

STANDARD CONSTRUCTION NOTES

WALL FRAMING

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH;
AS 1684:2010 NATIONAL TIMBER FRAMING CODE AND ENGINEER'S STRUCTURAL COMPUTATIONS.
- WALL BRACING, FIXING, TIE DOWNS, DURABILITY NOTES & ANY ADDITIONAL ENGINEERING REQUIREMENTS TO BE AS PER ENGINEER'S DETAILS.
- FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY.
- ALL WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH **N.C.C. 3.8.3.3**
- CENTRE ALL WINDOWS & DOORS INTERNALLY TO ROOM UNLESS DIMENSIONED OTHERWISE
- PROVIDE 2No. 90mm x 45mm JAMB STUDS TO ALL INTERNAL DOOR OPENINGS AND ALL SLIDING ROBE DOOR OPENINGS AS PER DETAIL **S-TYP-DOOR-01**

ROOF FRAMING

- GARAGE ROOF TO BE TIED DOWN MIN. 1200mm INTO BRICKWORK WITH HOOP IRON STRAPS.
- PREFABRICATED ROOF TRUSSES TO MANUFACTURER'S SPECIFICATIONS. PITCH AS SHOWN ON ELEVATIONS.

EXTERNAL WALLS

- ALL PARAPET WALLS TO BE PROVIDED WITH COLORBOND METAL CAPPING/FLASHING (50mm MIN. OVERLAP TO ALL JOINTS WITH CONTINUOUS SILICONE SEALANT BETWEEN & 30mm MIN. VERTICAL OVERHANG).

SLAB AND FOOTINGS

- REINFORCED CONCRETE SLAB AND ASSOCIATED FOOTINGS IN ACCORDANCE WITH ENGINEER'S DETAILS.
- SUB-FLOOR VENTILATION IN ACCORDANCE WITH **N.C.C. 3.4.1.** TO BE PROVIDED TO SUSPENDED TIMBER FLOOR WHERE APPLICABLE.

PLUMBING AND DRAINAGE

- ALL PLUMBING, DRAINAGE & ASSOCIATED WORKS TO COMPLY WITH **THE PLUMBING CODE OF AUSTRALIA, N.C.C. & AS 3500 – PLUMBING AND DRAINAGE,**

TERMITE PROTECTION

- PROVIDE TERMITE MANAGEMENT SYSTEM AS PER; **AS 3660.1:2014 – TERMITE MANAGEMENT**

GLAZING

- WINDOWS TO SIDE AND REAR ELEVATIONS ARE ALUMINIUM **SLIDING** (UNLESS NOTED OTHERWISE).
- WINDOW SIZES ARE NOMINATED AS GENERIC CODES; FIRST TWO NUMBERS REFER TO HEIGHT & SECOND TWO REFER TO WIDTH.
- WINDOW SUPPLIER TO PROVIDE COVER BOARDS TO ALL CORNER WINDOWS UNLESS NOTED OTHERWISE.
- ALL GLAZING TO COMPLY WITH;
AS 1288:2006 GLASS IN BUILDINGS
AS 4055:2012 WIND LOADS FOR HOUSING
- WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST CORRESPONDING BRICK COURSE.
- PROTECTION OF OPENABLE WINDOWS TO BE PROVIDED IN ACCORDANCE WITH **N.C.C. 3.9.2.5**

STEPS, STAIRS & BALUSTRADES

- ALL STEPS & STAIRS TO HAVE;
240mm MIN. & 355mm MAX. TREAD DEPTH AND 115mm MIN. & 190mm MAX. RISER HEIGHT IN ACCORDANCE WITH **N.C.C. 3.9.1.**
- BALUSTRADE IN ACCORDANCE WITH **N.C.C. 3.9.2.** TO BE INSTALLED WHERE INTERNAL & EXTERNAL LANDINGS EXCEED 1000mm ABOVE GROUND LEVEL.
- PROVIDE SLIP RESISTANCE IN ACCORDANCE WITH **N.C.C. 3.9.1.4** AND **AS 4586:2013 SLIP RESISTANCE.**

WATERPROOFING

- PROVIDE CAVITY FLASHING & WEEP HOLES ABOVE LOWER STOREY OPENINGS.
- WATERPROOFING OF WET AREAS TO COMPLY WITH;
AS 3740:2010 WATERPROOFING OF DOMESTIC WET AREAS &/OR N.C.C. 3.8.1

INTERNAL ELEVATIONS

- TILE & CUPBOARD DIMENSIONS ARE APPROXIMATE ONLY & MAY BE ALTERED TO SUIT MODULAR SIZES.
- DIMENSIONS INDICATED TAKEN FROM PLASTER.
- ALL DIMENSIONS ARE SUBJECT TO SITE MEASURE.
- SHOWER SCREEN HEIGHTS ARE INDICATIVE ONLY AND WILL ALTER DEPENDING ON SHOWER BASE CONSTRUCTION METHODS.

BASIX COMMITMENTS

Certificate No.: 1049955S_03

Date of Issue: 21.01.2020

WATER COMMITMENTS

FIXTURES

- 3 STAR RATED SHOWERHEADS >7.5 BUT <9L/MIN.
- 4 STAR RATED TOILET FLUSHING SYSTEMS
- 4 STAR RATED KITCHEN TAPS
- 4 STAR RATED BASIN TAPS

ALTERNATIVE WATER

- PROVIDE A RAINWATER TANK OF AT LEAST 2000L
- TANK MUST BE CONFIGURED TO COLLECT RAIN RUNOFF FROM THE **ENTIRE ROOF AREA.**
- TANK MUST BE CONNECTED TO;
 - ALL TOILETS
 - WASHING MACHINE COLD WATER TAP
 - AT LEAST ONE OUTDOOR TAP

ENERGY COMMITMENTS

HOT WATER

- 6 STAR RATED GAS INSTANTANEOUS

COOLING SYSTEM

- 3-PHASE AIR COND. TO AT LEAST 1 LIVING AREA WITH A MIN. ENERGY RATING OF **EER 3.0-3.5**
- 3-PHASE AIR COND. TO AT LEAST 1 BEDROOM AREA WITH A MIN. ENERGY RATING OF **EER 3.0-3.5**
- SYSTEM MUST PROVIDE FOR DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS

HEATING SYSTEM

- 3-PHASE AIR COND. TO AT LEAST 1 LIVING AREA WITH A MIN. ENERGY RATING OF **EER 3.0-3.5**
- 3-PHASE AIR COND. TO AT LEAST 1 BEDROOM AREA WITH A MIN. ENERGY RATING OF **EER 3.0-3.5**
- SYSTEM MUST PROVIDE FOR DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS

VENTILATION

- PROVIDE EXTERNALLY DUCTED EXHAUST FANS TO:
 - AT LEAST 1 BATHROOM
 - THE KITCHEN

ARTIFICIAL LIGHTING

- PROVIDE ENERGY EFFICIENT LIGHTING TO EACH OF THE FOLLOWING ROOMS. THOSE NOTED 'DEDICATED' MUST ONLY BE CAPABLE OF ACCEPTING FLUORESCENT OR LIGHT EMITTING DIODE (LED) TYPE LAMPS:
 - AT LEAST 5 BEDROOMS/STUDY
 - AT LEAST 3 LIVING/DINING ROOMS
 - THE KITCHEN
 - ALL BATHROOMS/TOILETS
 - THE LAUNDRY
 - ALL HALLWAYS

NATURAL LIGHTING

- PROVIDE A WINDOW/SKYLIGHT IN AT LEAST 3 BATHROOMS/TOILET,KITCHEN FOR NATURAL LIGHTING

OTHER COMMITMENTS

- PROVIDE A WELL VENTILATED FRIDGE SPACE
- PROVIDE A FIXED OUTDOOR CLOTHESLINE

FREEDOM

Loving

'H1' CLASS SLAB

TIMBER FLOOR JOISTS

- 360MM DEEP FLOOR JOIST
- 300MM DEEP FLOOR JOIST TO WET AREA
- 22MM RED TONGUE PARTICLE BOARD FLOORING

hebel®

Power Panel

WALL PANELS

OR RENDERED LIGHTWEIGHT SUBSTRATE CLADDING ABOVE LOWER ROOFS WHERE APPLICABLE

DUE TO PROXIMITY TO COASTAL WATERS PROVIDE THE FOLLOWING ADDITIONAL ITEMS:

- PROVIDE UPGRADED FIXING SCREWS AND CAULKING FOR HEBEL WALL PANELS (IN ACCORDANCE WITH MANUF. SPEC'S)
- LINTELS AND ANY EXPOSED STEEL IN ACCORDANCE WITH B.C.A. REQUIREMENTS
- COLORBOND VALLEY GUTTERS

PROVIDE NOGGINGS AT 750MM HIGH ABOVE FFL FOR FIXING OF WALL MOUNTED VANITIES TO:

- ENSUITE 1
- ENSUITE 2
- BATHROOM
- POWDER ROOM 1
- POWDER ROOM 2

PROVIDE SQUARE SET CEILING CORNERS TO:

- POWDER ROOM 2
- ENSUITE 1 & 2

PROVIDE AIR-CONDITIONING DUCTS AND OUTLETS TO THE GROUND FLOOR AND FIRST FLOOR FOR AIR-CONDITIONING BY METRICON

STAIRCASE UPGRADES - REFER TO CONTRACT

PROVIDE FLOOR PREPARATIONS TO SUIT OWNER'S FUTURE FLOOR COVERINGS - REFER TO CONTRACT

TABLE OF REVISIONS

REV.	DATE	REVISION DESCRIPTION	DRAWN	CHECKED
A	25.09.19	CONTRACT PLANS	ALM	DUM
B	17.12.19	VARIATION 001 (CONTRACT SIGNING)	SZN	DRI
C	30.01.20	LODGEEMENT PLANS	BD	--
D	30.04.20	CC FEEDBACK	BD	--
E	04.05.20	VARIATION 002 (INTERNAL)	SZN	CWK
F	25.05.20	VARIATION 003 & 004 & FINAL PLANS	JGU	--
G	12.07.21	RETAINING WALL ADJUSTMENT	NA4	--
H	DD.MM.YY	DESCRIPTION	XX	XX
I	DD.MM.YY	DESCRIPTION	XX	XX
J	DD.MM.YY	DESCRIPTION	XX	XX

Refer to:

STUDIO/M

Dated: 21.01.2020

Refer to:

TILE STUDIO metricon

Dated: 09.04.2021

Refer to:

LoveLight Curtains & Blinds

Dated: 18.05.2020

DRAWING AMENDMENT

BUILDING VARIATION 08 COMPLETED

TILE QUOTATION AMENDMENT

DATE: 19.04.2021 DRAWN: JGU

DESIGN: ALTO 33

FACADE: PENINSULA CEILING 25, R

GARAGE: SINGLE LOCATION: F

FREEDOM

m metricon

OWNER: [REDACTED]

LOT 40, NO.136 NARRABEEN PARK PARADE

MONA VALE

COVER SHEET

BY METRICON

Build. E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153
P.O. Box 7510, Norwest Business Park NSW 2153
Tel: 02 8887 9000 Fax: 02 8079 5901
Contractor Licence No: 174 699 A.C.N. 005 108 752
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JOB No: 704711

DATE: 25.09.2019

FC DATE: 25.05.2020

MST VER: 04.12.2018

SCALE:

REVISION: G

DRAWN: ALM

CHECK: DUM

SHEET: COVER

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED REGULARLY BY THE SITE MANAGER.

2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.

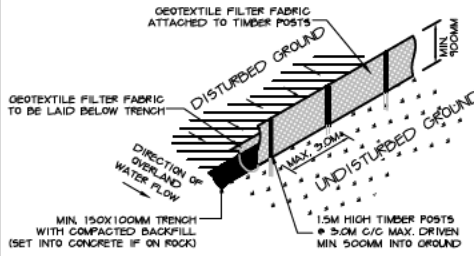
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.

4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.

5. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEP DAILY.

6. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) BETWEEN POST AT 3.0M CENTRES. FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.

7. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



SEDIMENT FENCE DETAIL
NOT TO SCALE

TEMPORARY SECURITY FENCING

TEMPORARY SECURITY FENCING TO THE PERIMETER OF BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO SITE.

