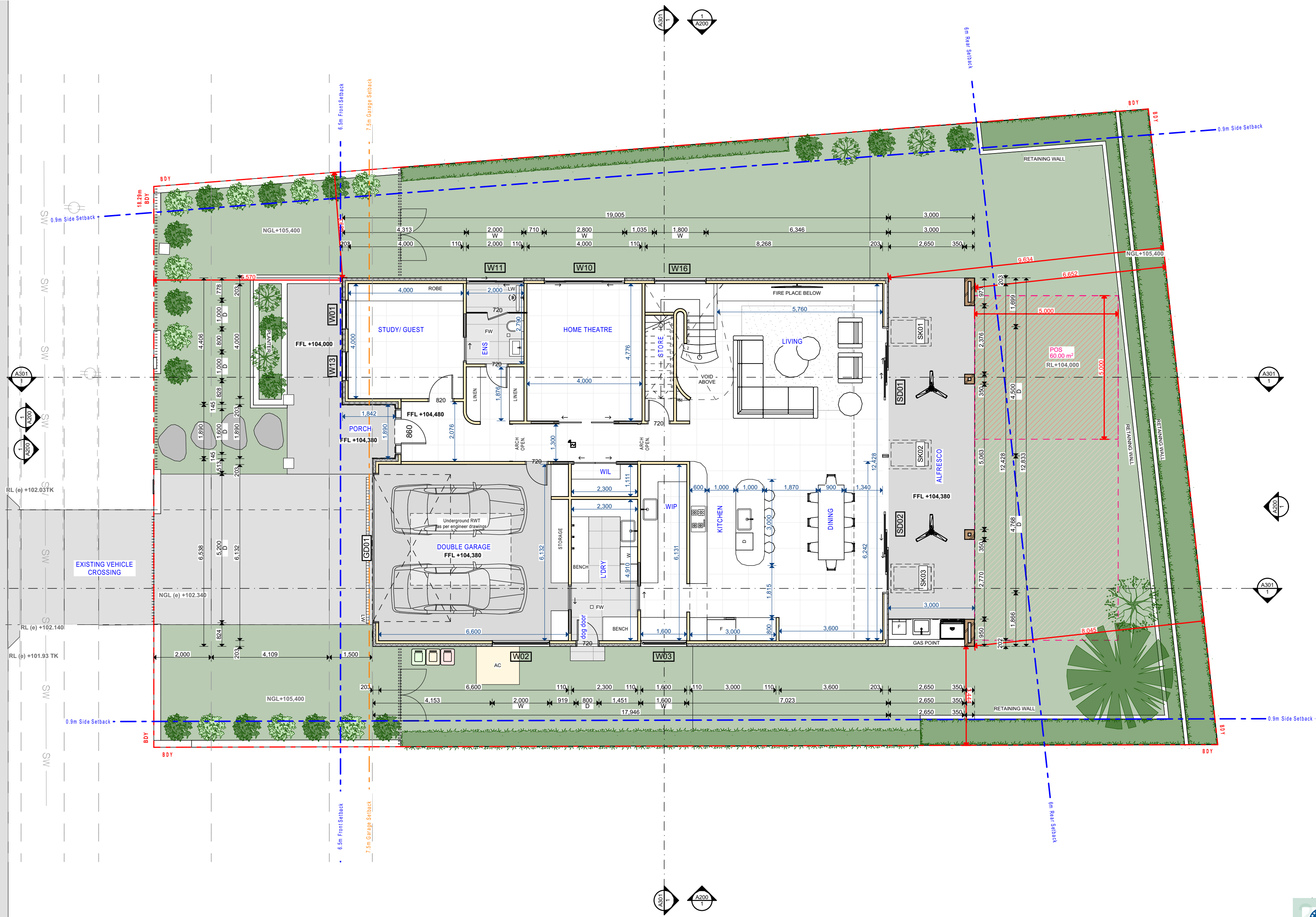
Certificate No. # 4W6KF6YPX

Scan QR code or follow website link for rating details.

| | | |
|-------------------|--|--|
| Assessor name | Tania Hannaford | |
| Accreditation No. | DMN/21/2023 | |
| Property Address | 46 Killarney Drive, Killarney Heights, NSW, 2087 | |

<https://www.if5.com.au/QRCodeLanding?PublicId=4W6KF6YPX>

KILLARNEY DR



Ground Floor
1:100

NOTES
 - DRAWINGS NOT ISSUED FOR CONSTRUCTION.
 - DO NOT SCALE OFF THIS DRAWING. USE NOTATED DIMENSIONS ONLY AS A GUIDE.
 - VERIFY ALL DIMENSIONS ON-SITE AND RESOLVE ANY DISCREPANCIES OR OMISSIONS WITH THE SUPERINTENDANT PRIOR TO COMMENCING WORKS.
 - ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT SPECIFICATIONS & DRAWINGS.
 - ANY DISCREPANCIES BETWEEN THESE DRAWINGS & ENGINEERING ARE TO HAVE ENGINEERS' DETAILS PREVAIL.
 - THESE DESIGNS, DRAWINGS & SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF SH STUDIO AND MUST NOT BE USED, REPRODUCED OR COPIED, WHOLLY OR IN PART, WITHOUT THE WRITTEN PERMISSION OF SH STUDIO.

| LEGEND | |
|--------|-------------------------------|
| | SITE BOUNDARY |
| | SUBDIVISION LINE |
| | PROPOSED GROUND FLOOR OUTLINE |
| | DEMOLISH |
| | NEW |
| | PROPOSED FIRST FLOOR OUTLINE |

| SCALE | ISSUE | DATE | DRAWN BY | REVIEWED BY |
|--------------|------------|------------|----------|-------------|
| NOT TO SCALE | 02 | 19/12/2024 | YZ | AP |
| @A2 | 1:100, 1:1 | | | |

PROJECT
46 Killarney Drive

| LAYOUT NAME | PROJECT |
|--------------|---------|
| Ground Floor | A202 |



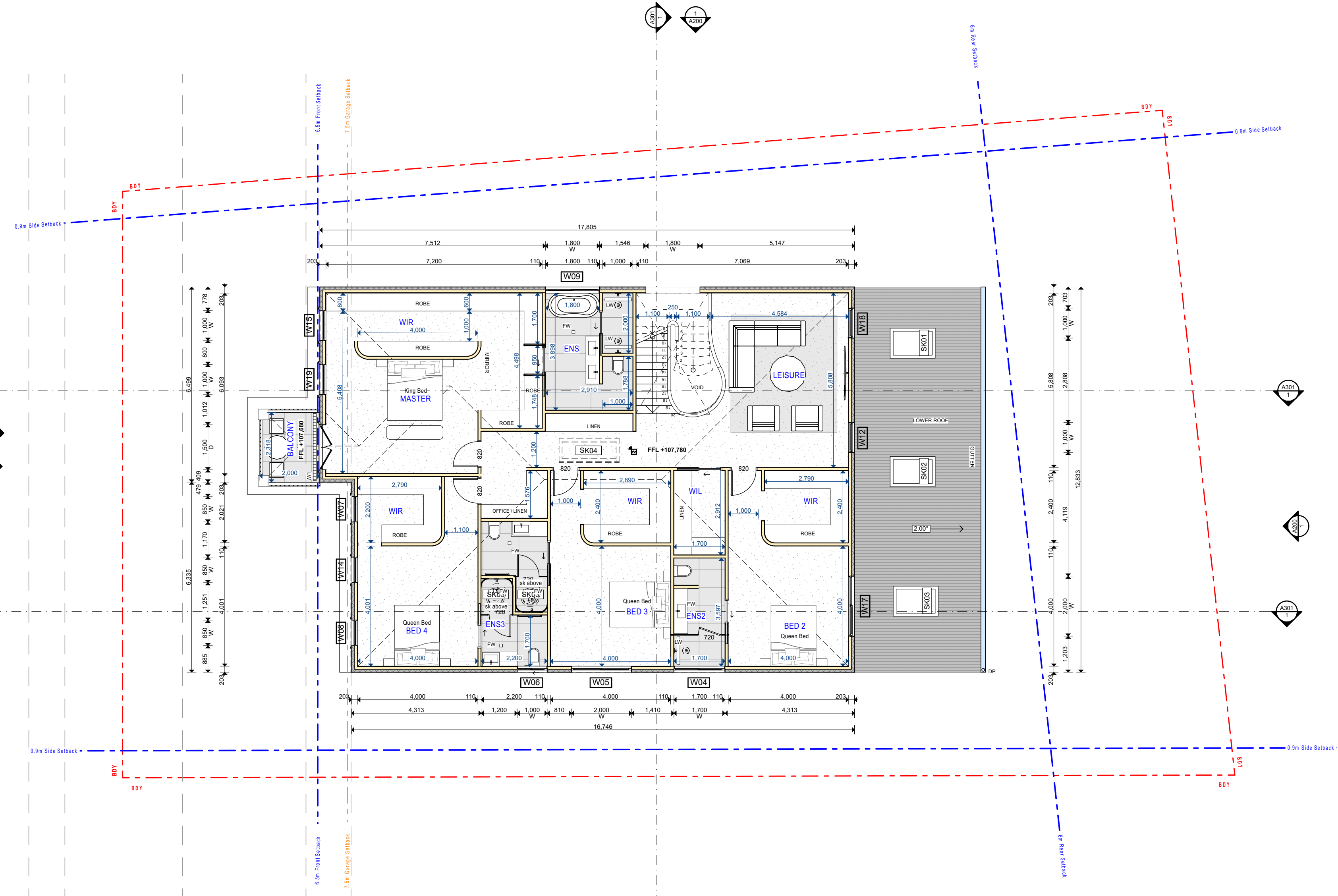
SHORE PROJECTS | sh.studio
by SHORE

Certificate No. # 4W6KF16YPX
 Scan QR code or follow website link for rating details.

| | |
|-------------------|---|
| Assessor name | Tania Hannaford |
| Accreditation No. | DMN/212023 |
| Property Address | 46 Killarney Drive, Killarney Heights, NSW, 2087 |

<https://www.f5.com.au/QRCodeLanding?PublicId=4W6KF16YPX>

KILLARNEY DR



1. First Floor
1:100

NOTES
 - DRAWINGS NOT ISSUED FOR CONSTRUCTION
 - DO NOT SCALE OFF THIS DRAWING. USE NOTATED DIMENSIONS ONLY AS A GUIDE.
 - VERIFY ALL DIMENSIONS ON-SITE AND RESOLVE ANY DISCREPANCIES OR OMISSIONS WITH THE SUPERINTENDANT PRIOR TO COMMENCING WORKS.
 - ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT SPECIFICATIONS & DRAWINGS.
 - ANY DISCREPANCIES BETWEEN THESE DRAWINGS & ENGINEERING ARE TO HAVE ENGINEER'S DETAILS PREVAIL.
 - THESE DESIGNS, DRAWINGS & SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF SH STUDIO AND MUST NOT BE USED, REPRODUCED OR COPIED, WHOLLY OR IN PART, WITHOUT THE WRITTEN PERMISSION OF SH STUDIO.

| LEGEND | |
|--------|-------------------------------|
| | SITE BOUNDARY |
| | SUBDIVISION LINE |
| | PROPOSED GROUND FLOOR OUTLINE |
| | PROPOSED FIRST FLOOR OUTLINE |
| | DEMOLISH |
| | NEW |

| SCALE | ISSUE | DATE | DRAWN BY | REVIEWED BY |
|--------------|------------|------------|----------|-------------|
| NOT TO SCALE | 02 | 19/12/2024 | YZ | AP |
| @A2 | 1:100, 1:1 | | | |

