

STANDARD CONSTRUCTION NOTES

WALL FRAMING

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH;  
AS 1684:2010 NATIONAL TIMBER FRAMING CODE AND ENGINEER'S STRUCTURAL COMPUTATIONS.
- WALL BRACING, FIXING, TIE DOWNS, DURABILITY NOTES & ANY ADDITIONAL ENGINEERING REQUIREMENTS TO BE AS PER ENGINEER'S DETAILS.
- FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY.
- ALL WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH N.C.C. 3.8.3.3
- CENTRE ALL WINDOWS & DOORS INTERNALLY TO ROOM UNLESS DIMENSIONED OTHERWISE
- PROVIDE 2No. 90mm x 45mm JAMB STUDS TO ALL INTERNAL DOOR OPENINGS AND ALL SLIDING ROBE DOOR OPENINGS AS PER DETAIL S-TYP-DOOR-01

ROOF FRAMING

- GARAGE ROOF TO BE TIED DOWN MIN. 1200mm INTO BRICKWORK WITH HOOP IRON STRAPS.
- PREFABRICATED ROOF TRUSSES TO MANUFACTURER'S SPECIFICATIONS. PITCH AS SHOWN ON ELEVATIONS.

EXTERNAL WALLS

- ALL PARAPET WALLS TO BE PROVIDED WITH COLORBOND METAL CAPPING/FLASHING (50mm MIN. OVERLAP TO ALL JOINTS WITH CONTINUOUS SILICONE SEALANT BETWEEN & 30mm MIN. VERTICAL OVERHANG).

SLAB AND FOOTINGS

- REINFORCED CONCRETE SLAB AND ASSOCIATED FOOTINGS IN ACCORDANCE WITH ENGINEER'S DETAILS.
- SUB-FLOOR VENTILATION IN ACCORDANCE WITH N.C.C. 3.4.1. TO BE PROVIDED TO SUSPENDED TIMBER FLOOR WHERE APPLICABLE.

PLUMBING AND DRAINAGE

- ALL PLUMBING, DRAINAGE & ASSOCIATED WORKS TO COMPLY WITH THE PLUMBING CODE OF AUSTRALIA, N.C.C. & AS 3500 – PLUMBING AND DRAINAGE.

TERMITE PROTECTION

- PROVIDE TERMITE MANAGEMENT SYSTEM AS PER; AS 3660.1:2014 – TERMITE MANAGEMENT

GLAZING

- WINDOWS TO SIDE AND REAR ELEVATIONS ARE ALUMINIUM SLIDING (UNLESS NOTED OTHERWISE).
- WINDOW SIZES ARE NOMINATED AS GENERIC CODES; FIRST TWO NUMBERS REFER TO HEIGHT & SECOND TWO REFER TO WIDTH.
- WINDOW SUPPLIER TO PROVIDE COVER BOARDS TO ALL CORNER WINDOWS UNLESS NOTED OTHERWISE.
- ALL GLAZING TO COMPLY WITH;  
AS 1288:2006 GLASS IN BUILDINGS  
AS 4055:2012 WIND LOADS FOR HOUSING
- WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST CORRESPONDING BRICK COURSE.
- PROTECTION OF OPENABLE WINDOWS TO BE PROVIDED IN ACCORDANCE WITH N.C.C. 3.9.2.5

STEPS, STAIRS & BALUSTRADES

- ALL STEPS & STAIRS TO HAVE; 240mm MIN. & 355mm MAX. TREAD DEPTH AND 115mm MIN. & 190mm MAX. RISER HEIGHT IN ACCORDANCE WITH N.C.C. 3.9.1.
- BALUSTRADE IN ACCORDANCE WITH N.C.C. 3.9.2. TO BE INSTALLED WHERE INTERNAL & EXTERNAL LANDINGS EXCEED 1000mm ABOVE GROUND LEVEL.
- PROVIDE SLIP RESISTANCE IN ACCORDANCE WITH N.C.C. 3.9.1.4 AND AS 4586:2013 SLIP RESISTANCE.

WATERPROOFING

- PROVIDE CAVITY FLASHING & WEEP HOLES ABOVE LOWER STOREY OPENINGS.
- WATERPROOFING OF WET AREAS TO COMPLY WITH; AS 3740:2010 WATERPROOFING OF DOMESTIC WET AREAS &/OR N.C.C. 3.8.1

INTERNAL ELEVATIONS

- TILE & CUPBOARD DIMENSIONS ARE APPROXIMATE ONLY & MAY BE ALTERED TO SUIT MODULAR SIZES.
- DIMENSIONS INDICATED TAKEN FROM PLASTER.
- ALL DIMENSIONS ARE SUBJECT TO SITE MEASURE.
- SHOWER SCREEN HEIGHTS ARE INDICATIVE ONLY AND WILL ALTER DEPENDING ON SHOWER BASE CONSTRUCTION METHODS.

BASIX COMMITMENTS

Certificate No.: 1225207S

Date of Issue: 21.07.2021

WATER COMMITMENTS

FIXTURES

- 3 STAR RATED SHOWERHEADS >7.5 BUT <9L/MIN.
- 3 STAR RATED TOILET FLUSHING SYSTEMS
- 3 STAR RATED KITCHEN TAPS
- 3 STAR RATED BASIN TAPS

ALTERNATIVE WATER

- PROVIDE A RAINWATER TANK OF AT LEAST 3000L
- TANK MUST BE CONFIGURED TO COLLECT RAIN RUNOFF FROM THE 161.71 SQM OF THE ROOF AREA.
- TANK MUST BE CONNECTED TO;
  - ALL TOILETS
  - WASHING MACHINE COLD WATER TAP
  - AT LEAST ONE OUTDOOR TAP

ENERGY COMMITMENTS

HOT WATER

- 6 STAR RATED ELECTRIC HEAT PUMP WITH A PERFORMANCE OF 26 TO 30STCs OR BETTER.

COOLING SYSTEM

- 1-PHASE AIR COND. TO AT LEAST 1 LIVING AREA WITH A MIN. ENERGY RATING OF EER 2.5–3.0
- 1-PHASE AIR COND. TO AT LEAST 1 BEDROOM AREA WITH A MIN. ENERGY RATING OF EER 2.5–3.0
- SYSTEM MUST PROVIDE FOR DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS

HEATING SYSTEM

- 1-PHASE AIR COND. TO AT LEAST 1 LIVING AREA WITH A MIN. ENERGY RATING OF EER 2.5–3.0
- 1-PHASE AIR COND. TO AT LEAST 1 BEDROOM AREA WITH A MIN. ENERGY RATING OF EER 2.5–3.0
- SYSTEM MUST PROVIDE FOR DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS

VENTILATION

- PROVIDE EXTERNALLY DUCTED EXHAUST FANS TO:
  - AT LEAST 1 BATHROOM
  - THE KITCHEN
  - THE LAUNDRY

NATURAL LIGHTING

- PROVIDE A WINDOW/SKYLIGHT IN THE KITCHEN OF THE DWELLING FOR NATURAL LIGHTING
- PROVIDE A WINDOW/SKYLIGHT IN AT LEAST 3 BATHROOMS/TOILET FOR NATURAL LIGHTING

ALTERNATIVE ENERGY

- INSTALL A PHOTOVOLTAIC SYSTEM WITH THE CAPACITY TO GENERATE ATLEAST 1 PEAK KILOWATTS OF ELECTRICITY.

OTHER COMMITMENTS

- INSTALL A GAS COOKTOP & ELECTRIC OVEN
- PROVIDE A WELL VENTILATED FRIDGE SPACE
- PROVIDE A FIXED OUTDOOR CLOTHESLINE

WHAT'S YOUR  
Style

SELECT THE  
STYLE YOU  
LOVE

PROVIDE AIR-CONDITIONING DUCTS AND  
OUTLETS FOR AIR-CONDITIONING BY METRICON

NOTE:  
PROVIDE ELECTRIC SOLAR POWER  
SYSTEM

hebel®  
WALL PANELS

OR RENDERED LIGHTWEIGHT  
SUBSTRATE CLADDING ABOVE  
LOWER ROOFS WHERE APPLICABLE

STAIRCASE UPGRADES - REFER TO CONTRACT

PROVIDE SQUARE SET CEILING CORNERS TO:

- ENTRY
- KITCHEN / PANTRY
- FAMILY
- DINING

FLOOR JOIST SPECS

- 360MM DEEP FLOOR JOIST
- 300MM DEEP FLOOR JOIST TO WET AREA
- 22MM RED TONGUE PARTICLE BOARD FLOORING

PROVIDE 2340MM (H) INTERNAL DOORS  
TO THE GROUND FLOOR ONLY  
UNLESS OTHERWISE NOTED  
(EXCLUDES SLIDING ROBE DOORS)

TABLE OF REVISIONS

| REV. | DATE       | REVISION DESCRIPTION                               | DRAWN | CHECKED |
|------|------------|--|-------|---------|
| A    | 17.02.2021 | PRELIMINARY CONTRACT PLANS                         | CMB   | --      |
| B    | 07.05.21   | PRELIMINARY CONTRACT VARIATION                     | JF9   | --      |
| C    | 19.07.21   | VARIATION 001                                      | OSA   | --      |
| D    | 06.08.21   | VARIATION 002                                      | A90   | --      |
| E    | 11.08.21   | LODGEEMENT PLANS                                   | S03   | --      |
| F    | 10.09.21   | VARIATION 003                                      | NA4   | --      |
| G    | 21.09.21   | AMENDMENTS (SLAB TO PORTICO / INCREASE LDRY - PDR) | NM9   | --      |
| H    | 01.10.21   | INTERNAL VARIATIONS                                | 2CM   | --      |
| I    | DD.MM.YY   | DESCRIPTION  | XX    | XX      |
| J    | DD.MM.YY   | DESCRIPTION  | XX    | XX      |

DESIGN: TRENTHAM 30

FACADE: PLANTATION    CEILING: 25, L

GARAGE: DOUBLE    LOCATION: F

FREEDOM

m  
metricon

OWNER: MR & MRS HODGES  
LOT 7 . NO 45 WARRIEWOOD ROAD  
WARRIEWOOD

COVER SHEET

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METRICON 2016

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JOB No: 720385

DATE: 17.02.2021

FC DATE: DD.MM.YYYY

MST VER: 16.02.2017

SCALE:

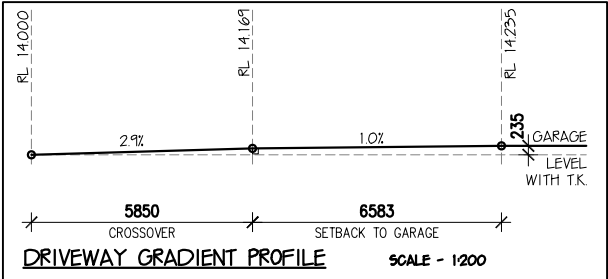
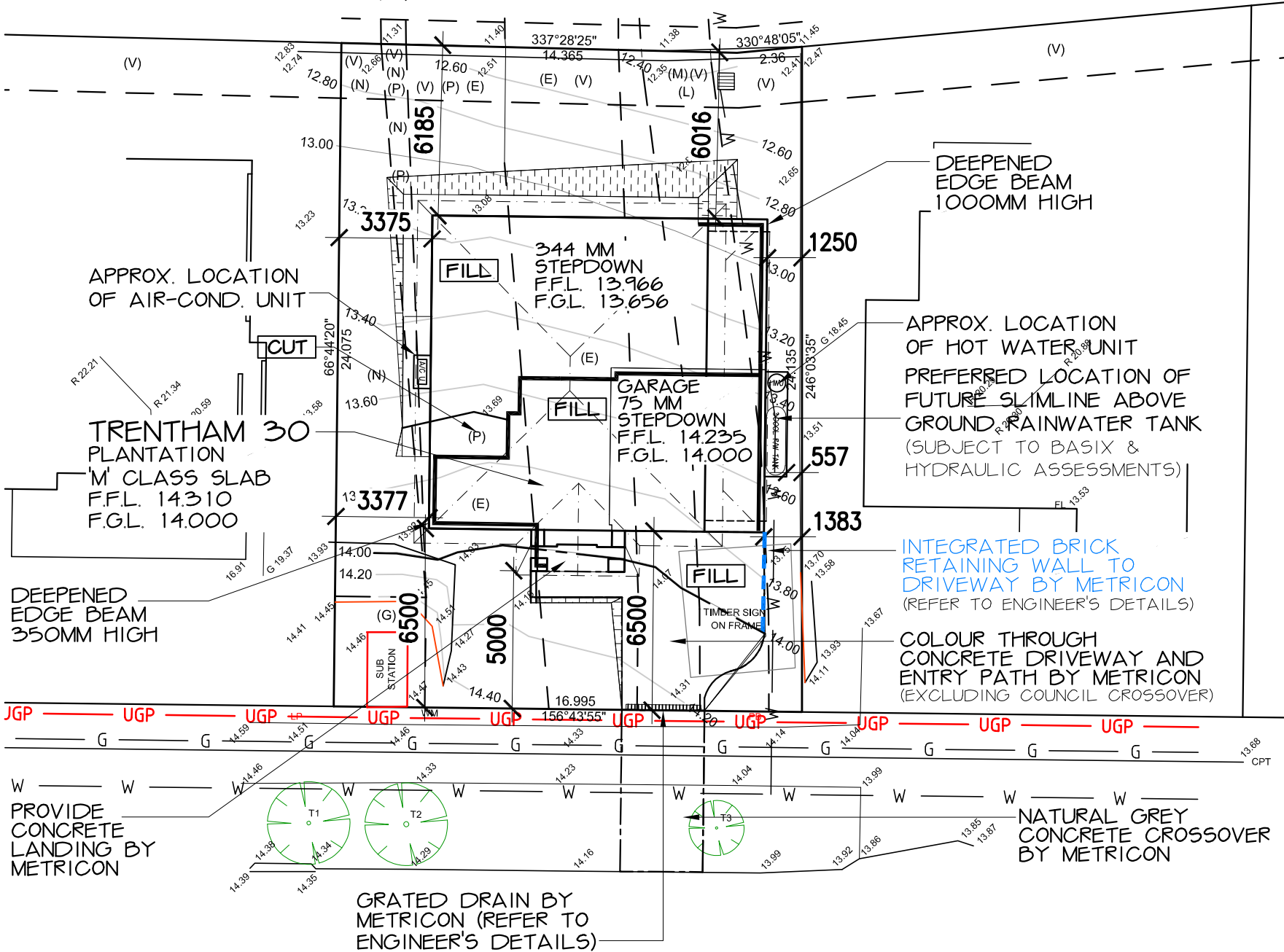
REVISION: H


