

DEVELOPMENT APPLICATION DRAWING LIST

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DA 000	COVER PAGE & DRAWING REGISTER
DA 001	EXISTING SITE PLAN & SITE ANALYSIS PLAN
DA 002	PROPOSED SITE PLAN
DA 003	PROPOSED GARAGE FLOOR PLAN
DA 004	PROPOSED GROUND FLOOR PLAN
DA 005	PROPOSED FIRST FLOOR PLAN
DA 006	PROPOSED ROOF PLAN
DA 007	ELEVATION - NORTH-WEST
DA 008	ELEVATION - NORTH-EAST
DA 009	ELEVATION - SOUTH-EAST
DA 010	ELEVATION - SOUTH-WEST
DA 011	SECTION A - MAIN HOUSE
DA 012	SECTION B - POOL, HOME OFFICE & GARAGE
DA 013	SECTION C - GARAGE AND LIVING
DA 014	SHADOW DIAGRAMS - 9AM WINTER
DA 015	SHADOW DIAGRAMS - 12PM WINTER
DA 016	SHADOW DIAGRAMS - 3PM WINTER
DA 017	NO.9 ELEVATIONAL SHADOW DIAGRAMS
DA 018	EROSION CONTROL & WASTE MANAGEMENT
DA 019	EXCAVATION AND FILL PLAN
DA 020	EXTERNAL FINISHES & MATERIALS
DA 021	LEP MAX 8.5M HEIGHT DIAGRAM
DA 022	VIEW FROM NO.5 FRONT TERRACE & BALCONY
DA 023	VIEW FROM NO.9 FRONT ROOM & BALCONY



VIEW FROM BOWER STREET



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W: www.cplusc.com

PROJECT
19-030 SPANGL MUNDSPERGER
RESIDENCE

PROJECT ADDRESS
7 BOWER STREET
MANLY, 2095

CLIENT
JURGEN SPANGL & KARIN
MUNDSPERGER

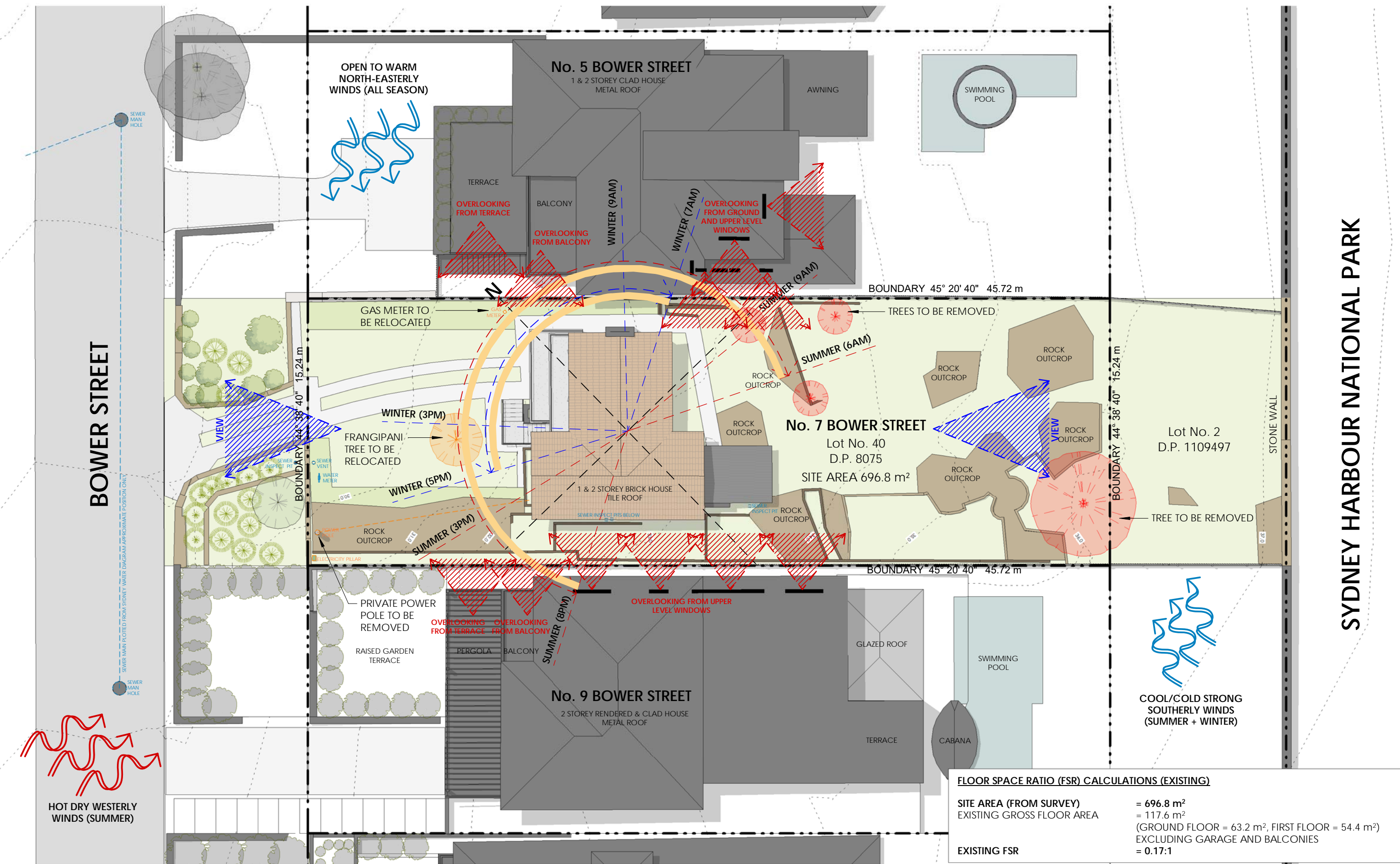
PROJECT CONTACT
RYAN NG (PROJECT ARCHITECT)
E: ryan@cplusc.com.au
P: +61 2 9690 2211

DOCUMENTS BY OTHER CONSULTANTS

- SURVEY PLAN BY C.M.S. SURVEYORS
- BASIX CERTIFICATE BY CERTIFIED ENERGY
- STATEMENT OF ENVIRONMENTAL EFFECTS BY WILLANA URBAN
- LANDSCAPE PLAN BY DUNCAN GIBBS
- STORMWATER MANAGEMENT PLANS BY STELLEN CONSULTING
- GEOTECHNICAL REPORT BY WITT CONSULTING
- BUSHFIRE REPORT BY BUSHFIRE PLANNING SERVICES
- ECOLOGICAL IMPACT STATEMENT BY ACS ENVIRONMENTAL

FOR DEVELOPMENT APPLICATION


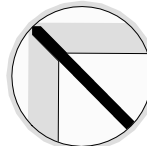
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COVER PAGE & DRAWING REGISTER		
REVISION DATE	REVISION	DRAWING NUMBER
23/07/2020	1	DA 000

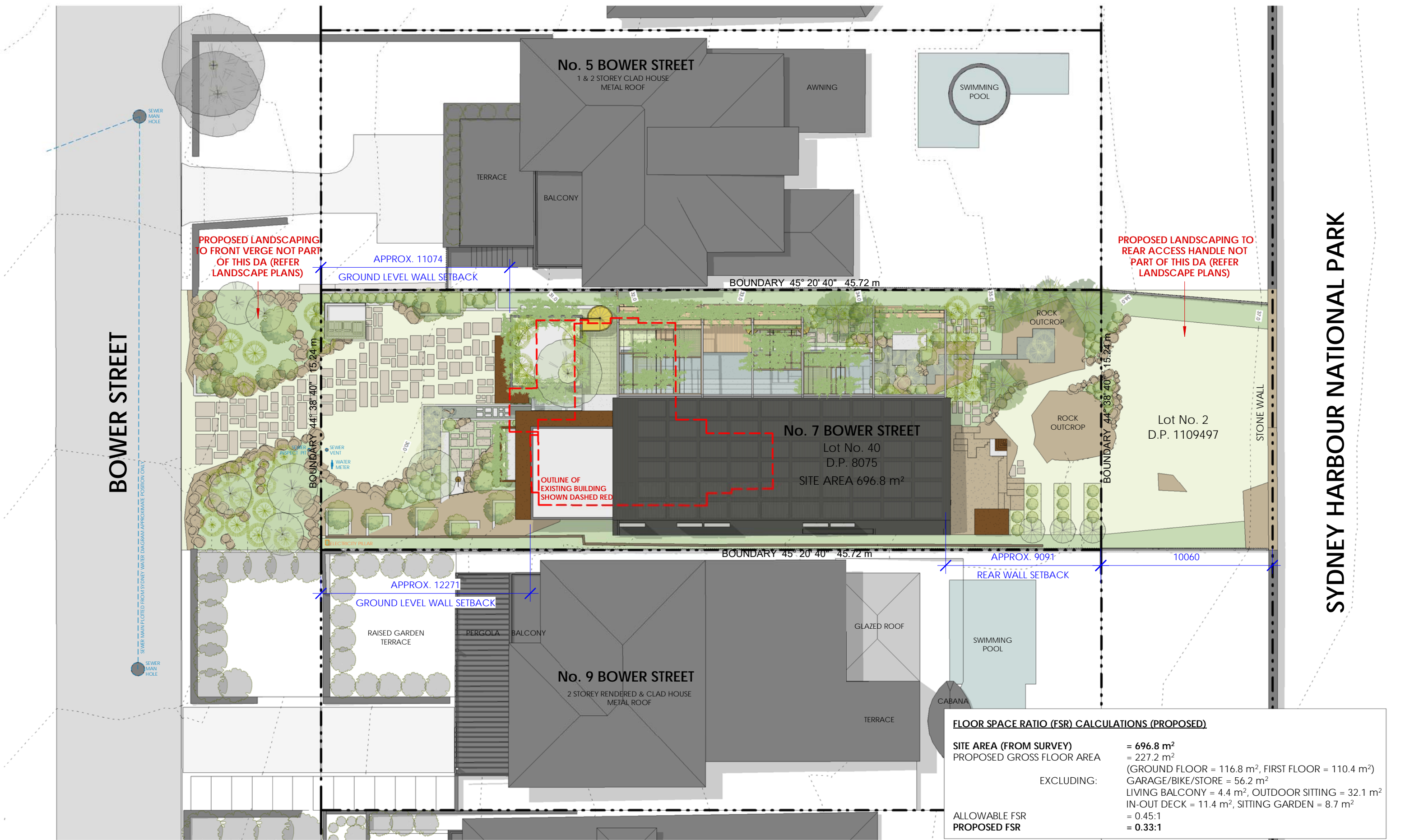


FLOOR SPACE RATIO (FSR) CALCULATIONS (EXISTING)

SITE AREA (FROM SURVEY)	= 696.8 m ²
EXISTING GROSS FLOOR AREA	= 117.6 m ²
	(GROUND FLOOR = 63.2 m ² , FIRST FLOOR = 54.4 m ²)
	EXCLUDING GARAGE AND BALCONIES
EXISTING FSR	= 0.17:1

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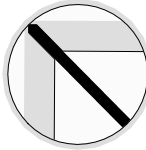
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			PROJECT ADDRESS 7 BOWER STREET MANLY, 2095	CLIENT JURGEN SPANGL & KARIN MUNDSPERGER	DRAWN BY RN/CAR REVIEWED BY CC	REVISION DATE 23/07/2020	REVISION 1	DRAWING NUMBER DA 001



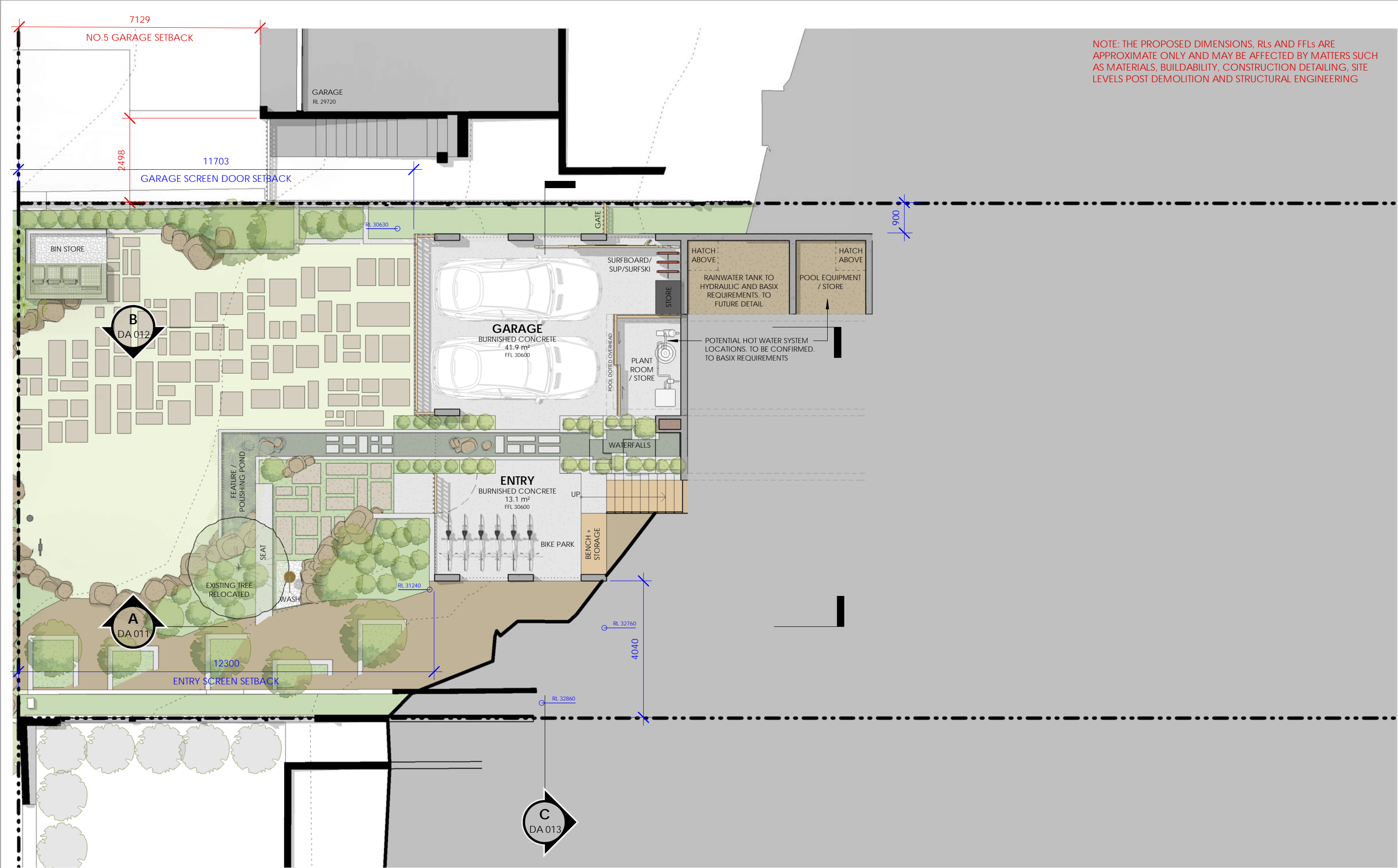
FLOOR SPACE RATIO (FSR) CALCULATIONS (PROPOSED)

