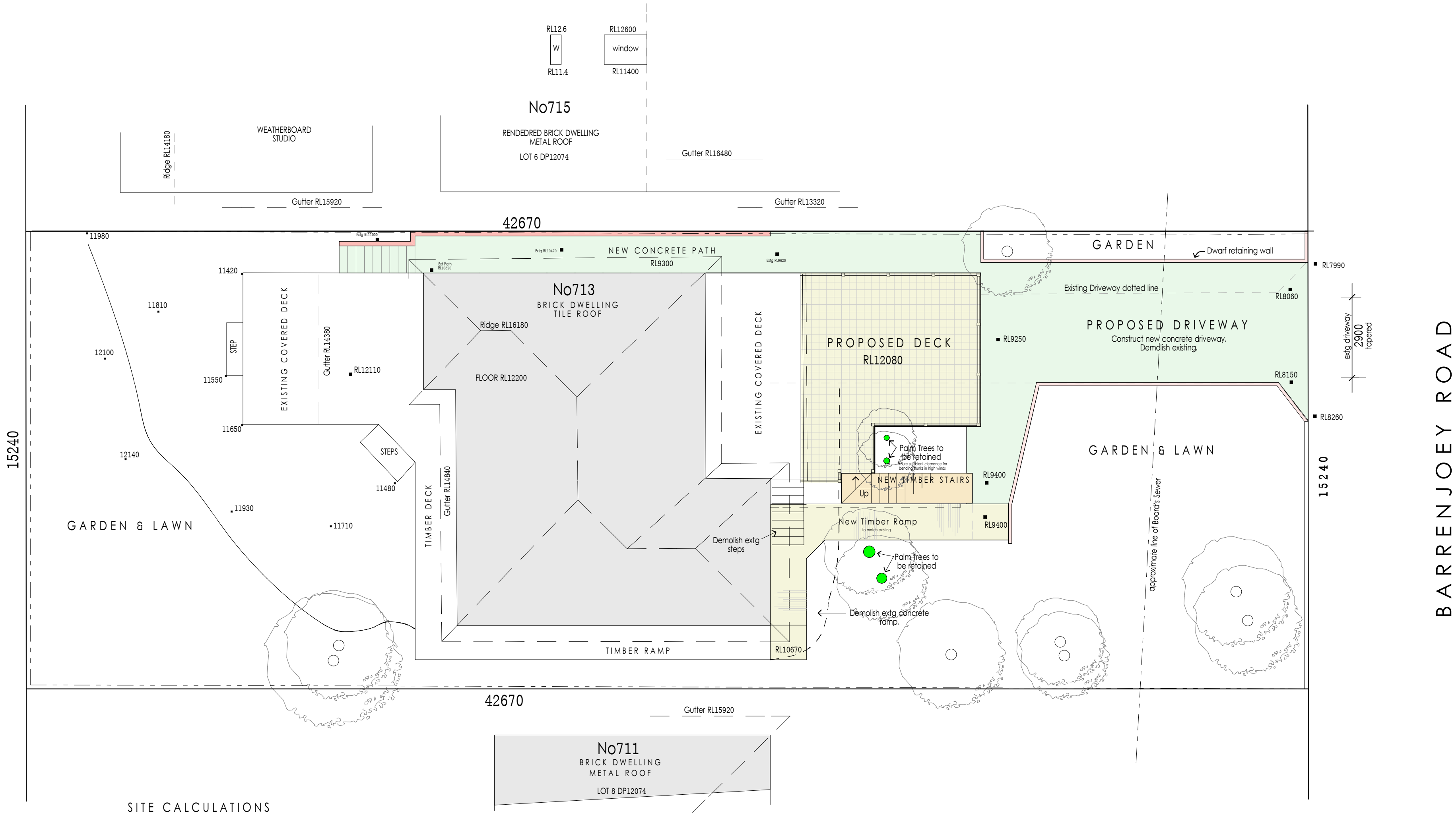


NOTES

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SITE CALCULATIONS

Site area 650.3m²

EXISTING

Built upon area 267.8m²

Landscaped area 382.5m²

PROPOSED