PROJECT
46 Killarney Drive

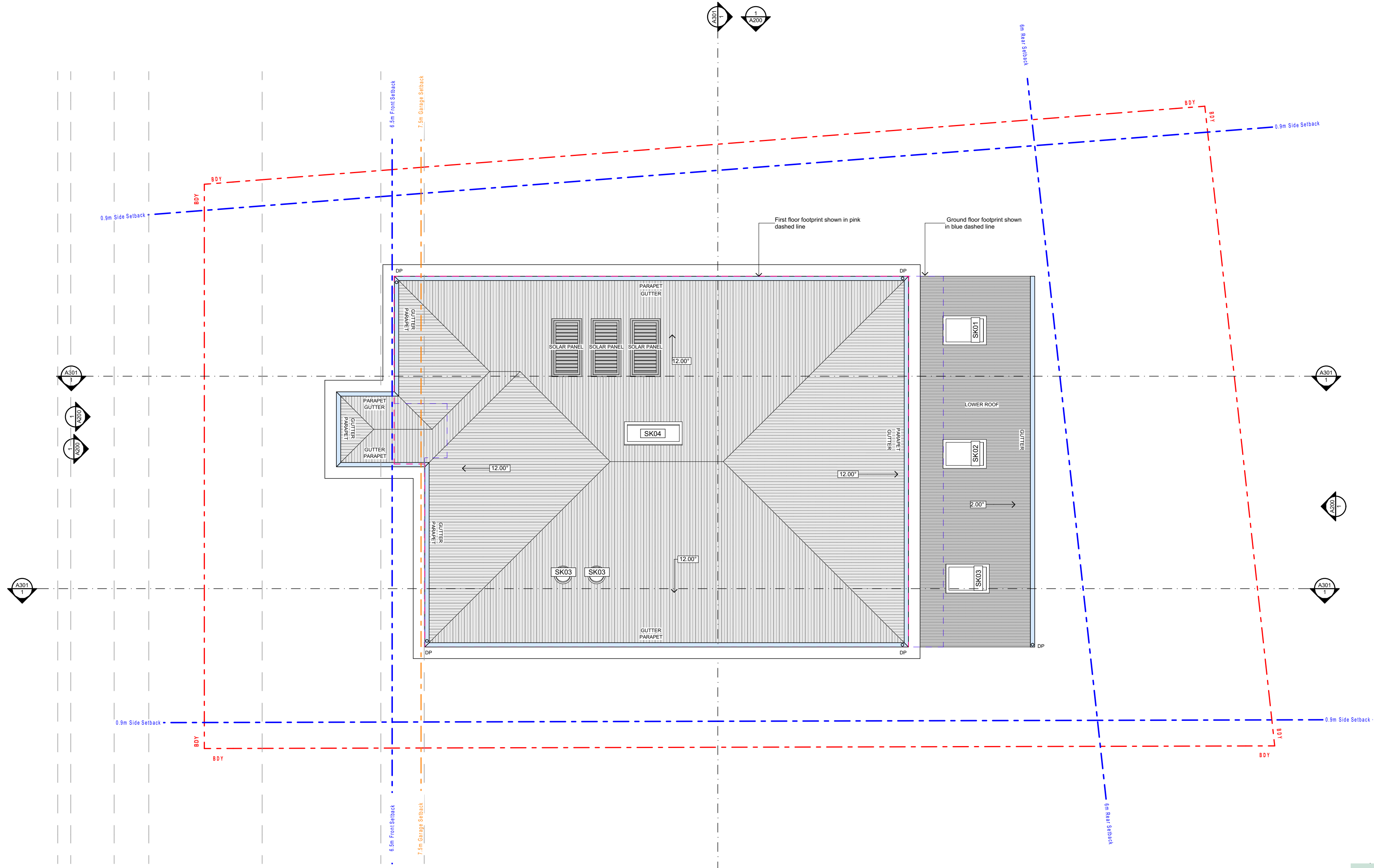
| LAYOUT NAME | PROJECT |
|-------------|---------|
| First Floor | A203 |

Certificate No. # 4W6KF16YPX
 Scan QR code or follow website link for rating details.

Assessor name: Tania Hannaford
 Accreditation No.: DMN/21/2023
 Property Address: 46 Killarney Drive, Killarney Heights, NSW, 2087

<https://www.if5.com.au/QRCodeLanding?PublicId=4W6KF16YPX>

KILLARNEY DR



2. Roof
1:100

NOTES

- DRAWINGS NOT ISSUED FOR CONSTRUCTION
- DO NOT SCALE OFF THIS DRAWING. USE NOTATED DIMENSIONS ONLY AS A GUIDE.
- VERIFY ALL DIMENSIONS ON-SITE AND RESOLVE ANY DISCREPANCIES OR OMISSIONS WITH THE SUPERINTENDANT PRIOR TO COMMENCING WORKS.
- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT SPECIFICATIONS & DRAWINGS.
- ANY DISCREPANCIES BETWEEN THESE DRAWINGS & ENGINEERING ARE TO HAVE ENGINEER'S DETAILS PREVAIL.
- THESE DESIGNS, DRAWINGS & SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF SH STUDIO AND MUST NOT BE USED, REPRODUCED OR COPIED, WHOLLY OR IN PART, WITHOUT THE WRITTEN PERMISSION OF SH STUDIO.

LEGEND

| | | | |
|--|-------------------------------|--|----------|
| | SITE BOUNDARY | | DEMOLISH |
| | SUBDIVISION LINE | | NEW |
| | PROPOSED GROUND FLOOR OUTLINE | | |
| | PROPOSED FIRST FLOOR OUTLINE | | |

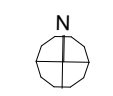
SCALE NOT TO SCALE
@A2 1:100, 1:1

ISSUE 02
DATE 19/12/2024
DRAWN BY YZ
REVIEWED BY AP

PROJECT
46 Killarney Drive

LAYOUT NAME
Roof

PROJECT
A204

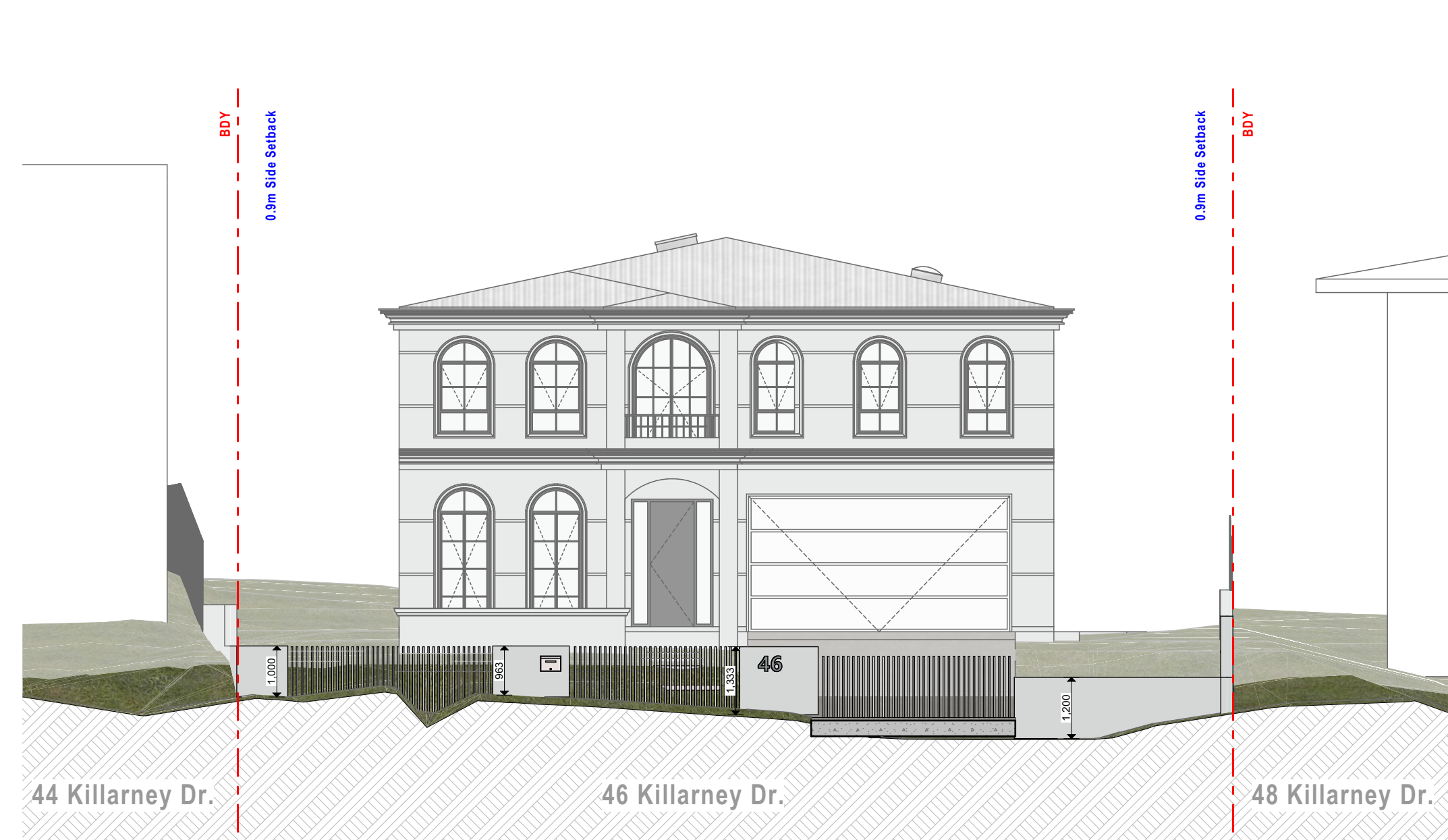


Certificate No. # 4W6KF16YPX

Scan QR code or follow website link for rating details.

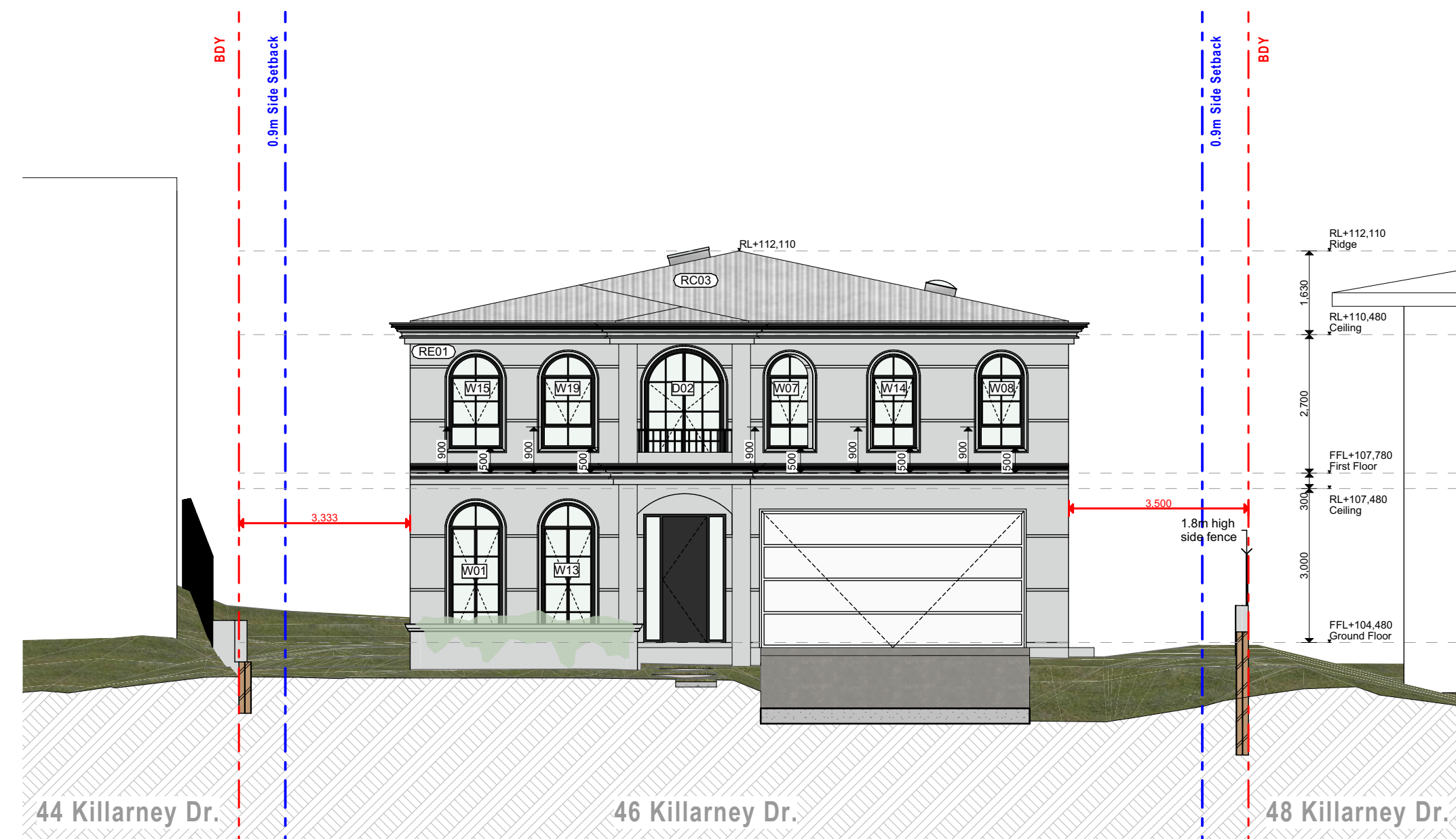
Assessor name Tania Hannaford
Accreditation No. DMN/21/2023
Property Address 46 Killarney Drive, Killarney Heights, NSW, 2087