CUT & FILL BATTERS

ALL GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

SEDIMENT FENCE

WASTE STORAGE AREA

MATERIAL STORAGE AREA

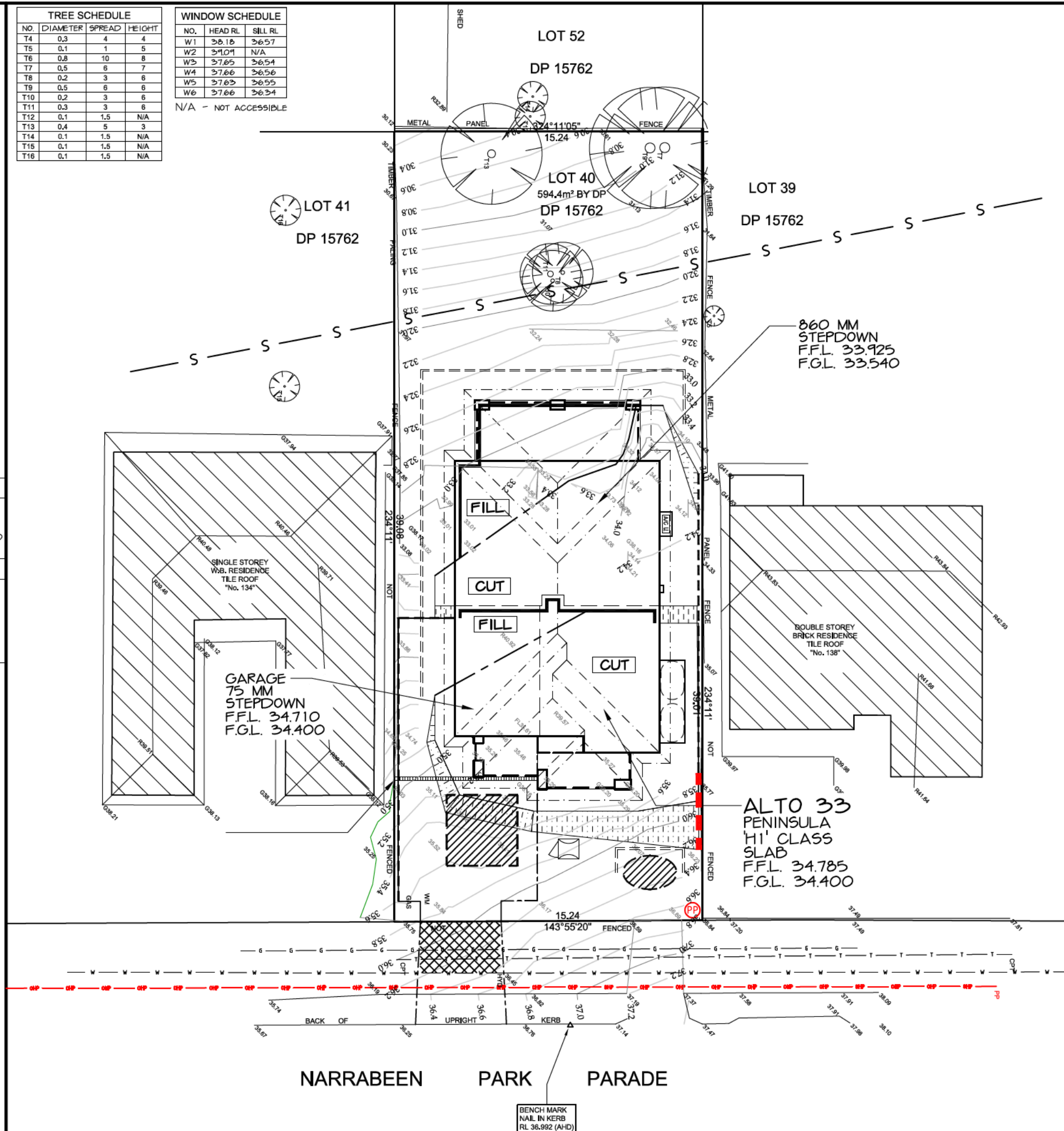
PORTABLE TOILET

ALL WEATHER ACCESS POSITION

TREE SCHEDULE			
NO.	DIAMETER	SPREAD	HEIGHT
T4	0.3	4	4
T5	0.1	1	5
T6	0.8	10	8
T7	0.5	6	7
T8	0.2	3	6
T9	0.5	6	6
T10	0.2	3	6
T11	0.3	3	6
T12	0.1	1.5	N/A
T13	0.4	5	3
T14	0.1	1.5	N/A
T15	0.1	1.5	N/A
T16	0.1	1.5	N/A

WINDOW SCHEDULE		
NO.	HEAD RL	SILL RL
W1	36.18	36.57
W2	39.09	N/A
W3	37.65	36.54
W4	37.66	36.56
W5	37.63	36.55
W6	37.66	36.54

N/A - NOT ACCESSIBLE



LOT NO: 40	
DEPOSITED PLAN: 15762	
COUNCIL / LGA: NORTHERN BEACHES	
SLAB CLASS:	H1
WIND SPEED:	N3

EROSION & SEDIMENT CONTROL PLAN

CONSTRUCTION PLAN

TEMPORARY FENCING:
BUILDER TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTH. BYLAW)