SITE AREA (FROM SURVEY)	= 696.8 m²
PROPOSED GROSS FLOOR AREA	= 227.2 m²
EXCLUDING:	(GROUND FLOOR = 116.8 m ² , FIRST FLOOR = 110.4 m ²)
	GARAGE/BIKE/STORE = 56.2 m ²
	LIVING BALCONY = 4.4 m ² , OUTDOOR SITTING = 32.1 m ²
	IN-OUT DECK = 11.4 m ² , SITTING GARDEN = 8.7 m ²
ALLOWABLE FSR	= 0.45:1
PROPOSED FSR	= 0.33:1


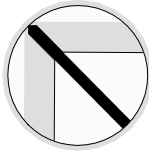
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	PROJECT ADDRESS 7 BOWER STREET MANLY, 2095	CLIENT JURGEN SPANGL & KARIN MUNDSPERGER		DRAWN BY RN/CAR REVIEWED BY CC	REVISION DATE 23/07/2020	REVISION 1	DRAWING NUMBER DA 002	

NOTE: THE PROPOSED DIMENSIONS, RLs AND FFLs ARE APPROXIMATE ONLY AND MAY BE AFFECTED BY MATTERS SUCH AS MATERIALS, BUILDABILITY, CONSTRUCTION DETAILING, SITE LEVELS POST DEMOLITION AND STRUCTURAL ENGINEERING





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				PROJECT ADDRESS 7 BOWER STREET MANLY, 2095	CLIENT JURGEN SPANGL & KARIN MUNDSPERGER	DRAWN BY RN/CAR REVIEWED BY CC	REVISION DATE 23/07/2020	REVISION 1

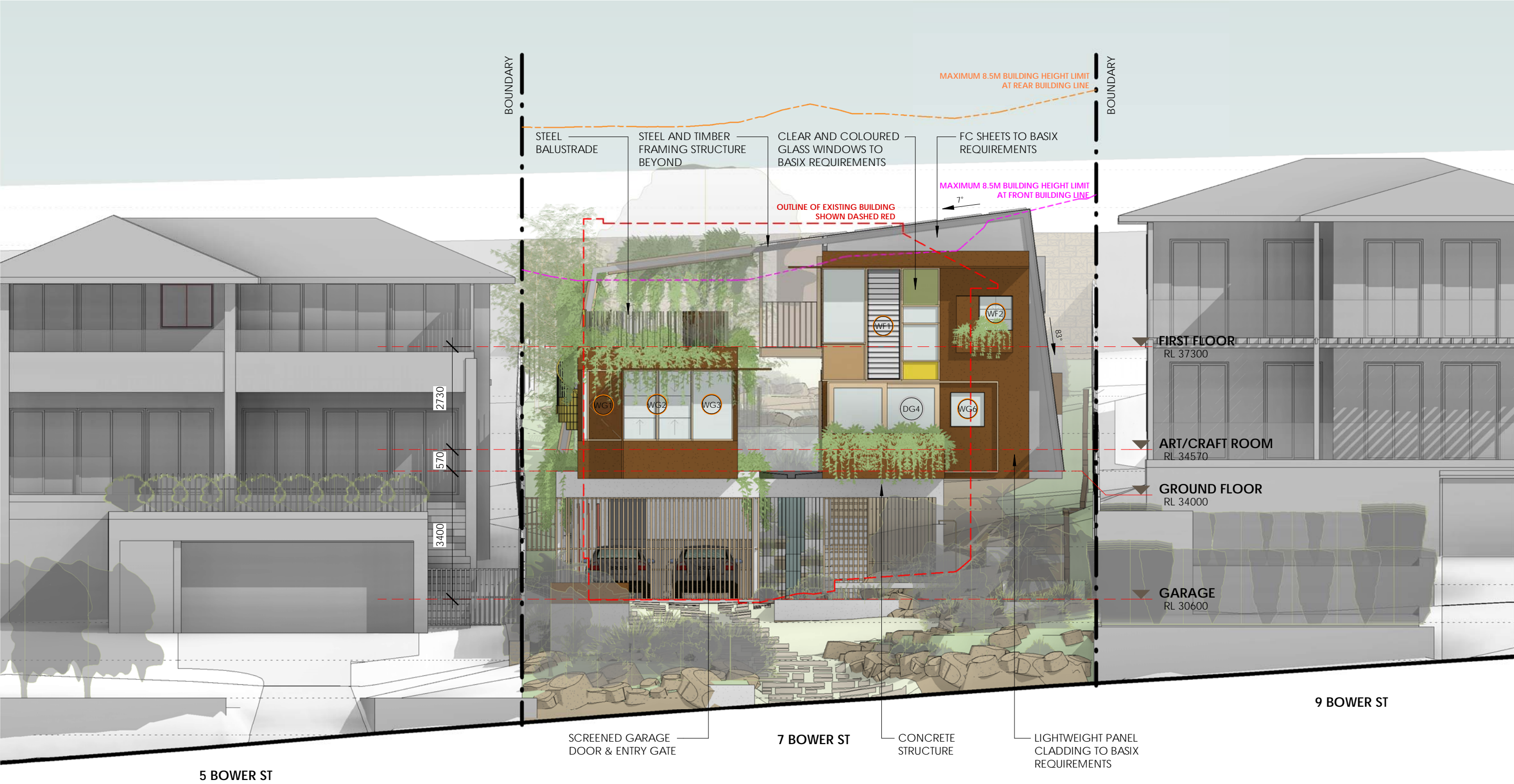
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	PROJECT ADDRESS 7 BOWER STREET MANLY, 2095			CLIENT JURGEN SPANGL & KARIN MUNDSPERGER		DRAWN BY RN/CAR REVIEWED BY CC		REVISION DATE 23/07/2020	REVISION 1	DRAWING NUMBER DA 006

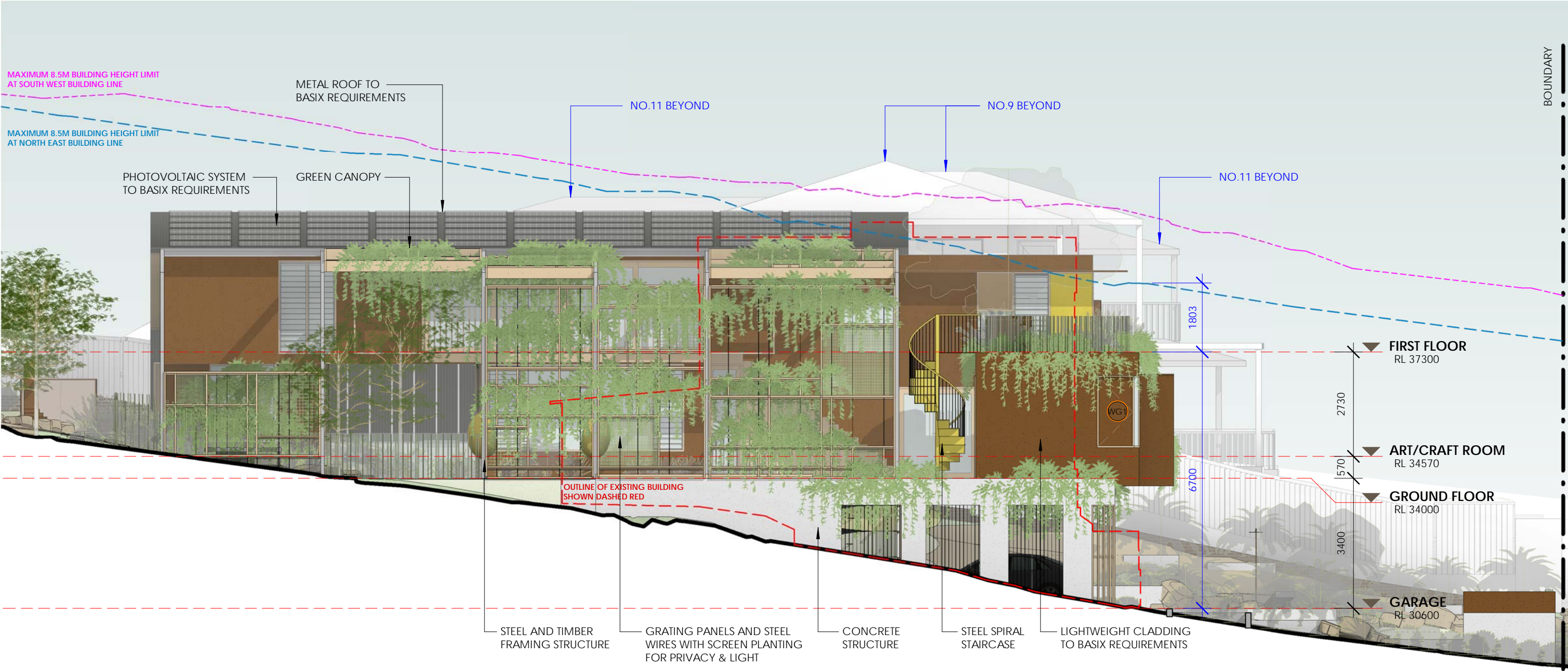
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	REPRODUCTION OF THIS DRAWING IN PART OR ON WHOLE IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF CPLUSC ARCHITECTURAL WORKSHOP.		PROJECT ADDRESS 7 BOWER STREET MANLY, 2095		CLIENT JURGEN SPANGL & KARIN MUNDSPERGER		DRAWN BY RN/CAR		REVISION DATE		REVISION		DRAWING NUMBER	
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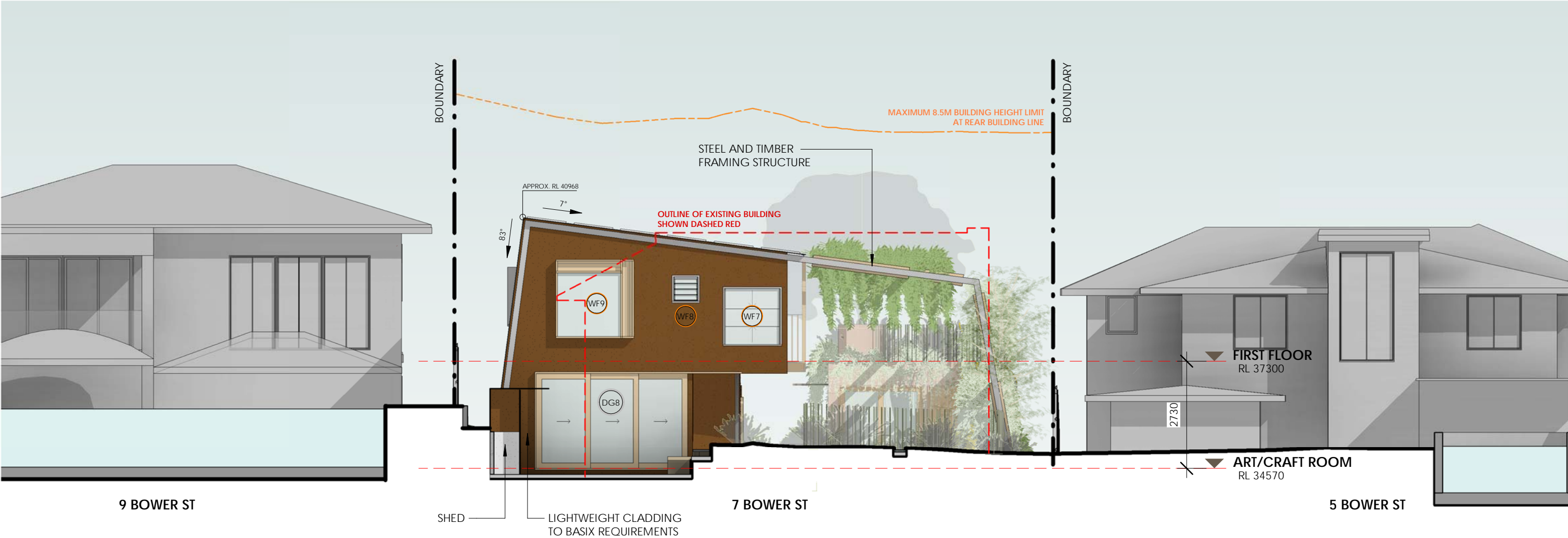
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			PROJECT ADDRESS 7 BOWER STREET MANLY, 2095	CLIENT JURGEN SPANGL & KARIN MUNDSPERGER	DRAWN BY RN/CAR REVIEWED BY CC	REVISION DATE 23/07/2020	REVISION 1	DRAWING NUMBER DA 008

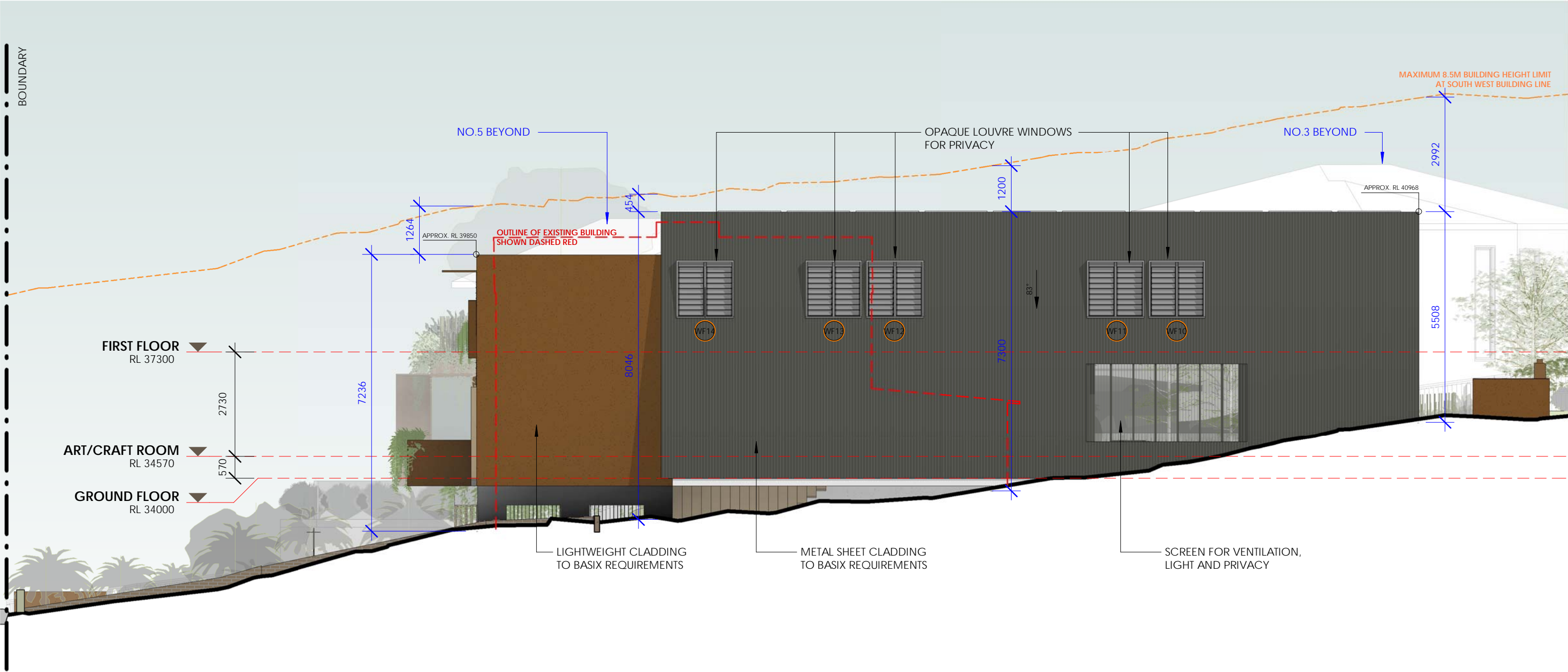
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			PROJECT ADDRESS 7 BOWER STREET MANLY, 2095	CLIENT JURGEN SPANGL & KARIN MUNDSPERGER	DRAWN BY RN/CAR REVIEWED BY CC	REVISION DATE 23/07/2020	REVISION 1	DRAWING NUMBER DA 009