DRAWN: CMB

CHECK: XX

SHEET: COVER

|   |            |
|---|------------|
| SITE AREA:  | 404.4 SQM  |
| PROPOSED ROOF COVERAGE  |            |
| DWELLING:   | 161.71 SQM |
| TOTAL COVERAGE AREA:  | 161.71 SQM |
| PRIVATE OPEN SPACE  |            |
| PRIVATE OPEN SPACE:   | 80 SQM     |
| MIN. REQUIRED BY COUNCIL:   | 80 SQM     |
| MINIMUM DIMENSION OF 3M   |            |
| PRINCIPAL PRIVATE OPEN SPACE  |            |
| PRINCIPAL PRIVATE OPEN SPACE:   | 24 SQM     |
| MIN. REQUIRED BY COUNCIL:   | 24 SQM     |
| MINIMUM DIMENSIONS OF 4M X 4M   |            |
| LANDSCAPED AREA   |            |
| TOTAL LANDSCAPED AREA:  | 189.49 SQM |
| EXCL. ALL HARD SURFACES,<br>MINIMUM DIMENSION OF 2M   | 46.85 %    |
| MIN. REQUIRED BY COUNCIL:   | 45 %       |
| FRONT YARD LANDSCAPED AREA  |            |
| TOTAL FRONT YARD AREA:  | 110.22 SQM |
| LANDSCAPED FRONT YARD AREA:   | 72.00 SQM  |
| LANDSCAPED FRONT YARD AREA:   | 65.32 %    |
| MIN. REQUIRED BY COUNCIL:   | 60 %       |
| STORMWATER CALCULATION  |            |
| HARD LANDSCAPE AREAS:   | 192.12 SQM |
| (INCL. ROOF/DRIVEWAY/PATHS ETC)   |            |
| SITE COVERAGE RATIO:  | 47.50 %    |
| EXISTING SITE COVERAGE:   | 0 SQM      |
| MAXIMUM ALLOWABLE BY COUNCIL<br>PRIOR TO O.S.D. BEING REQUIRED:   | 0 %        |
| (EXISTING SITE COVERAGE + 50 SQM)   |            |
| BUILDING HEIGHT RESTRICTION   |            |
| MAXIMUM 8.5M RIDGE HEIGHT   |            |
| (F.F.L. MUST BE ACCURATE TO COMPLY)   |            |
| BUILDING ENVELOPE   |            |
| PROVIDE 45 DEGREE PLANE<br>PROJECTED AT 4.5M HIGH ABOVE SIDE<br>BOUNDARY NATURAL GROUND LEVEL.  |            |
| MAXIMUM 1000 MM CUT   |            |
| MAXIMUM 1000MM FILL   |            |
| SURVEYORS NOTES   |            |
| A. THIS SURVEY IS SPECIFICALLY FOR CONTOUR<br>PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT<br>PROPERTY HAVE NOT BEEN INVESTIGATED AND THE<br>POSITION SHOWN IS APPROXIMATE ONLY.  |            |
| B. AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.  |            |
| C. SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL<br>EVIDENCE APPARENT AT THE TIME OF SURVEY. THE<br>RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED<br>TO VERIFY THE EXISTENCE AND POSITION OF ALL<br>SERVICES PRIOR TO THE COMMENCEMENT OF ANY<br>CONSTRUCTION OR EXCAVATION. |            |
| D. CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY<br>ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES<br>TO BE RELIED ON FOR REDUCED LEVELS ON<br>PARTICULAR FEATURES.   |            |

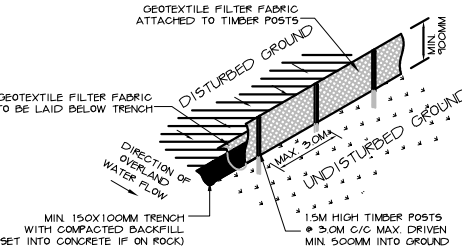


|   |                              |                       |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
|---|------------------------------|-----------------------|-------|-------|-------|---------------------|---------------------|----------------------|-------|---------|---------|-------------------|---------------------|----------------------|-------------|--|--|-----------------|--|--|---------------|---------------|-----------------------|--------------|----------------------------|-----------|-----------------|------------------------------|------|---------------|----------------------------|--|-------------|---------------|--|----------------|---------------|--|--|-------------------|--|
|   | LOT NO:                      | LOT 7.                |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
|   | DEPOSITED PLAN:              | DP 1206507.           |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
|   | COUNCIL / LGA:               | NORTHERN BEACHES      |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
|   | SLAB CLASS:                  | M                     |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
| MGA   | WIND SPEED:                  | N2                    |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
| <b>EXCAVATION NOTES:</b><br>50MM (+/-) TOLERANCE TO NOMINATED RL'S<br>UPPER LEVEL<br>EXCAVATE APPROX. 0MM ON RL. 14.000<br>AND FILL APPROX. 600MM WITHIN DEB<br>LOWER LEVEL<br>EXCAVATE APPROX. 200MM ON RL. 13.656<br>AND FILL APPROX. 756MM<br>EXCAVATIONS ARE TO START A MINIMUM OF<br>1000MM FROM THE EDGE OF THE BUILDING<br>AND ARE TO BE BATTERED BACK TO SUIT<br>IT IS THE RESPONSIBILITY OF THE OWNER TO<br>PROVIDE A GRATED DRAIN ACROSS GARAGE<br>OPENINGS (IF REQUIRED) DUE TO CONSTRUCTION<br>OF DRIVEWAY  |                              |                       |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
| <b>IMPORTANT NOTES:</b><br>SITE CUTS ARE SUBJECT TO COUNCIL APPROVAL<br>& NOT TO BE USED BY ANY OTHER CONTRACTORS<br>OTHER THAN METRICON HOMES PTY LTD  |                              |                       |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
| <b>STORMWATER TO DRAIN TO<br/>EXISTING EASEMENT<br/>VIA RAINWATER TANK</b><br>REFER TO HYDRAULIC ENGINEER'S DETAILS   |                              |                       |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
| <b>TEMPORARY SITE FENCING:</b><br>METRICON TO PROVIDE FENCING<br>TO ANY UNFENCED BOUNDARIES<br>(AS REQUIRED)  |                              |                       |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
| <b>ALL WEATHER ACCESS:</b><br>METRICON TO SUPPLY UP TO 5M SUITABLE<br>ALL WEATHER ACCESS TO BUILDING<br>PLATFORM DURING CONSTRUCTION  |                              |                       |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
| <b>SURVEY LEGEND</b><br><table><tr><td>— S —</td><td>— W —</td><td>— T —</td></tr><tr><td>UGROUND SEWER MAINS</td><td>UGROUND WATER MAINS</td><td>UGROUND TELECOM LINE</td></tr><tr><td>— G —</td><td>— OHP —</td><td>— UGP —</td></tr><tr><td>UGROUND GAS MAINS</td><td>O'HEAD POWER SUPPLY</td><td>UGROUND POWER SUPPLY</td></tr><tr><td colspan="3">TOP OF KERB</td></tr><tr><td colspan="3">EDGE OF BITUMEN</td></tr><tr><td>PP POWER POLE</td><td>SV STOP VALVE</td><td>GRATED STORMWATER PIT</td></tr><tr><td>PB POWER BOX</td><td>SMH SEWER MAINTENANCE HOLE</td><td>BENCHMARK</td></tr><tr><td>SP SERVICE POLE</td><td>SIO SEWER INSPECTION OPENING</td><td>TREE</td></tr><tr><td>LP LIGHT POLE</td><td>CPT TELECOMMUNICATIONS PIT</td><td></td></tr><tr><td>HYD HYDRANT</td><td>GM GAS MARKER</td><td></td></tr><tr><td>WM WATER METER</td><td>KI KERB INLET</td><td></td></tr><tr><td></td><td>SP STORMWATER PIT</td><td></td></tr></table> |                              |                       | — S — | — W — | — T — | UGROUND SEWER MAINS | UGROUND WATER MAINS | UGROUND TELECOM LINE | — G — | — OHP — | — UGP — | UGROUND GAS MAINS | O'HEAD POWER SUPPLY | UGROUND POWER SUPPLY | TOP OF KERB |  |  | EDGE OF BITUMEN |  |  | PP POWER POLE | SV STOP VALVE | GRATED STORMWATER PIT | PB POWER BOX | SMH SEWER MAINTENANCE HOLE | BENCHMARK | SP SERVICE POLE | SIO SEWER INSPECTION OPENING | TREE | LP LIGHT POLE | CPT TELECOMMUNICATIONS PIT |  | HYD HYDRANT | GM GAS MARKER |  | WM WATER METER | KI KERB INLET |  |  | SP STORMWATER PIT |  |
| — S —   | — W —                        | — T —                 |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
| UGROUND SEWER MAINS   | UGROUND WATER MAINS          | UGROUND TELECOM LINE  |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
| — G —   | — OHP —                      | — UGP —               |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
| UGROUND GAS MAINS   | O'HEAD POWER SUPPLY          | UGROUND POWER SUPPLY  |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
| TOP OF KERB   |                              |                       |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
| EDGE OF BITUMEN   |                              |                       |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
| PP POWER POLE   | SV STOP VALVE                | GRATED STORMWATER PIT |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
| PB POWER BOX  | SMH SEWER MAINTENANCE HOLE   | BENCHMARK             |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
| SP SERVICE POLE   | SIO SEWER INSPECTION OPENING | TREE                  |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
| LP LIGHT POLE   | CPT TELECOMMUNICATIONS PIT   |                       |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
| HYD HYDRANT   | GM GAS MARKER                |                       |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
| WM WATER METER  | KI KERB INLET                |                       |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
|   | SP STORMWATER PIT            |                       |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
| INTRAX SURVEY DATE: 19.01.2021  |                              |                       |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
| CONTOUR INTERVALS: 200MM  |                              |                       |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
| LEVELS TO: AHD  |                              |                       |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
| <b>SITE PLAN</b>  |                              |                       |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
|  <div>Build E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153<br/>P.O. Box 7510, Norwest Business Park NSW 2153<br/>Tel: 02 8887 9000 Fax: 02 8079 5901<br/>Contractor Licence No: 174 699<br/>A.C.N. 005 108 752 www.metricon.com.au</div>   |                              |                       |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
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| MR & MRS HODGES<br>LOT 7, NO 45 WARRIEWOOD ROAD<br>WARRIEWOOD   |                              |                       |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
| JOB No: 720385  |                              |                       |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
| DATE: 17.02.2021  | DRAWN: CMB                   |                       |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
| SCALE: 1:200  | SHEET: 1 OF 11               |                       |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |
| UBD REF: SYD XX XX  |                              |                       |       |       |       |                     |                     |                      |       |         |         |                   |                     |                      |             |  |  |                 |  |  |               |               |                       |              |                            |           |                 |                              |      |               |                            |  |             |               |  |                |               |  |  |                   |  |



SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED REGULARLY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD
5. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEP DAILY.
6. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0M CENTRES. FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.
7. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



SEDIMENT FENCE DETAIL  
NOT TO SCALE

TEMPORARY SECURITY FENCING

TEMPORARY SECURITY FENCING TO THE PERIMETER OF BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO SITE.