Additional Built upon area: Ramp 8m² + Path & D'way 41m² = 49m²

SITE PLAN

Proposed Alterations

Dwg No. 1

Scale 1 : 100 @ A2

Ref: NBCP1721

Aug 2021

Tyler Schofield Residence

713 Barrenjoey Road, Avalon

Lot 7 DP12074

Lionel Curtin

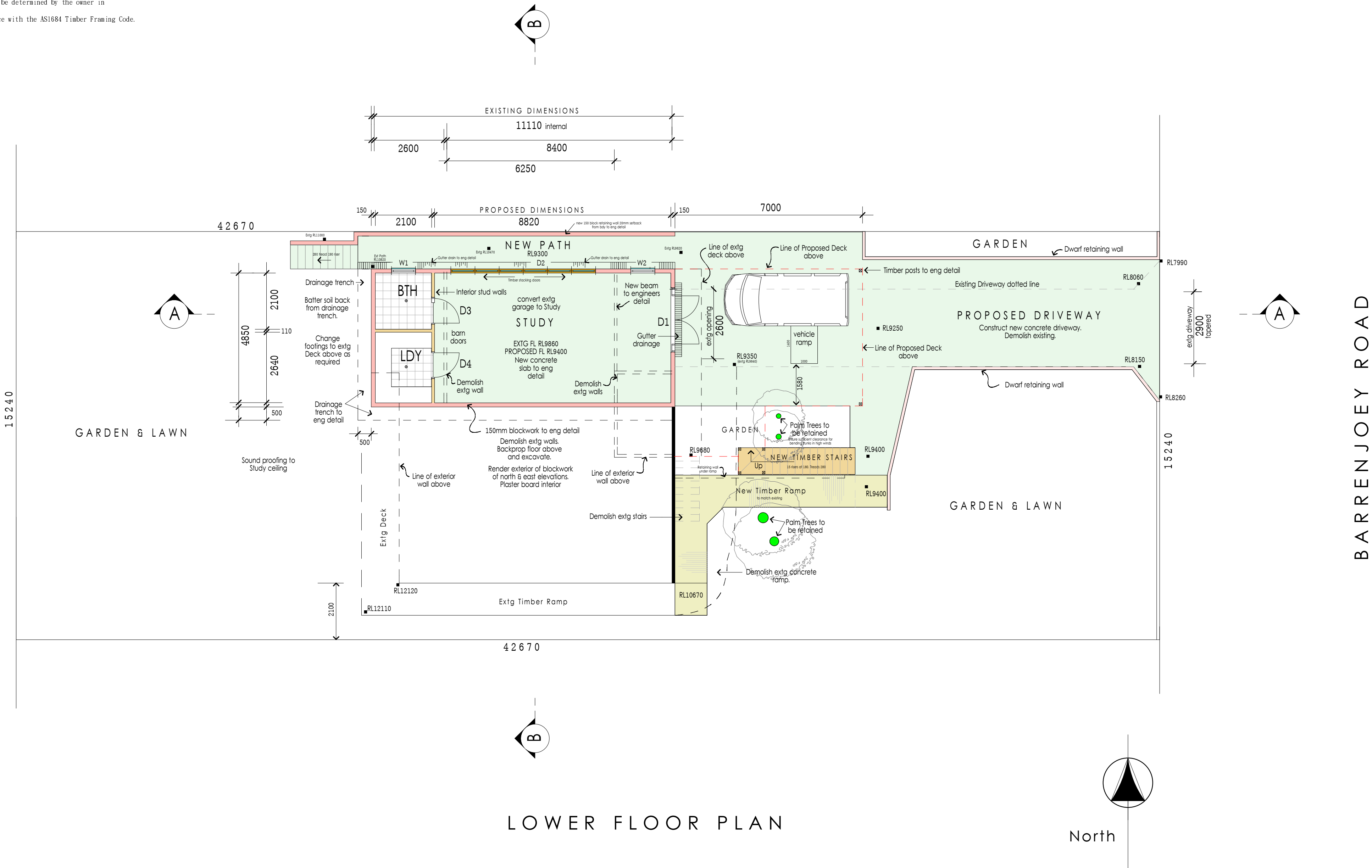
Design & Documentation

0402 833 626

85 Plateau Road Bilgola Plateau 2107

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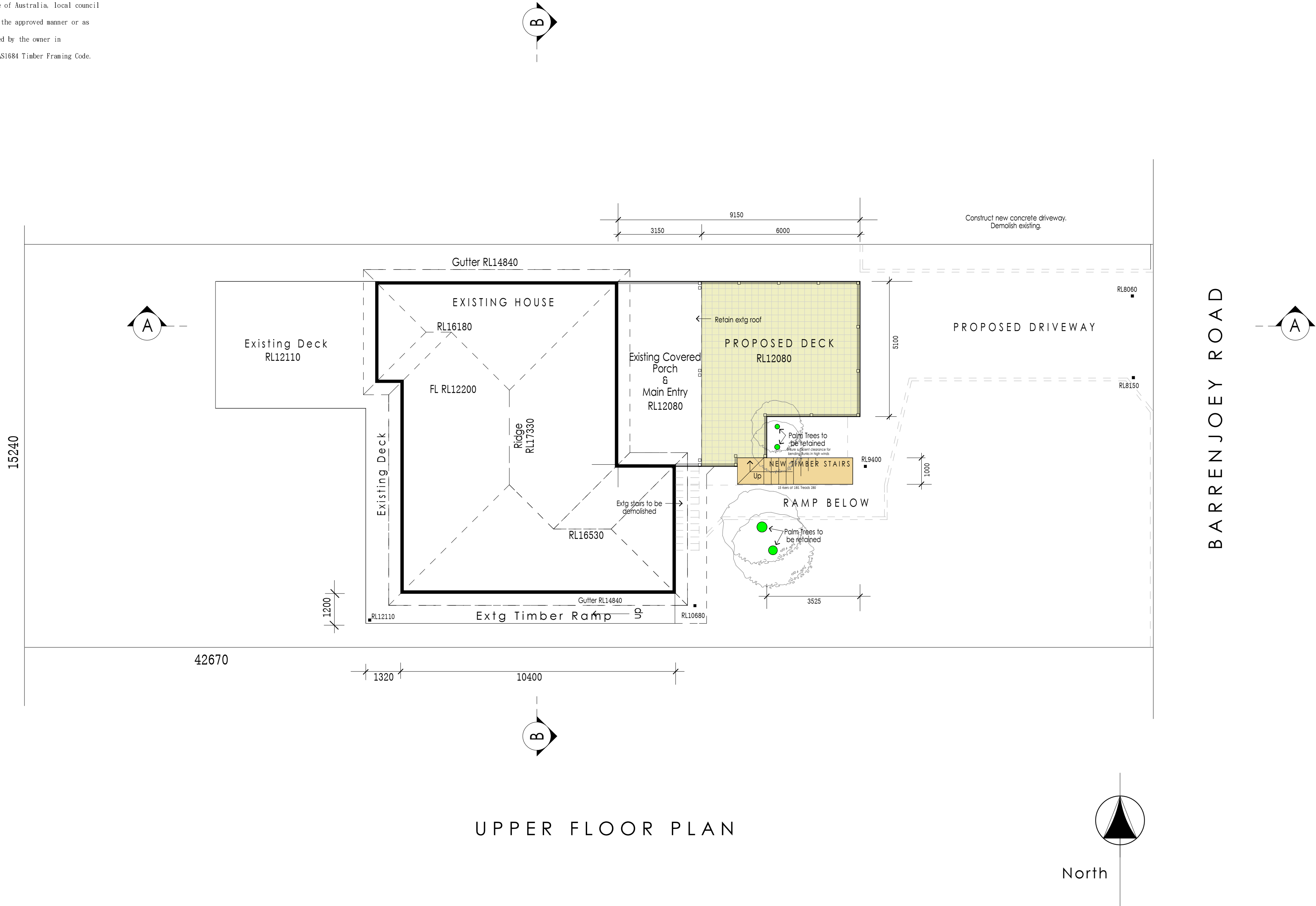