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			PROJECT ADDRESS 7 BOWER STREET MANLY, 2095	CLIENT JURGEN SPANGL & KARIN MUNDSPERGER	DRAWN BY RN/CAR REVIEWED BY CC	REVISION DATE 23/07/2020	REVISION 1	DRAWING NUMBER DA 010

Architectural section drawing of a two-story house. The drawing shows the internal layout and structural details. Key features include:

- Rooms and Spaces:**
 - First Floor:** INTERNAL BALCONY (PASSAGEWAY TO WF2 FOR MAINTENANCE), GUEST/2ND LIV., BATH 1, BED 1, BED 2, BATH 2, MASTER BED.
 - Ground Floor:** LIVING, KITCHEN/DINING, OUTDOOR SITTING, ART/CRAFT, ROCK GARDEN.
- Structural Annotations:**
 - TIMBER WALL STRUCTURE TO BASIX REQUIREMENTS (pointing to the upper floor walls).
 - TIMBER ROOF AND WALL STRUCTURE TO BASIX REQUIREMENTS (pointing to the roof structure).
 - CONCRETE STRUCTURE TO BASIX REQUIREMENTS (pointing to the ground floor foundation).
 - TIMBER FLOOR STRUCTURE TO BASIX REQUIREMENTS (pointing to the ground floor floor structure).
- Level Markers:**
 - FIRST FLOOR RL 37300
 - ART/CRAFT ROOM RL 34570
 - GROUND FLOOR RL 34000
- Other Labels:**
 - NO.5 BEYOND (pointing to the roofline).
 - NO.3 BEYOND (pointing to the roofline).
 - APPROX. RL 39850 (pointing to the roofline).
 - WG5, DG3, DG5, WG7, WG8, WF2, WF6 (room identifiers).



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CLIENT
JURGEN SPANGL & KARIN
MUNDSPERGER

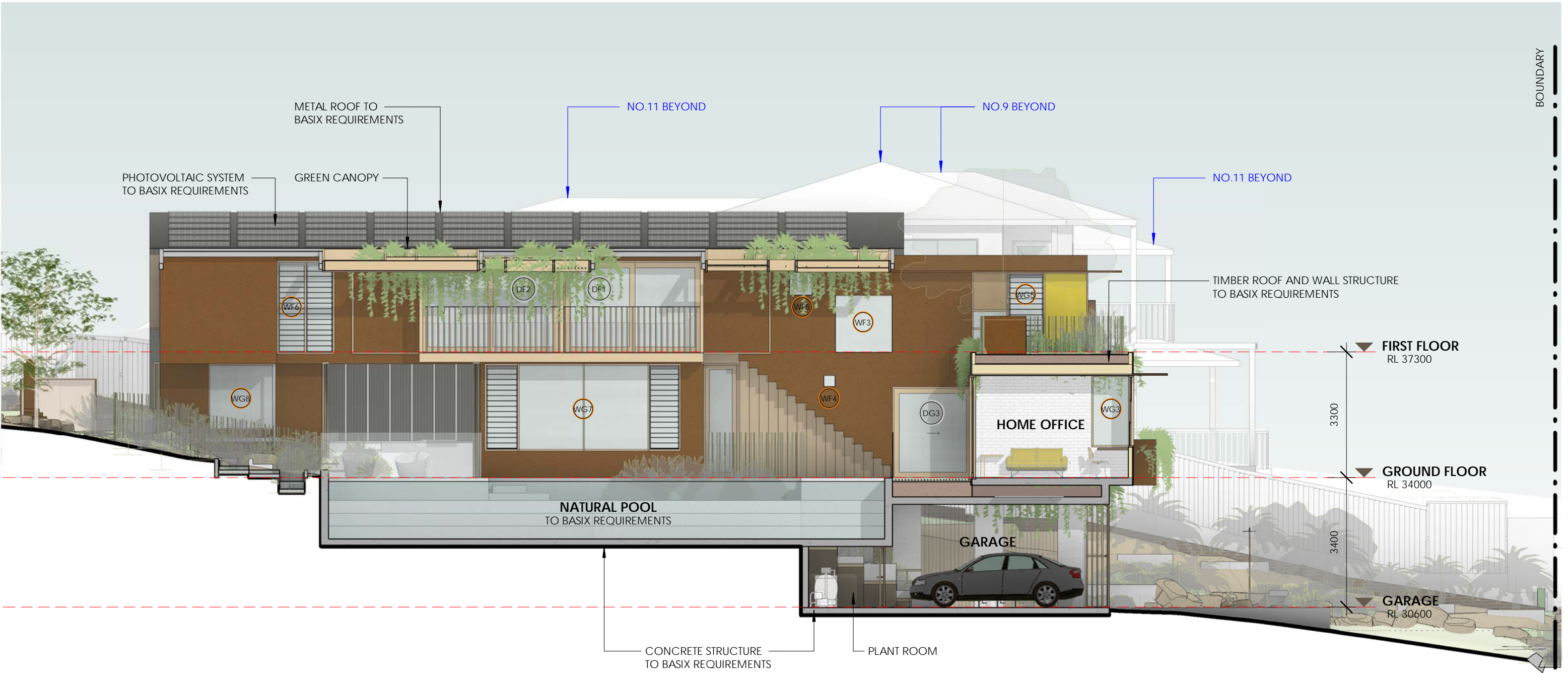
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DRAWING NUMBER


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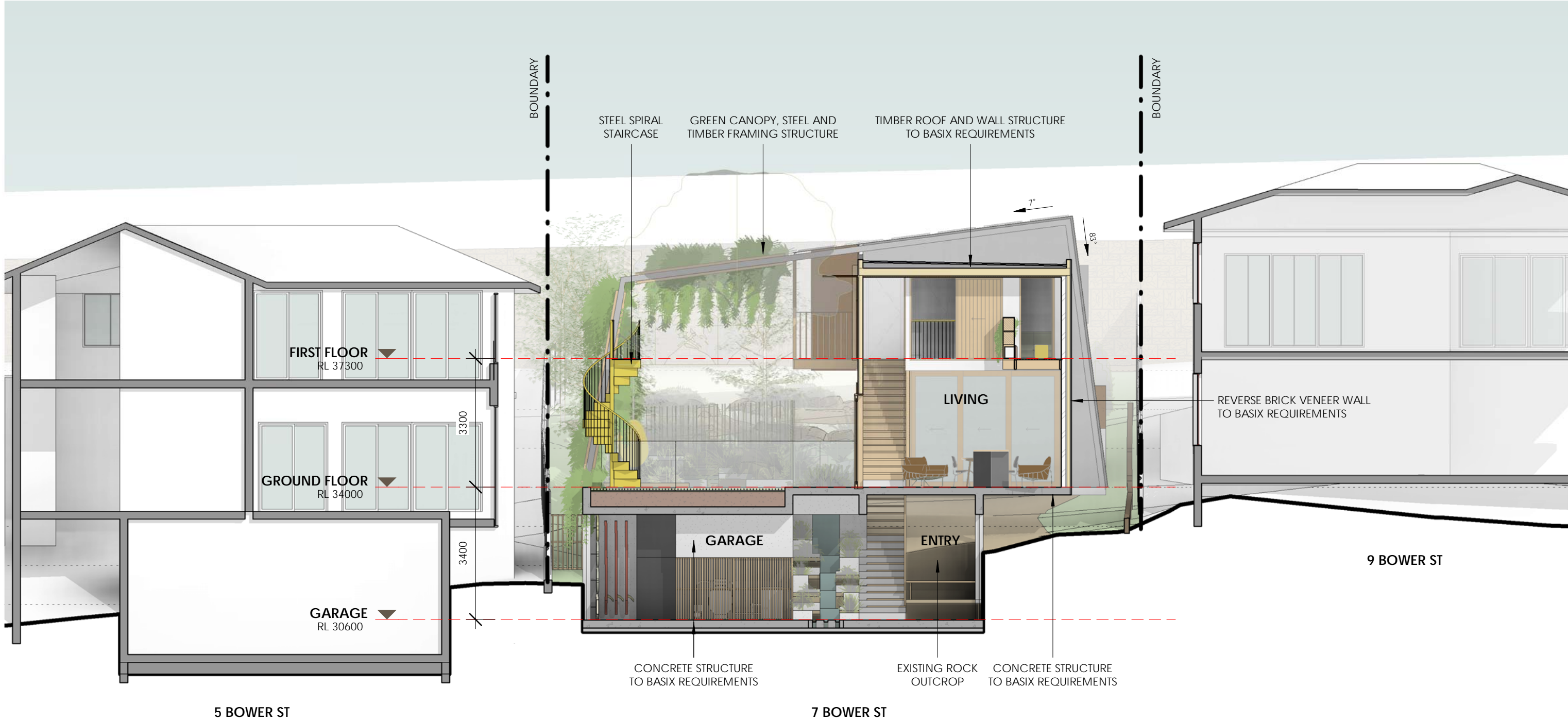
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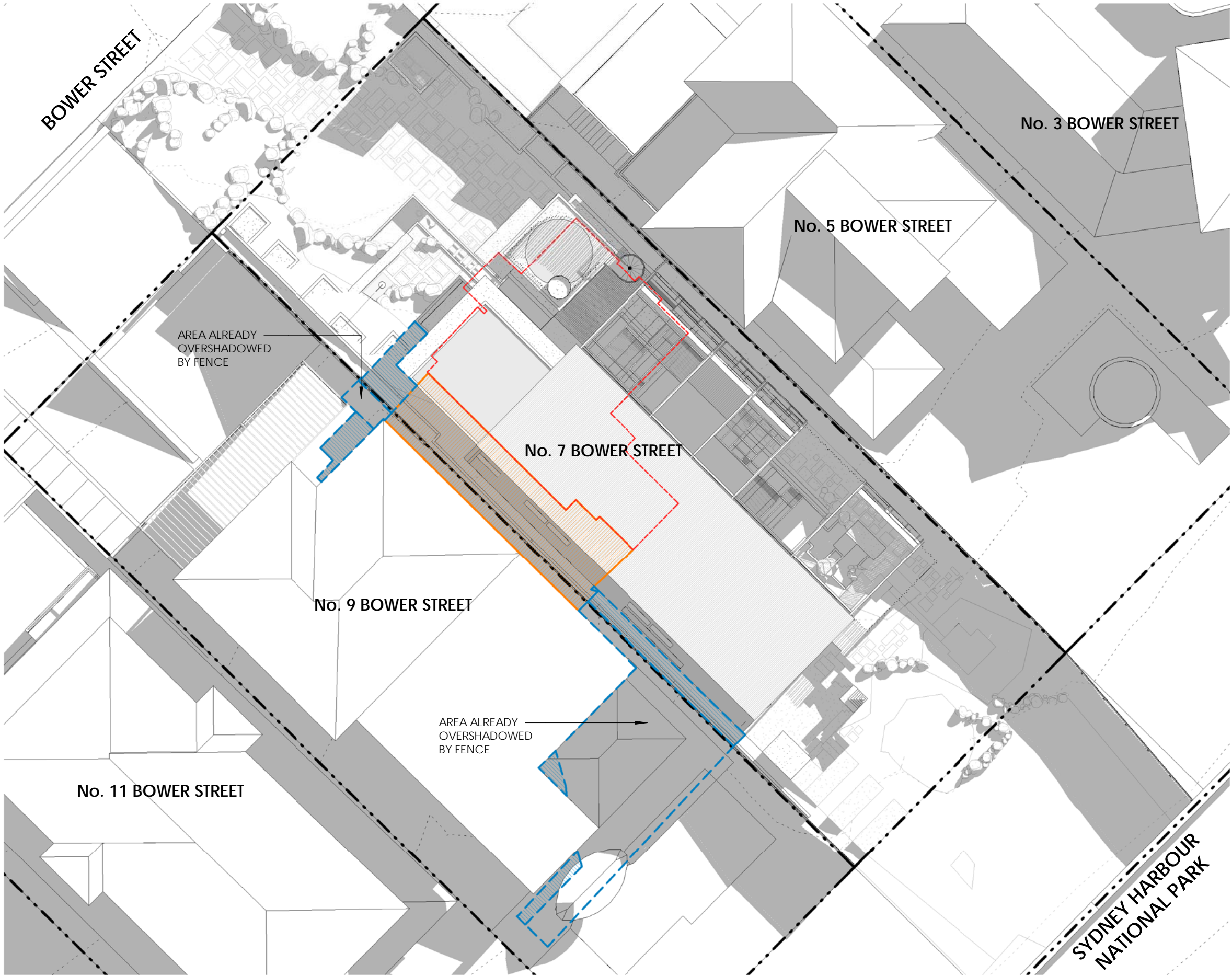
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			PROJECT ADDRESS 7 BOWER STREET MANLY, 2095	CLIENT JURGEN SPANGL & KARIN MUNDSPERGER	DRAWN BY RN/CAR REVIEWED BY CC	REVISION DATE 23/07/2020	REVISION 1	DRAWING NUMBER DA 012

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	PROJECT ADDRESS 7 BOWER STREET MANLY, 2095	CLIENT JURGEN SPANGL & KARIN MUNDSPERGER	DRAWN BY RN/CAR REVIEWED BY CC	REVISION DATE 23/07/2020	REVISION 1	DRAWING NUMBER DA 013	