<https://www.f5.com.au/QRCodeLanding?PublicId=4W6KF16YPX>

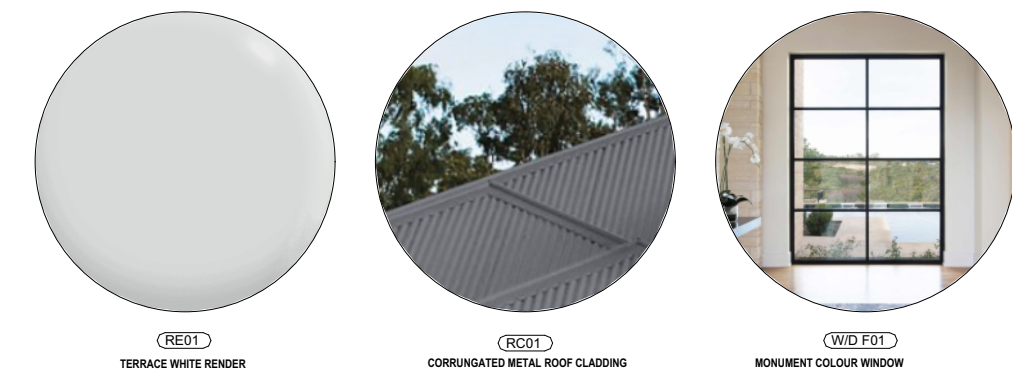


1 Street Facade - West
1:100

3 Rear Facade - East
1:100



Front Facade - West
1:100



NOTES
 - DRAWINGS NOT ISSUED FOR CONSTRUCTION
 - DO NOT SCALE OFF THIS DRAWING. USE NOTATED DIMENSIONS ONLY AS A GUIDE.
 - VERIFY ALL DIMENSIONS ON-SITE AND RESOLVE ANY DISCREPANCIES OR OMISSIONS WITH THE SUPERINTENDANT PRIOR TO COMMENCING WORKS.
 - ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT SPECIFICATIONS & DRAWINGS.
 - ANY DISCREPANCIES BETWEEN THESE DRAWINGS & ENGINEERING ARE TO HAVE ENGINEERS' DETAILS PREVAIL.
 - THESE DESIGNS, DRAWINGS & SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF SH STUDIO AND MUST NOT BE USED, REPRODUCED OR COPIED, WHOLLY OR IN PART, WITHOUT THE WRITTEN PERMISSION OF SH STUDIO.

| LEGEND | |
|--------|-------------------------------|
| | SITE BOUNDARY |
| | SUBDIVISION LINE |
| | PROPOSED GROUND FLOOR OUTLINE |
| | DEMOLISH |
| | NEW |
| | PROPOSED FIRST FLOOR OUTLINE |

SCALE: NOT TO SCALE
 ISSUE: 02
 DATE: 19/12/2024
 DRAWN BY: YZ
 REVIEWED BY: AP

PROJECT: 46 Killarney Drive

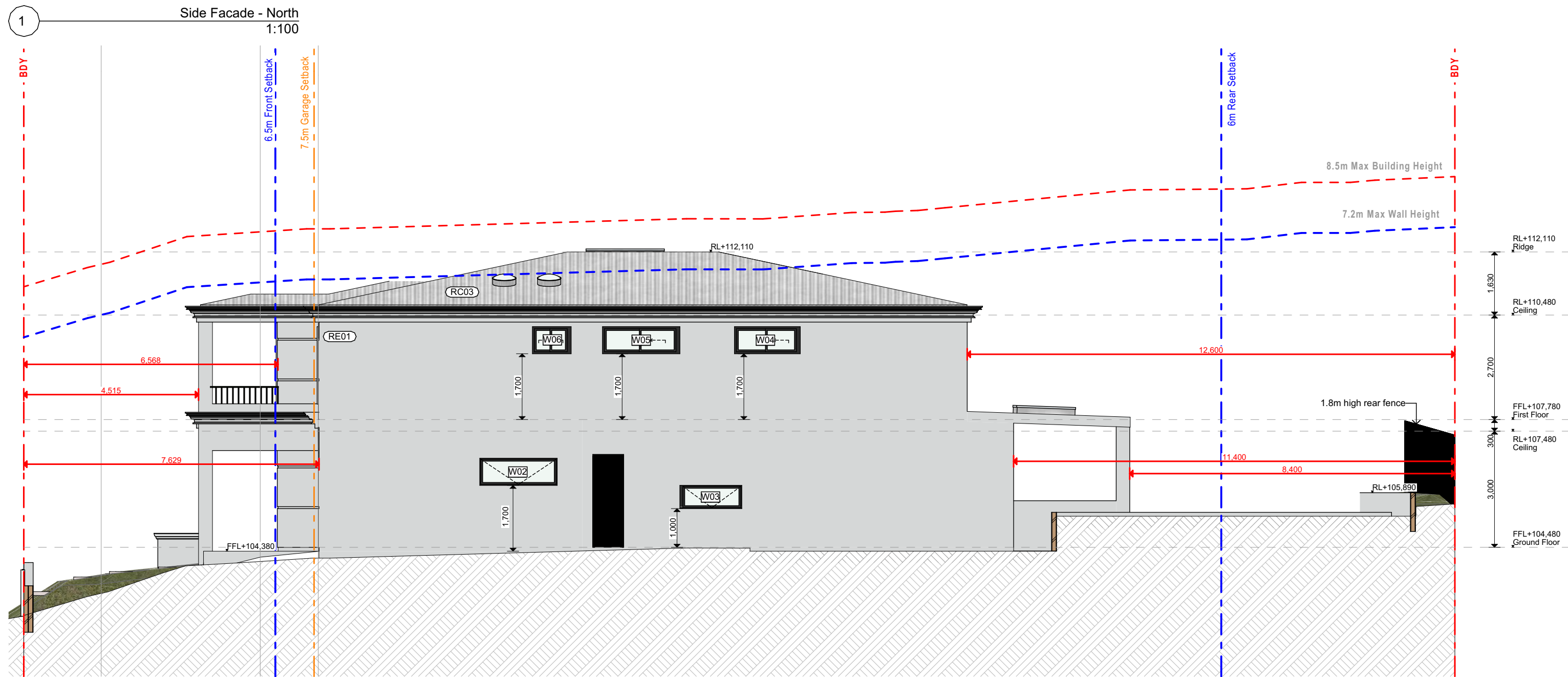
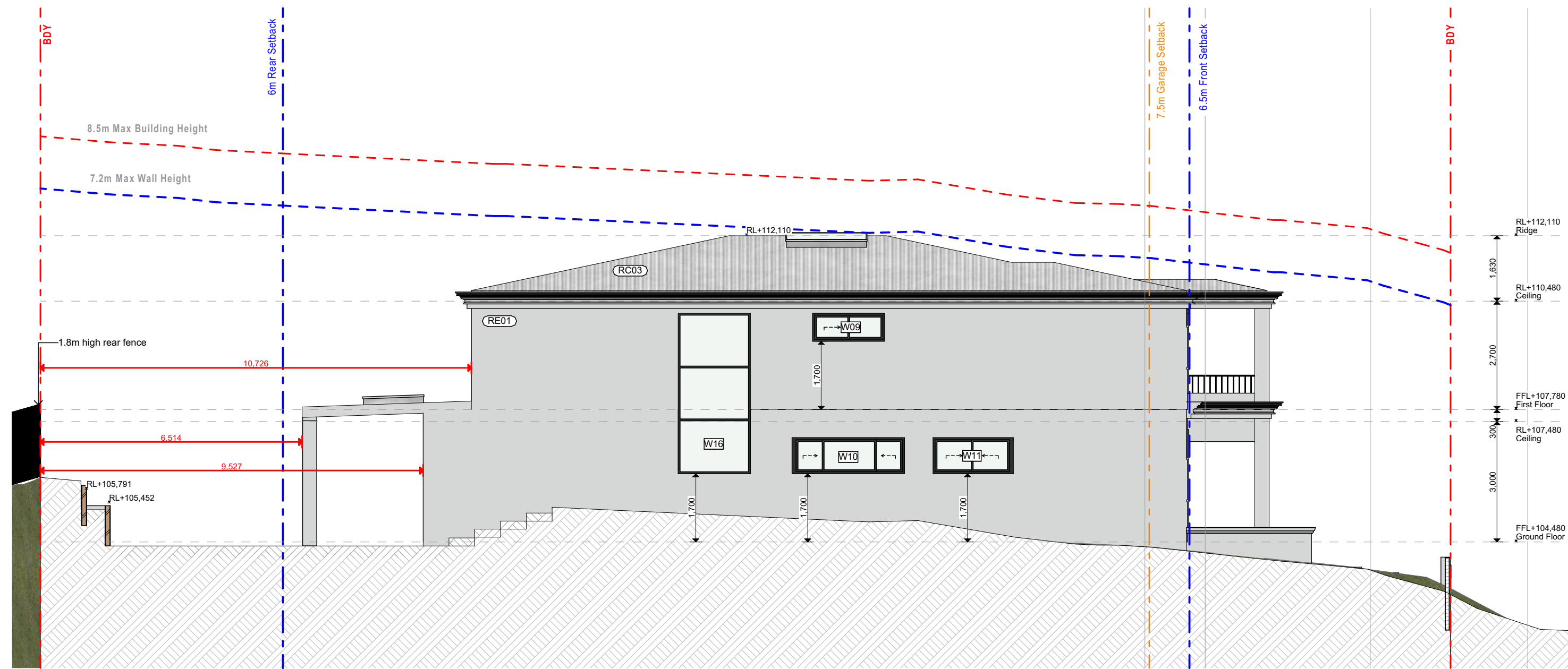
LAYOUT NAME: Elevations

PROJECT: A301



SHORE PROJECTS | sh.studio
 by SHORE

1/6 / 30 MADDOCK ST. ALEXANDRIA, NSW 2015
 INFO@SHORE.COM.AU • 61 2 9557 0808 WWW.SHORE.COM.AU

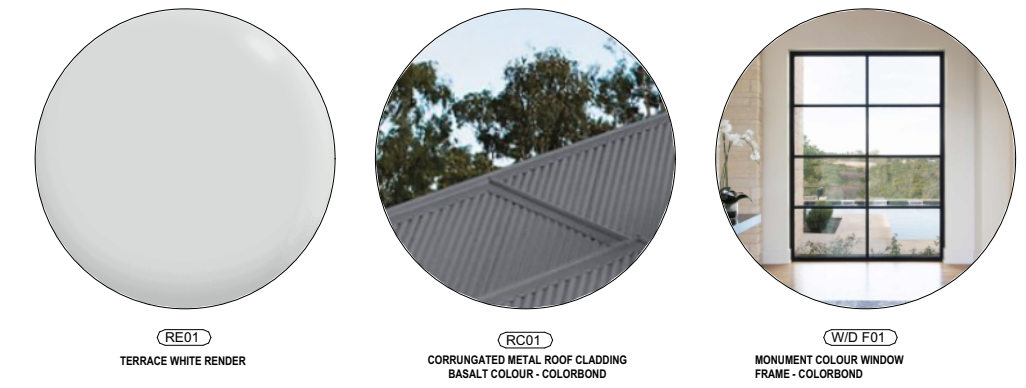


Certificate No. # 4W6KF16YPX

Scan QR code or follow website link for rating details.