CUT & FILL BATTERS

ALL GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

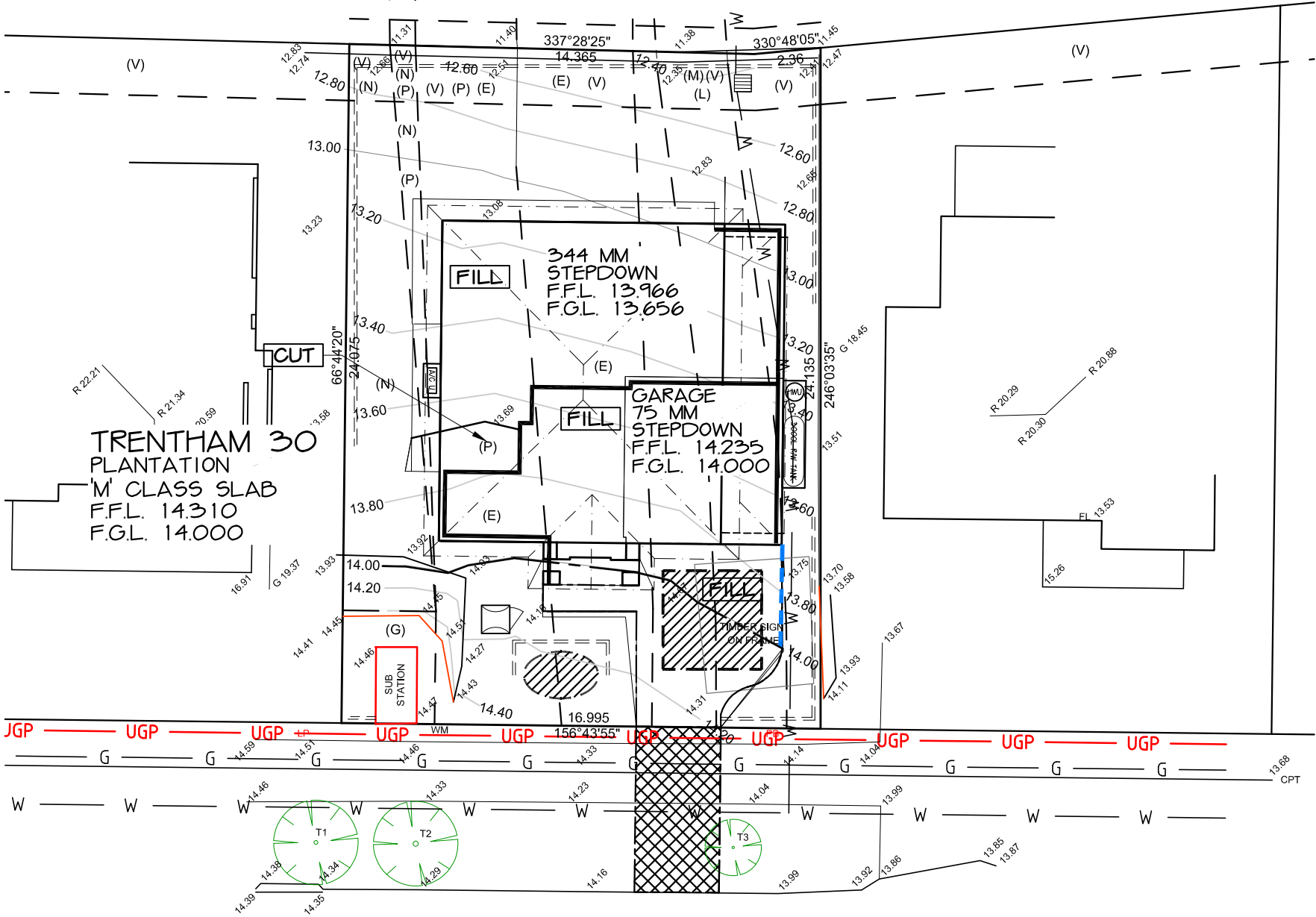
SEDIMENT FENCE

WASTE STORAGE AREA

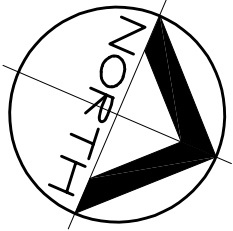
MATERIAL STORAGE AREA

PORTABLE TOILET

ALL WEATHER ACCESS POSITION



- (E) RIGHT OF CARRIAGEWAY 7.7 WIDE (E) (DP 1206507)
- (G) EASEMENT FOR ELECTRICITY PURPOSES 3.3 WIDE (G) (DP 1206507)
- (L) EASEMENT FOR WATER SUPPLY PURPOSES 2.5 WIDE (L) (DP 1206507)
- (M) EASEMENT FOR ACCESS & DRAINAGE PURPOSES 2.5 WIDE (M) (DP 1206507)
- (N) EASEMENT FOR ELECTRICITY PURPOSES VARIABLE WIDTH (N) (DP 1206507)
- (P) EASEMENT FOR ELECTRICITY & OTHER PURPOSES 4.5 WIDE (P) (DP 1206507)
- (V) EASEMENT TO DRAIN WATER 2 WIDE (V) (DP 1206507)



|                                    |    |
|------------------------------------|----|
| LOT NO:<br>LOT 7.                  |    |
| DEPOSITED PLAN:<br>DP 1206507.     |    |
| COUNCIL / LGA:<br>NORTHERN BEACHES |    |
| SLAB CLASS:                        | M  |
| WIND SPEED:                        | N2 |

SURVEY LEGEND

|                     |                              |                       |
|---------------------|------------------------------|-----------------------|
| S                   | W                            | T                     |
| UGROUND SEWER MAINS | UGROUND WATER MAINS          | UGROUND TELECOM LINE  |
| G                   | OHP                          | UGP                   |
| UGROUND GAS MAINS   | OHEAD POWER SUPPLY           | UGROUND POWER SUPPLY  |
| TOP OF KERB         | EDGE OF BITUMEN              |                       |
| PP POWER POLE       | SV STOP VALVE                | GRATED STORMWATER PIT |
| PB POWER BOX        | SMH SEWER MAINTENANCE HOLE   | BM BENCHMARK          |
| SP SERVICE POLE     | SIO SEWER INSPECTION OPENING | IT TREE               |
| LP LIGHT POLE       | CPT TELECOMMUNICATIONS PIT   |                       |
| HYD HYDRANT         | GM GAS MARKER                |                       |
| WM WATER METER      | KIP KERB INLET               |                       |
|                     | STP STORMWATER PIT           |                       |

EROSION & SEDIMENT CONTROL PLAN

CONSTRUCTION PLAN

TEMPORARY FENCING:  
BUILDER TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTH. BYLAW)

ALL WEATHER ACCESS:  
METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION

INTRAX SURVEY DATE: 19.01.2021

CONTOUR INTERVALS: 200MM

LEVELS TO: AHD

**m**  
**metricon**

Build E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153  
P.O. Box 7510, Norwest Business Park NSW 2153  
Tel: 02 8887 9000 Fax: 02 8079 5901  
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MR & MRS HODGES  
LOT 7, NO 45 WARRIEWOOD ROAD  
WARRIEWOOD

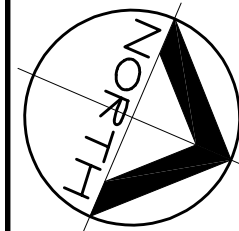
JOB No: 720385

|                    |                 |
|--------------------|-----------------|
| DATE: 11.08.2021   | DRAWN: 503      |
| SCALE: 1:200       | SHEET: 1A OF 11 |
| UBD REF: SYD XX XX |                 |

**P**

1/2

Site plan showing building footprint, garage, sub station, and various utility lines (UGP, W, G). Includes elevation points and labels for 'TRENTHAM 30 PLANTATION' and 'GARAGE 75 MM STEPDOWN'.



LOT NO:

LOT 7.

DEPOSITED PLAN:

DP 1206507.

COUNCIL / LGA:

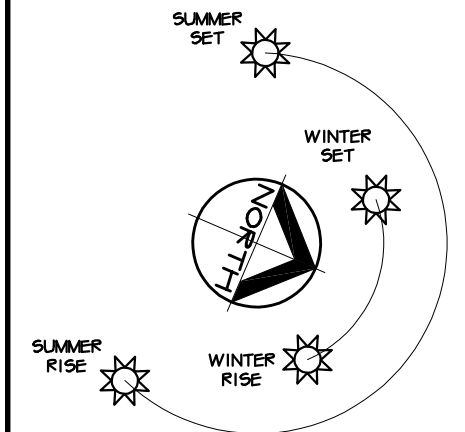
## NORTHERN BEACHES

SLAB CLASS:

M |

WIND SPEED:

12



### TEMPORARY FENCING:

TEMPORARY FENCING  
BUILDER TO PROVIDE FENCING TO ANY  
UNFENCED BOUNDARIES (LOCAL AUTH.  
BYLAW)

ALL WEATHER ACCESS:

**ALL WEATHER ACCESS**  
METRICON TO SUPPLY UP TO 5M SUITABLE  
ALL WEATHER ACCESS TO BUILDING  
PLATFORM DURING CONSTRUCTION

INTRAX SURVEY DATE: 19.01.2021

CONTOUR INTERVALS: 200 MM

| LEVELS TO: AHD | LEVELS TO: AHD |
|----------------|----------------|
| 1              | 1              |
| 2              | 2              |
| 3              | 3              |
| 4              | 4              |
| 5              | 5              |
| 6              | 6              |
| 7              | 7              |
| 8              | 8              |
| 9              | 9              |
| 10             | 10             |
| 11             | 11             |
| 12             | 12             |
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| 92             | 92             |
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| 96             | 96             |
| 97             | 97             |
| 98             | 98             |
| 99             | 99             |
| 100            | 100            |



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MR & MRS HODGES  
LOT 7, NO 45 WARRIEWOOD ROAD  
WARRIEWOOD

JOB No: 720385

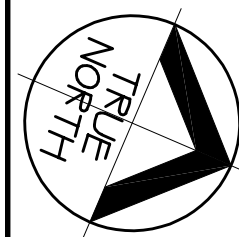
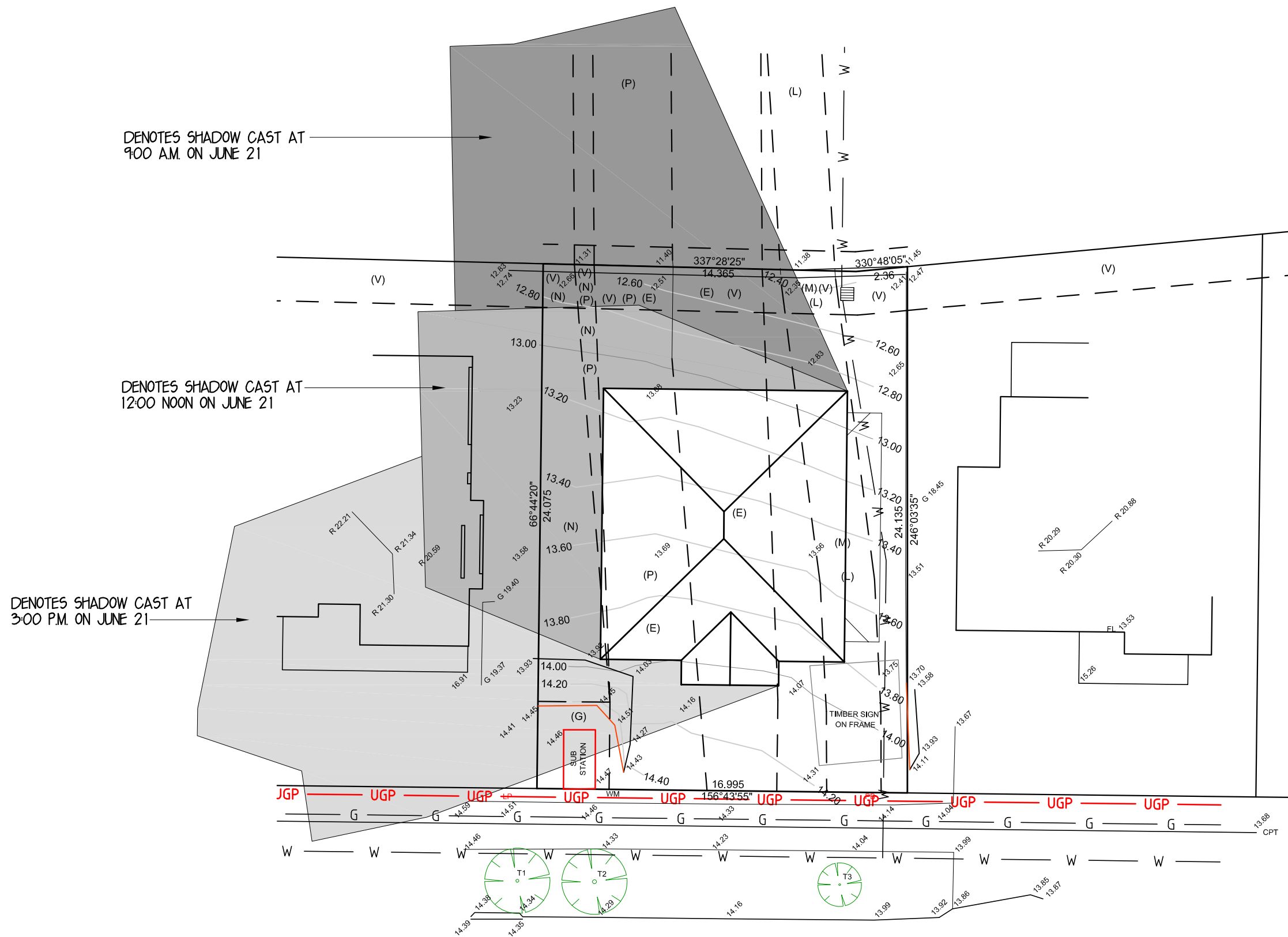
DATE: 11.08.2021

|        |     |
|--------|-----|
| DRAWN: | S03 |
|--------|-----|

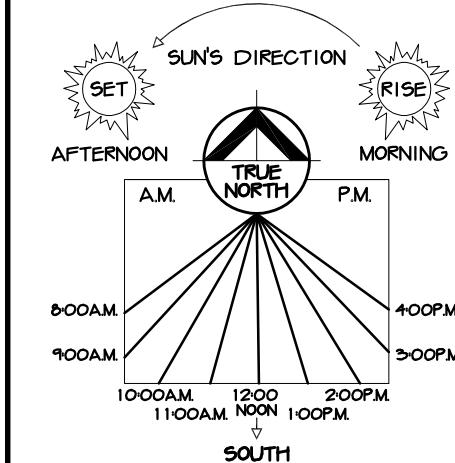
SCALE: 1:200

SHEET: 1B OF 11

UBD REF: SYD XX XX



|                                    |    |
|------------------------------------|----|
| LOT NO:<br>LOT 7.                  |    |
| DEPOSITED PLAN:<br>DP 1206507.     |    |
| COUNCIL / LGA:<br>NORTHERN BEACHES |    |
| SLAB CLASS:                        | M  |
| WIND SPEED:                        | N2 |