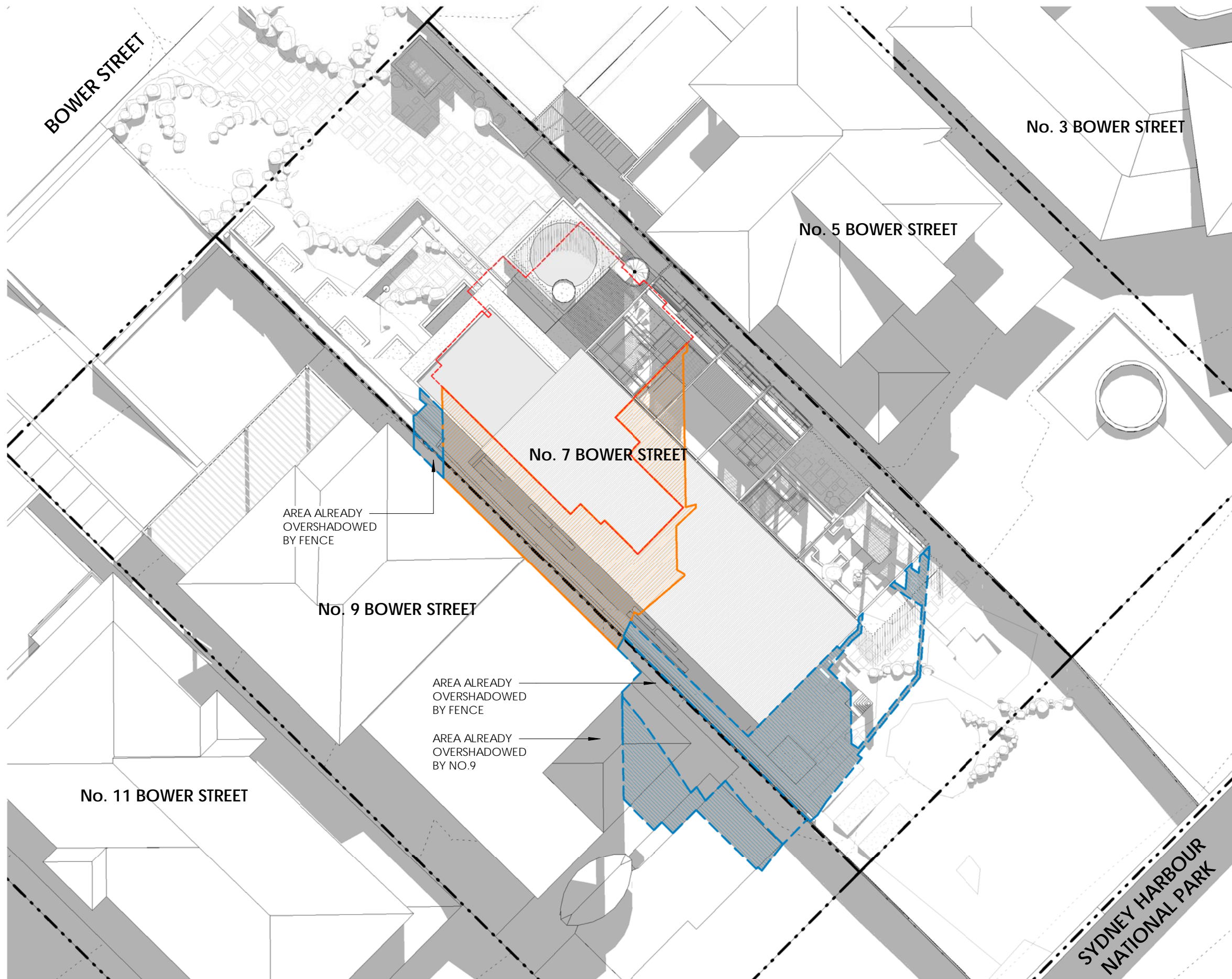


- SHADOW DIAGRAMS NOTES**
1. THE SCOPE OF SHADOW ANALYSIS CONSISTS OF THE SUBJECT SITE AND TWO ADJOINING PROPERTIES ONLY. SHADOWS CAST BY OTHER NEIGHBOURING STRUCTURES ARE NOT INCLUDED IN THE DIAGRAMS.
 2. ADJOINING BUILDINGS' HEIGHT AND BOUNDARIES ARE APPROXIMATE ONLY.

- EXISTING DEMOLISHED
- SHADOW CAST BY EXISTING BUILDING
- SHADOW CAST BY PROPOSED BUILDING
- EXTEND OF ADDITIONAL OVERSHADOWING
- EXTENT OF REDUCED OVERSHADOWING

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	PROJECT ADDRESS 7 BOWER STREET MANLY, 2095	CLIENT JURGEN SPANGL & KARIN MUNDSPERGER		DRAWN BY RN/CAR REVIEWED BY CC	REVISION DATE 23/07/2020	REVISION 1	DRAWING NUMBER DA 014	



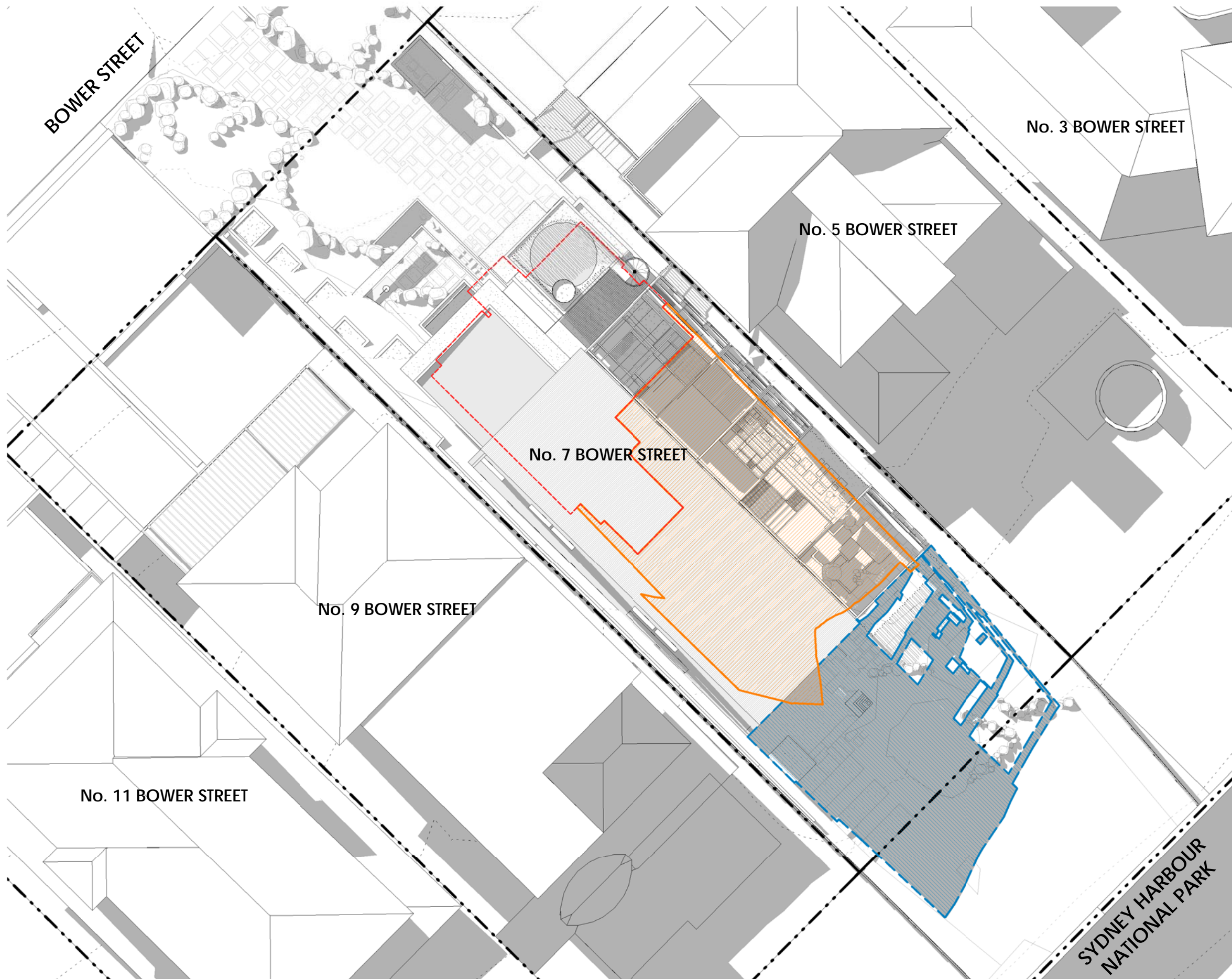
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- EXTENT OF REDUCED OVERSHADOWING

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				PROJECT ADDRESS 7 BOWER STREET MANLY, 2095	CLIENT JURGEN SPANGL & KARIN MUNDSPERGER	DRAWN BY RN/CAR REVIEWED BY CC	REVISION DATE 23/07/2020	REVISION 1 DRAWING NUMBER DA 015





SHADOW DIAGRAMS NOTES

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- EXISTING DEMOLISHED
- SHADOW CAST BY EXISTING BUILDING
- SHADOW CAST BY PROPOSED BUILDING
- EXTEND OF ADDITIONAL OVERSHADOWING
- EXTENT OF REDUCED OVERSHADOWING

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				PROJECT ADDRESS 7 BOWER STREET MANLY, 2095	CLIENT JURGEN SPANGL & KARIN MUNDSPERGER	DRAWN BY RN/CAR REVIEWED BY CC	REVISION DATE 23/07/2020	REVISION 1	DRAWING NUMBER DA 016

WINTER 9AM



EXISTING

WINTER 12PM



EXISTING

WINTER 3PM



EXISTING

SUMMER 9AM



EXISTING

SUMMER 12PM



EXISTING

SUMMER 3PM



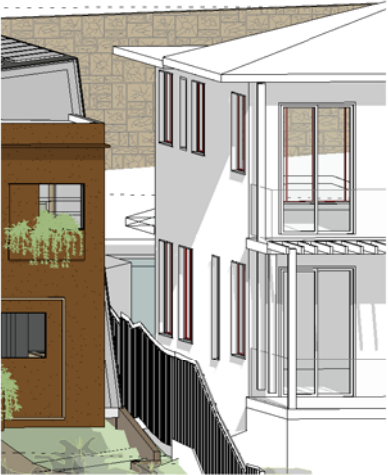
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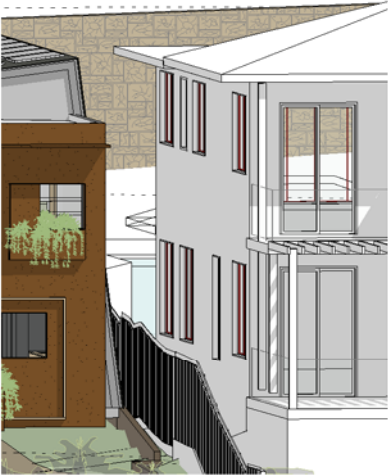
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PROPOSED



PROPOSED



PROPOSED



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PROPOSED

SPRING 12PM




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PROPOSED

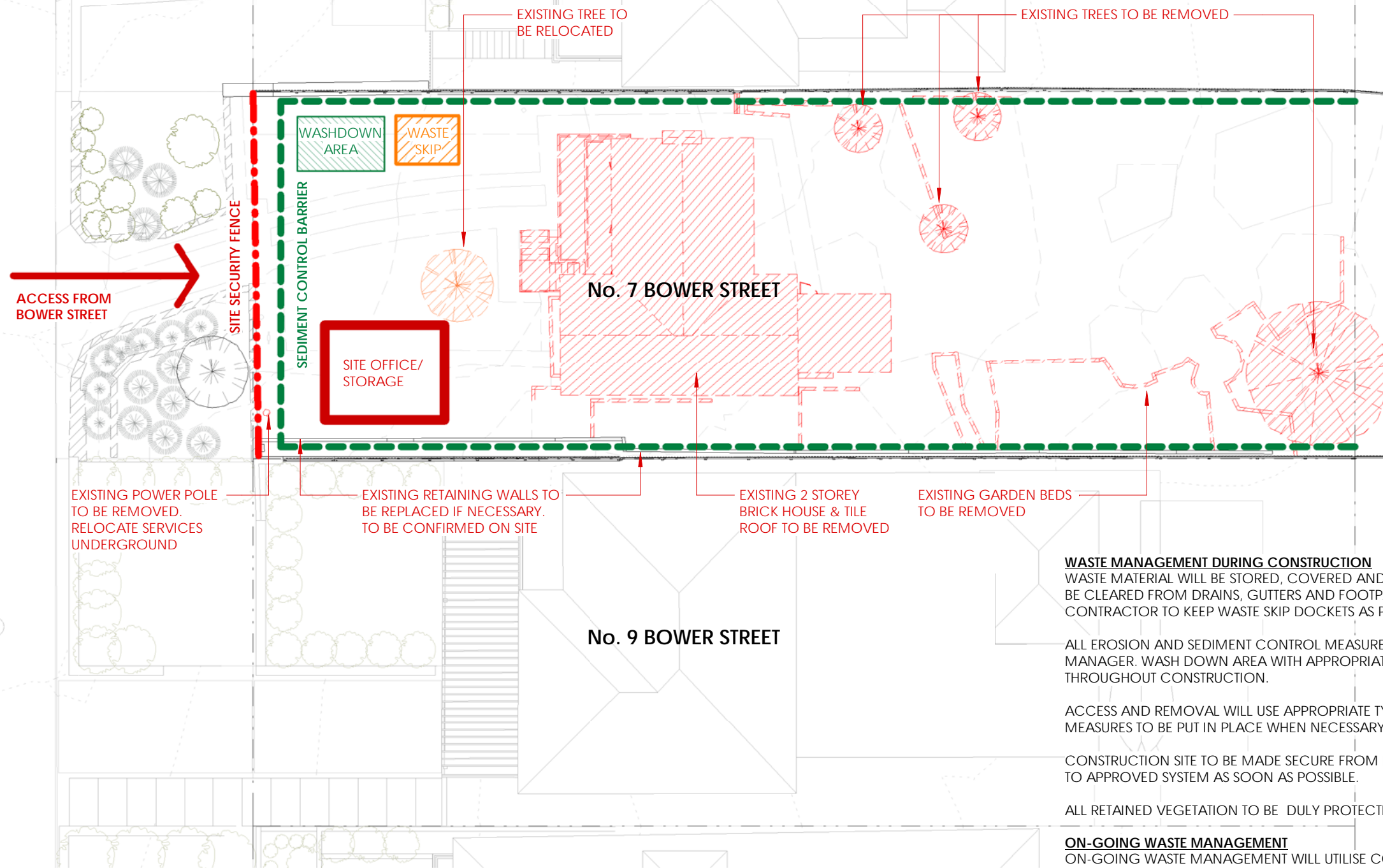
AUTUMN 12PM

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			PROJECT ADDRESS 7 BOWER STREET MANLY, 2095	CLIENT JURGEN SPANGL & KARIN MUNDSPERGER	DRAWN BY RN/CAR REVIEWED BY CC	REVISION DATE 23/07/2020	REVISION 1	DRAWING NUMBER DA 017

BOWER STREET

SYDNEY HARBOUR NATIONAL PARK



WASTE MANAGEMENT DURING CONSTRUCTION

WASTE MATERIAL WILL BE STORED, COVERED AND SECURED ON SITE IN WASTE SKIPS. ALL STOCKPILES TO BE CLEARED FROM DRAINS, GUTTERS AND FOOTPATHS. DISTURBED AREAS TO BE MINIMISED. CONTRACTOR TO KEEP WASTE SKIP DOCKETS AS PROOF OF RECYCLING.

ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER. WASH DOWN AREA WITH APPROPRIATE GEO-TEXTILE SILT TRAP FENCING TO BE INSTALLED THROUGHOUT CONSTRUCTION.

ACCESS AND REMOVAL WILL USE APPROPRIATE TYPE AND SIZE OF VEHICLES. TRAFFIC CONTROL MEASURES TO BE PUT IN PLACE WHEN NECESSARY TO NOT INTERFERE WITH THE FREE FLOW OF TRAFFIC.

CONSTRUCTION SITE TO BE MADE SECURE FROM PUBLIC. ENSURE STORMWATER LINES TO BE CONNECTED TO APPROVED SYSTEM AS SOON AS POSSIBLE.