ALL WEATHER ACCESS:
METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION

INTRAX SURVEY DATE: 28.08.19

CONTOUR INTERVALS: 200MM

LEVELS TO: AHD

m
metricon

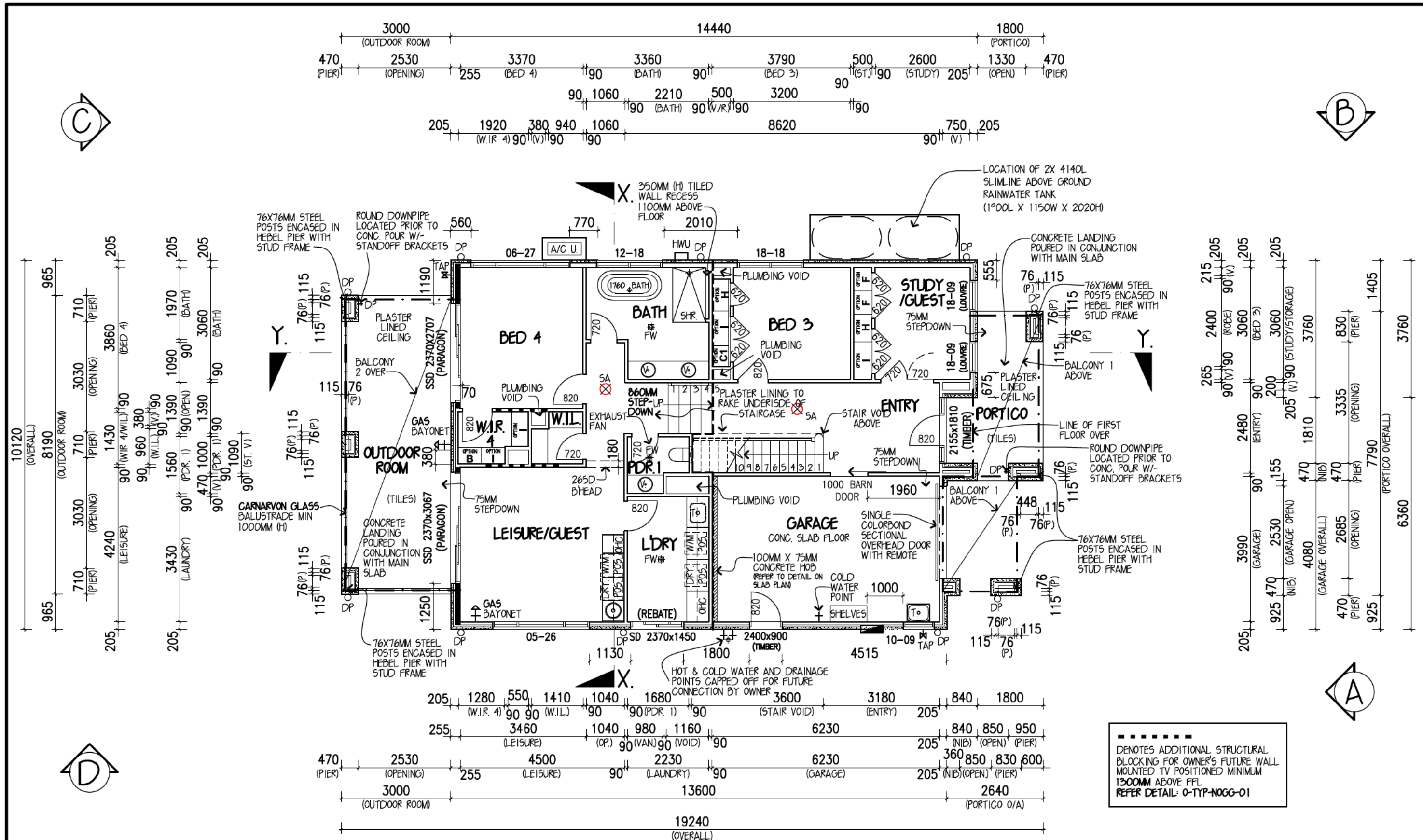
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LOT 40, NO.136 NARRABEEN PARK PARADE
MONA VALE

JOB No. 704711

DATE: 30.01.2020	DRAWN: BD/ALM
SCALE: 1:200	SHEET: 1A OF 11
UBD REF: SYD XX XX	



SYMBOL LEGEND

	DOWNSPIPE 90mm ROUND PVC		GARDEN TAP		MANHOLE FOR CEILING ACCESS
	DOWNSPIPE 100x50mm RECT. C/BOND		GAS BAYONET		SMOKE ALARM APPROX. POSITION INSTALLED AS PER N.C.C. 3.7.2. & TO COMPLY WITH AS 3786. SMOKE ALARMS TO BE INTERCONNECTED
	DOWNSPIPE WITH SPREADER		COLD WATER POINT		ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS
	DOWNSPIPE WITH RAINWATER HEAD		FLOOR WASTE		LOAD BEARING WALL
	EXHAUST FAN. INSTALLED AS PER B.C.A. 3.8.5. & TO COMPLY WITH A.S.1668.2.		DISCONNECTED GULLY		70mm STUD WALL
			ELEC. METERBOX 600x600 RECESSED		120mm STUD WALL
			AIR COND. UNIT		

AREAS:	GARAGE:	26.99 SQM	DESIGN:	ALTO 33
GRD FLR:	113.80 SQM	PORTICO:	10.26 SQM	FACADE: PENINSULA
FIRST FLR:	142.87 SQM	O/ROOM:	24.57 SQM	CEILING 25, R
		BALC. 1:	14.00 SQM	GARAGE: SINGLE
		BALC. 2:	23.29 SQM	LOCATION: F
SUBTOTAL:	256.67 SQM	TOTAL:	355.78 SQM	GROUND FLOOR PLAN
	27.63 SQM		38.30 SQM	

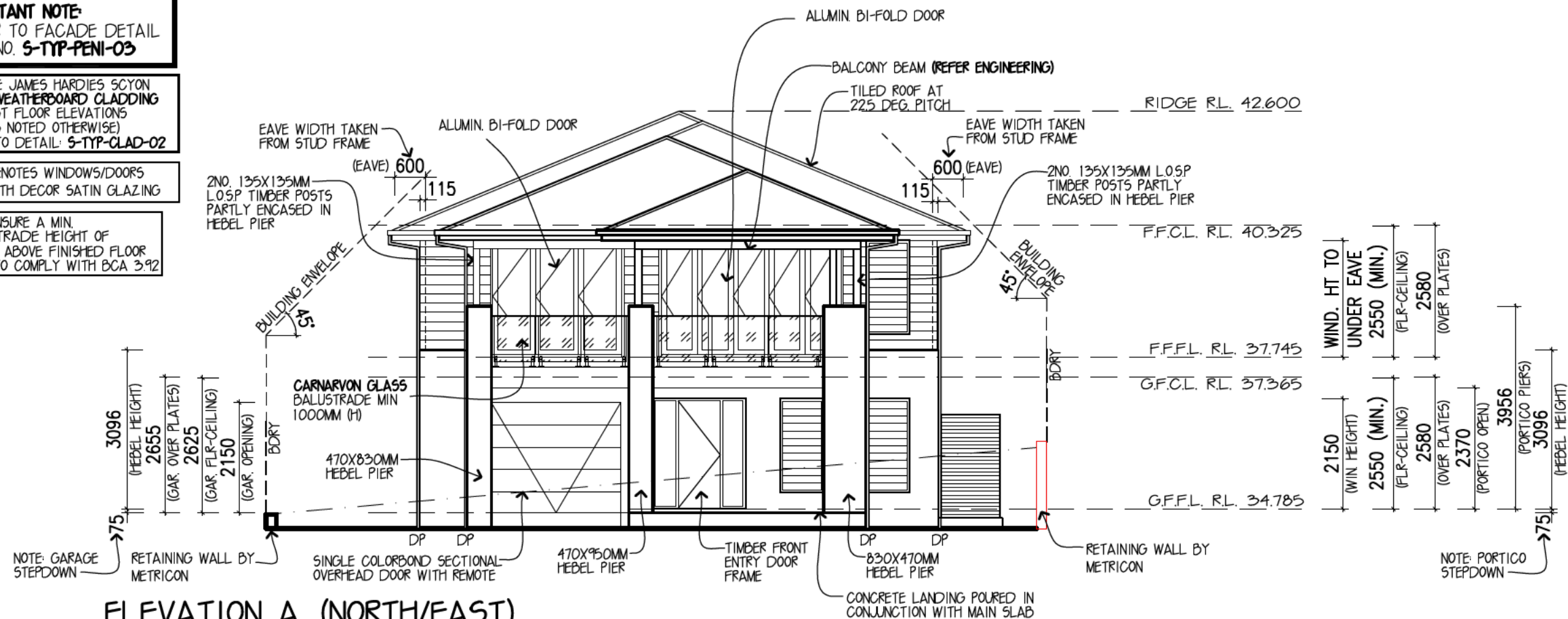
FREEDOM	m metricon	OWNER:	LOT 40, NO.136 NARRABEEN PARK PARADE MONA VALE
BY METRICON		JOB No:	704711
Build. E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153 P.O. Box 7510, Norwest Business Park NSW 2153 Tel: 02 8887 9000 Fax: 02 8079 5901 Contractor Licence No: 174 699 A.C.N. 005 108 752 © COPYRIGHT The ideas and the concepts contained within all drawings and documents is the sole property of Metricon Homes		DATE:	25.09.2019
		FC DATE:	25.05.2020
		MST VER:	04.12.2018
		SCALE:	1:100 ON A3 SHEET
		REVISION:	G
		DRAWN:	ALM
		CHECK:	DUM
		SHEET:	2 of 11