NOTE: PICTORIAL REPRESENTATION ONLY. NOT TO BE USED AS TRUE NORTH POINT FOR THIS JOB

#### SHADOW LOCATION TIME OF DAY

|  |                    |
|--|--------------------|
|  | 9:00 A.M. JUNE 21  |
|  | 12:00 NOON JUNE 21 |
|  | 3:00 P.M. JUNE 21  |

| TIME     | SHADOW LENGTH<br>RATIO (METRES) | ALTITUDE<br>(DEGREES) | AZIMUTH<br>(DEGREES) |
|----------|---------------------------------|-----------------------|----------------------|
| 8:00 AM  | 5.82                            | 9.76                  | 53.12                |
| 9:00 AM  | 2.91                            | 18.96                 | 42.59                |
| 10:00 AM | 2.02                            | 26.33                 | 30.01                |
| 11:00 AM | 1.66                            | 31.14                 | 15.3                 |
| 12:00 PM | 1.56                            | 32.72                 | 359.19               |
| 1:00 PM  | 1.68                            | 30.8                  | 343.16               |
| 2:00 PM  | 2.08                            | 25.7                  | 328.65               |
| 3:00 PM  | 3.06                            | 18.11                 | 316.28               |
| 4:00 PM  | 6.48                            | 8.77                  | 305.94               |

INTRAX SURVEY DATE: 1901.2021

CONTOUR INTERVALS: 200MM

LEVELS TO: AHD

#### SHADOW DIAGRAM @ JUNE 21



Build E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153  
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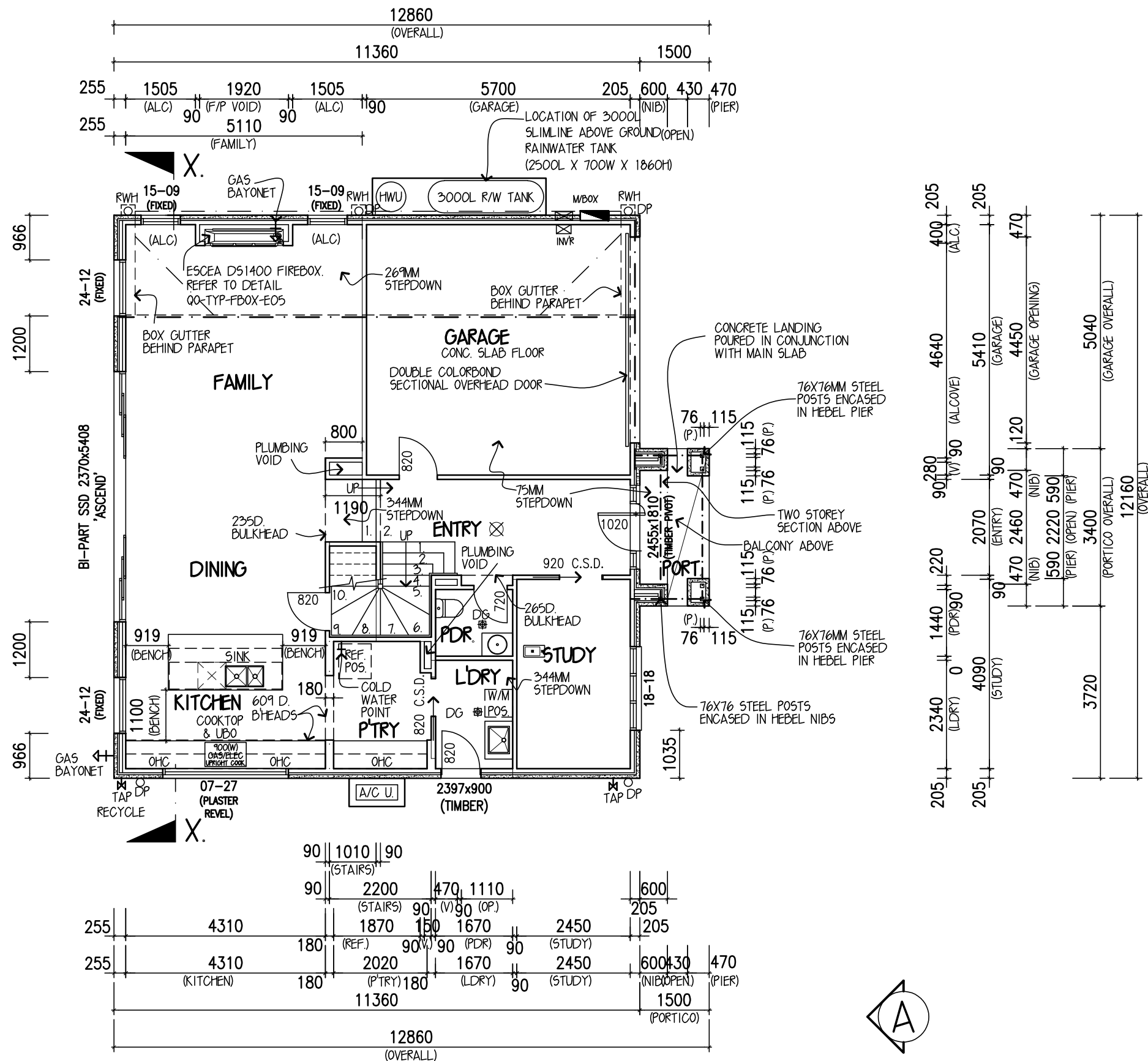
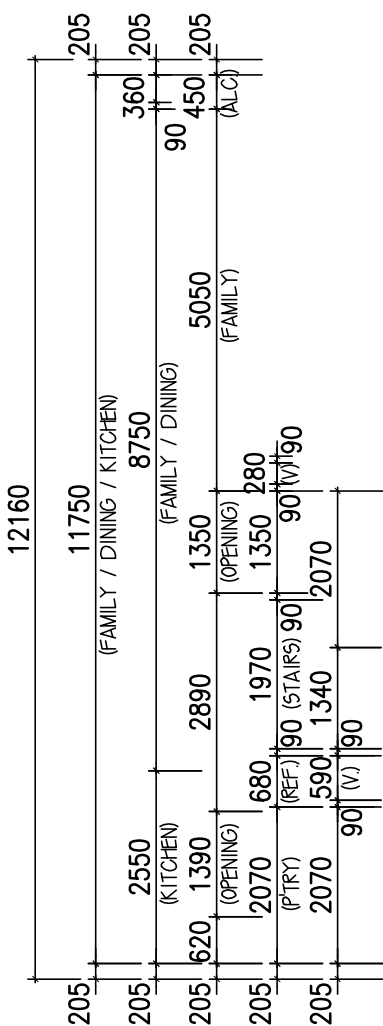
MR & MRS HODGES  
LOT 7, NO 45 WARRIEWOOD ROAD  
WARRIEWOOD

JOB No: 720385

















|                    |                 |
|--------------------|-----------------|
| DATE: 11.08.2021   | DRAWN: 503      |
| SCALE: 1:200       | SHEET: 1C OF 11 |
| UBD REF: SYD XX XX |                 |



PROVIDE 2340MM (H) INTERNAL DOORS  
TO THE GROUND FLOOR ONLY  
UNLESS OTHERWISE NOTED  
(EXCLUDES SLIDING ROBE DOORS)



## SYMBOL LEGEND      FRAMING LEGEND

|   |   |   |  |
|---|---|---|--|
|  | DOWNPIPE<br>90mm ROUND PVC  |  | LOAD BEARING WALL  |
|  | DOWNPIPE<br>100x50mm RECT. C/BOND   |  | 70mm STUD WALL<br>120mm STUD WALL  |
|  | DOWNPIPE<br>WITH SPREADER   |   |  |
|  | DOWNPIPE<br>WITH RAINWATER HEAD   |  | SMOKE ALARM  |
|  | GARDEN TAP  |   | APPROX. POSITION INSTALLED<br>AS PER <b>N.C.C. 3.7.2.</b> & TO<br>COMPLY WITH <b>AS 3788.</b> SMOKE<br>ALARMS TO BE INTERCONNECTED |
|  | GAS BAYONET   |   |  |
|  | COLD WATER POINT  |  | EXHAUST FAN.   |
|  | FLOOR WASTE   |   | INSTALLED AS PER B.C.A. 3.8.5.<br>& TO COMPLY WITH A.S.1668.2.   |
|  | ELEC. METERBOX<br>600x600 RECESSED  |   |  |
|  | AIR COND. UNIT  |   |  |
|  | MANHOLE<br>FOR CEILING ACCESS   |   |  |
|  | ARTICULATION JOINT<br>WHERE ARTICULATION JOINTS ARE NOT SHOWN<br>REFER TO STRUCTURAL ENGINEER'S DETAILS |   |  |

|            |            |          |            |           |
|------------|------------|----------|------------|-----------|
| AREAS:     |            | GARAGE:  |            | 33.14 SQM |
| GRD FLR:   | 105.00 SQM | PORTICO: | 5.10 SQM   |           |
| FIRST FLR: | 115.53 SQM | BALCONY: | 2.81 SQM   |           |
|            |            |          |            |           |
|            |            |          |            |           |
| SUBTOTAL:  | 220.53 SQM | TOTAL:   | 261.58 SQM |           |
|            | 23.74 SQM  |          | 28.16 SQM  |           |

DESIGN: TRENTHAM 30

FACADE: **PLANTATION**      CEILING: 25, L

GARAGE: DOUBLE LOCATION: F

## GROUND FLOOR PLAN

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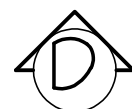
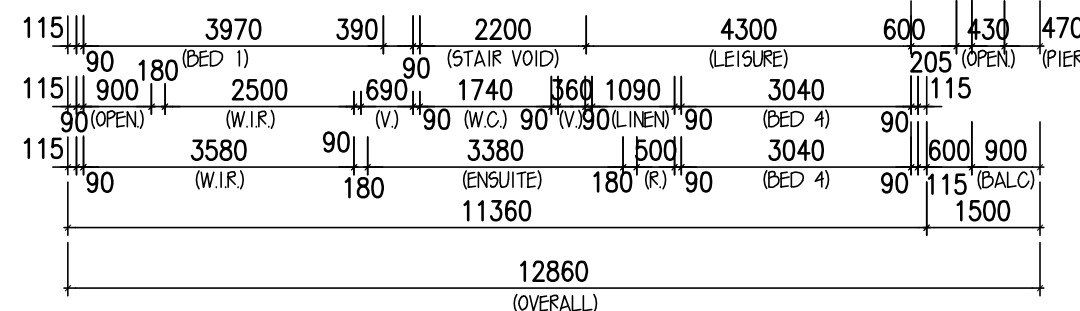
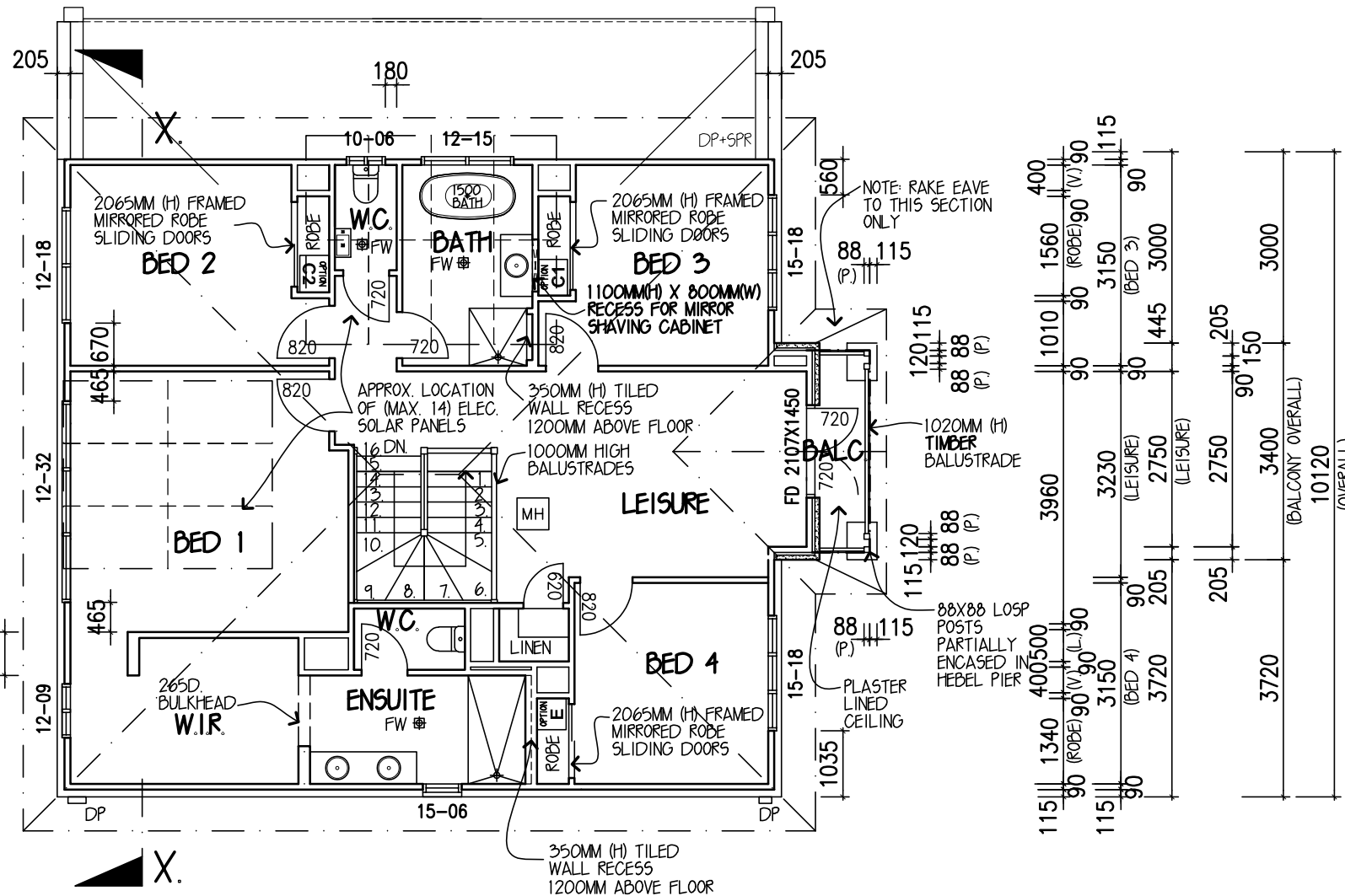
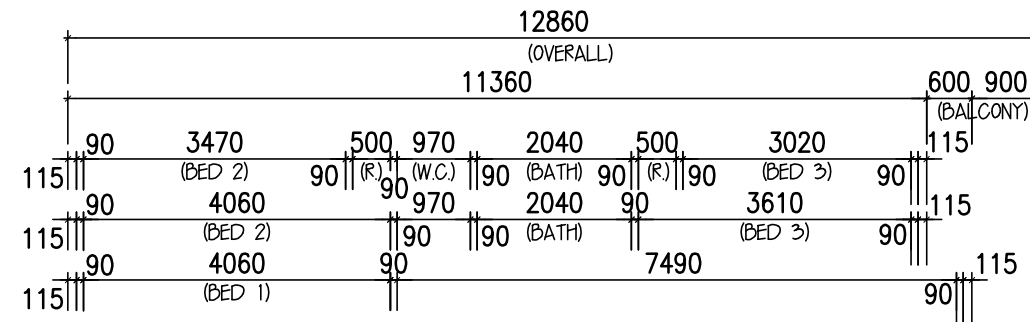
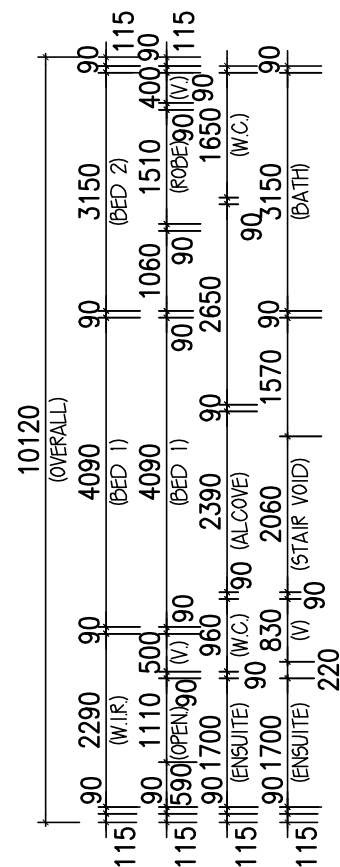
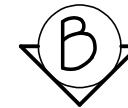
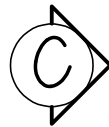
**FREEDOM** **m**  
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METRICON 2016