ALL RETAINED VEGETATION TO BE DULY PROTECTED, UNLESS NOTED OTHERWISE.

ON-GOING WASTE MANAGEMENT

ON-GOING WASTE MANAGEMENT WILL UTILISE COUNCIL'S EXISTING SERVICES WITH PROVISION FOR COUNCIL BINS IN ALIGNMENT WITH NORTHERN BEACHES COUNCIL WASTE MANAGEMENT GUIDELINES

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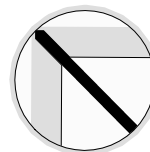


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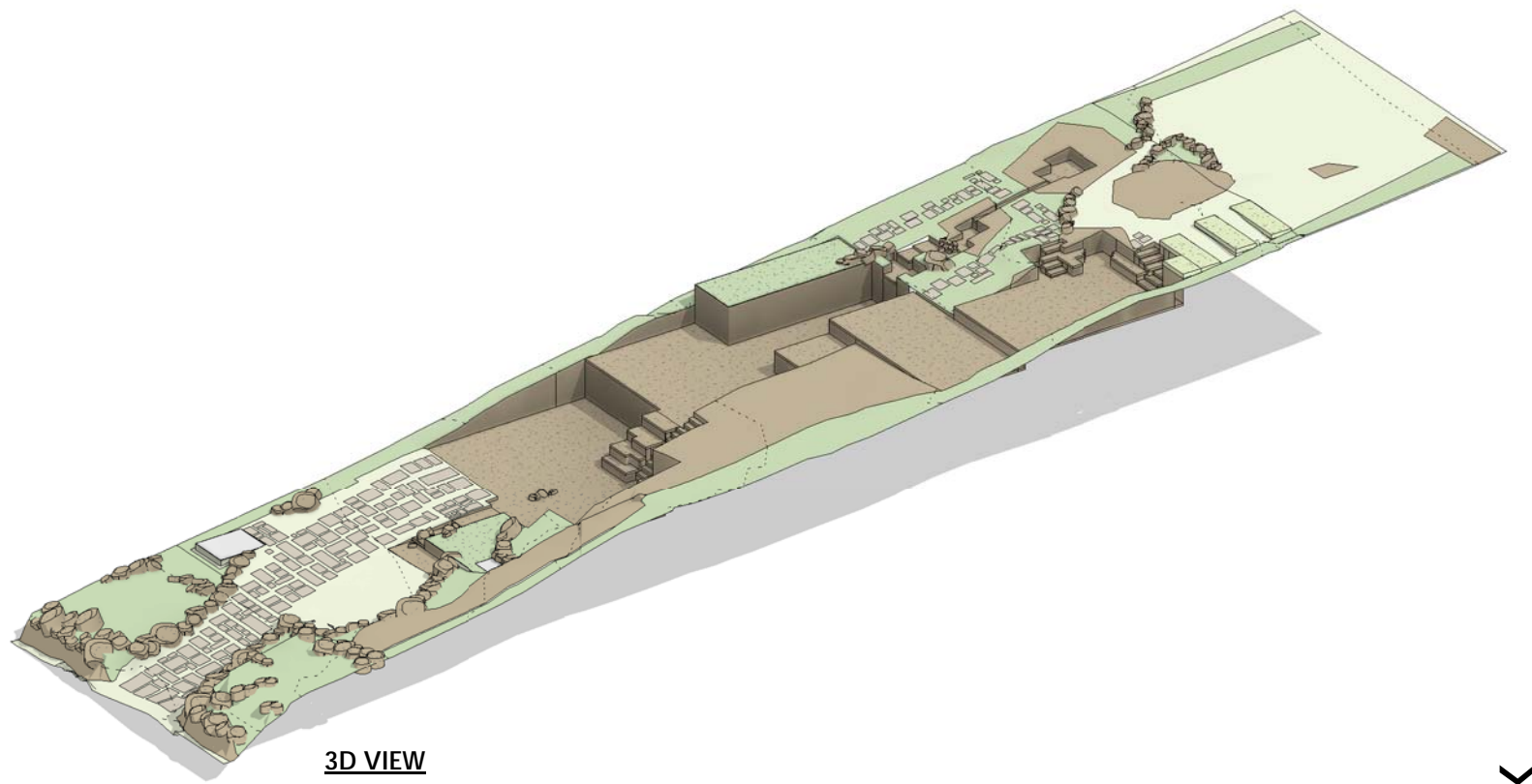
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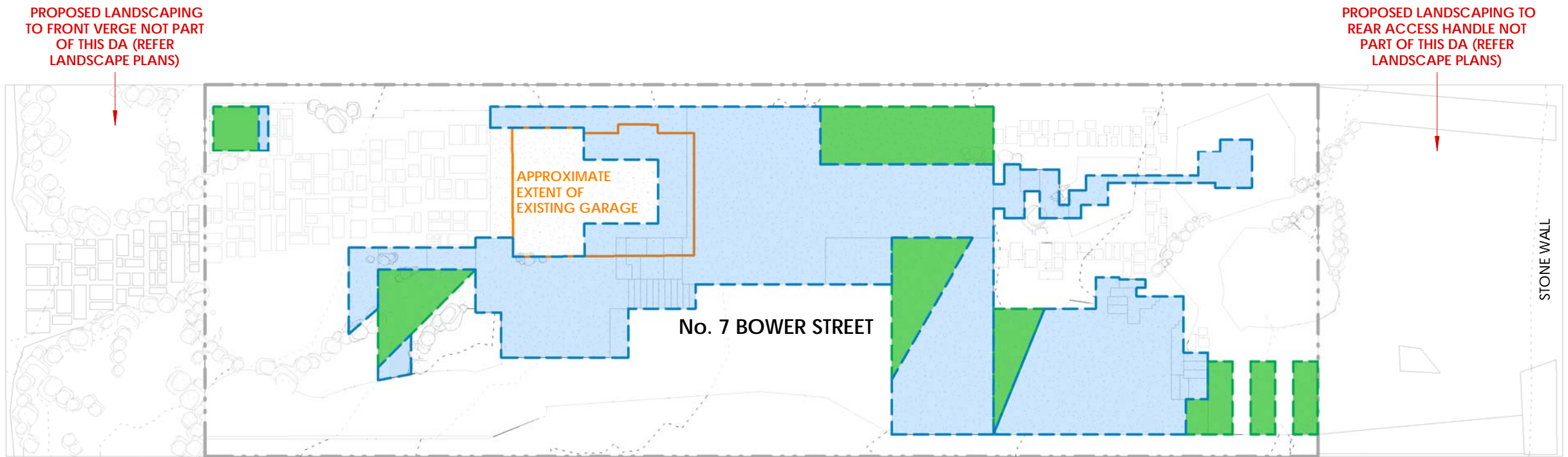
PROJECT
19-030 SPANGL MUNDSPERGER RESIDENCE
PROJECT ADDRESS
7 BOWER STREET
MANLY, 2095
CLIENT
JURGEN SPANGL & KARIN
MUNDSPERGER

SCALE
1 : 200 @ A3
DRAWN BY
RN/CAR
REVIEWED BY
CC

DRAWING TITLE
EROSION CONTROL & WASTE MANAGEMENT
REVISION DATE
23/07/2020
REVISION
1
DRAWING NUMBER
DA 018



3D VIEW



PLAN VIEW

NOTE: THE PROPOSED EXCAVATION AND FILL AREAS ARE APPROXIMATE ONLY AND ARE SUBJECT TO THE ACTUAL SITE CONDITION DURING CONSTRUCTION

EXCAVATION AND FILL PLAN (PROPOSED)



SURFACE AREA: 204m² (APPROX.)

VOLUME: 90-110m³ (APPROX.)

SURFACE AREA: 54m² (APPROX.)

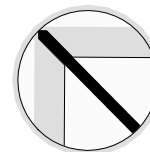
VOLUME: 20-30m³ (APPROX.)

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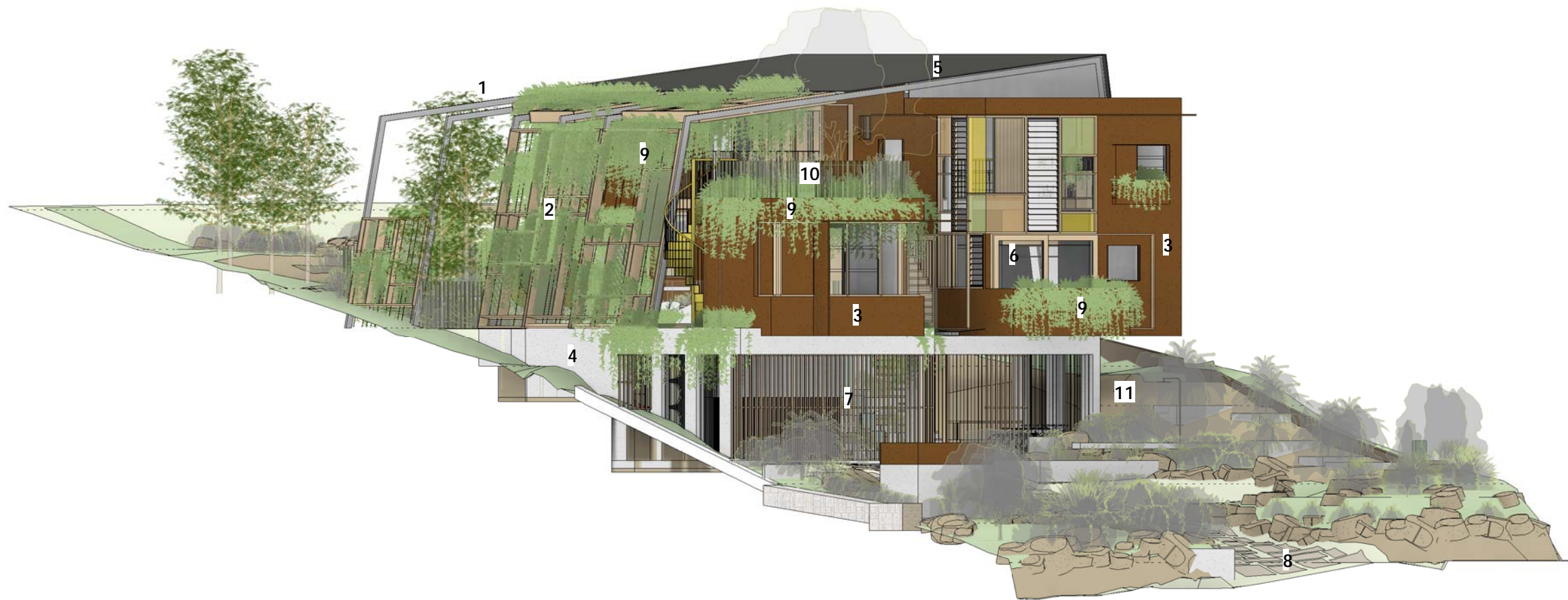
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PROJECT
19-030 SPANGL MUNDSPERGER RESIDENCE
PROJECT ADDRESS
7 BOWER STREET
MANLY, 2095
CLIENT
JURGEN SPANGL & KARIN
MUNDSPERGER

SCALE
1 : 200 @ A3
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DRAWING TITLE EXCAVATION AND FILL PLAN		
REVISION DATE 23/07/2020	REVISION 1	DRAWING NUMBER DA 019



1 STEEL AND TIMBER FRAME STRUCTURE



2 GRATING PANELS AND STEEL WIRES WITH SCREEN PLANTING



3 LIGHTWEIGHT CLADDING



4 CONCRETE STRUCTURE



5 METAL ROOFING



6 TIMBER FRAMED DOORS & WINDOWS



7 TIMBER BATTENS AND STEEL CABLE WIRES



8 INTEGRATED STONE PAVERS



9 CREEPING AND CASCADING PLANTS

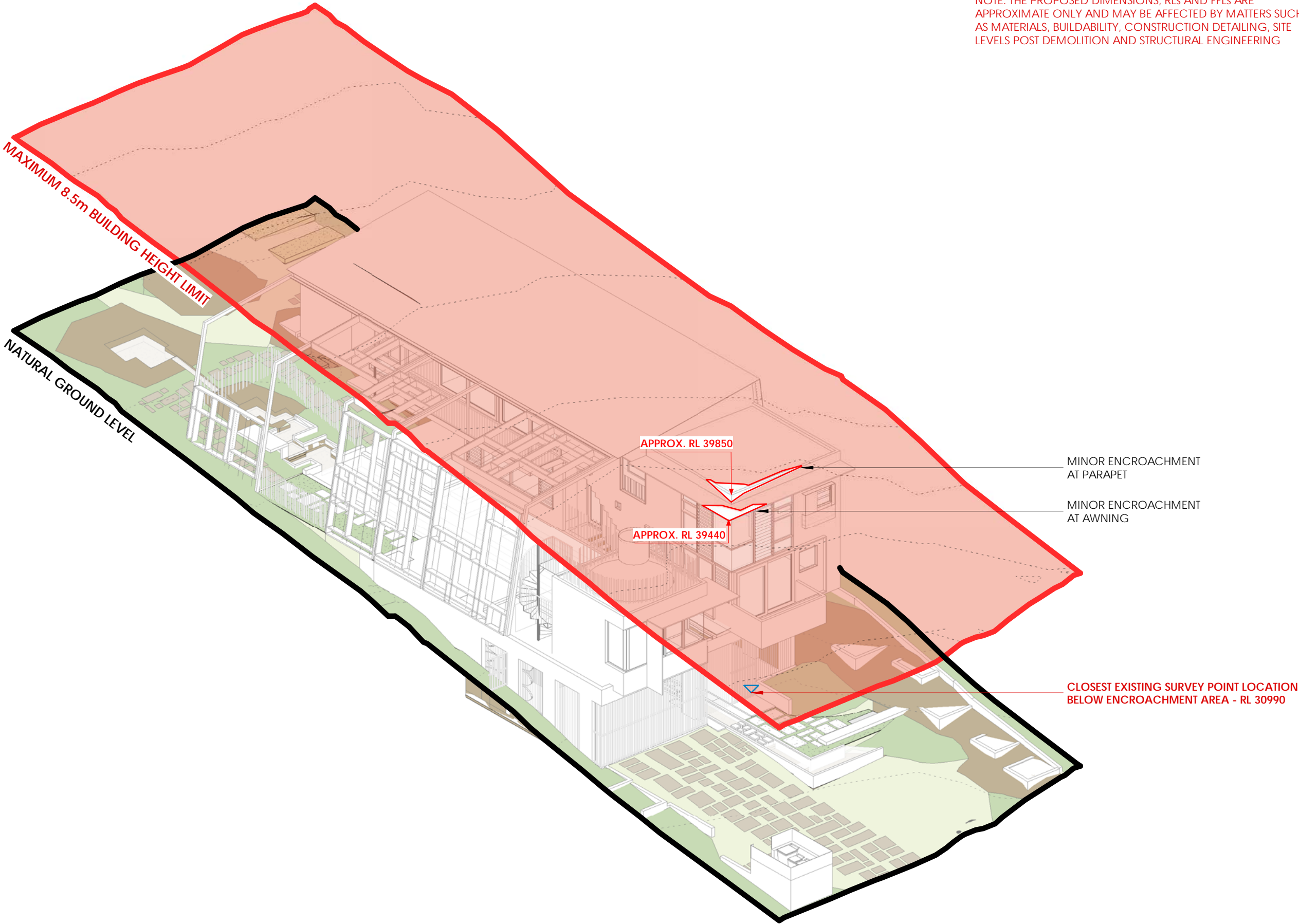


10 STEEL BALUSTRADE




11 EXISTING ROCK OUTCROP

NOTE: THE PROPOSED DIMENSIONS, RLs AND FFLs ARE APPROXIMATE ONLY AND MAY BE AFFECTED BY MATTERS SUCH AS MATERIALS, BUILDABILITY, CONSTRUCTION DETAILING, SITE LEVELS POST DEMOLITION AND STRUCTURAL ENGINEERING