Assessor name: Tania Hannaford
 Accreditation No.: DMN/212023
 Property Address: 46 Killarney Drive, Killarney Heights, NSW, 2087

<https://www.f5.com.au/QRCodeLanding?PublicId=4W6KF16YPX>



NOTES

- DRAWINGS NOT ISSUED FOR CONSTRUCTION
- DO NOT SCALE OFF THIS DRAWING. USE NOTATED DIMENSIONS ONLY AS A GUIDE.
- VERIFY ALL DIMENSIONS ON-SITE AND RESOLVE ANY DISCREPANCIES OR OMISSIONS WITH THE SUPERINTENDANT PRIOR TO COMMENCING WORKS
- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT SPECIFICATIONS & DRAWINGS
- ANY DISCREPANCIES BETWEEN THESE DRAWINGS & ENGINEERING ARE TO HAVE ENGINEERS' DETAILS PREVAIL.
- THESE DESIGNS, DRAWINGS & SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF SH STUDIO AND MUST NOT BE USED, REPRODUCED OR COPIED, WHOLLY OR IN PART, WITHOUT THE WRITTEN PERMISSION OF SH STUDIO.

LEGEND

| | | | |
|--|-------------------------------|--|----------|
| | SITE BOUNDARY | | DEMOLISH |
| | SUBDIVISION LINE | | NEW |
| | PROPOSED GROUND FLOOR OUTLINE | | |
| | PROPOSED FIRST FLOOR OUTLINE | | |

SCALE: NOT TO SCALE @A2 1:100, 1:227.33, 1:1

ISSUE: 02

DATE: 19/12/2024

DRAWN BY: YZ

REVIEWED BY: AP

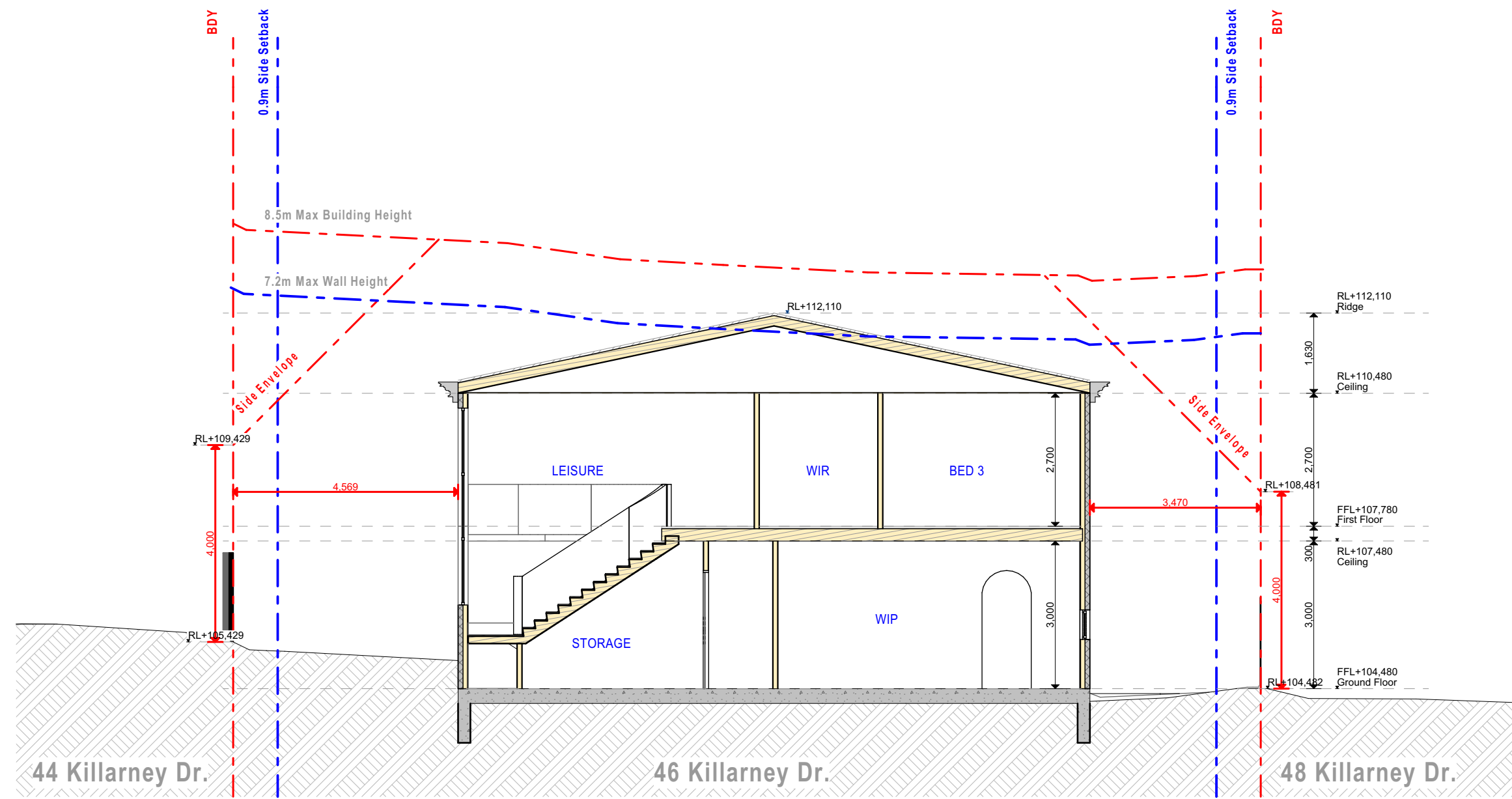
PROJECT: 46 Killarney Drive

LAYOUT NAME: Elevations

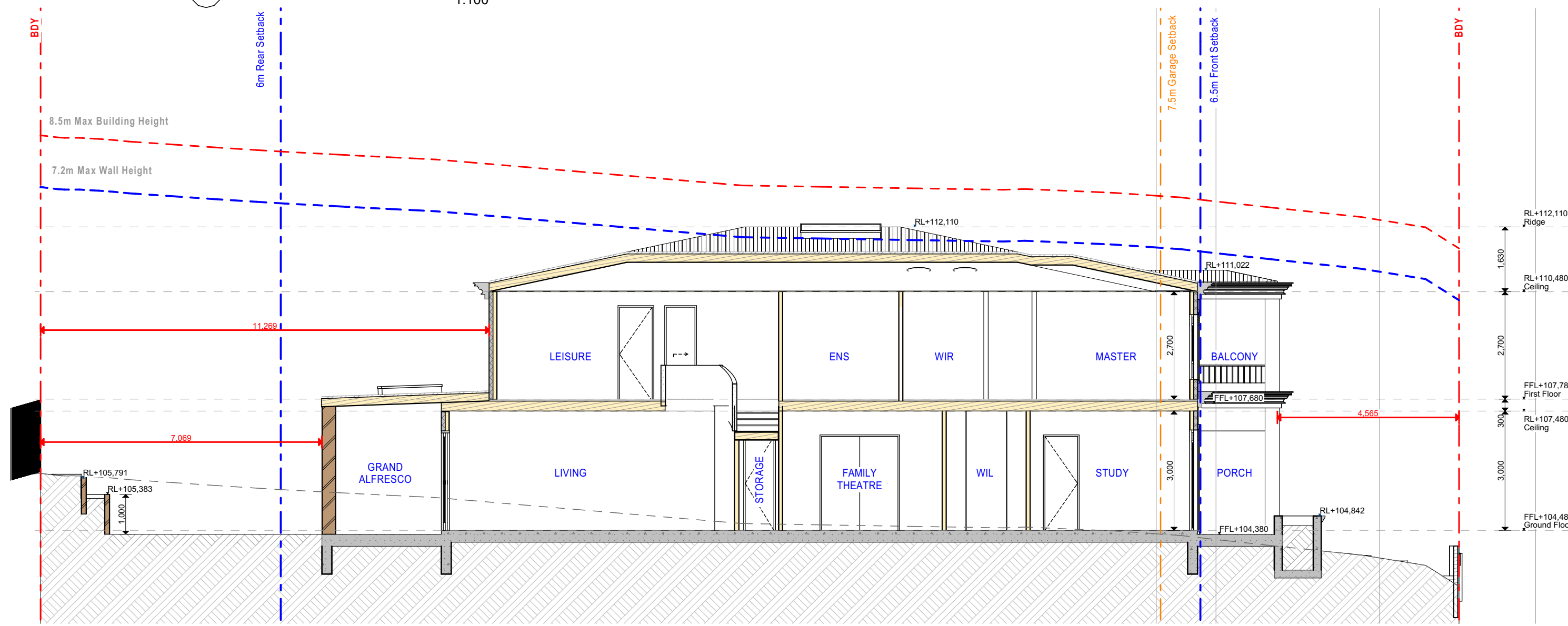
PROJECT: A302

SHORE PROJECTS | sh.studio by SHORE

1/6 / 30 MADDOCK ST. ALEXANDRIA, NSW 2015
 INFO@SHORE.COM.AU • 61 2 9557 0808 WWW.SHORE.COM.AU



1 Cross section 1:100



2 Long section 1:100

Certificate No. # 4W6KF16YPX

Scan QR code or follow website link for rating details.