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OWNER: MR & MRS HODGES  
LOT 7 . NO 45 WARRIEWOOD ROAD  
WARRIEWOOD

|                                 |                  |                            |
|---------------------------------|------------------|----------------------------|
| JOB No: <b>720385</b>           |                  | DATE: <b>17.02.2021</b>    |
| FC DATE: <b>DD.MM.YYYY</b>      |                  | MST VER: <b>16.02.2017</b> |
| SCALE: <b>1:100 ON A3 SHEET</b> |                  | REVISION: <b>H</b>         |
| DRAWN: <b>CM8</b>               | CHECK: <b>XX</b> | SHEET: <b>2 of 11</b>      |



## SYMBOL LEGEND

|        |   |   |
|--------|---|---|
| DP     | DOWNPIPE  | LOAD BEARING WALL   |
| ○      | 90mm ROUND PVC  | 70mm STUD WALL  |
| DP     | DOWNPIPE  | 100x50mm RECT. c/BOND   |
| DP+SPR | DOWNPIPE WITH SPREADER  | 120mm STUD WALL   |
| RWH    | DOWNPIPE WITH RAINWATER HEAD  | SMOKE ALARM   |
| ⌵      | GARDEN TAP  | APPROX. POSITION INSTALLED AS PER N.C.C. 3.7.2. & TO COMPLY WITH AS 3786. SMOKE ALARMS TO BE INTERCONNECTED |
| ⌵      | GAS BAYONET   | EXHAUST FAN.  |
| +      | COLD WATER POINT  | INSTALLED AS PER B.C.A. 3.8.5. & TO COMPLY WITH A.S.1668.2.   |
| FW     | FLOOR WASTE   |   |
| ■      | ELEC. METERBOX 600x600 RECESSED   |   |
| AVC U  | AIR COND. UNIT  |   |
| MH     | MANHOLE FOR CEILING ACCESS  |   |
| AJ     | ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS |   |

|            |           |            |
|------------|-----------|------------|
| AREAS:     | GARAGE:   | 38.94 SQM  |
| GRD FLR:   | PORTICO:  | 7.49 SQM   |
| FIRST FLR: | OUTDOOR:  | 0.00 SQM   |
| SUBTOTAL:  | TOTAL:    | 285.22 SQM |
| 25.70 SQM  | 30.70 SQM |            |

DESIGN: **TRENTHAM 30**  
FACADE: **PLANTATION** CEILING: 25, L  
GARAGE: **DOUBLE** LOCATION: F

## FIRST FLOOR PLAN

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**LOT 7, NO 45 WARRIEWOOD ROAD**  
**WARRIEWOOD**

|                                 |                            |
|---------------------------------|----------------------------|
| JOB No: <b>720385</b>           | DATE: <b>17.02.2021</b>    |
| FC DATE: <b>DD.MM.YYYY</b>      | MST VER: <b>16.02.2017</b> |
| SCALE: <b>1:100 ON A3 SHEET</b> | REVISION: <b>H</b>         |
| DRAWN: <b>CM8</b>               | CHECK: <b>XX</b>           |
| SHEET: <b>3 of 11</b>           |                            |

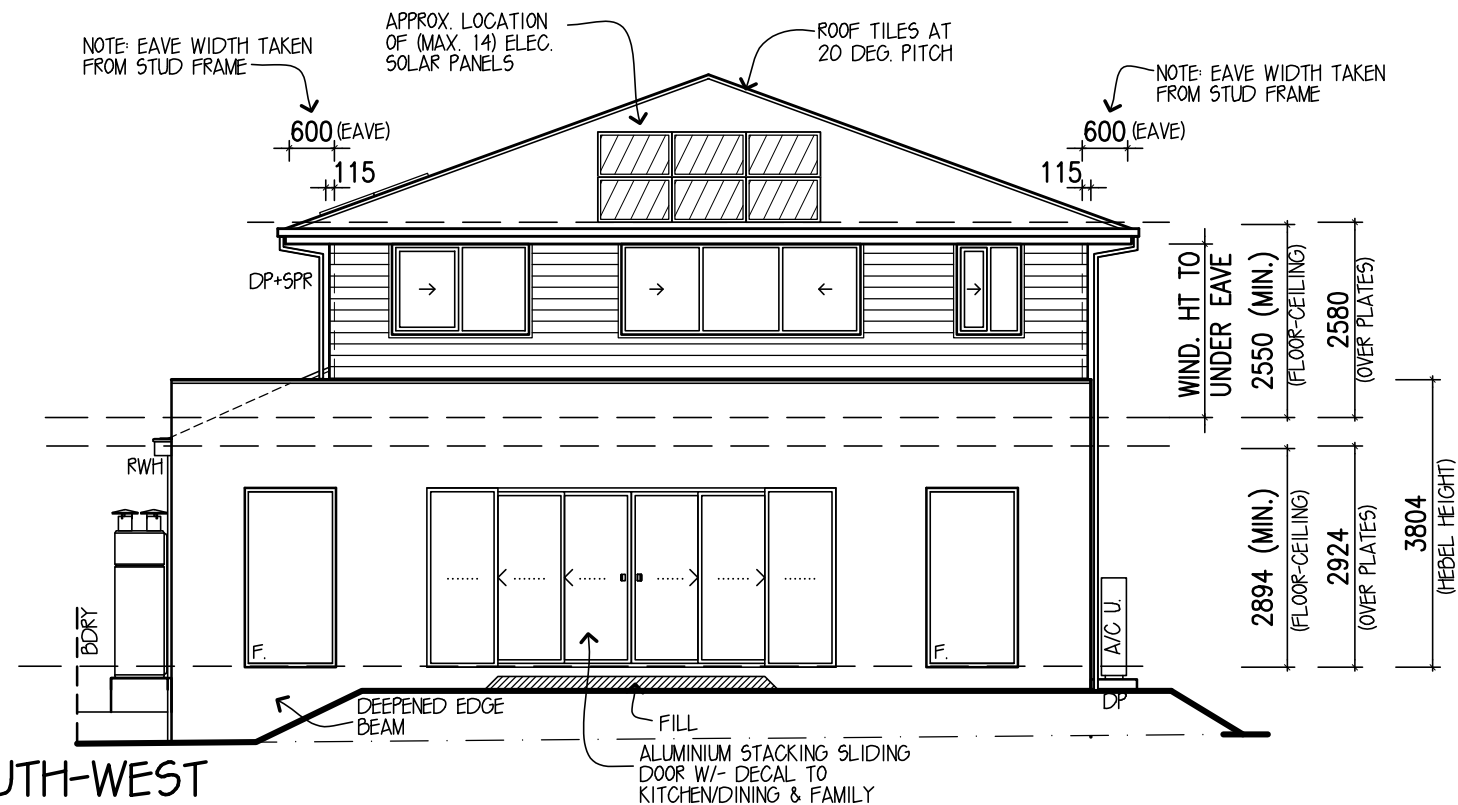




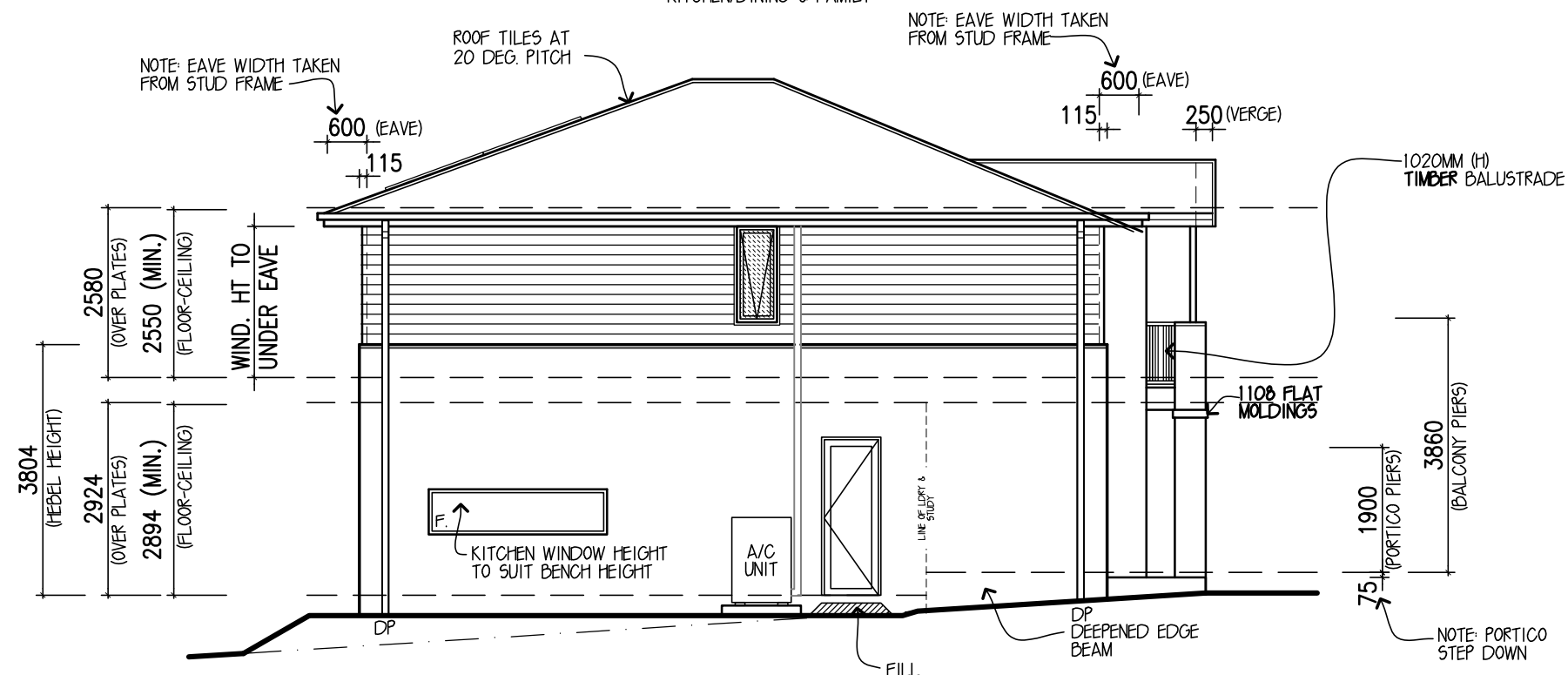
PROVIDE JAMES HARDIES SCYON  
LINEA WEATHERBOARD CLADDING  
TO FIRST FLOOR ELEVATIONS  
(UNLESS NOTED OTHERWISE)  
REFER TO DETAIL: 5-TYP-CLAD-02