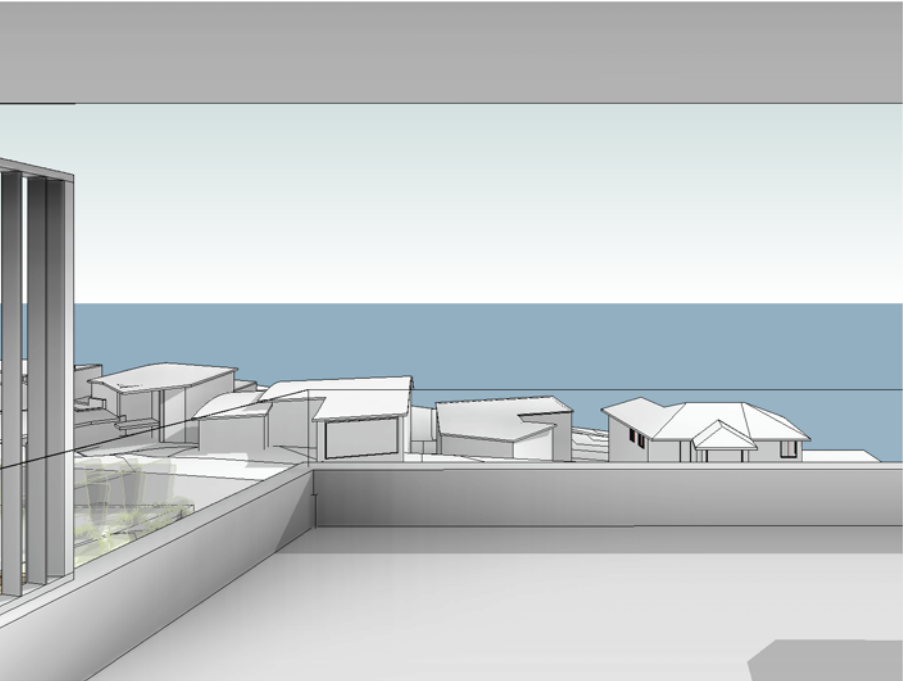
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			PROJECT ADDRESS 7 BOWER STREET MANLY, 2095	CLIENT JURGEN SPANGL & KARIN MUNDSPERGER	DRAWN BY RN/CAR REVIEWED BY CC	REVISION DATE 23/07/2020	REVISION 1	DRAWING NUMBER DA 021

5 BOWER STREET

VIEW A

WATER VIEW FROM FIRST FLOOR BALCONY
VIEW AT 1.65m ABOVE BALCONY RL 36.76



EXISTING



PROPOSED

VIEW B

VIEW TOWARD NO.7 FROM FIRST FLOOR BALCONY
VIEW AT 1.65m ABOVE BALCONY RL 36.76



EXISTING



PROPOSED

VIEW C

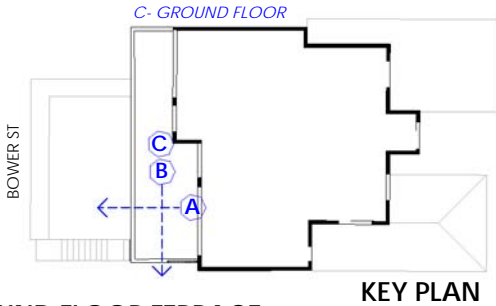
VIEW TOWARD NO.7 FROM GROUND FLOOR TERRACE
VIEW AT 1.65m ABOVE TERRACE RL 33.38




EXISTING



PROPOSED

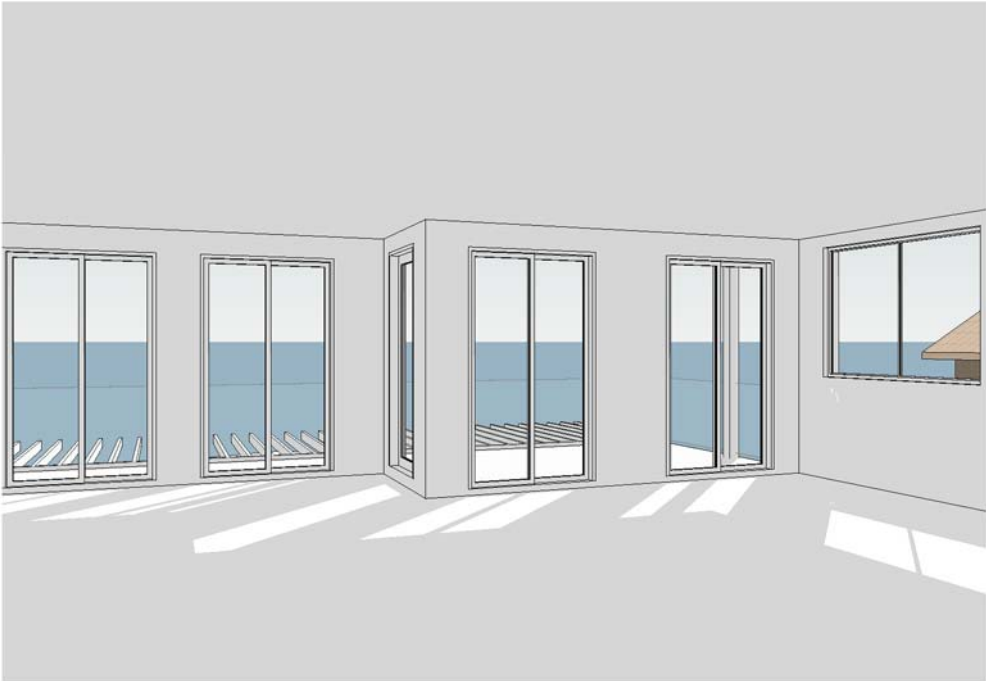


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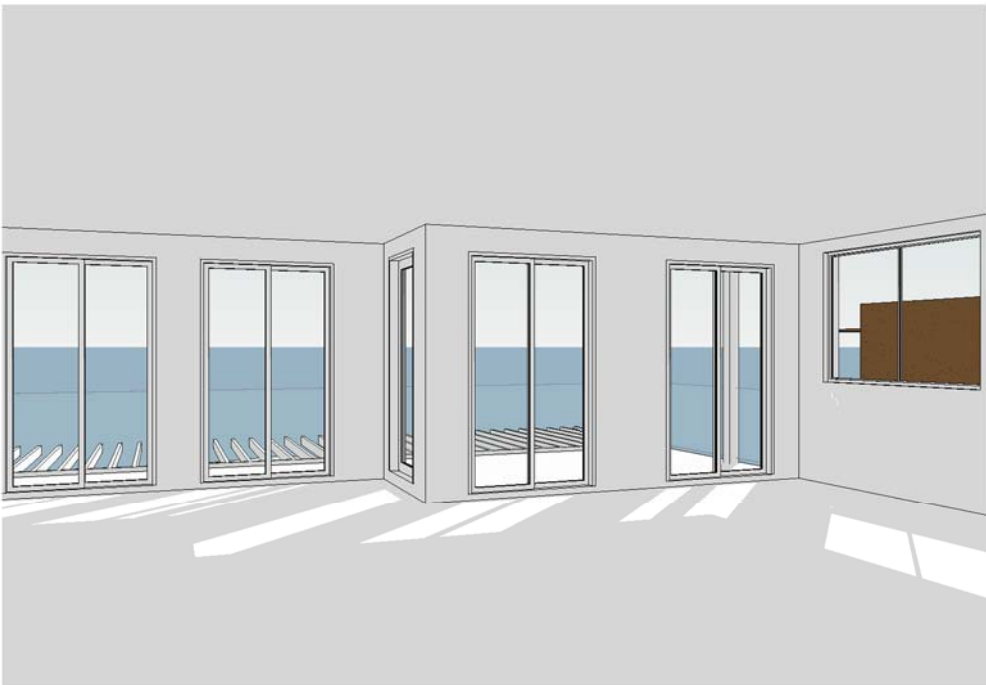
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			PROJECT ADDRESS 7 BOWER STREET MANLY, 2095	CLIENT JURGEN SPANGL & KARIN MUNDSPERGER	DRAWN BY RN/CAR REVIEWED BY CC	REVISION DATE 23/07/2020	REVISION 1	DRAWING NUMBER DA 022

VIEW A

WATER VIEW FROM FIRST FLOOR ROOM
VIEW AT 1.65m ABOVE FIRST FLOOR LEVEL RL 37.48



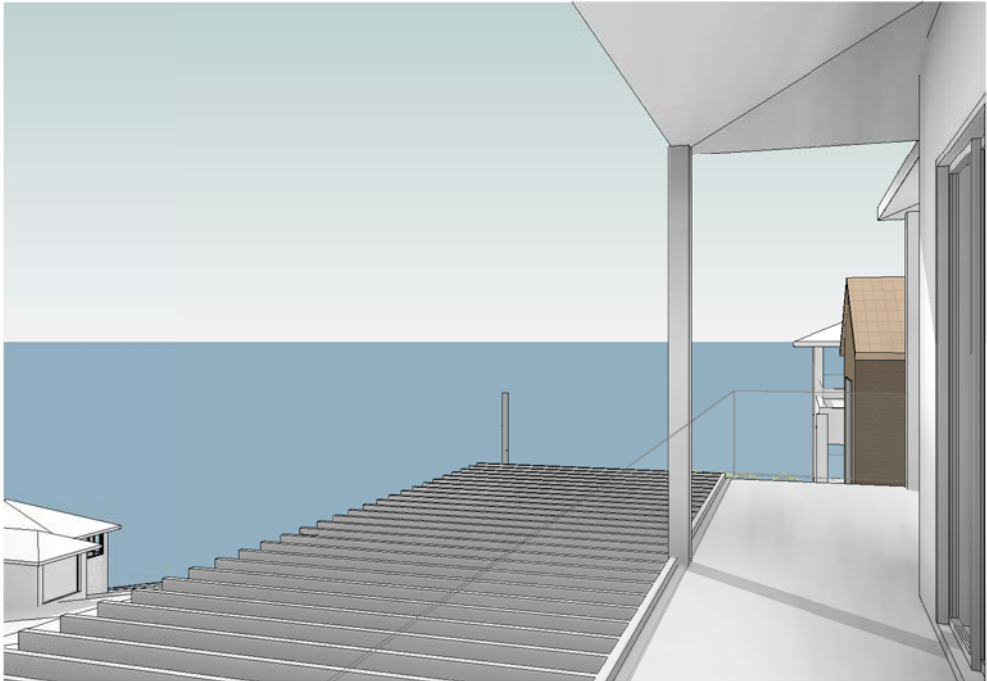
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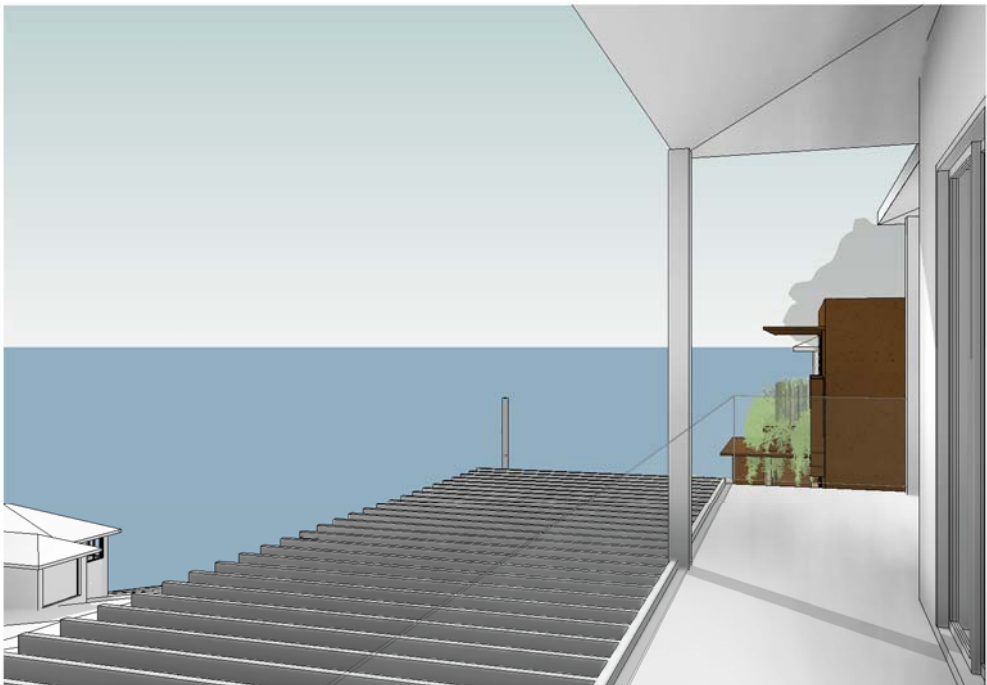
PROPOSED