IMPORTANT NOTE:
REFER TO FACADE DETAIL
REF. NO. **S-TYP-PENI-03**

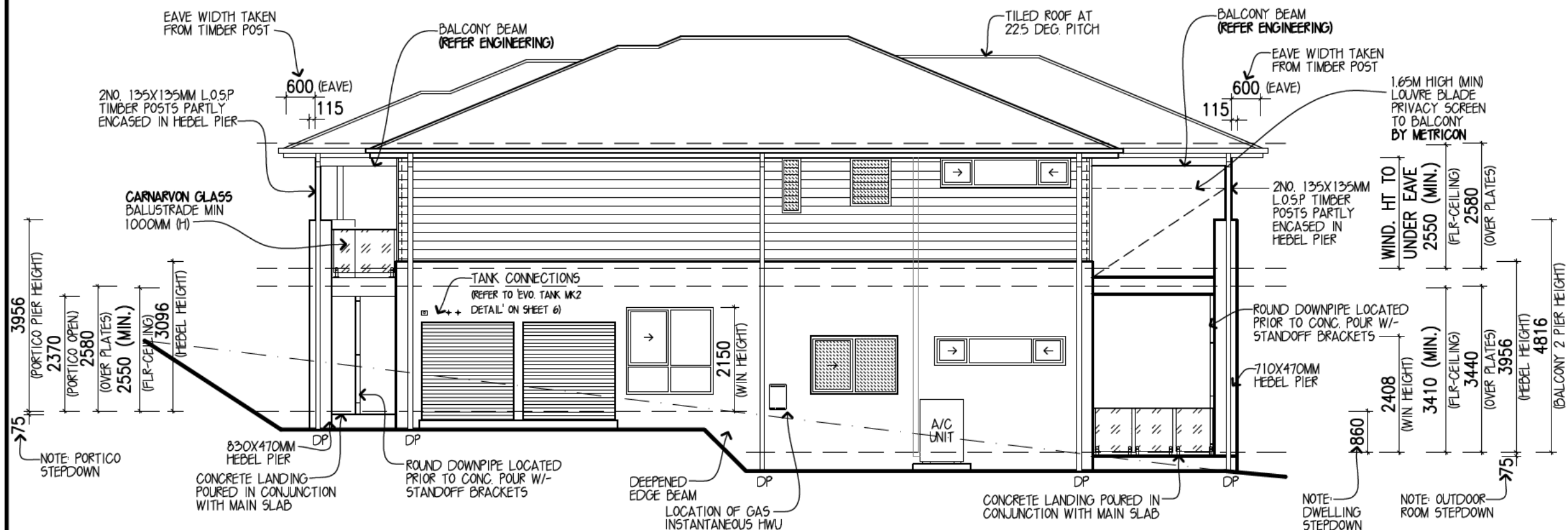
PROVIDE JAMES HARDIES SCYON
LINEA WEATHERBOARD CLADDING
TO FIRST FLOOR ELEVATIONS
(UNLESS NOTED OTHERWISE)
REFER TO DETAIL: **S-TYP-CLAD-02**

DENOTES WINDOWS/DOORS
WITH DECOR SATIN GLAZING

NOTE: ENSURE A MIN.
BALUSTRADE HEIGHT OF
1000MM ABOVE FINISHED FLOOR
LEVEL TO COMPLY WITH BCA 3.92



ELEVATION A. (NORTH/EAST)



ELEVATION B. (NORTH/WEST)

SYMBOL LEGEND



RECESSED
ELECTRICITY
METER BOX

RWH



DOWNPIPE W/-
RAINWATER HEAD

DP



ROOF
VENTILATOR

ARTICULATION JOINT
WHERE ARTICULATION
JOINTS ARE NOT SHOWN
REFER TO STRUCTURAL
ENGINEER'S DETAILS

DESIGN: **ALTO 33**

FACADE: **PENINSULA** CEILING: **25, R**

GARAGE: **SINGLE** LOCATION: **F**

ELEVATIONS

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FREEDOM | **m**
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OWNER: [REDACTED]