Assessor name: Tania Hannaford
 Accreditation No.: DMN/212023
 Property Address: 46 Killarney Drive, Killarney Heights, NSW, 2087

<https://www.f5.com.au/QRCodeLanding?PublicId=4W6KF16YPX>

NOTES

- DRAWINGS NOT ISSUED FOR CONSTRUCTION
- DO NOT SCALE OFF THIS DRAWING. USE NOTATED DIMENSIONS ONLY AS A GUIDE.
- VERIFY ALL DIMENSIONS ON-SITE AND RESOLVE ANY DISCREPANCIES OR OMISSIONS WITH THE SUPERINTENDANT PRIOR TO COMMENCING WORKS.
- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT SPECIFICATIONS & DRAWINGS.
- ANY DISCREPANCIES BETWEEN THESE DRAWINGS & ENGINEERING ARE TO HAVE ENGINEER'S DETAILS PREVAIL.
- THESE DESIGNS, DRAWINGS & SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF SH STUDIO AND MUST NOT BE USED, REPRODUCED OR COPIED, WHOLLY OR IN PART, WITHOUT THE WRITTEN PERMISSION OF SH STUDIO.

| LEGEND | |
|--------|-------------------------------|
| | SITE BOUNDARY |
| | SUBDIVISION LINE |
| | PROPOSED GROUND FLOOR OUTLINE |
| | DEMOLISH |
| | NEW |
| | PROPOSED FIRST FLOOR OUTLINE |

SCALE: NOT TO SCALE @A2 1:100, 1:1

ISSUE: 02

DATE: 19/12/2024

DRAWN BY: YZ

REVIEWED BY: AP

PROJECT: 46 Killarney Drive

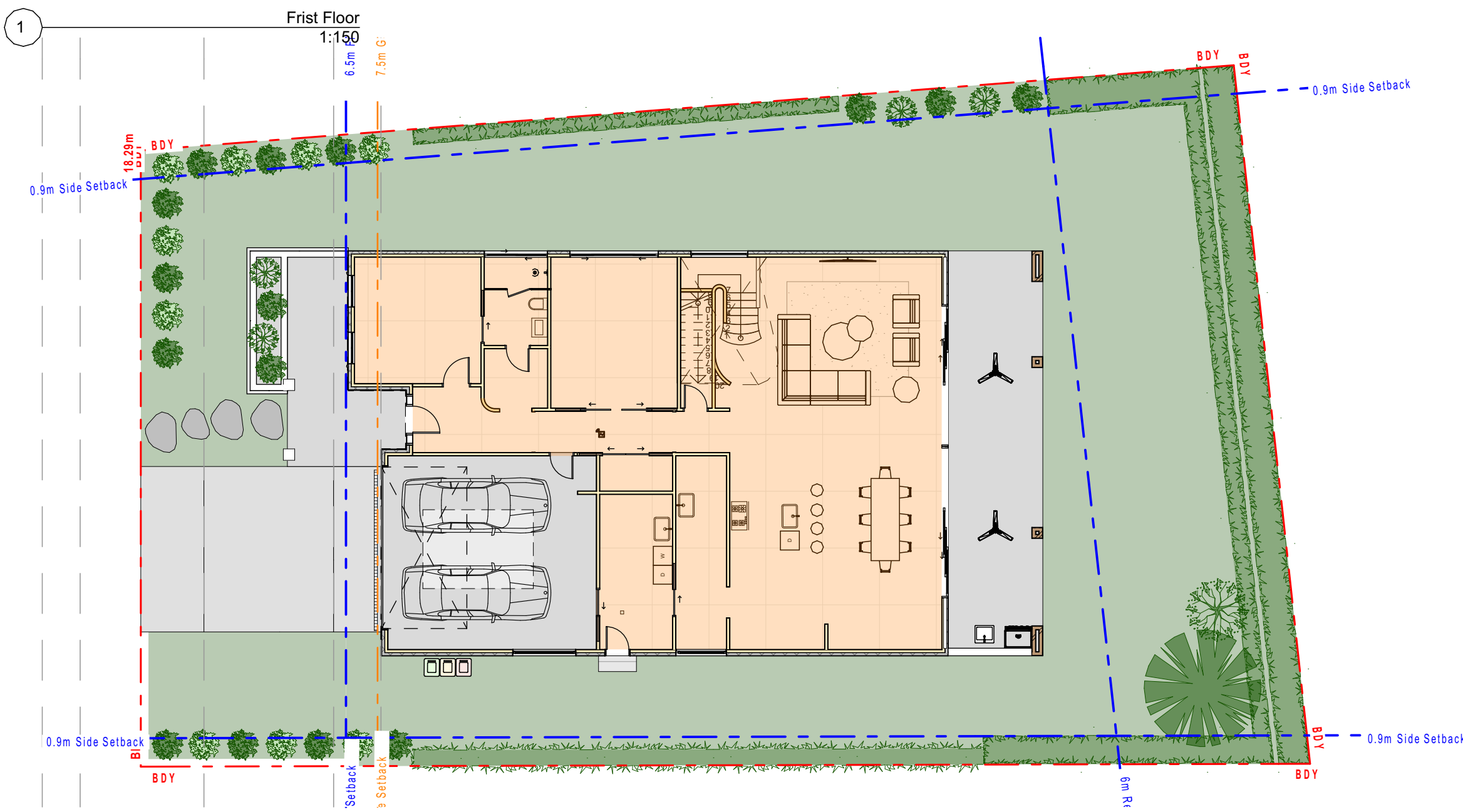
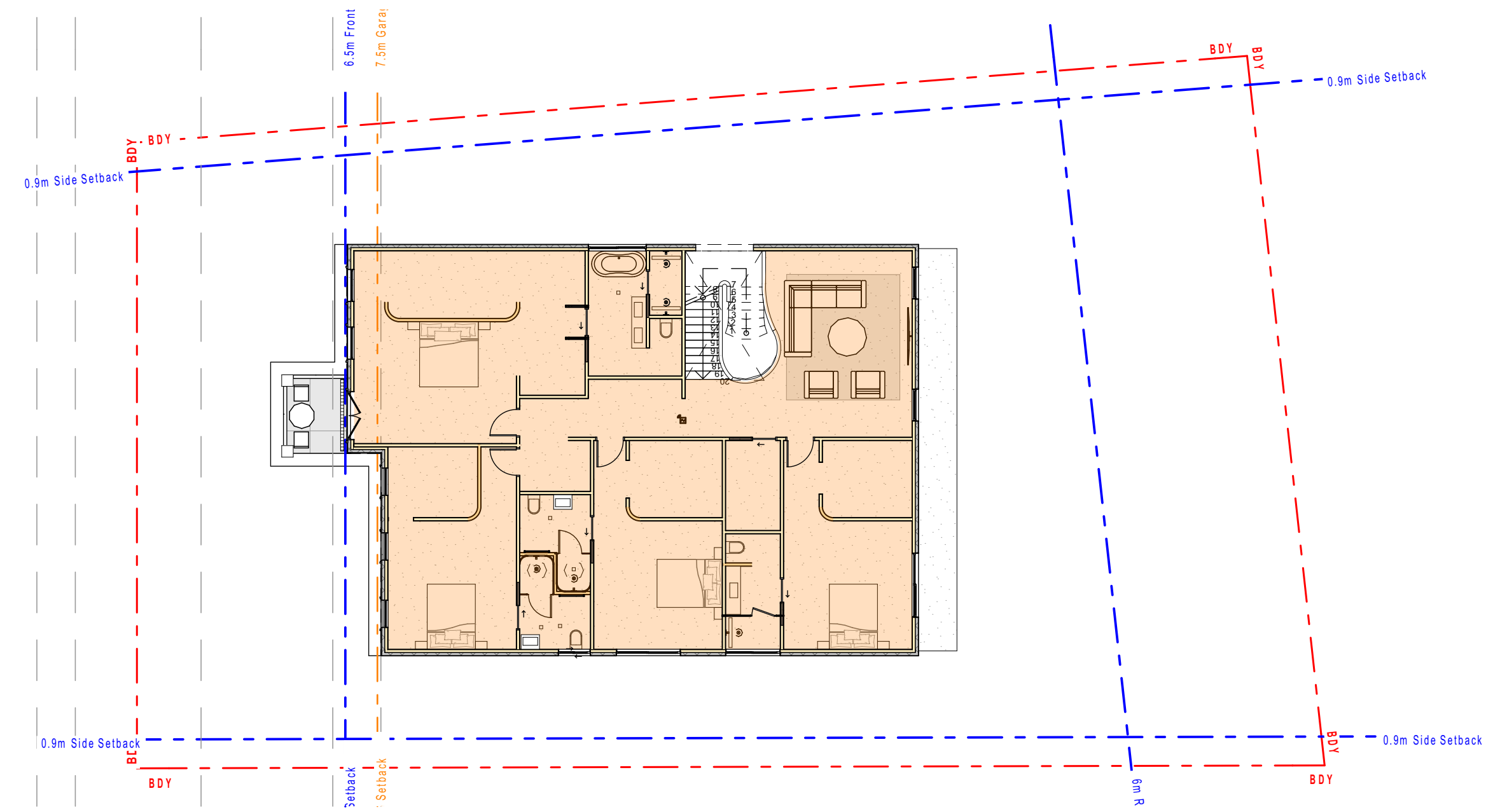
LAYOUT NAME: Sections

PROJECT: A303



SHORE PROJECTS | sh.studio by SHORE

U16 / 30 MADDOX ST. ALEXANDRIA, NSW 2015
 INFO@SHORE.COM.AU • 61 2 9557 0808 WWW.SHORE.COM.AU



1
Frist Floor
1:150

NOTES
 - DRAWINGS NOT ISSUED FOR CONSTRUCTION
 - DO NOT SCALE OFF THIS DRAWING. USE NOTATED DIMENSIONS ONLY AS A GUIDE.
 - VERIFY ALL DIMENSIONS ON-SITE AND RESOLVE ANY DISCREPANCIES OR OMISSIONS WITH THE SUPERINTENDANT PRIOR TO COMMENCING WORKS.
 - ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT SPECIFICATIONS & DRAWINGS.
 - ANY DISCREPANCIES BETWEEN THESE DRAWINGS & ENGINEERING ARE TO HAVE ENGINEERS' DETAILS PREVAIL.
 - THESE DESIGNS, DRAWINGS & SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF SH STUDIO AND MUST NOT BE USED, REPRODUCED OR COPIED, WHOLLY OR IN PART, WITHOUT THE WRITTEN PERMISSION OF SH STUDIO.

LEGEND

| | | | |
|--|-------------------------------|--|----------|
| | SITE BOUNDARY | | DEMOLISH |
| | SUBDIVISION LINE | | NEW |
| | PROPOSED GROUND FLOOR OUTLINE | | |
| | PROPOSED FIRST FLOOR OUTLINE | | |

SCALE NOT TO SCALE @A2 1:113.51, 1:1, 1:150
 ISSUE 02
 DATE 19/12/2024
 DRAWN BY YZ
 REVIEWED BY AP
 PROJECT 46 Killarney Drive

GFA CALCULATION

| Storey | m2 |
|--------------|-----------------------------|
| First Floor | 198.88 |
| Ground Floor | 179.96 |
| Total | 378.84 m² |

LANDSCAPE CALCULATION

| ZONE | M2 |
|---------------------------|-----------------------------|
| Z1 - FRONT BUILDING LINE | 79.25 |
| Z2 - BEHIND BUILDING LINE | 337.28 |
| Total | 416.53 m² |

PLOT INFORMATION - DA

DWELLING

| | |
|-------------------|---------------------------------------|
| ADDRESS | 46 Killarney Drive, Killarney Heights |
| ESTIMATE FRONTAGE | 24.33 m |
| SITE AREA | 746.7 m ² |

Northern Beaches DCP 2011

| | |
|---------------------|-------|
| MAX BUILDING HEIGHT | 8.5 m |
| MAX WALL HEIGHT | 7.2 m |

SETBACKS

| | |
|------------------------|----------|
| PRIMARY ROAD | 6.5 m |
| SIDE SETBACK GF | 0.9 m |
| REAR SETBACK | 6 m |
| SIDE BOUNDARY ENVELOPE | 4 m, 45° |

LANDSCAPE REQUIRED

| | |
|----------------|--|
| MIN POS AREA | 60 m ² (5 m W / 5 m L) |
| MIN LANDSCAPE | 40 % lot (1.5 m width) 298.68 m ² |
| MIN SOIL DEPTH | 1m |

| | |
|---------------------|------------|
| PARKING RATE | 1.5 spaces |
| VISITOR CAR PARKING | 0.1 spaces |

ZONE R2 LOW DENSITY RESIDENTIAL



Certificate No. # 4W6KF16YPX

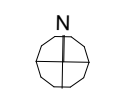
Scan QR code or follow website link for rating details.