VIEW B

STANDING WATER VIEW FROM FIRST FLOOR BALCONY
VIEW AT 1.65m ABOVE BALCONY RL 37.48



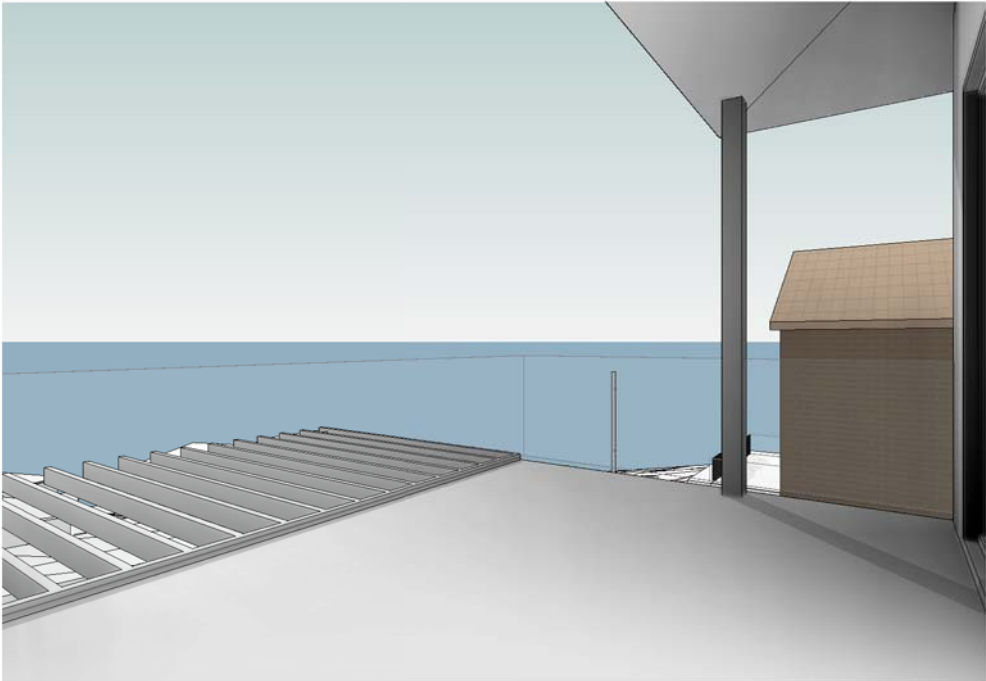
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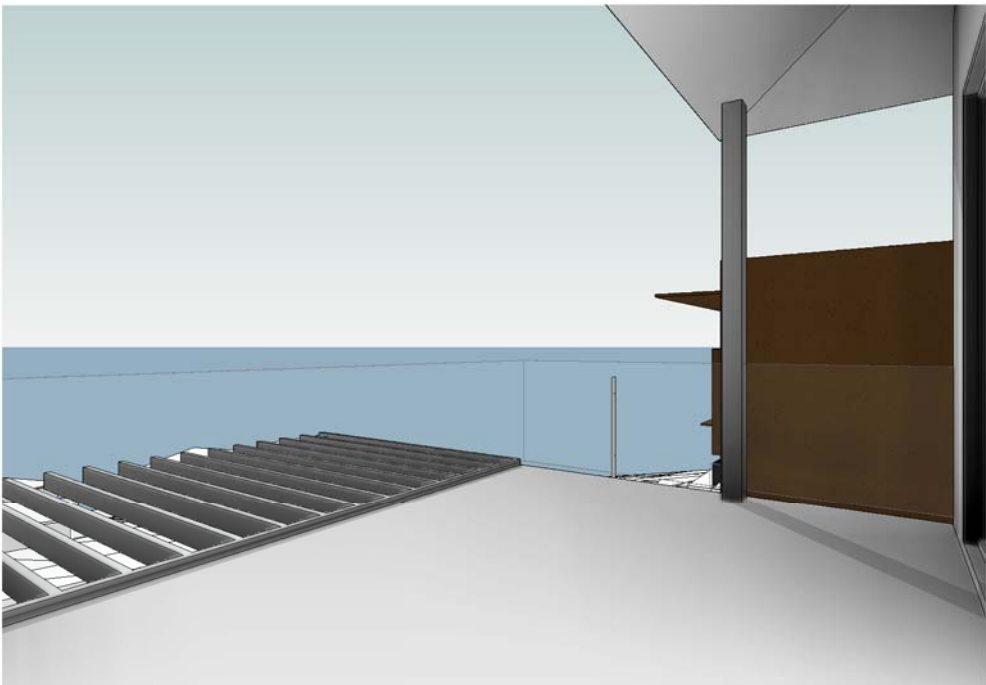
PROPOSED

VIEW C

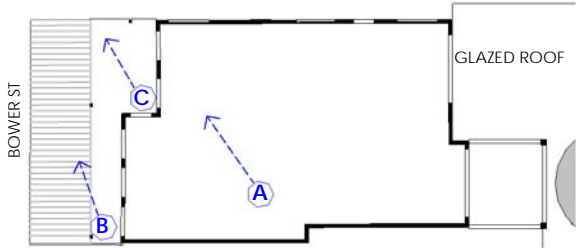
SEATED WATER VIEW FROM FIRST FLOOR BALCONY
VIEW AT 1.2m ABOVE BALCONY RL 37.48



EXISTING




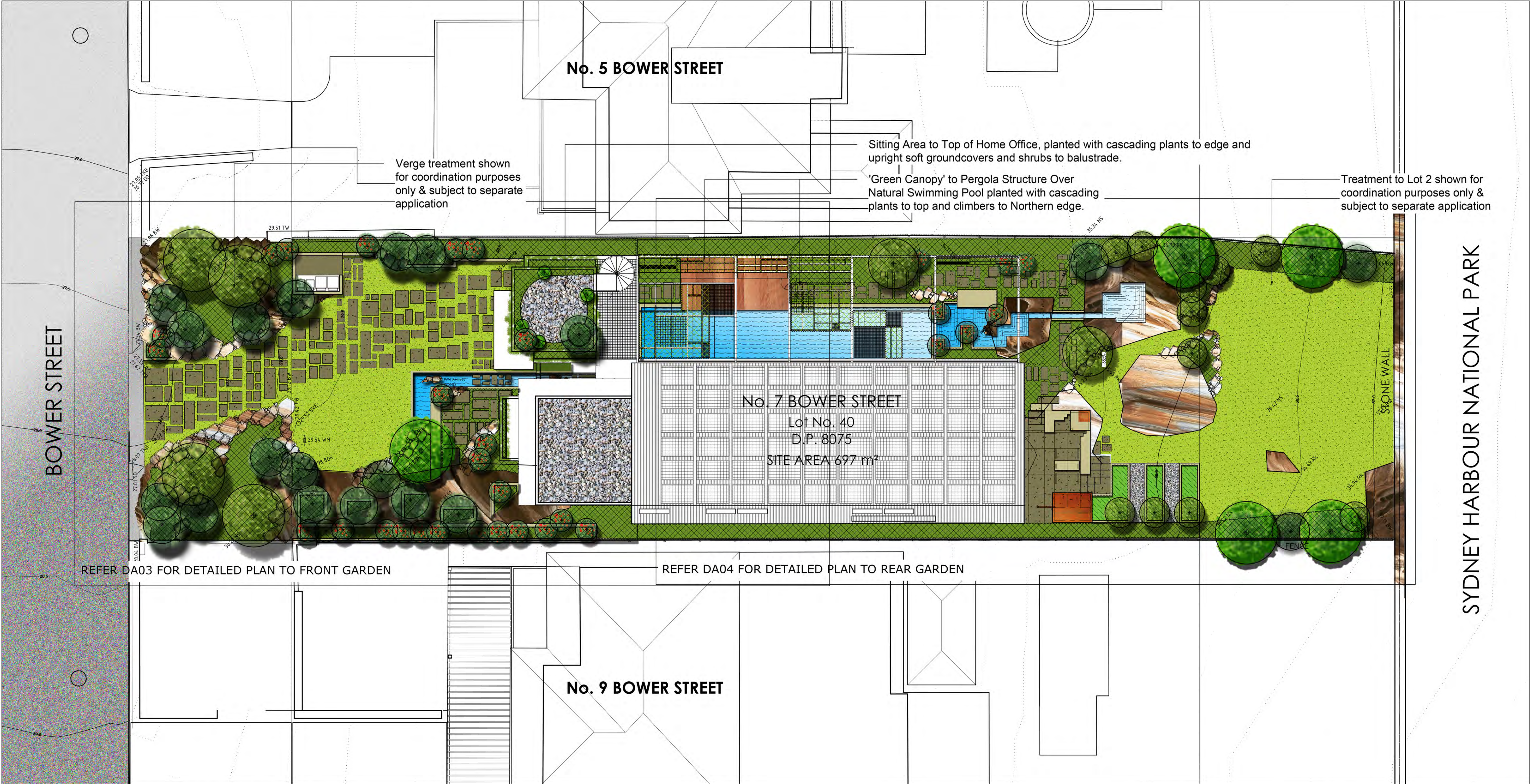
PROPOSED



KEY PLAN

DEVELOPMENT APPLICATION ONLY - NOT FOR CONSTRUCTION

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			PROJECT ADDRESS 7 BOWER STREET MANLY, 2095	CLIENT JURGEN SPANGL & KARIN MUNDSPERGER	DRAWN BY RN/CAR REVIEWED BY CC	REVISION DATE 23/07/2020	REVISION 1	DRAWING NUMBER DA 023



CONCEPT LANDSCAPE PLAN (SITE PLAN): Scale 1:100

GENERAL STATEMENT OF LANDSCAPE INTENT

The landscape design is figured to build upon the spatial parti & organising aesthetic principles of the proposed house design by C+C Architectural Workshop, by providing opportunities for the landscape and architecture to intermingle via the various structures and spaces, as well as celebrate the flora indigenous to the Manly Coastline & be ecologically connected to North Head section of Sydney Harbour National Park.

Overall the scheme proposes to make as few changes to the natural levels other than those spaces that directly adjoin the front & back of the house where re-grading is required to join into the proposed finished floor levels, or the smaller 'incisions' to accommodate the series of polishing ponds upstream and downstream of the proposed natural swimming pool. The existing sandstone outcrops will be retained and allowed to abut the house, or be carefully carved into to symbolically mimic the sandstone lined gullies of the Sydney Harbour and coastline.

Recycling as much of the existing house for use in the landscape will form an element in the landscape construction process, from bricks, to roof tiles, and old house timbers to both add character & reduce the embodied energy required in the construction. Any sandstone boulders that are excavated intact during construction these will also be stockpiled for reuse in the gardens where rockwork is indicated.

LONG-NOSED BANDICOOTS

The proposed garden is designed as both human and fauna friendly habitat. Lawns are to be maintained on as much natural surface as possible, whilst providing a strong reintroduction of indigenous species that occur in the nearby North Head section of Sydney Harbour National Park. Two significant links are formed either side of the house, between the front & back of the lot provide corridors for Bandicoots and other fauna to move as feeling as possible. Pool fencing is to be kept clear of these paths & side security gates will have a reasonable space under them for the unimpeded passage of fauna.

Overall the quality of the habitat for native wildlife and foraging areas within the garden will be greatly improved.

BUSHFIRE MANAGEMENT

Whilst the Bushfire Risk Assessment notes that the whole property is to be managed as an Asset Protection Zone (APZ) this should not be seen as incompatible with the aims of provision of cover, habitat and foraging areas for Long-nosed Bandicoots. The majority of planting about the garden & nearer to the building is to be managed as low groundcovers, consisting indigenous species that require little water with non-contiguous sections of shrub and smaller tree plantings throughout so that the requirement of the APZ are maintained (30% tree & 20% shrub canopy).

Due to the complex geology of the site that contains extensive rock outcrops and probable shallow soils in many locations the full extent of where shrubs and trees can be located are indicative only & will be determined on site during construction. Bushfire resistant species will be located in proposed plantings close to the house. A Storz valve is proposed for a location adjacent to the bin enclosure, supplied by a 100mm pipe from the proposed natural pool.

PLANTING:


Indigenous species to the North Head/Manly coastal environment are to be used almost exclusively as shown in the Indicative Planting Schedule, maximising the opportunity to showcase this wonderful & much under-utilised planting palette, as well as tell the story of the ecosystems of the salt & windswept Manly Coastline: Dunes, wetlands, grasslands, heaths, and littoral rainforest, within the palette of plants that will withstand this exposed location. The only exception will be the stockpiling and replanting of the existing Frangipani in the Front Garden, the minimal use of variegated native species, like Dichodra 'Silver Falls' to reliably add to cascade plantings and the inclusion of vegetables and fruit trees to the Vegetable Garden Beds in the Rear Garden.


The proposed scheme has three main landscape spaces & two adjoining spaces:

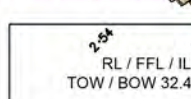
- 1. THE FRONT GARDEN:** The design for the front yard is two-fold: As an entry space it has to function to provide the normal ability to drive cars in and out, maintain views to the Pacific Ocean, and provide for a degree of passive surveillance of the street from the house. It also must increase the connectivity for Long-nosed Bandicoots via the provision of low ground covers, natural boulders with small planted 'pathways' set between to enable the free passage of fauna. A bin enclosure, a long bench, & a smaller pond associated with the Natural Pool in the Rear Garden are the only structures proposed for this Garden.
- 2. THE REAR GARDEN:** This area is dominated by a series of natural sandstone rock outcrops that are to be maintained in their natural state aside from the terrace area outside the Art Room where the rock will be left exposed where practicable, both as a garden wall & as paving, & the two outcrops nearer to the boundary with Number 5 which will remain largely intact aside from having polishing ponds carved into them for the natural pool. All ponds (in both front & rear gardens) are proposed to be stepped to allow easy egress for any wildlife that uses the ponds to swim in. Refer to DA04 for a more detailed explanation of the proposed Fireplace & Garden Shed.
- 3. SITTING AREA AND GREEN CANOPY:** These two spaces, one above the study at the front & the other over the pool suspended from a steel framed pergola are to be planted with indigenous & native variegated species that will cascade down softening the overall form of the proposed house.
- 4. VERGE AND LOT 2, DP110497:** Although not forming part of this application these adjoining areas are shown to demonstrate a holistic approach to the proposed development, particularly with regard to maintaining and improving Bandicoot access, habitat & foraging areas.


LEGEND


 Lawn


 Natural Rock Outcrops

 Paving & Proposed Boulder Edging and Retaining (Concrete or Stone Pavers and Excavated Site Stone)

 Spot Levels (Ref. Codes below)

 Proposed Mass Plantings of Indigenous Groundcovers

 Proposed Vegetable Beds

 Proposed Green Canopy to Pool Proposed Tree & Shrub Plantings (Indicative Only)

SPOT LEVEL CODES:

BP: Bottom of Pond

BW: Bottom Wall

DD: Dish Drain

FFL: Floor Level

GM: Gas Meter

NS: Natural Surface

PP: Power Pole

RK: Rock

RL: Relative Level

SIP: Sewer Inspection Pit

SMH: Sewer Man Hole

SVE: Sewer Vent

TKB: Top of Kerb


TW: Top of Wall

WM: Water Meter

WL: Water Level

DATE: ITEMS:

AMENDMENTS:

 **duncan gibbs**
landscape architect

PROJECT:
7 Bower St Manly: Concept Garden Design for Development Application

CLIENT:
Jürgen Spangl and Karin Mundspurger

JOB NUMBER:
J0819

DRAWING:
Concept Landscape Plan for DA:
Site Plan & Statement of Landscape Intent