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MONA VALE

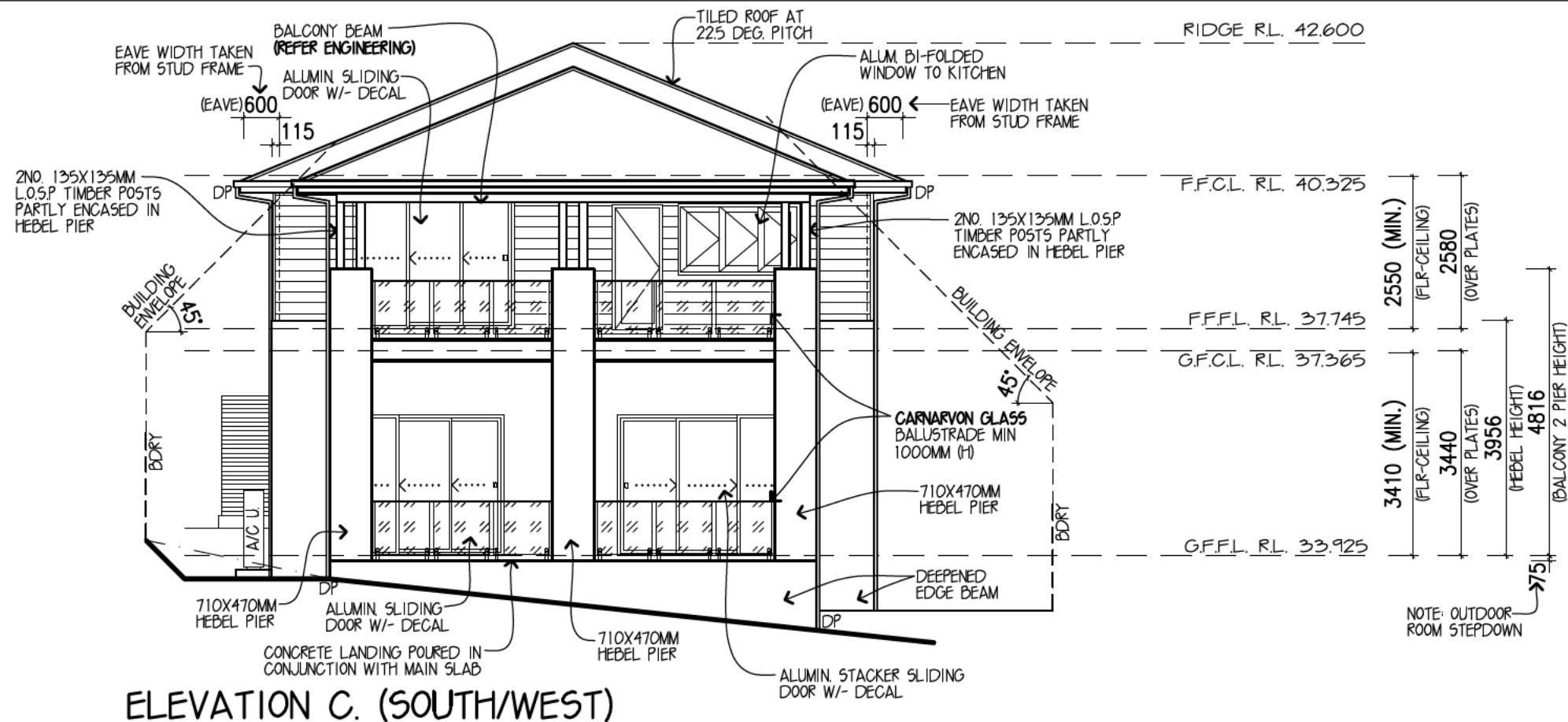
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FC DATE: **25.05.2020** MST VER: **04.12.2018**

SCALE: **1:100 ON A3 SHEET** REVISION: **G**

DRAWN: **ALM** CHECK: **DUM** SHEET: **4 of 11**

PROVIDE JAMES HARDIES SCYON LINEA WEATHERBOARD CLADDING TO FIRST FLOOR ELEVATIONS (UNLESS NOTED OTHERWISE) REFER TO DETAIL: 5-TYP-CLAD-02



SYMBOL LEGEND		
	RECESSED ELECTRICITY METER BOX	ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS
	DOWNPIPE W/- RAINWATER HEAD	
	ROOF VENTILATOR	