Assessor name: Tania Hannaford
 Accreditation No.: DMN/21/2023
 Property Address: 46 Killarney Drive, Killarney Heights, NSW, 2087

<https://www.f5.com.au/QRCodeLanding?PublicId=4W6KF16YPX>

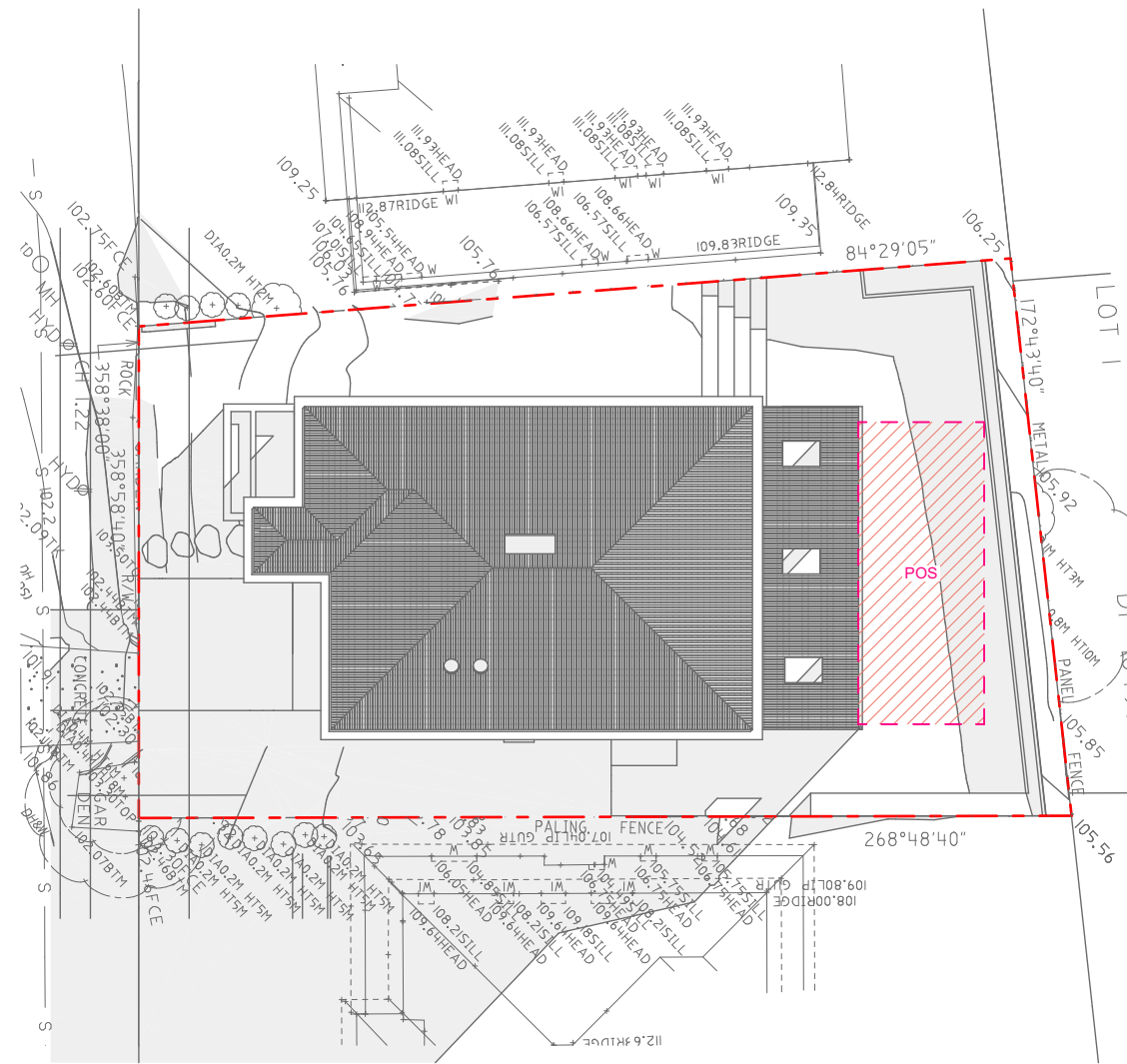
LAYOUT NAME
Control Plans

PROJECT
A401

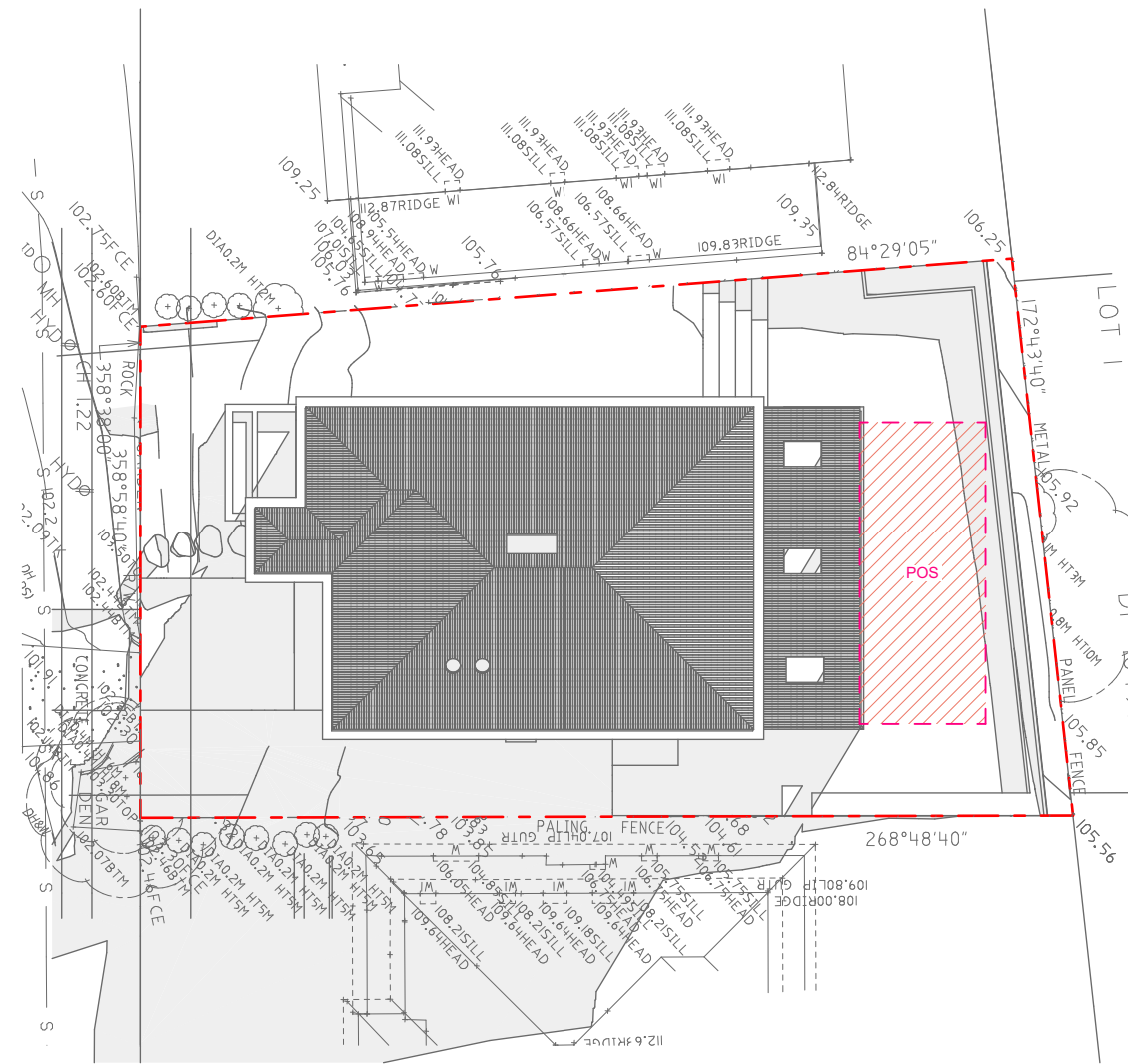


SHORE PROJECTS | sh.studio
 by SHORE

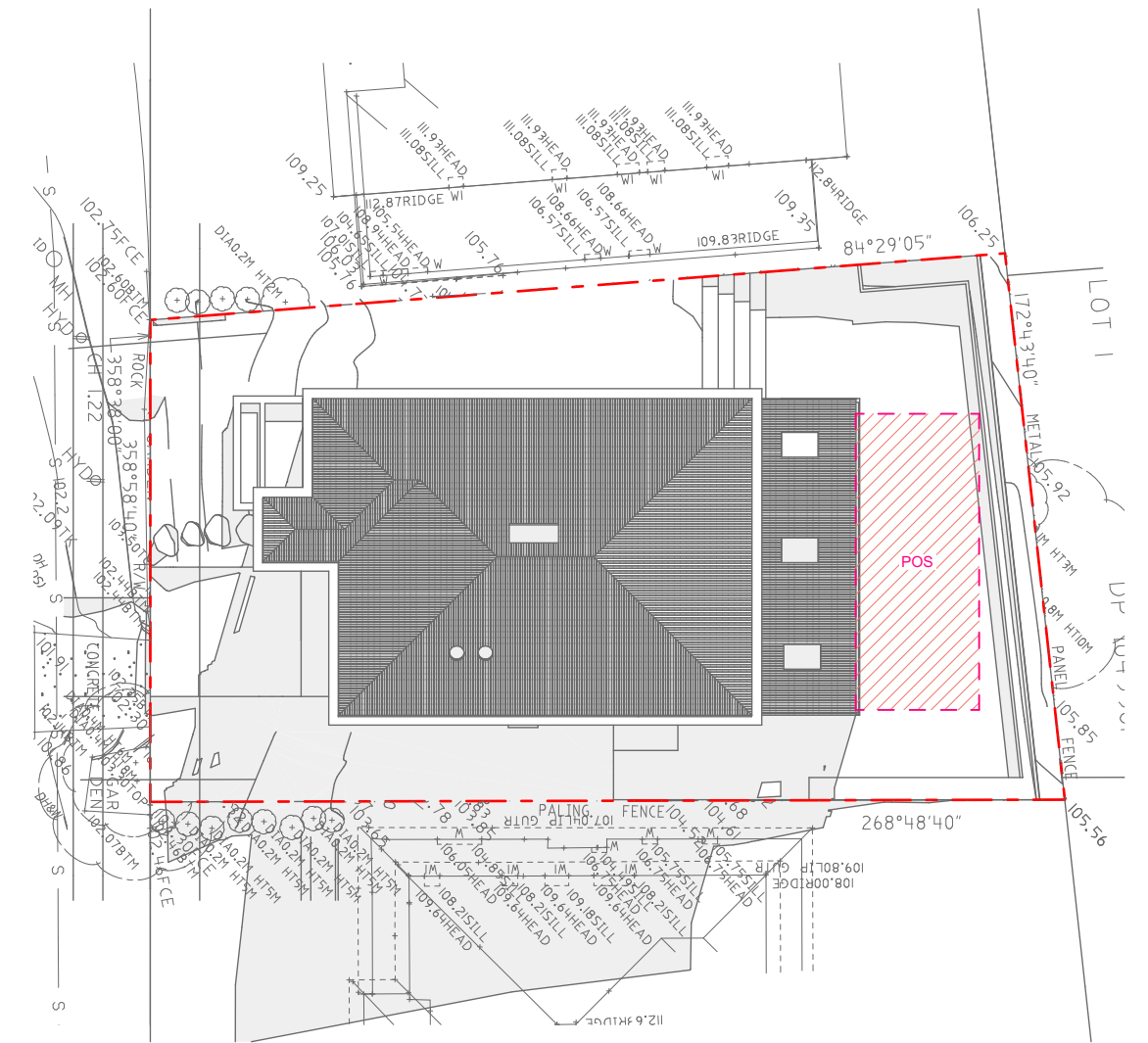
U16 / 30 MADDOCK ST, ALEXANDRIA, NSW 2015
 INFO@SHORE.COM.AU • 61 2 9557 0808 WWW.SHORE.COM.AU