PROVIDE ACRYLIC RENDER FINISH TO HEBEL  
PANELS TO GROUND FLOOR ELEVATIONS  
(UNLESS NOTED OTHERWISE)

■ DENOTES WINDOWS/DOORS WITH DECOR  
SATIN TOUGHENED GLAZING



ELEVATION C. - SOUTH-WEST



ELEVATION D. - SOUTH-EAST

# SYMBOL LEGEND

|     |                                |    |   |
|-----|--------------------------------|----|---|
| M/D | RECESSED ELECTRICITY METER BOX | AJ | ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS |
| RWH | DOWNPIPE W/- RAINWATER HEAD    |    |   |
| DP  | ROTATING ROOF VENTILATOR       |    |   |

DESIGN: TRENTHAM 30

FACADE: PLANTATION CEILING: 25, L

GARAGE: DOUBLE LOCATION: F

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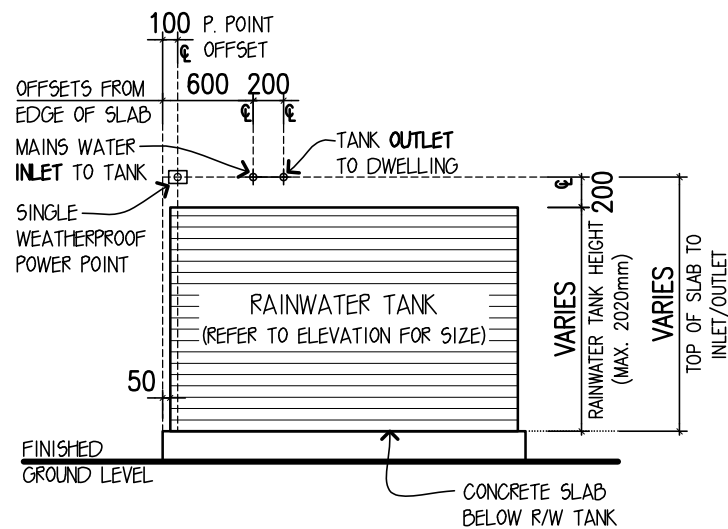
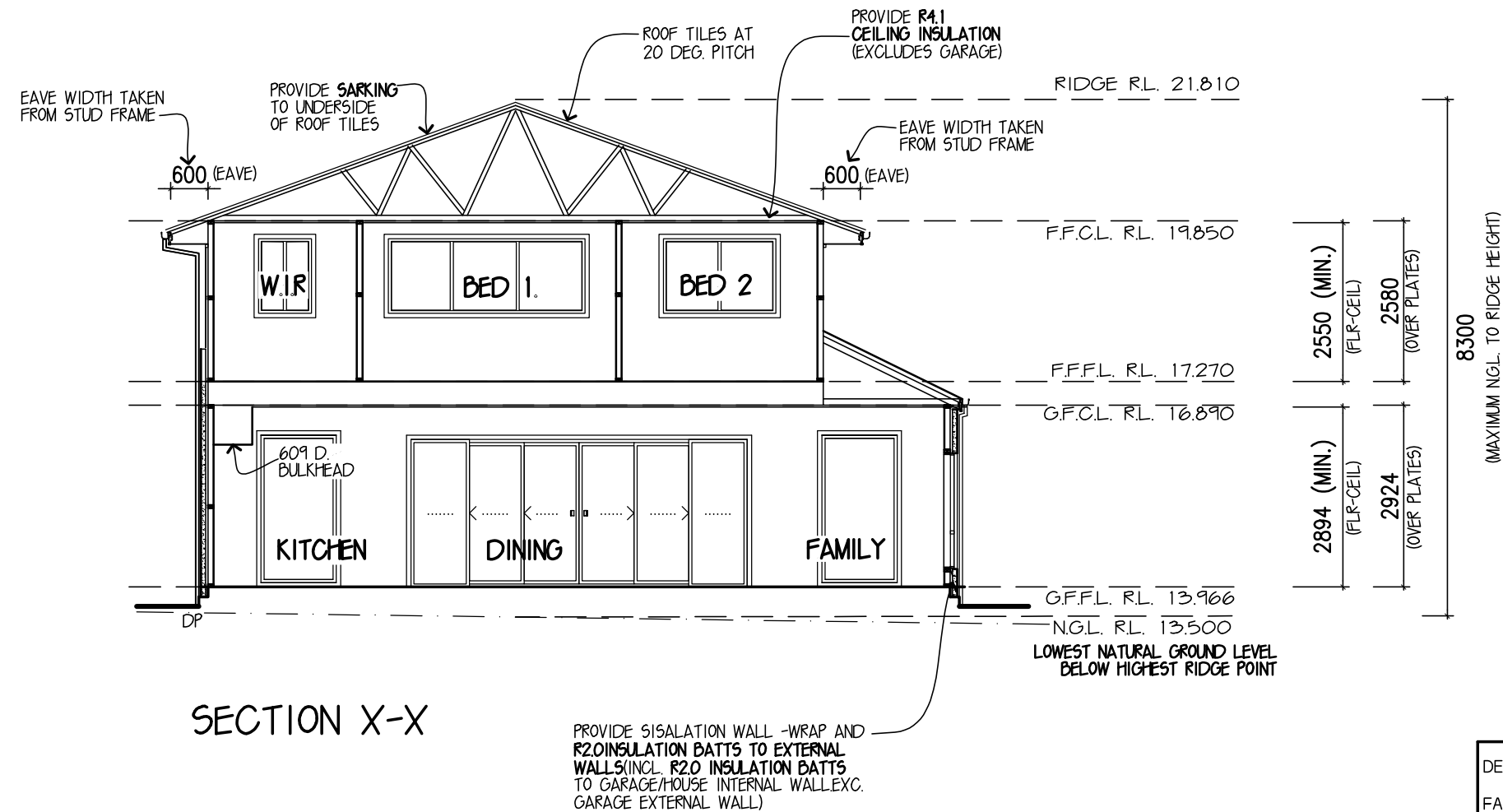
## ELEVATIONS

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ROUGH-IN POSITIONING  
(NOT TO SCALE)

'EVOLUTION' MK2 TANK DETAIL  
(NOT SUITABLE FOR TANKS EXCEEDING 2020MM HIGH)

DESIGN: TRENTHAM 30

FACADE: PLANTATION CEILING: 25, L

GARAGE: DOUBLE LOCATION: F

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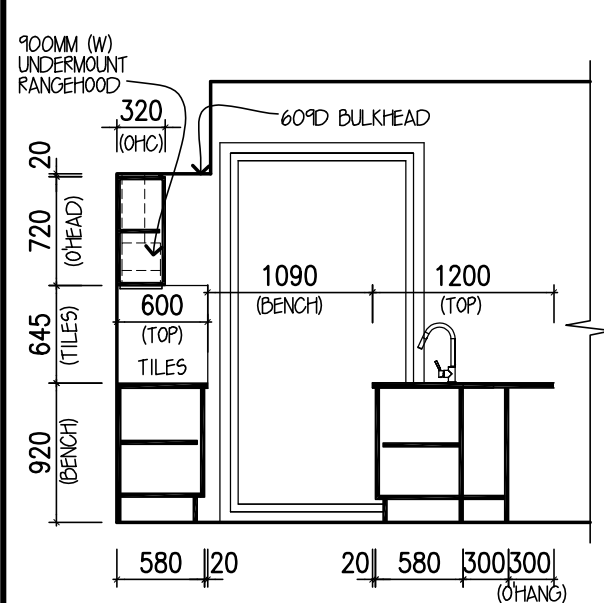
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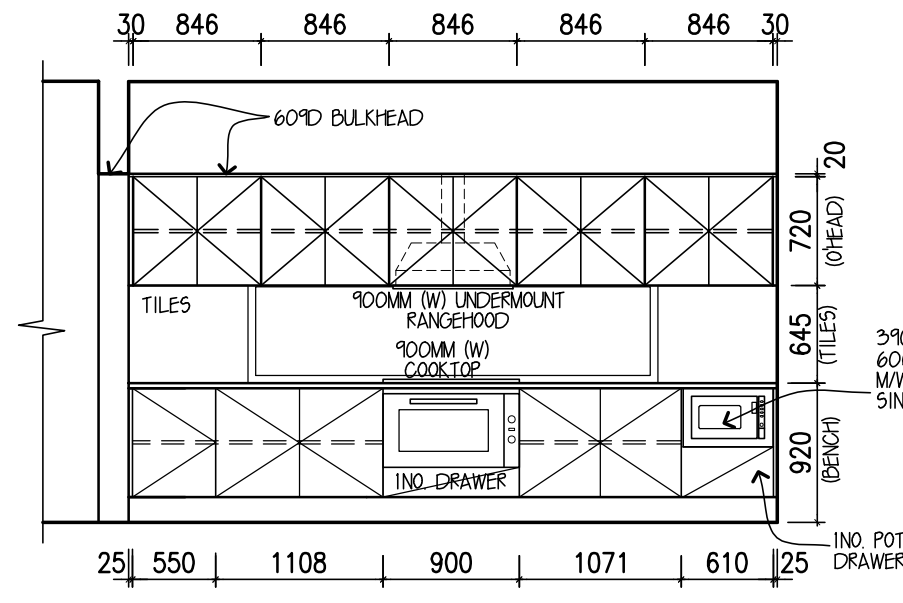
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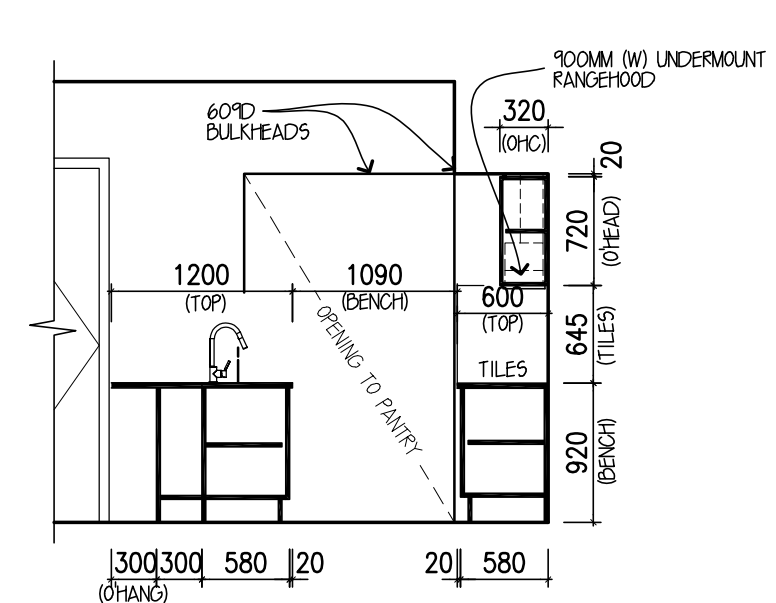
DRAWN: CM8 CHECK: XX SHEET: 6 of 11