DESIGN: **ALTO 33**

FACADE: **PENINSULA** CEILING: **25, R**

GARAGE: **SINGLE** LOCATION: **F**

ELEVATIONS

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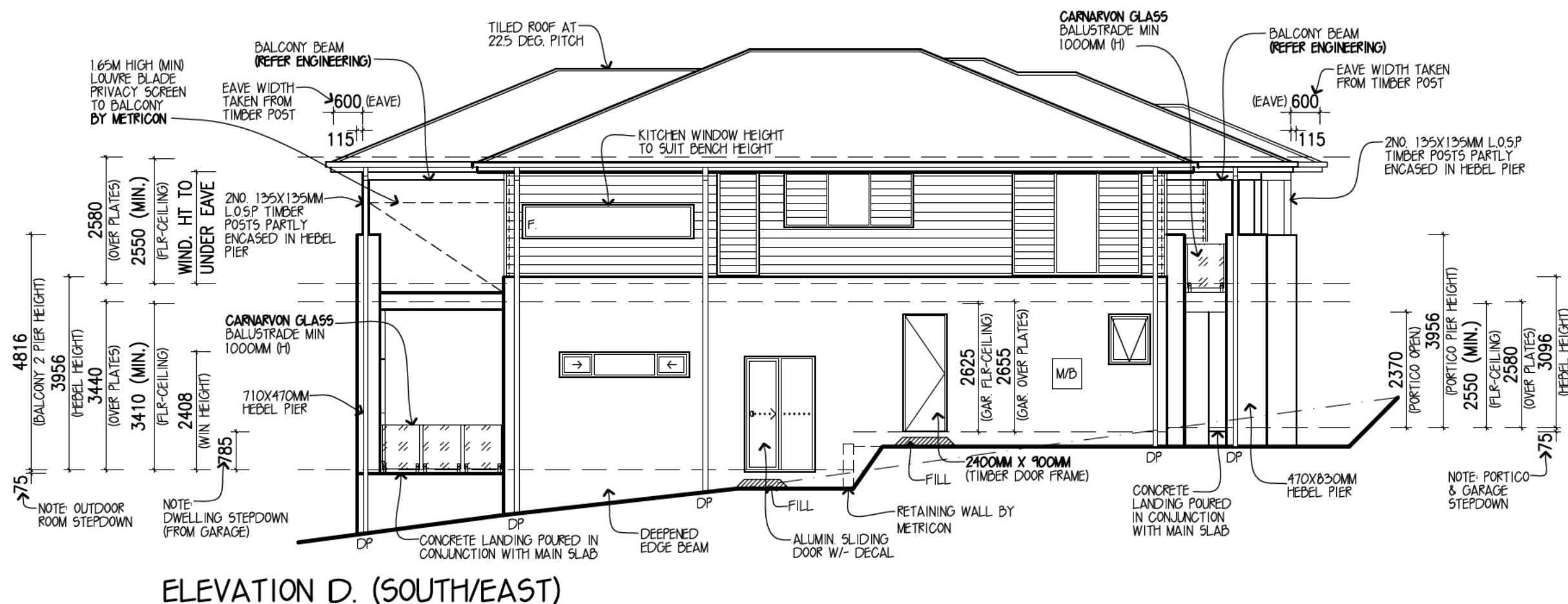
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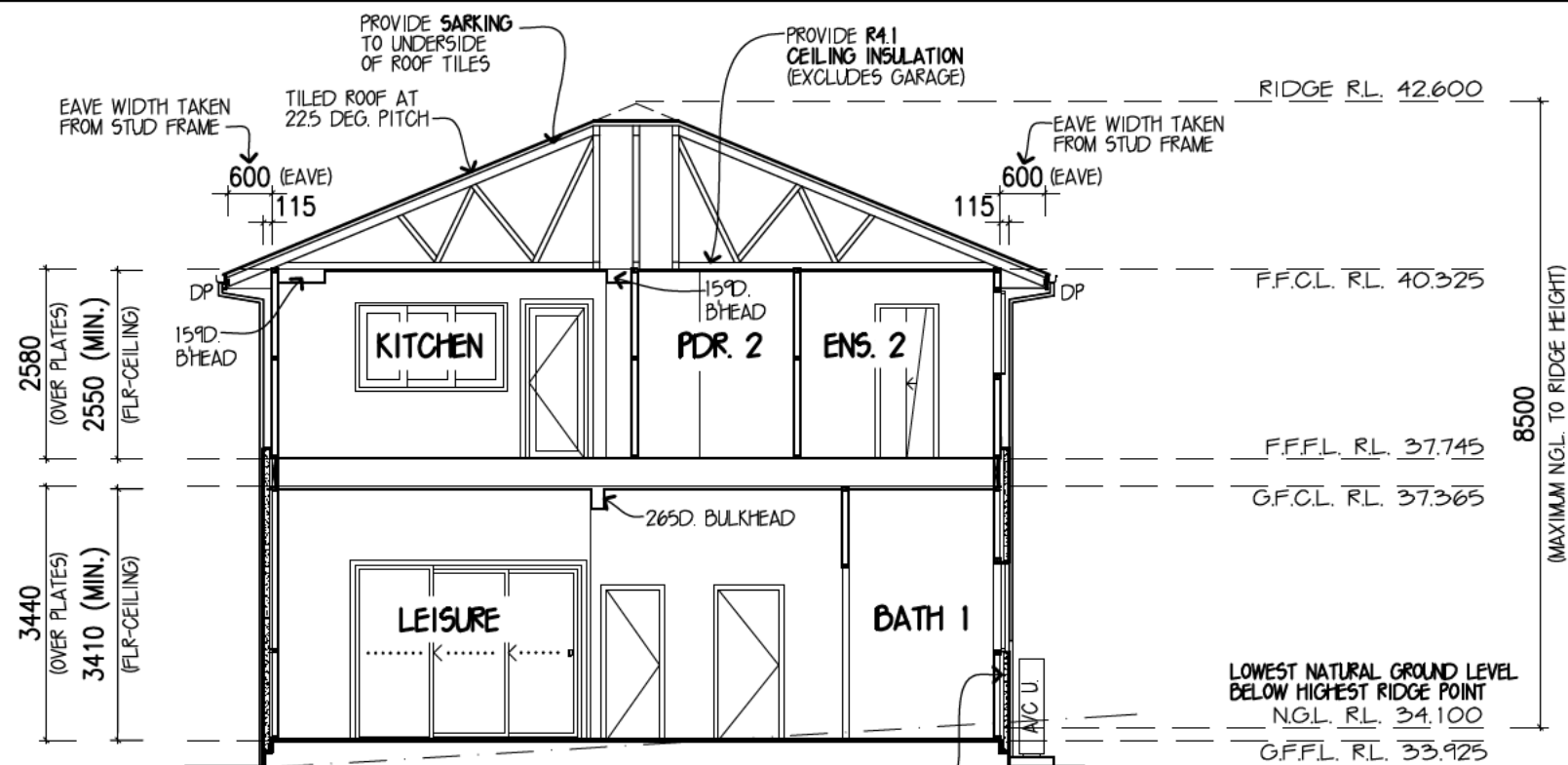
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OWNER: **LOT 40, NO.136 NARRABEEN PARK PARADE**
MONA VALE

JOB No: 704711	DATE: 25.09.2019
FC DATE: 25.05.2020	MST VER: 04.12.2018
SCALE: 1:100 ON A3 SHEET	REVISION: G
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SHEET: 5 of 11	