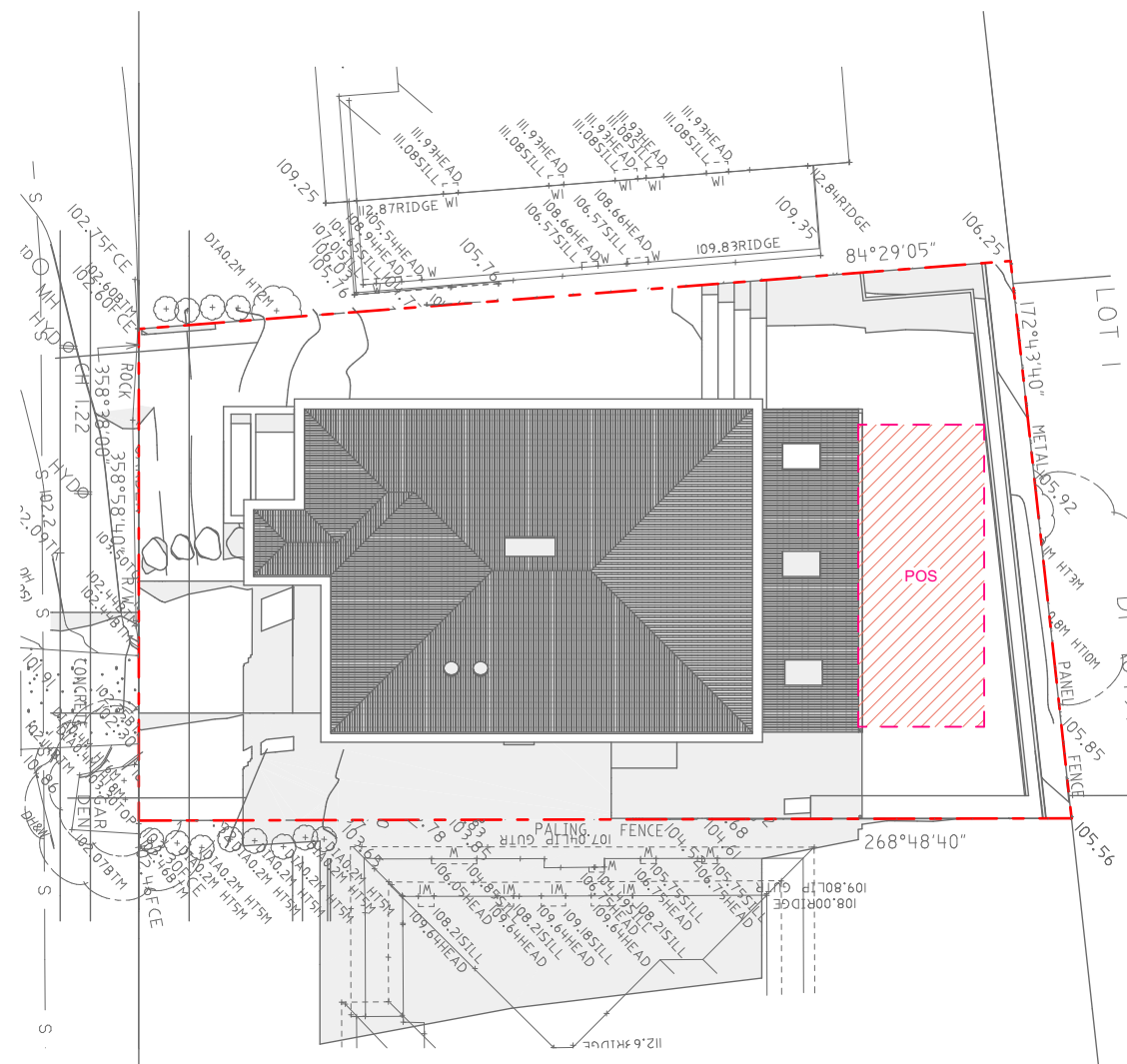
3 Shadow Study 21 June at 0900h
1:300



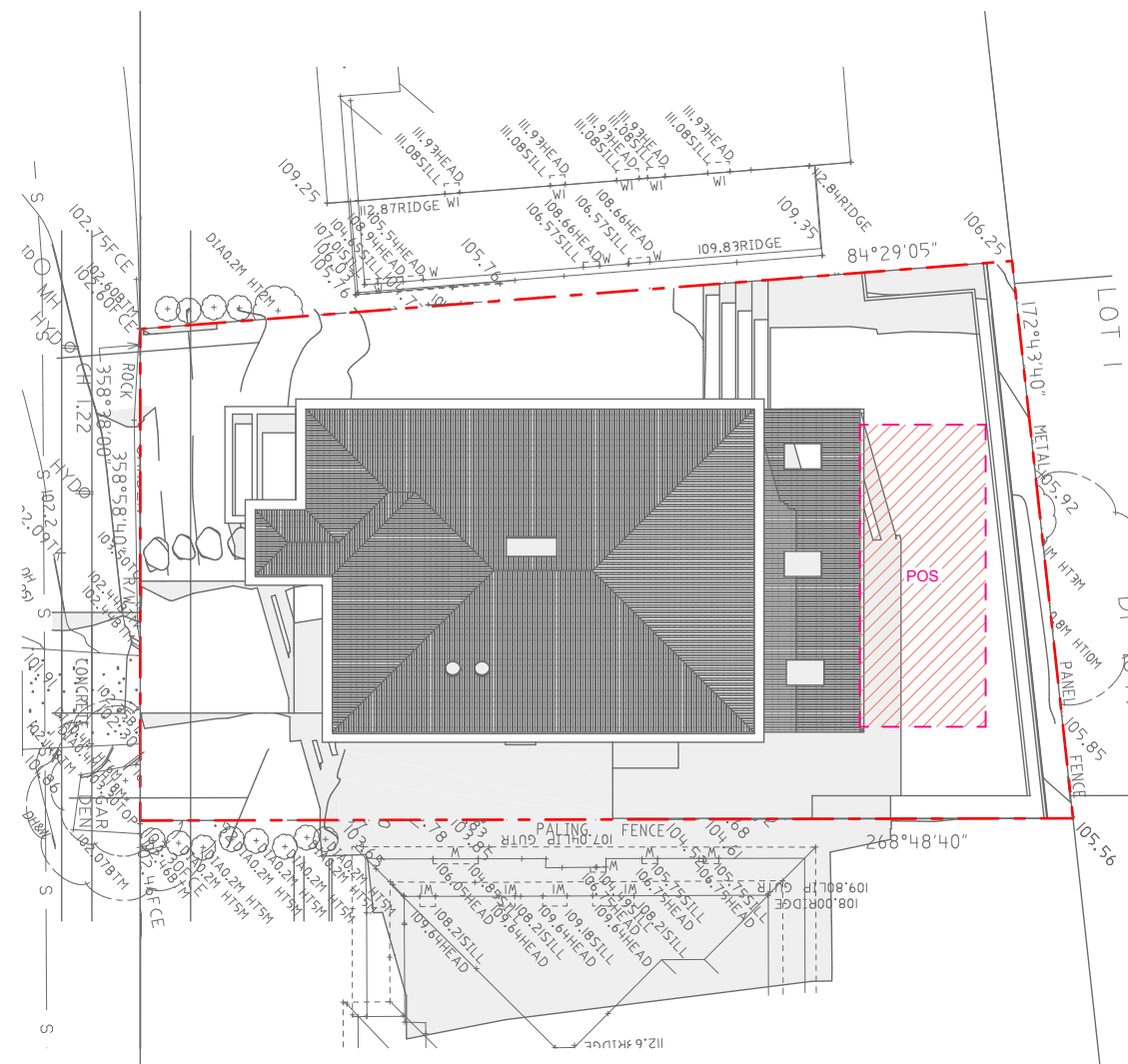
5 Shadow Study 21 June at 1000h
1:300



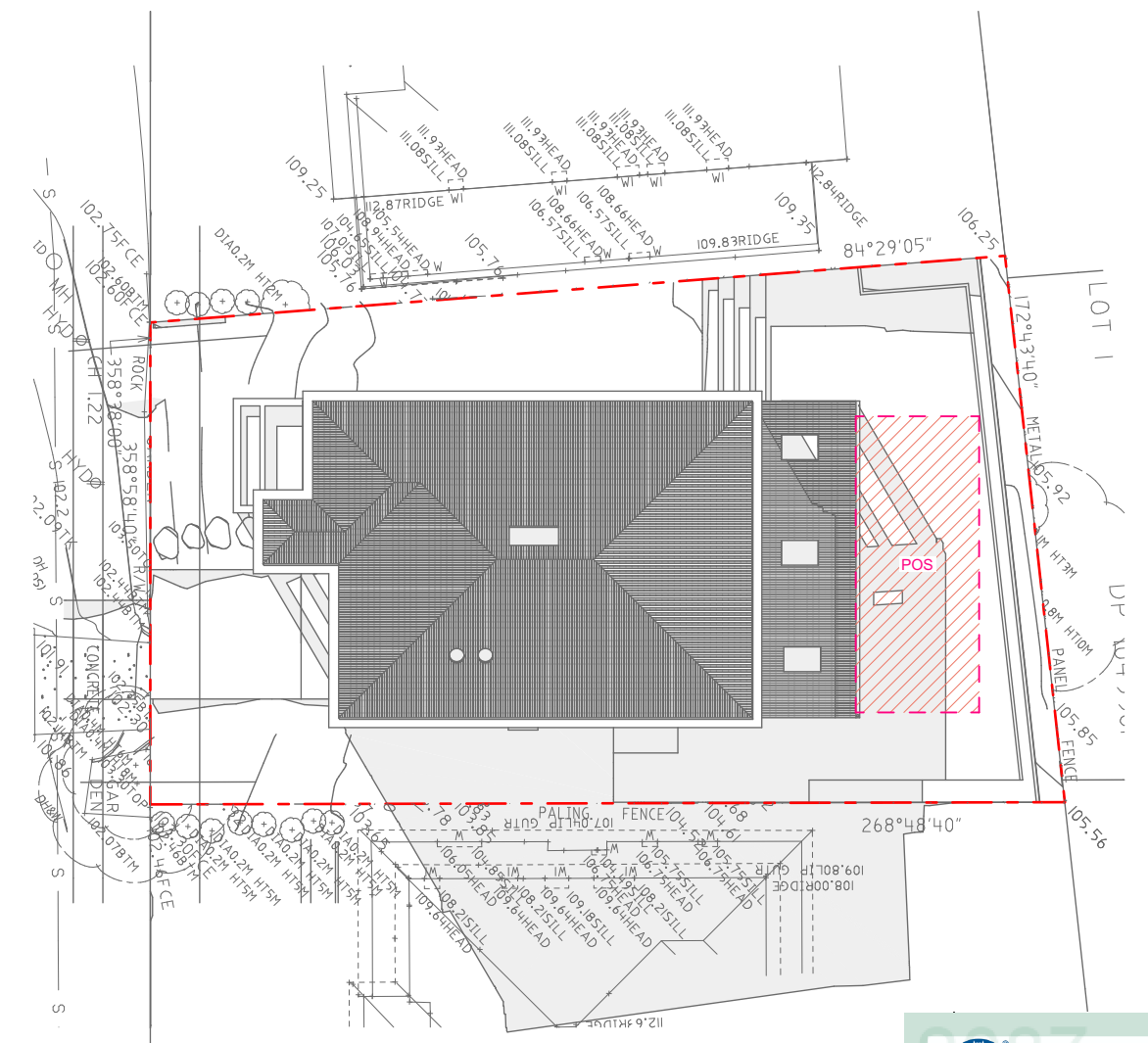
1 Shadow Study 21 June at 1100h
1:300



9 Shadow Study 21 June at 1200h
1:300



11 Shadow Study 21 June at 1300h
1:300



7 Shadow Study 21 June at 1400h
1:300

Certificate No. # 4W6KF16YPX

Scan QR code or follow website link for rating details.