LOWER FLOOR PLAN

Proposed Alterations

NOTES

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Dwg No.3

Scale 1 : 100 @ A2

Ref: NBCP1721

Aug 2021

Proposed Alterations

Tyler Schofield Residence

713 Barrenjoey Road, Avalon

Lot 7 DP12074

Lionel Curtin

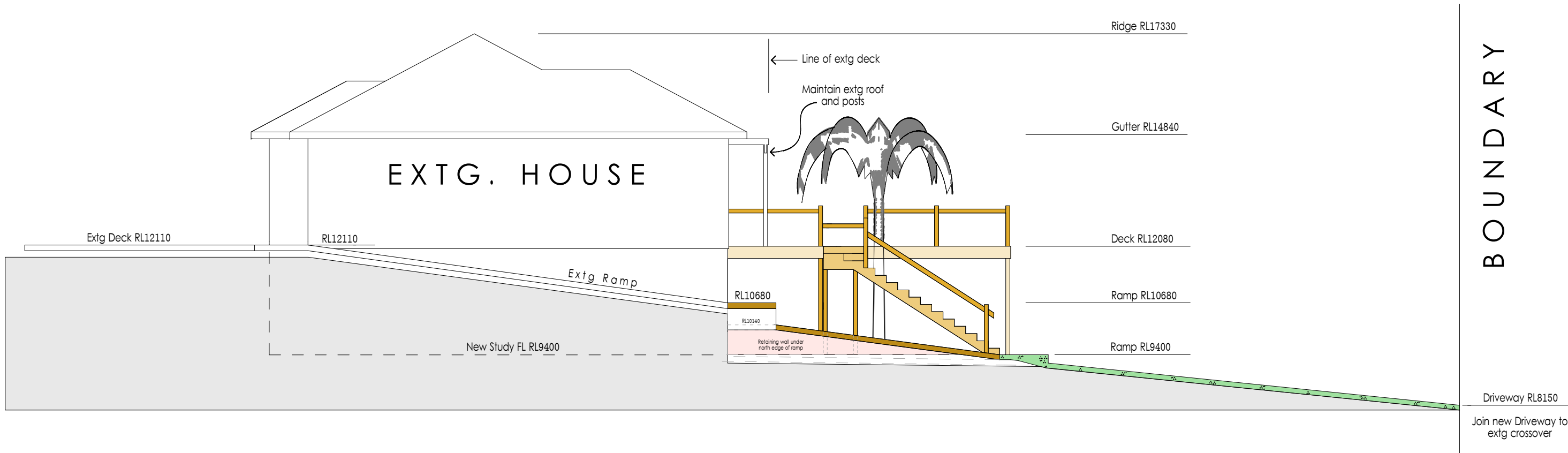
Design & Documentation

0402 833 626

85 Plateau Road Bilgola Plateau 2107

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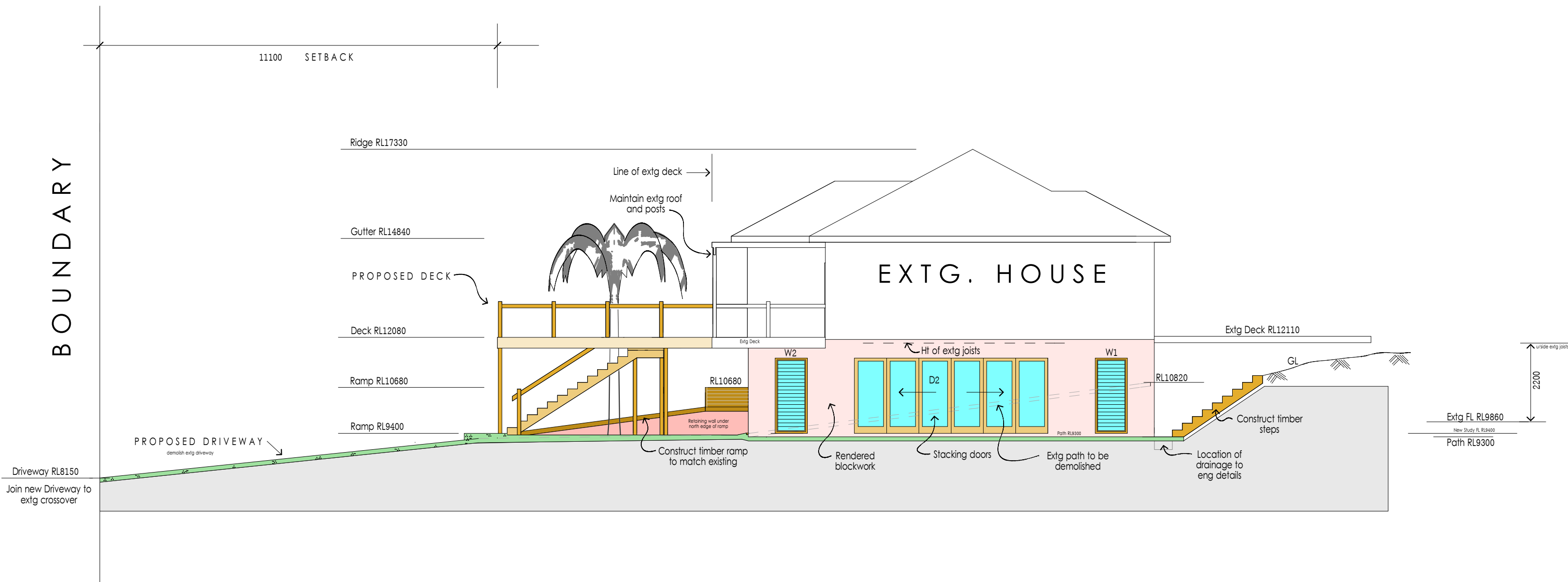