DRAWING NUMBER:
J0819-DA01

REVISION:
A

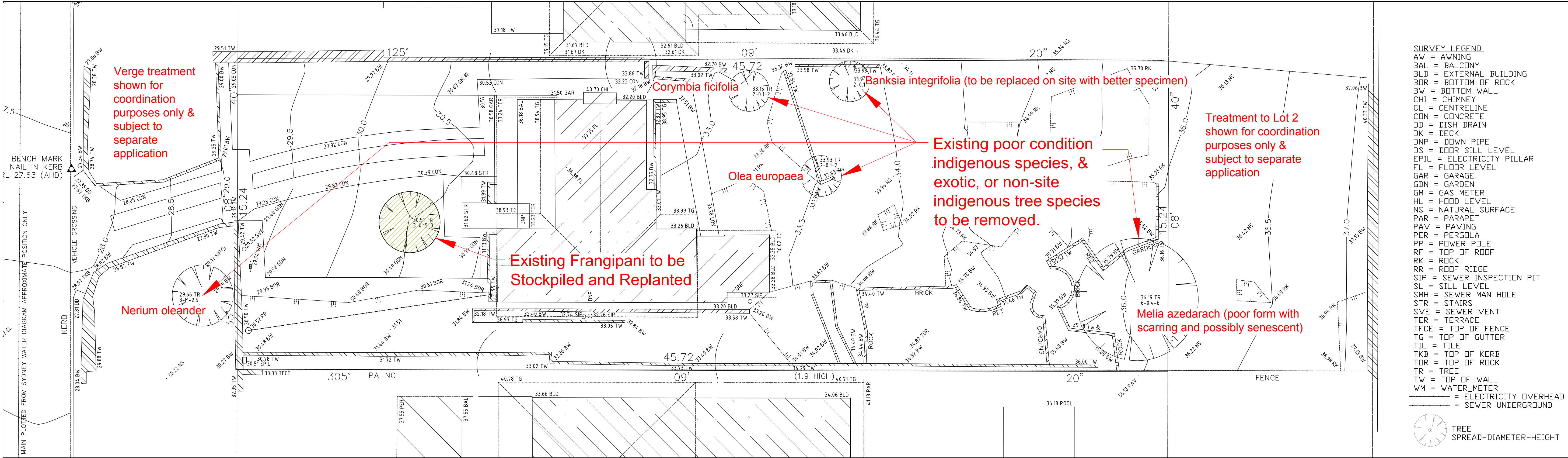
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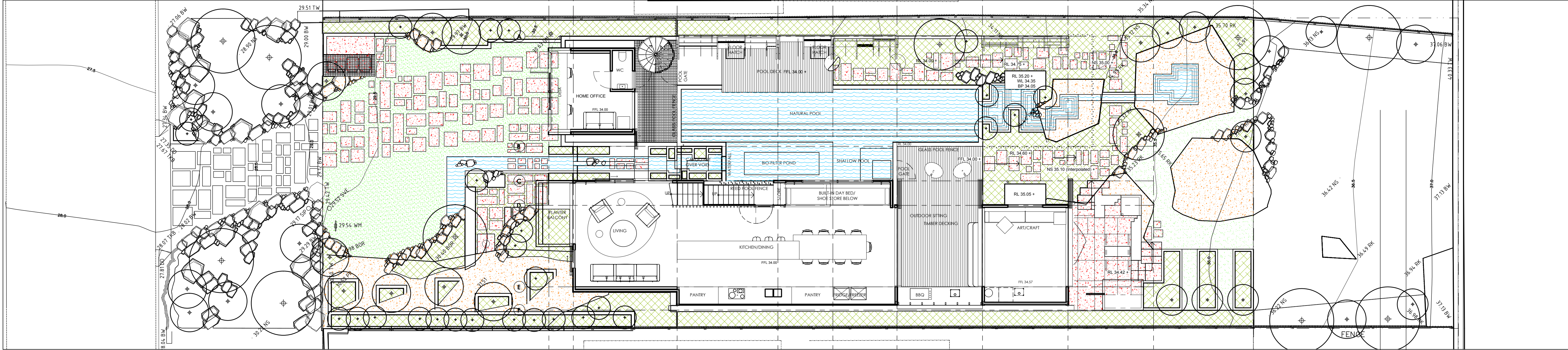
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EXISTING SITE SURVEY: Scale 1:100



PLANTING, LAWN AND WATER AREAS: Scale 1:100

CALCULATION OF LANDSCAPE AREAS (OPEN SPACE)

Planting Front Garden:	50m2
Planting Rear Garden:	90m2
Lawn Front Garden:	138m2
Lawn Rear Garden:	22m2

TOTAL: 300m2

Total Bandicoot Foraging Area (not including planting within pool fence area) from above: 185m2
Pool and Ponds: 74m2

GRAND TOTAL 374m2

TOTAL LOT AREA 697m2

Total area planted with indigenous vegetation to comply and exceed BASIX requirements: 132.5m2

LEGEND

Turf

Paving, Natural Rock Outcrops & Proposed Boulder Edging and Retaining

Pool and Ponds

Proposed Mass Planting Areas & Vegetable Beds

SPOT LEVEL CODES:

BP: Bottom of Pond
BW: Bottom Wall
DD: Dish Drain
FFL: Floor Level
GM: Gas Meter
NS: Natural Surface
PP: Power Pole
RK: Rock
RL: Relative Level
SIP: Sewer Inspection Pit

SMH: Sewer Man Hole
SVE: Sewer Vent
TKB: Top of Kerb
TW: Top of Wall
WM: Water Meter
WL: Water Level

DATE: _____ ITEMS: _____

AMENDMENTS: _____

duncan gibbs
landscape architect

PROJECT
7 Bower St Manly: Concept Garden Design for Development Application

CLIENT
Jürgen Spangl and Karin Mundsparger

JOB NUMBER
J0819

DRAWING
Concept Landscape Plan for DA: Existing Site & Open Space Calculations

DRAWING NUMBER
J0819-DA02

REVISION
A

DATE
10.07.20

SCALE
1:100 @ A1, 1:200@A3

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08119 - 7 Bower St Manly		99.5% Indigenous Plants to Coastal Manly.		Final selection based upon availability & detailed planting design	
INDICATIVE PLANT SCHEDULE					
Clients: Jurgen Spangl and Karin Mundspurger					
Code	Botanical Name	Common Name	Prob. Max. Height	Situation	Pot Size Spacing
TREES			NB: all likely smaller	in planters depending on soil depth and width	
ALL	Allocasuarina littoralis	Black She Oak	8m	RT, F, B	25L As Shown
CLGO	Acacia longifolia	Sydney Golden Wattle	6m	RT, F, B	Super tube As Shown
ACS	Acmena smithii	Broad-leaf Lillypill	4m	S, RT, F, B	25L As Shown
ALV	Allocasuarina verticillata	Drooping She-oak	6m	RT, F, B	Super tube As Shown
ANC	Angophora costata	Smooth-barked Apple	15m	Feature, B, F	45L As Shown
ANH	Angophora myrsifolia	Dwarf Apple	6m	Feature, F, B, RT, GC	Super tube As Shown
BAM	Banksia hirsuta	Grey Myrtle	10m	S, RT, F, B	45L As Shown
BAT	Banksia integrifolia	Coastal Banksia	10m	Feature, F, B, RT, GC	45L As Shown
CEG	Ceratopetalum gummiferum	NSW Christmas Bush	6m	Feature, F, B, RT	200mm As Shown
CUA	Cupaniopsis anacardioides	Tuckeroo	6m	RT, F, B, GC	45L As Shown
ELR	Elaeocarpus reticulatus	Blueberry Ash	8m	RT, F, B, GC	45L As Shown
ENS	Endiandra sieberi	Hard Corkwood	12m	RT, F, B, GC	Super tube As Shown
FIC	Ficus coronata	Crested Sandpaper Fig	8m	RT, F, B, GC	Super tube As Shown
SCO	Schlotheimia ovata	Crab Apple	6m	RT, F, B	150mm As Shown
SYO	Syzygium paniculatum	Magenta Lilly Pilly	10m	RT, F, B	150mm As Shown
PALMS					
LIA	Livistona australis	Cabbage Palm	15m	Feature, F, B	100L As Shown
SHRUBS					
ACL	Acacia linifolia	Flax-Leaved Wattle	3m	RT, F, B	Super tube As Shown
ACSU	Acacia suaveolens	Sweet scented Wattle	2m	RT, F, B	Super tube As Shown
ACT	Acacia terminalis	Sunshine Wattle	3m	RT, F, B	Super tube As Shown
AOE	Aotus ericoides	Yellow Flowered Aotus	2m	RT, F, B	Super tube As Shown
BAE	Banksia ericifolia	Heath Banksia	3m	RT, F, B	250mm As Shown
BAO	Banksia oblongifolia	Fern Leaved Banksia	3m	RT, F, B	250mm As Shown
BAR	Banksia robur	Swamp Banksia	2m	RT, F, B	250mm As Shown
BAS	Banksia serrata	Saw toothed Banksia	3m	RT, F, B	25L As Shown
BASP	Banksia spinulosa	Hairpin Banksia	1m	RT, F, B	25L 1000mm
CAC	Callistemon citrinus	Crimson Bottlebrush	4m	Feature, F, B, RT	150mm As Shown
COR	Correa reflexa	Common Correa	1m	RT, F, B	150mm 600mm
CPS	Crowea saligna	Crowea	1m	RT, F, B	150mm
DIR	Dillwynia retorta	Eggs and Bacon	2m	RT, F, B	Super tube 1000mm
EP1	Epacris longiflora	Native Fuchsia	1m	Mass Plant, Feature, F, B, RT	Super tube 500mm
EPM	Epacris microphylla	Coral Heath	1m	Mass Plant, Feature, F, B, RT	Super tube 500mm
GRB	Grevillea buxifolia	Grey Spider flower	1.5m	Feature, F, B, RT	250mm 1000mm
GRL	Grevillea linearifolia	White spider flower	1m	Feature, F, B, RT	250mm 600mm
GRS	Grevillea sericea	White spider flower	1.5m	Feature, F, B, RT	250mm 1000mm
GRSP	Grevillea speciosa	Red spider flower	1.5m	Feature, F, B, RT	250mm 1000mm
KUA	Kunzea ambigua	White Flowering Kunzea	2m	RT, F, B	Super tube 1000mm
LEL	Leptospermum laevigatum	Coastal Tea Tree	3m	RT, F, B	Super tube As Shown
LEP	Leptospermum petersonii	Lemon Scented Tea-tree	3m	RT, F, B	Super tube As Shown
LES	Leptospermum squarrosum	Pink Tea-Tree	2m	RT, F, B	Super tube As Shown
LEE	Leptospermum trinervium	Purple bark Tea-tree	4m	RT, F, B, CY	Super tube As Shown
MEE	Malealeuca ericifolia	Sweet Paperbark	4m	RT, F, B	Super tube As Shown
MEH	Malealeuca hypericifolia	Malealeuca	2m	RT, F, B	Super tube As Shown
MEL	Malealeuca linearifolia	Snow in Summer	3m	Feature, F, B, RT	Super tube As Shown
OZD	Ozothamnus diosmifolius	Everlasting Daisy	1.5m	RT, F, B	Tube 800mm
PEP	Peoria levis	Broad-Leaved Geebung	1.5m	RT, F, B	Tube As Shown
PFI	Pimelea infolia	Picea flower	3m	Mass Plant, RT, F, B	Super tube 500mm
PIT	Pittosporum revolutum	Rough-fruit pittosporum	2m	RT, F, B	150mm 1000mm
PPO	Pittosporum formosum ssp. formosum	Flat-pear	1m	RT, F, B	Super tube 500mm
PFS	Polyscias sambucifolia	Elderberry Panex	3m	RT, F, B, CY	1000mm
POS	Prostanthera denticulata	Native Mint Bush	1m	Mass Plant, RT, F, B	Super tube 1000mm
PUE	Putenaeae elliptica	Elliptical Bush-pear	1m	Mass Plant, RT, F, B	Super tube 500mm
PUF	Putenaeae flexilis	Graceful Bush-pear	3m	RT, F, B	Super tube As Shown
PUS	Putenaeae stipularis	Fine-leaf Bush-pear	2m	RT, F, B	Super tube 800mm
RIP	Ricinocarpus pinifolius	Wedding Bush	2m	RT, F, B, CY, S	Super tube 1000mm
SPD	Syzygium paniculatum "dwarf"	Brush Cherry	3m	RT, F, B, CY, S	150mm 1000mm
TIS	Telopoea speciosissima	Wartat-pine	3m	Feature, F, B, RT	25L 1500mm
VUJ	Viminaria juncea	Native Broom	3m	RT, F, B	800mm
WEF	Westringia fruticosa	Coast Westringia	2m	Mass Plant, RT, F, B	150mm 800mm
XAA	Xanthorrhoea australis	Grass Tree	2m	RT, F, B	25L As Shown
GRASSES & GROUNDCOVERS					
ACH	Actinotus helianthi	Flannel Flower	1m	Mass Plant, RT, F, B	Tube 500mm
BOH	Bossiaea heterophylla	Variable Bossiaea	700mm	Mass Plant, RT, F, B	Tube 500mm
CAA	Carex appressa	Native Sedge	800mm	Mass Plant, RT, F, B	Tube 400mm
CAG	Carpobrotus glaucescens	Pig Face	150mm/Creepers	Mass Plant, RT, F, B	150mm



Cupaniopsis anarcardioides	Prostanthera denticulata	Backhousia myrtifolia	Cyathea australis	Westringia fruticosa	Dianella caerulea	Syzgium paniculatum "dwarf"	Viola hederacea	Banksia robur
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<i>Scaevola ramosissima</i>	<i>Sticherus flabellatus</i>	<i>Carpobrotus glaucescens</i>	<i>Clematis glycinoides</i>	<i>Pittosporum revolutum</i>	<i>Pomax umbellata</i>	<i>Callistemon citrinus</i>	<i>Banksia integrifolia</i>
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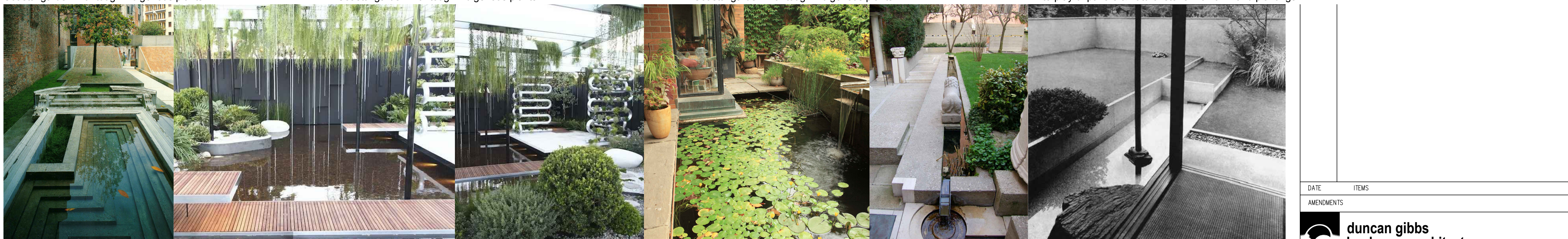


Grevillea speciosa *Kunzea ambigua* *Baloskion tetraphyllum* *Epacris longiflora* *Aotus ericoides* *Banksia ericifolia* *Correa reflexa* *Pimelea linifolia*

INDICATIVE PLANT PALETTE EXAMPLES



Coastal garden with tough indigenous plants Coastal garden with tough indigenous plants Coastal garden with tough indigenous plants Interplay of pavers & natural stone with lawn and plantings





Stepped concrete & stone ponds Green canopy set over water Green canopy set over water Geometric ponds & cascades Geometric ponds & cascades Geometric ponds with natural stone creating contrasts



Enclosed garden fireplaces from concrete and Corten Geometric stone and concrete terraces and courtyards with natural rocks placed within planting Interplay of steps, pavers & natural stone with plantings

LANDSCAPE DESIGN THEMES AND INDICATIVE LANDSCAPE MATERIALS PALETTE

DATE	ITEMS	
AMENDMENTS		
 duncan gibbs landscape architect		
PROJECT 7 Bowser St Manly: Concept Garden Design for Development Application		
		
CLIENT	JOB NUMBER	
Jurgen Spangli and Karin Mundsparger	J0819	
DRAWING		
Concept Landscape Plan for DA: Indicative Planting & Materials Palette		
DRAWING NUMBER	REVISION	DATE
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SCALE	DRAWN	CHECKED
NTS @ A1	dg	dg
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