Assessor name: Tania Hannaford
 Accreditation No.: DMN/21/2023
 Property Address: 46 Killarney Drive, Killarney Heights, NSW, 2087

<https://www.f5.com.au/QRCodeLanding?PublicId=4W6KF16YPX>

NOTES

- DRAWINGS NOT ISSUED FOR CONSTRUCTION
- DO NOT SCALE OFF THIS DRAWING. USE NOTATED DIMENSIONS ONLY AS A GUIDE.
- VERIFY ALL DIMENSIONS ON-SITE AND RESOLVE ANY DISCREPANCIES OR OMISSIONS WITH THE SUPERINTENDANT PRIOR TO COMMENCING WORKS.
- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT SPECIFICATIONS & DRAWINGS.
- ANY DISCREPANCIES BETWEEN THESE DRAWINGS & ENGINEERING ARE TO HAVE ENGINEERS' DETAILS PREVAIL.
- THESE DESIGNS, DRAWINGS & SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF SH STUDIO AND MUST NOT BE USED, REPRODUCED OR COPIED, WHOLLY OR IN PART, WITHOUT THE WRITTEN PERMISSION OF SH STUDIO.

| LEGEND | |
|--------|-------------------------------|
| | SITE BOUNDARY |
| | SUBDIVISION LINE |
| | PROPOSED GROUND FLOOR OUTLINE |
| | DEMOLISH |
| | PROPOSED FIRST FLOOR OUTLINE |
| | NEW |

| SCALE | ISSUE | DATE | DRAWN BY | REVIEWED BY |
|----------------|-------|------------|----------|-------------|
| NOT TO SCALE | 02 | 19/12/2024 | YZ | AP |
| @A2 1:300, 1:1 | | | | |

PROJECT
46 Killarney Drive

LAYOUT NAME
Shadow Diagrams

PROJECT
A500



SHORE | sh.studio
PROJECTS by SHORE

1/61 MADDOCK ST. ALEXANDRIA, NSW 2015
 INFO@SHORE.COM.AU • 61 2 9557 0808 WWW.SHORE.COM.AU

| Window Schedule | | | | | | | | | | |
|-----------------|--------------|-------------|-------------|-------------|-----------|-----------|-----------|-----------|-------------|-------------|
| Story | Ground Floor | | | | | | | | | |
| ID | D01 | SD01 | SD02 | W01 | W02 | W03 | W10 | W11 | W13 | W16 |
| QTY | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| W x H Size | 1,600x2,500 | 4,500x2,500 | 4,800x2,500 | 1,000x2,700 | 2,000x700 | 1,600x600 | 2,800x900 | 2,000x900 | 1,000x2,700 | 1,800x4,000 |
| Head Height | 2,500 | 2,500 | 2,500 | 2,700 | 2,400 | 1,600 | 2,600 | 2,600 | 2,700 | 5,700 |
| Sill Height | 0 | 0 | 0 | 0 | 1,700 | 1,000 | 1,700 | 1,700 | 0 | 1,700 |
| Plan Preview | | | | | | | | | | |
| 3D Back View | | | | | | | | | | |

| Window Schedule | | | | | | | | | | |
|-----------------|-------------|------|------|------|-----------|-----------|-----------|-----------|-----------|-----------|
| Story | First Floor | | | | | | | | | |
| ID | D02 | SK01 | SK02 | SK03 | W04 | W05 | W06 | W07 | W08 | W09 |
| QTY | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| W x H Size | 1,500x2,400 | --- | --- | --- | 1,700x700 | 2,000x700 | 1,000x700 | 850x1,800 | 850x1,800 | 1,800x700 |
| Head Height | 2,400 | --- | --- | --- | 2,400 | 2,400 | 2,400 | 2,300 | 2,300 | 2,400 |
| Sill Height | 0 | --- | --- | --- | 1,700 | 1,700 | 1,700 | 500 | 500 | 1,700 |
| Plan Preview | | | | | | | | | | |
| 3D Back View | | | | | | | | | | |

| Window Schedule | | | | | | | Roof |
|-----------------|-------------|-----------|-------------|-------------|-------------|-------------|------|
| Story | | | | | | | |
| ID | W12 | W14 | W15 | W17 | W18 | W19 | SK03 |
| QTY | 1 | 1 | 1 | 1 | 1 | 1 | 2 |
| W x H Size | 1,000x1,500 | 850x1,800 | 1,000x1,800 | 2,000x1,500 | 1,000x1,500 | 1,000x1,800 | --- |
| Head Height | 2,400 | 2,300 | 2,300 | 2,400 | 2,400 | 2,300 | --- |
| Sill Height | 900 | 500 | 500 | 900 | 900 | 500 | --- |
| Plan Preview | | | | | | | |
| 3D Back View | | | | | | | |



NOTES

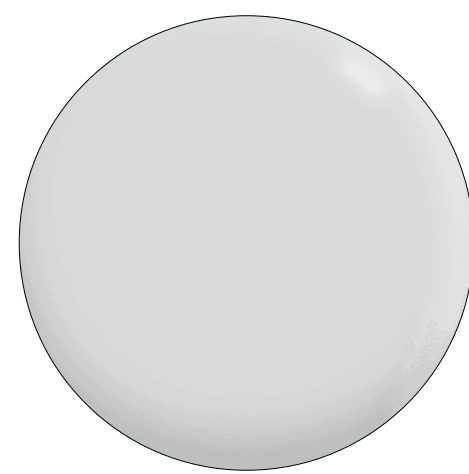
- DRAWINGS NOT ISSUED FOR CONSTRUCTION.
- DO NOT SCALE OFF THIS DRAWING. USE NOTATED DIMENSIONS ONLY AS A GUIDE.
- VERIFY ALL DIMENSIONS ON-SITE AND RESOLVE ANY DISCREPANCIES OR OMISSIONS WITH THE SUPERINTENDANT PRIOR TO COMMENCING WORKS.
- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT SPECIFICATIONS & DRAWINGS.
- ANY DISCREPANCIES BETWEEN THESE DRAWINGS & ENGINEERING ARE TO HAVE ENGINEERS' DETAILS PREVAIL.
- THESE DESIGNS, DRAWINGS & SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF SH STUDIO AND MUST NOT BE USED, REPRODUCED OR COPIED, WHOLLY OR IN PART, WITHOUT THE WRITTEN PERMISSION OF SH STUDIO.

| LEGEND | |
|--------|-------------------------------|
| | SITE BOUNDARY |
| | SUBDIVISION LINE |
| | PROPOSED GROUND FLOOR OUTLINE |
| | DEMOLISH |
| | PROPOSED FIRST FLOOR OUTLINE |
| | NEW |

SCALE: NOT TO SCALE @A2 1:1
 ISSUE: 02
 DATE: 19/12/2024
 DRAWN BY: YZ
 REVIEWED BY: AP
 PROJECT: 46 Killarney Drive

LAYOUT NAME: Window Schedule
 PROJECT: A600





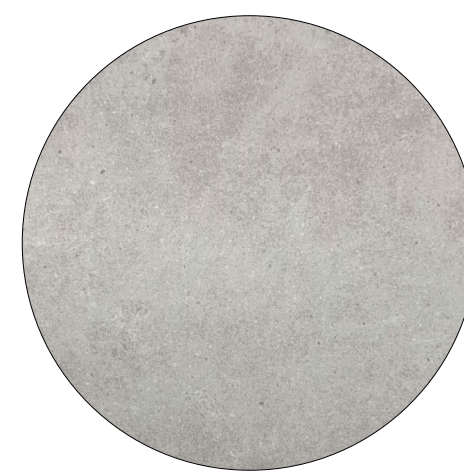
01
TERRACE WHITE RENDER



02
CORRUGATED METAL ROOF CLADDING
BASALT COLOUR - COLORBOND



03
MONUMENT COLOUR WINDOW
FRAME - COLORBOND



04
CONCRETE LOOK TILE OUTDOOR PAVER



05
PAINTED METAL BALUSTRADE



06
WHITE GARAGE DOOR

NOTES

- DRAWINGS NOT ISSUED FOR CONSTRUCTION
- DO NOT SCALE OFF THIS DRAWING. USE NOTATED DIMENSIONS ONLY AS A GUIDE.
- VERIFY ALL DIMENSIONS ON-SITE AND RESOLVE ANY DISCREPANCIES OR OMISSIONS WITH THE SUPERINTENDANT PRIOR TO COMMENCING WORKS.
- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT SPECIFICATIONS & DRAWINGS.
- ANY DISCREPANCIES BETWEEN THESE DRAWINGS & ENGINEERING ARE TO HAVE ENGINEER'S DETAILS PREVAIL.
- THESE DESIGNS, DRAWINGS & SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF SH STUDIO AND MUST NOT BE USED, REPRODUCED OR COPIED, WHOLLY OR IN PART, WITHOUT THE WRITTEN PERMISSION OF SH STUDIO.

LEGEND

- - - - - SITE BOUNDARY
- - - - - SUBDIVISION LINE
- - - - - PROPOSED GROUND FLOOR OUTLINE
- - - - - PROPOSED FIRST FLOOR OUTLINE
- DEMOLISH
- NEW

| SCALE | ISSUE | DATE | DRAWN BY | REVIEWED BY |
|--------------------------------|-------|------------|----------|-------------|
| NOT TO SCALE @A2 1:150, 1:1 | 02 | 19/12/2024 | YZ | AP |

PROJECT
46 Killarney Drive

LAYOUT NAME
Material and Finish Schedule

PROJECT
A601



Certificate No. # 4W6KF16YPX

Scan QR code or follow website link for rating details.

Assessor name: Tania Hannaford
Accreditation No.: DMN/21/2023
Property Address: 46 Killarney Drive, Killarney Heights, NSW, 2087


<https://www.f5.com.au/QRCodeLanding?PublicId=4W6KF16YPX>



Certificate No. # 4W6KF16YPX
 Scan QR code or follow website link for rating details.

Assessor name: Tania Hannaford
 Accreditation No.: DMN/21/2023
 Property Address: 46 Killarney Drive, Killarney Heights, NSW, 2087







<https://www.f5.com.au/QRCodeLanding?PublicId=4W6KF16YPX>



NOTES

- DRAWINGS NOT ISSUED FOR CONSTRUCTION.
- DO NOT SCALE OFF THIS DRAWING. USE NOTATED DIMENSIONS ONLY AS A GUIDE.
- VERIFY ALL DIMENSIONS ON-SITE AND RESOLVE ANY DISCREPANCIES OR OMISSIONS WITH THE SUPERINTENDANT PRIOR TO COMMENCING WORKS.
- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT SPECIFICATIONS & DRAWINGS.
- ANY DISCREPANCIES BETWEEN THESE DRAWINGS & ENGINEERING ARE TO HAVE ENGINEER'S DETAILS PREVAIL.
- THESE DESIGNS, DRAWINGS & SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF SH STUDIO AND MUST NOT BE USED, REPRODUCED OR COPIED, WHOLLY OR IN PART, WITHOUT THE WRITTEN PERMISSION OF SH STUDIO.

LEGEND

| | | | |
|---|-------------------------------|--|----------|
|  | SITE BOUNDARY |  | DEMOLISH |
|  | SUBDIVISION LINE |  | NEW |
|  | PROPOSED GROUND FLOOR OUTLINE | | |
|  | PROPOSED FIRST FLOOR OUTLINE | | |

SCALE: NOT TO SCALE @A2 1:1

ISSUE: 02

DATE: 19/12/2024

DRAWN BY: YZ

REVIEWED BY: AP

PROJECT: 46 Killarney Drive

LAYOUT NAME: 3D Views

PROJECT: A800



SHORE PROJECTS | sh.studio by SHORE

U16 / 30 MADDOCK ST. ALEXANDRIA, NSW 2015
 INFO@SHORE.COM.AU • 61 2 9557 0808 WWW.SHORE.COM.AU