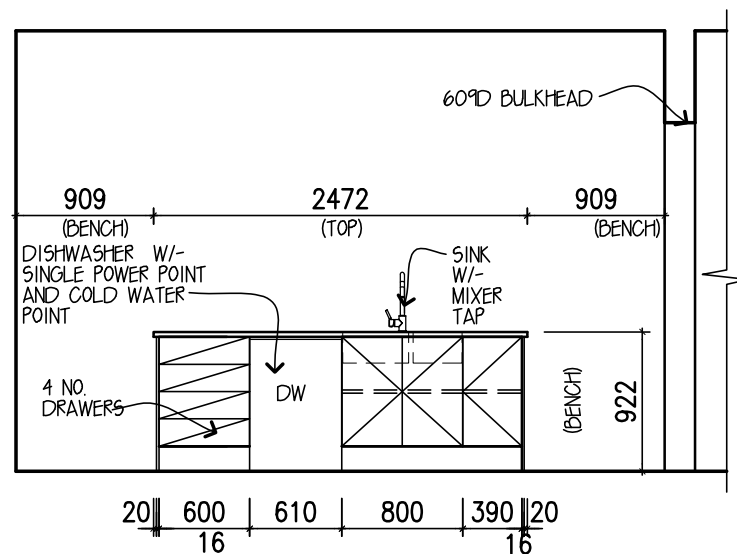
ELEVATION A  
KITCHEN



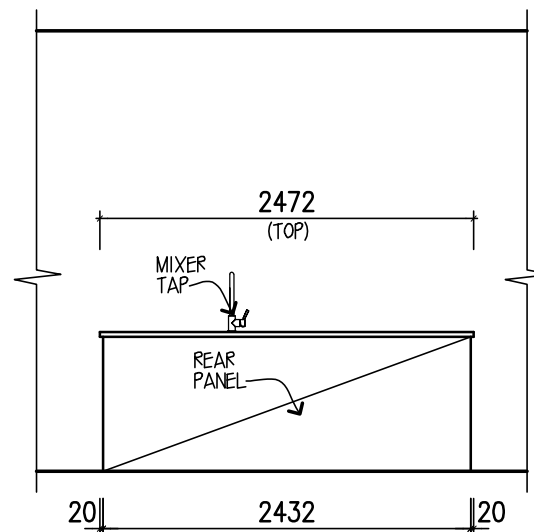
ELEVATION B



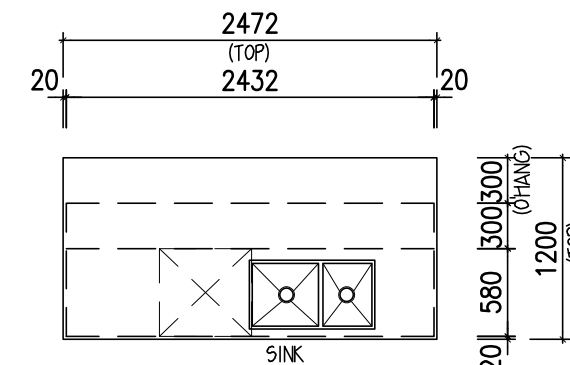
ELEVATION C



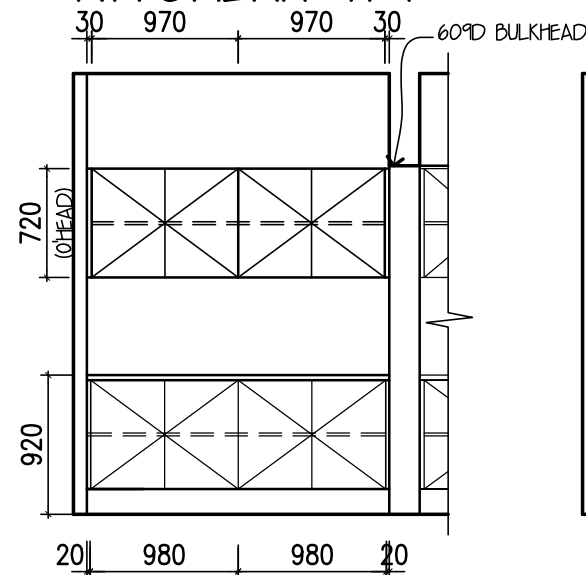
ELEVATION D  
KITCHEN/P'TRY



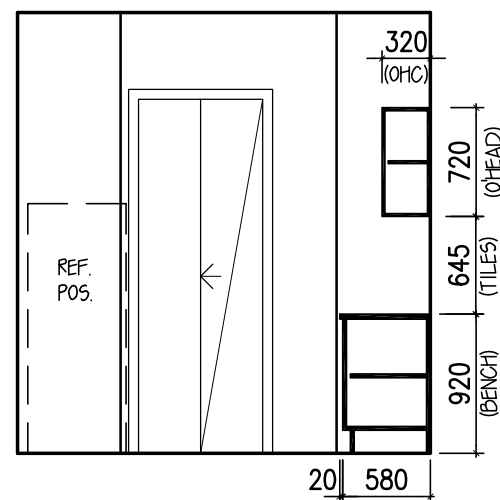
ELEVATION B (ISLAND  
BENCH)



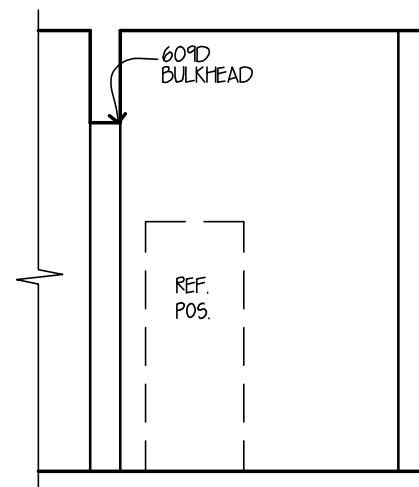
KITCHEN ISLAND  
BENCH DETAIL



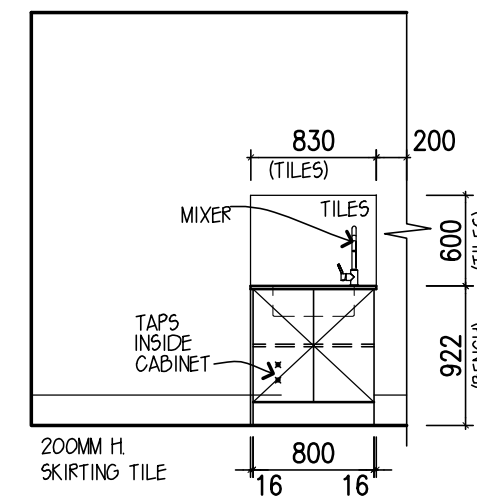
ELEVATION B  
PANTRY



ELEVATION C



ELEVATION D



ELEVATION A  
LAUNDRY

DESIGN: TRENTHAM 30

FACADE: PLANTATION CEILING: 25, L

GARAGE: DOUBLE LOCATION: F

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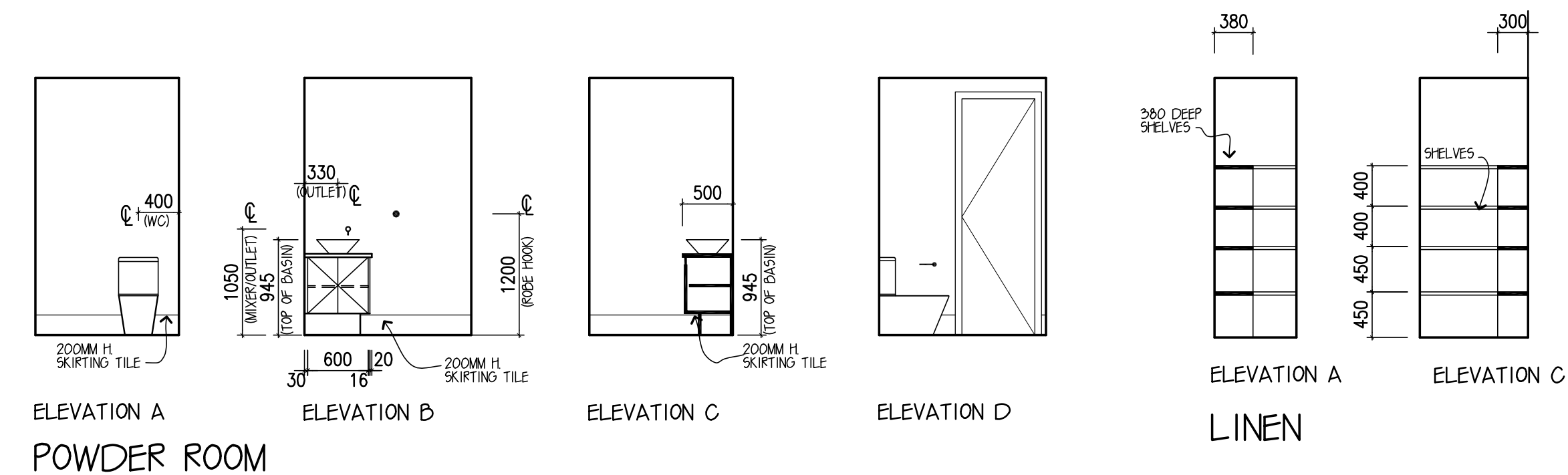
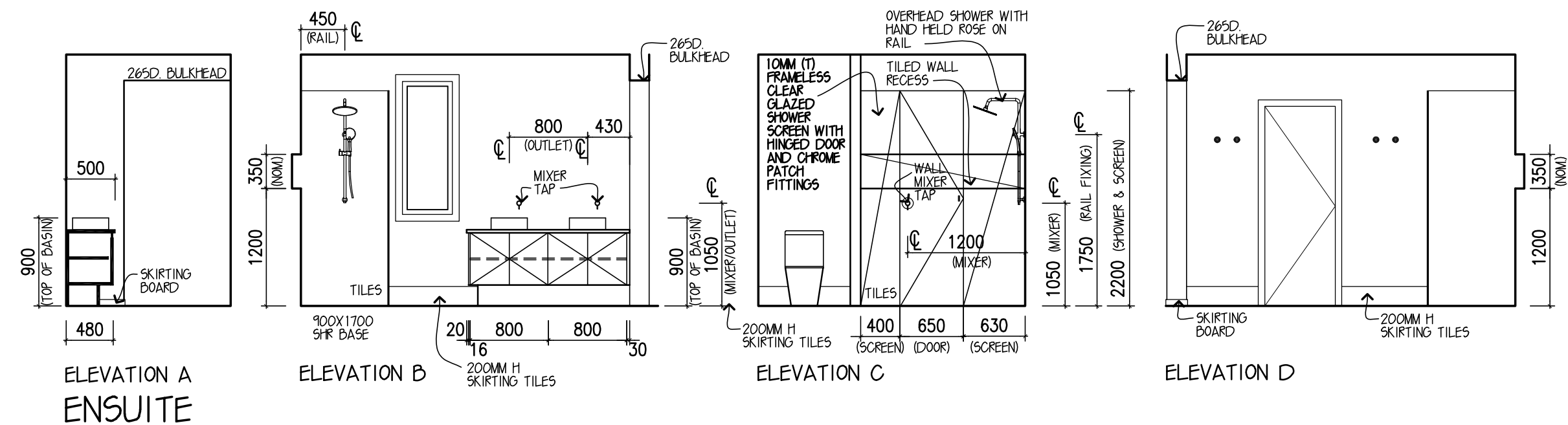
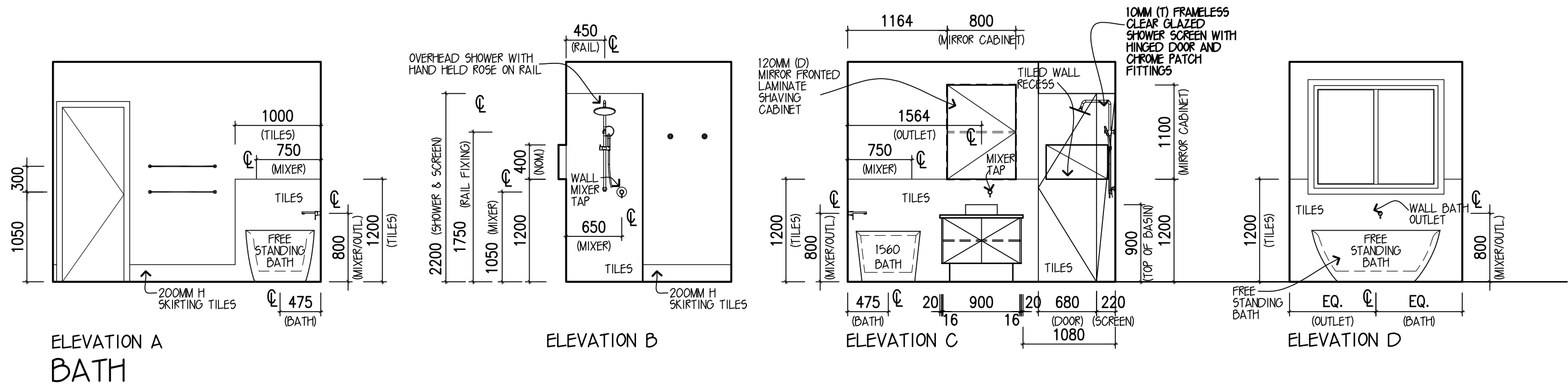
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| BATHROOM ACCESSORIES LEGEND      |                                    |
|----------------------------------|------------------------------------|
| TOILET RING (700MM ABOVE FFL)    | SGL TOWEL RAIL (600)               |
| SGL ROBE HOOK (1700MM ABOVE FFL) | SGL TOWEL RAIL (760)               |
| SOAP HOLDER (1200MM ABOVE FFL)   | SGL TOWEL RAIL (900)               |
| TOWEL RING (1200MM ABOVE FFL)    | DBL TOWEL RAIL (760)               |
| GLASS SHELF (1200MM ABOVE FFL)   | DBL TOWEL RAIL (900)               |
|                                  | ALL TOWEL RAILS (1200MM ABOVE FFL) |