SOUTH ELEVATION

Proposed Alterations

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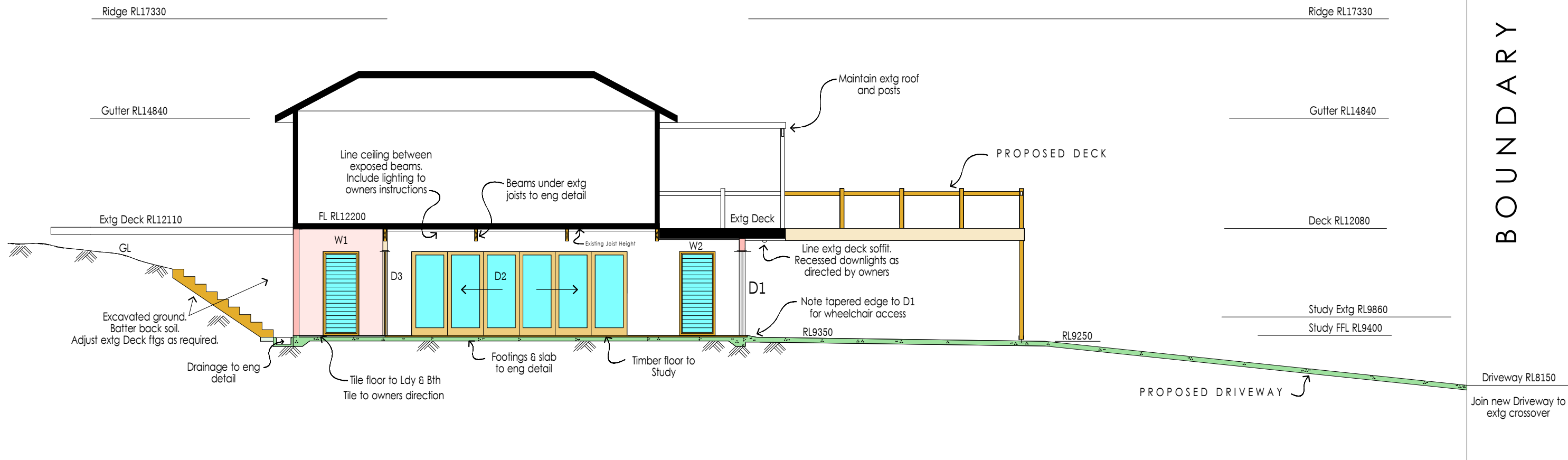


NORTH ELEVATION

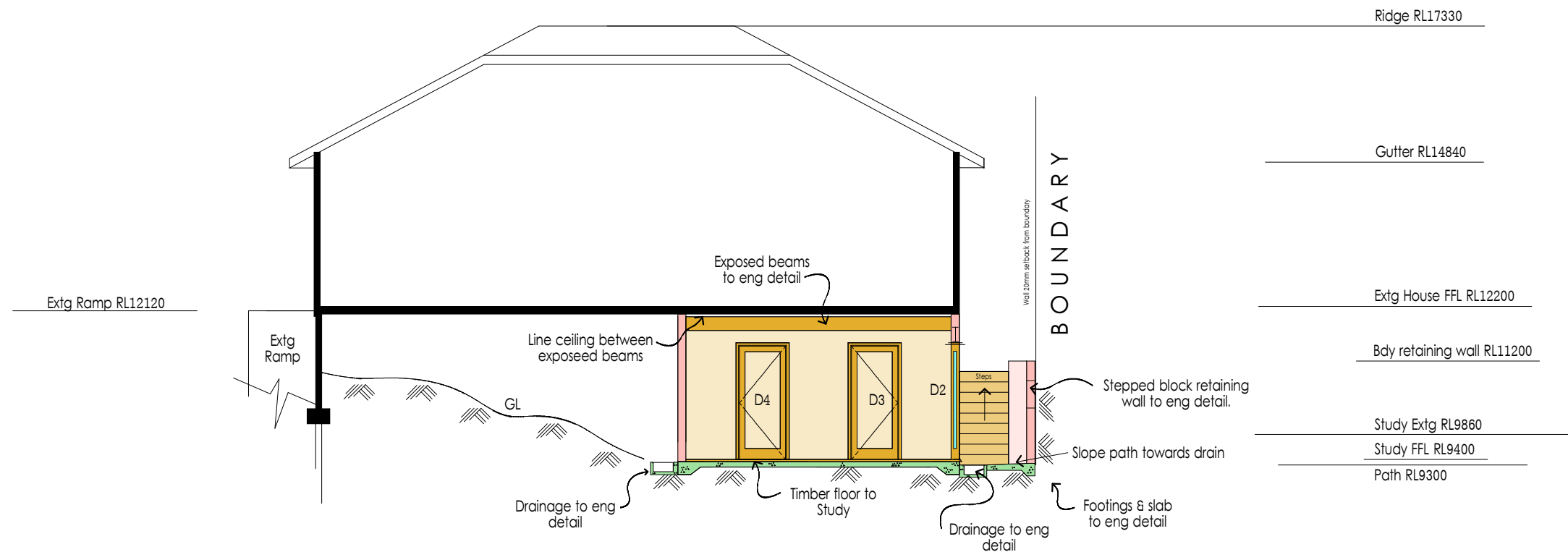
Proposed Alterations

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SECTION A-A & DRIVEWAY SECTION



SECTION B-B

Proposed Alterations

Alterations and Additions

Certificate number: A427080

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 09, August 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	713 BARRENJOEY ROAD
Street address	713 Barrenjoey Road Avalon 2107
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 12074
Lot number	7
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Lionel Curtin
ABN (if applicable): 54125423880

BASIX Certificate number: A427080

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

BASIX Certificate number: A427080

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
concrete slab on ground floor.	nil				
external wall: concrete block/plasterboard	R1.18 (or R1.70 including construction)				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				

BASIX Certificate number: A427080

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors									
<p>The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.</p> <p>The following requirements must also be satisfied in relation to each window and glazed door:</p> <p>Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.</p> <p>Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.</p>							✓	✓	✓
Windows and glazed doors glazing requirements									
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
W1	N	1.89	7	2.7	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
W2	N	1.89	7	2.7	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
D1	E	5.04	2.5	1	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
D2	N	11.34	7	2.7	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			