DESIGN: **TRENTHAM 30**

FACADE: **PLANTATION** CEILING: 25, L

GARAGE: **DOUBLE** LOCATION: **F**

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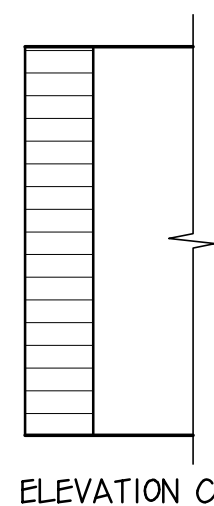
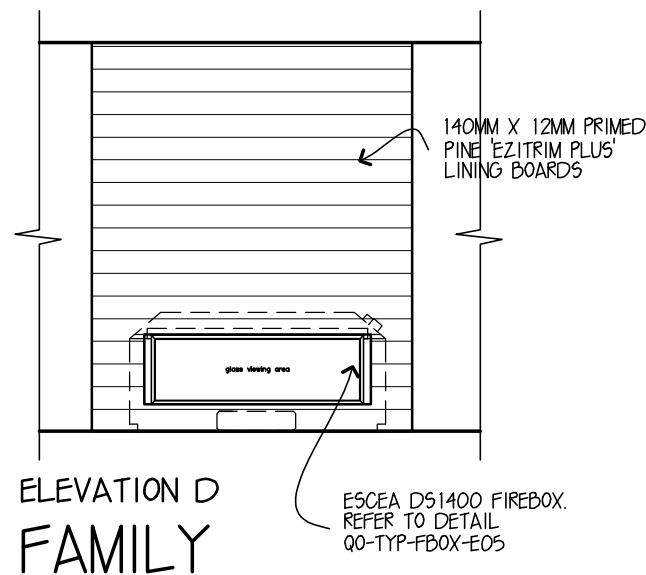
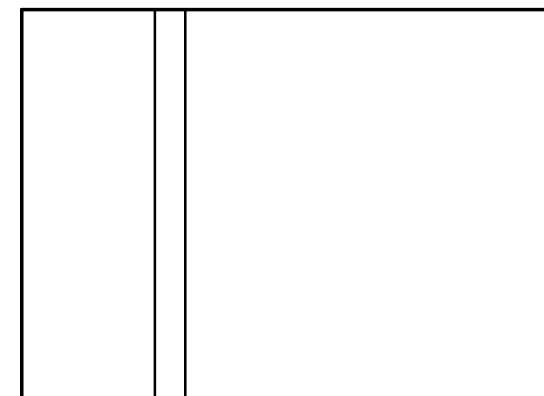
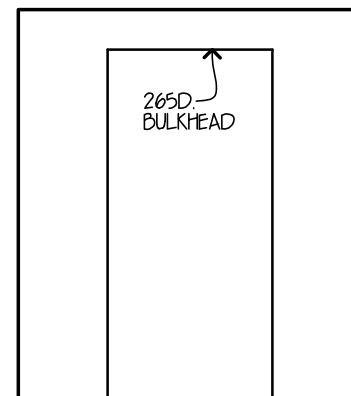
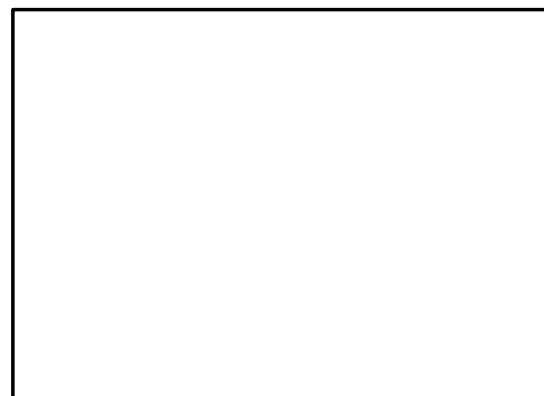
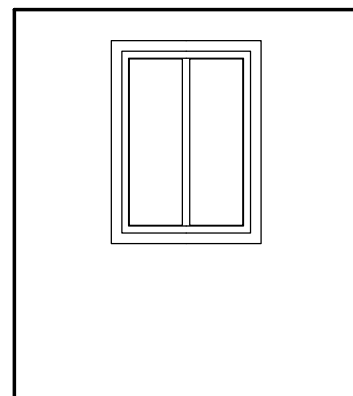
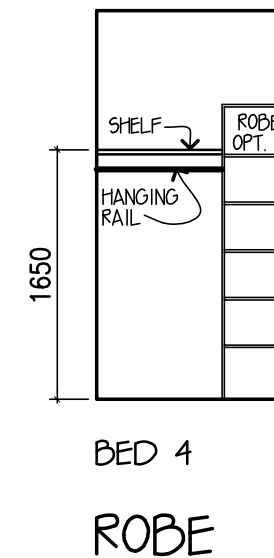
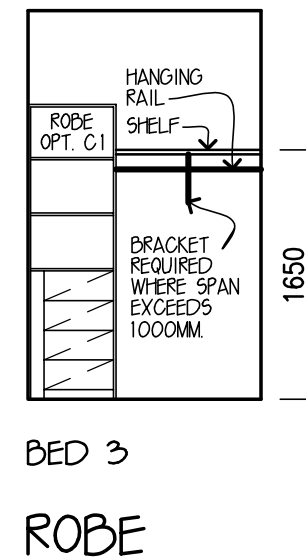
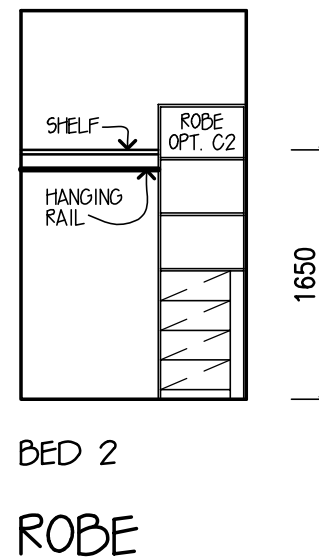
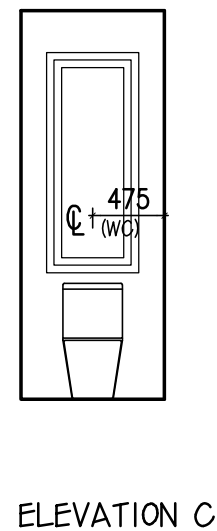
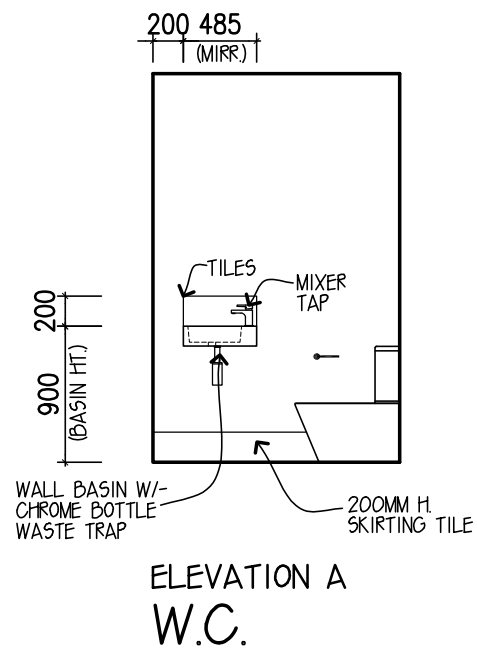


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| DRAWN: <b>CM8</b>              | CHECK: <b>XX</b>           |
|                                | SHEET: <b>8 of 11</b>      |



DESIGN: TRENTHAM 30  
FACADE: PLANTATION CEILING: 25, L  
GARAGE: DOUBLE LOCATION: F

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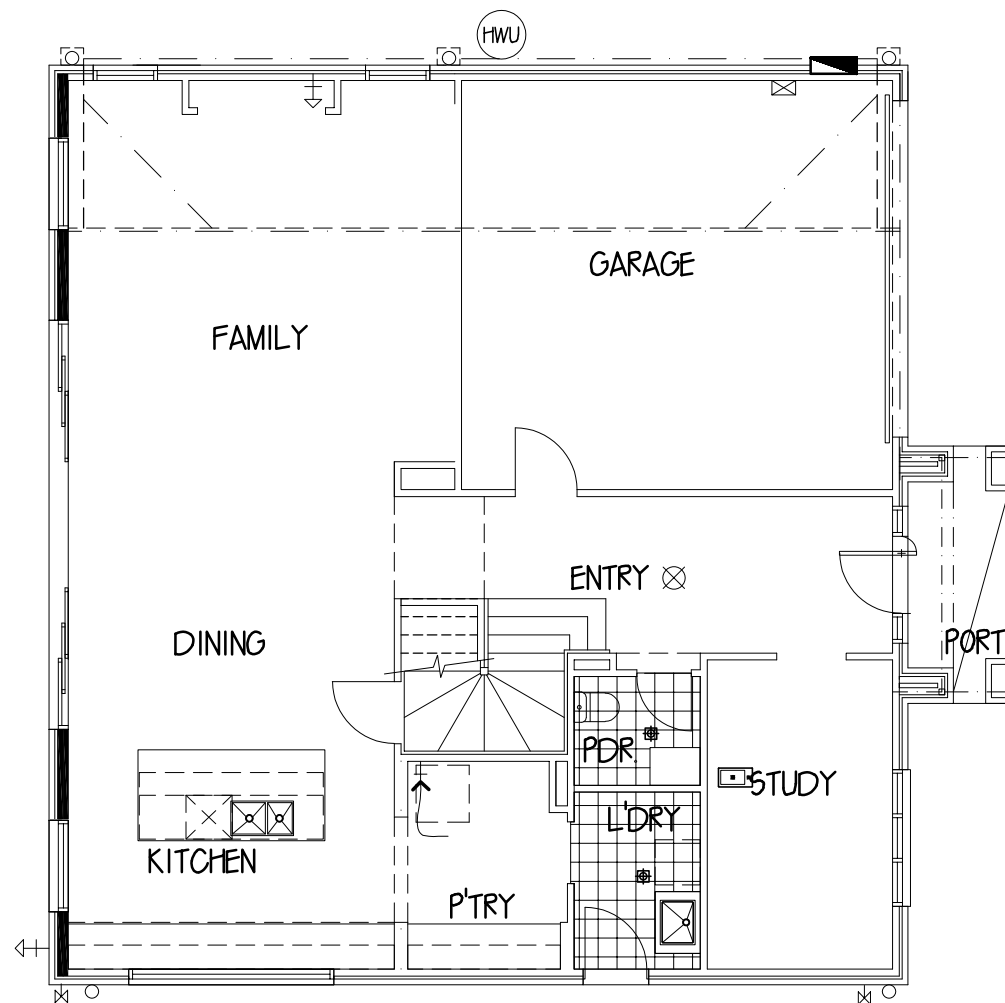
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FLOOR COVERINGS LEGEND



WET AREA FLOOR TILING  
TOTAL AREA: 5.88 SQM



TIMBER FLOOR AREAS  
TOTAL AREA: \*\*\*\* SQM



CARPET FLOOR AREAS  
TOTAL AREA: \*\*\*\* SQM



TILED FLOOR AREAS  
TOTAL AREA: \*\*\*\* SQM

DESIGN: TRENTHAM 30

FACADE: PLANTATION CEILING: 25, L

GARAGE: DOUBLE LOCATION: F

GROUND FLOOR  
FLOOR COVERINGS

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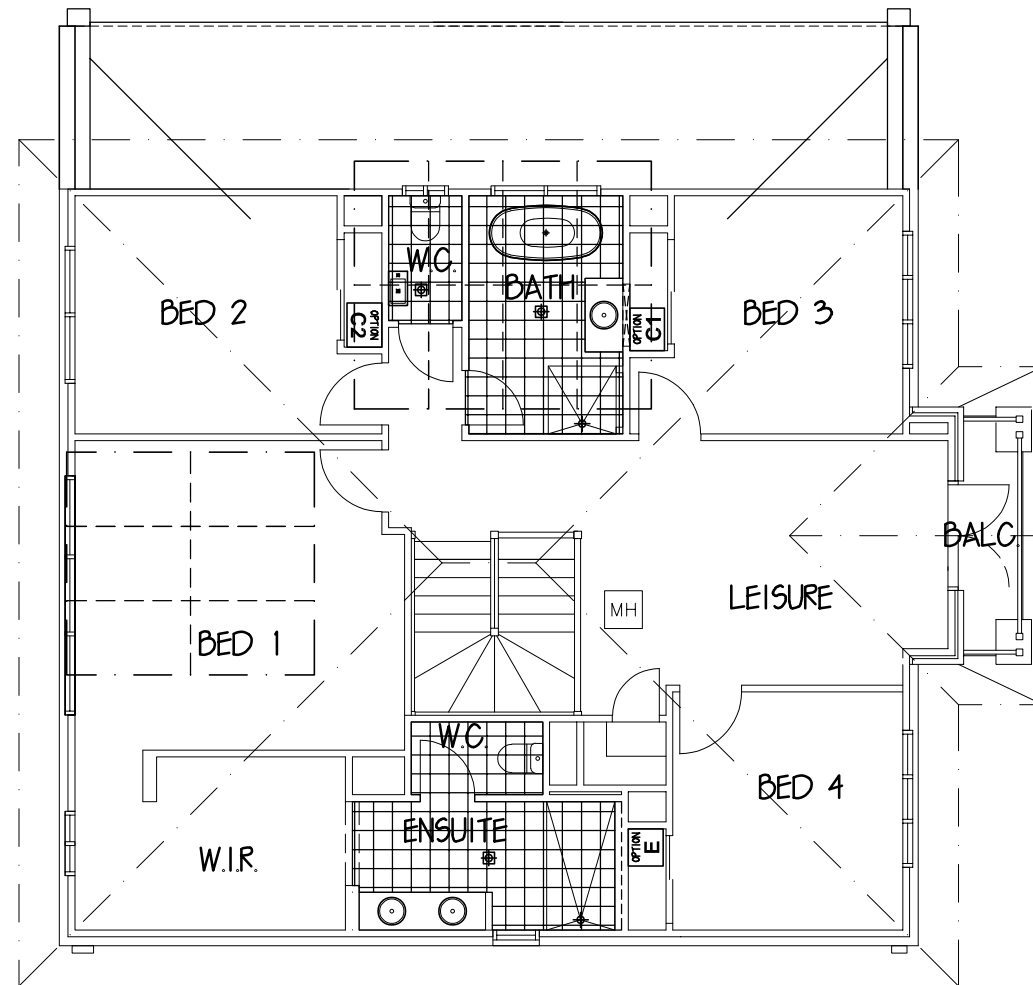
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#### FLOOR COVERINGS LEGEND



WET AREA FLOOR TILING  
TOTAL AREA: 14.4 SQM



CARPET FLOOR AREAS  
TOTAL AREA: \*\*\*\* SQM



TIMBER FLOOR AREAS  
TOTAL AREA: \*\*\*\* SQM



TILED FLOOR AREAS  
TOTAL AREA: \*\*\*\* SQM

DESIGN: TRENTHAM 30

FACADE: PLANTATION CEILING: 25, L

GARAGE: DOUBLE LOCATION: F

### FIRST FLOOR FLOOR COVERINGS

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