BASIX Certificate number: A427080

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

BASIX INFORMATION

Proposed Alterations

Dwg No. 7

Scale NA @ A2

Ref: NBCP1721

Aug 2021

Tyler Schofield Residence

713 Barrenjoey Road, Avalon

Lot 7 DP12074

Lionel Curtin

Design & Documentation

0402 833 626

85 Plateau Road Bilgola Plateau 2107

NOTES

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Ridge RL17330

Gutter RL14840

Top of Ramp RL12110

Ramp RL10680

Ramp RL9400

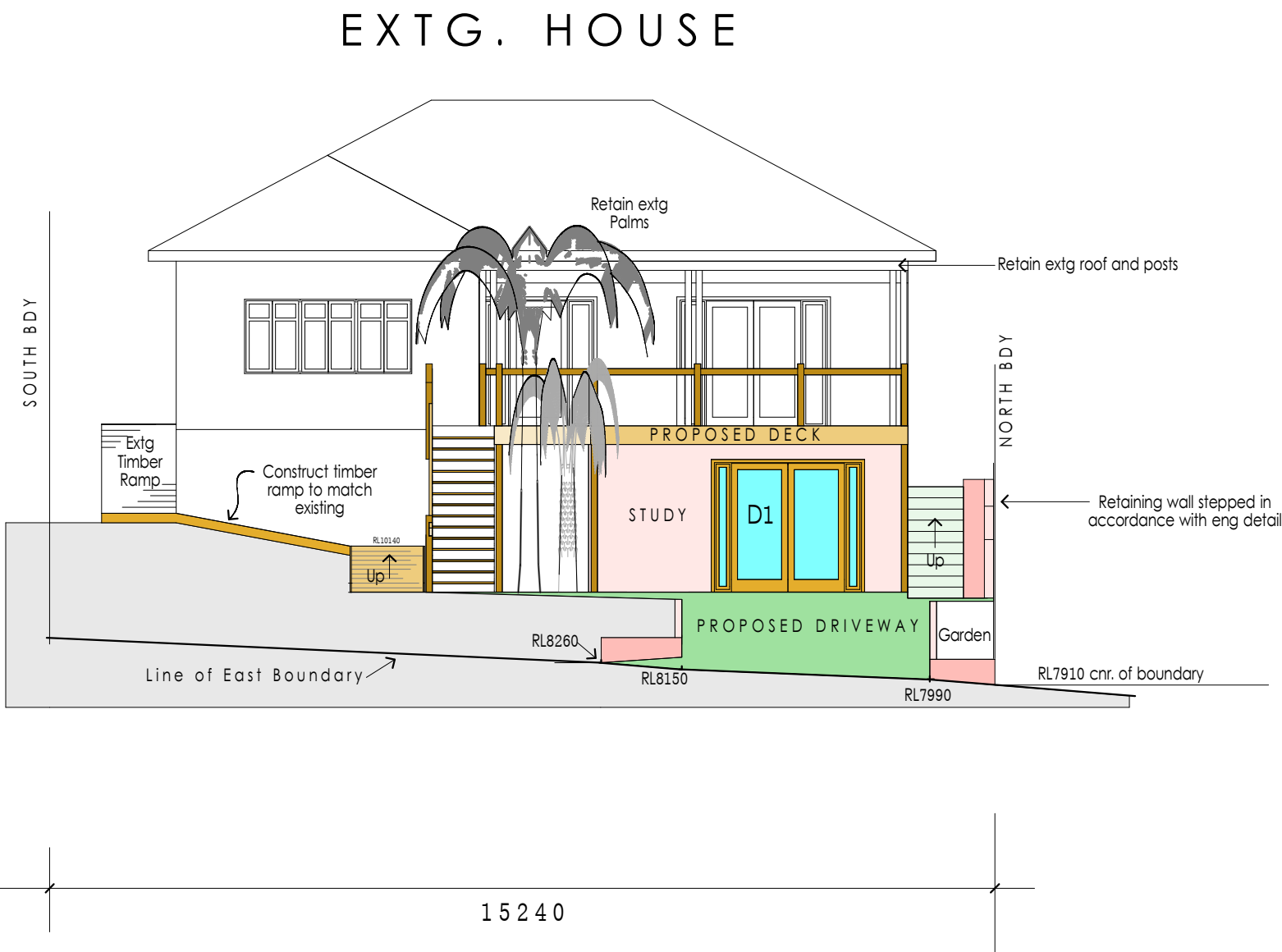
Cnr. of boundary RL8660

Ridge RL17330

Gutter RL14840

Deck RL12080

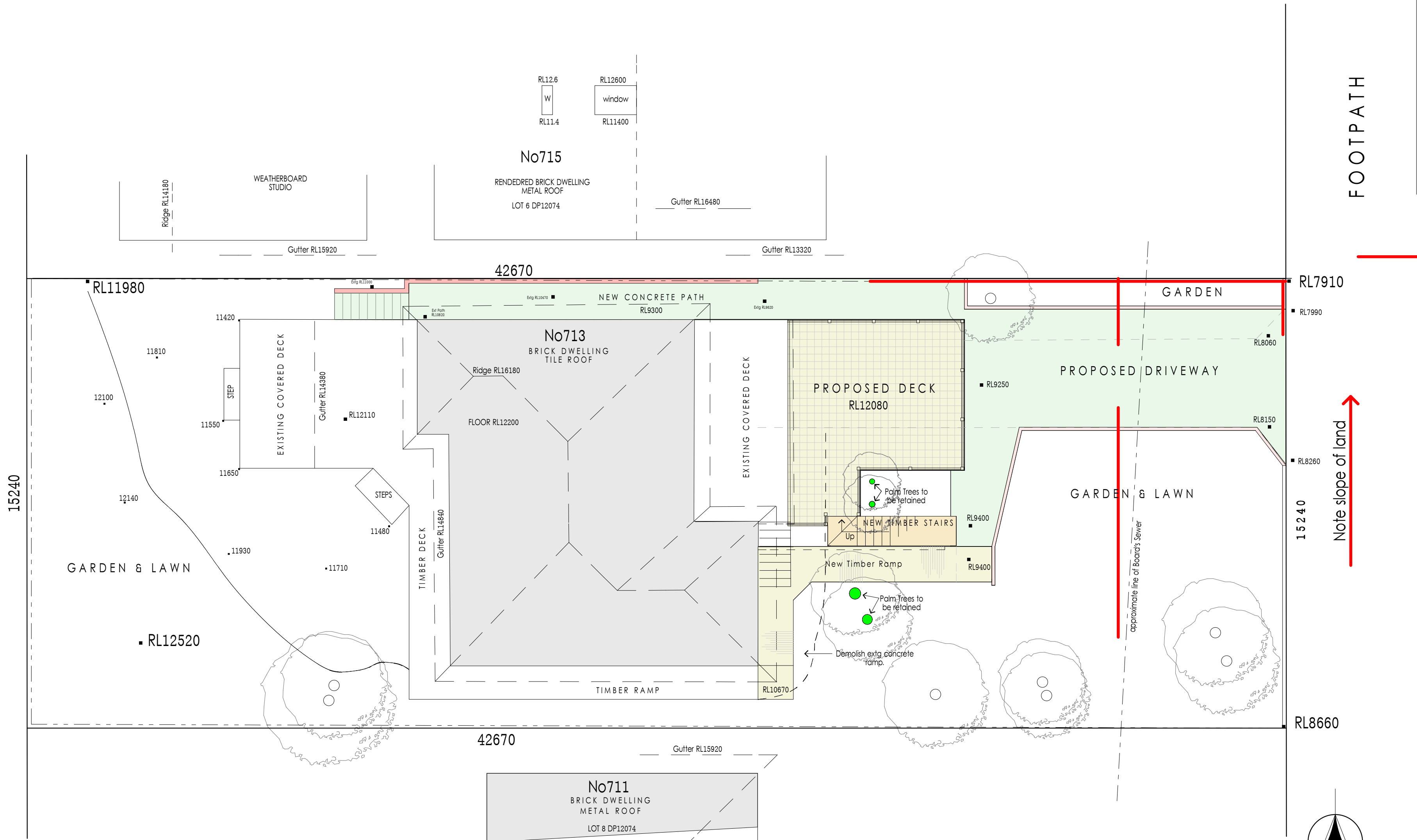
RL9300 Path



Proposed Alterations

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SEDIMENT CONTROL PLAN

Dwg No. 9

Proposed Alterations

Lionel Curtin

Scale 1 : 100 @ A2

Tyler Schofield Residence

Design & Documentation

Ref: NBCP1721

713 Barrenjoey Road, Avalon

0402 833 626

Aug 2021

Lot 7 DP12074

85 Plateau Road Bilgola Plateau 2107