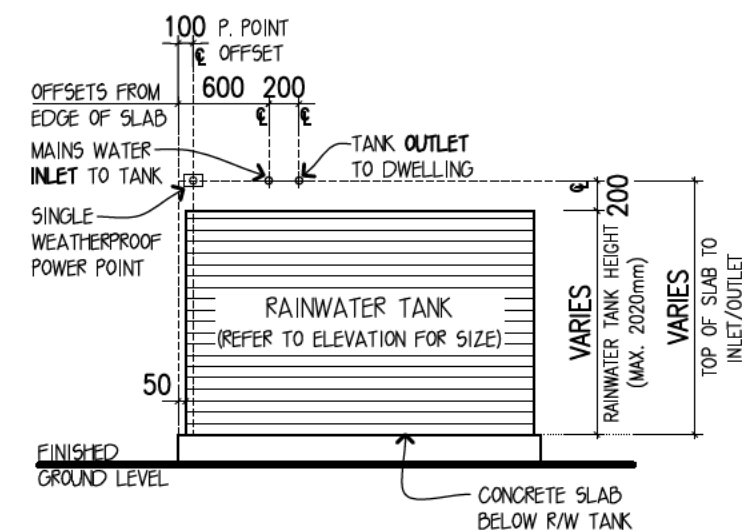




SECTION X-X

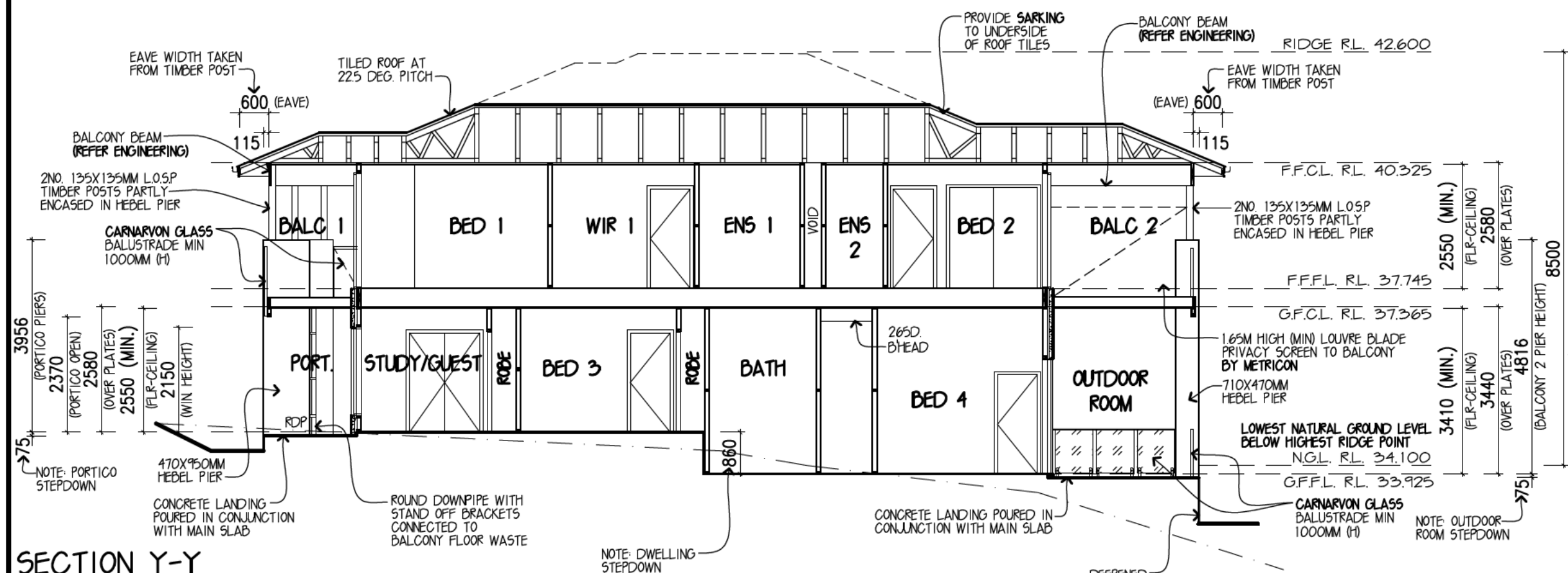
PROVIDE SISALATION WALL -WRAP AND R20 INSULATION BATTS TO EXTERNAL WALLS (INCL. R20 INSULATION BATTS TO GARAGE/HOUSE INTERNAL WALL EXC. GARAGE EXTERNAL WALL)

PROVIDE R3.1 110MM (T) SOUNDSCREEN ACOUSTIC INSULATION BATTS TO CEILINGS BETWEEN GROUND & FIRST FLOOR (EXCLUDES BALCONY 1 & 2)



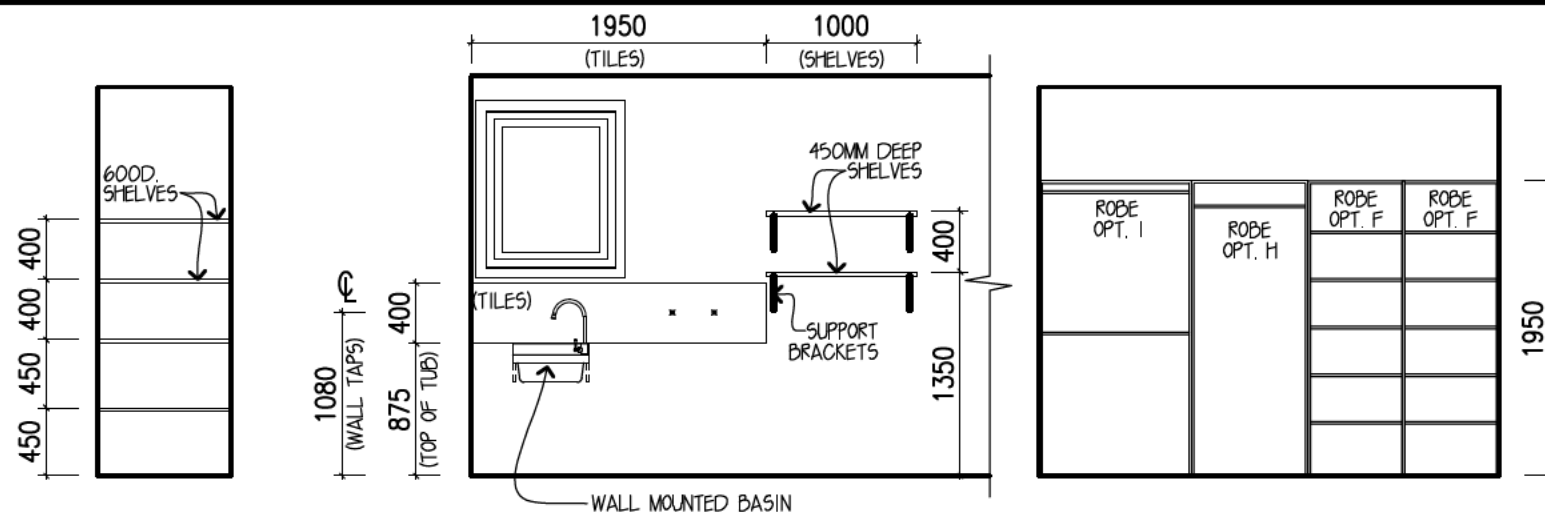
ROUGH-IN POSITIONING
(NOT TO SCALE)

'EVOLUTION' MK2 TANK DETAIL
(NOT SUITABLE FOR TANKS EXCEEDING 2020MM HIGH)



SECTION Y-Y

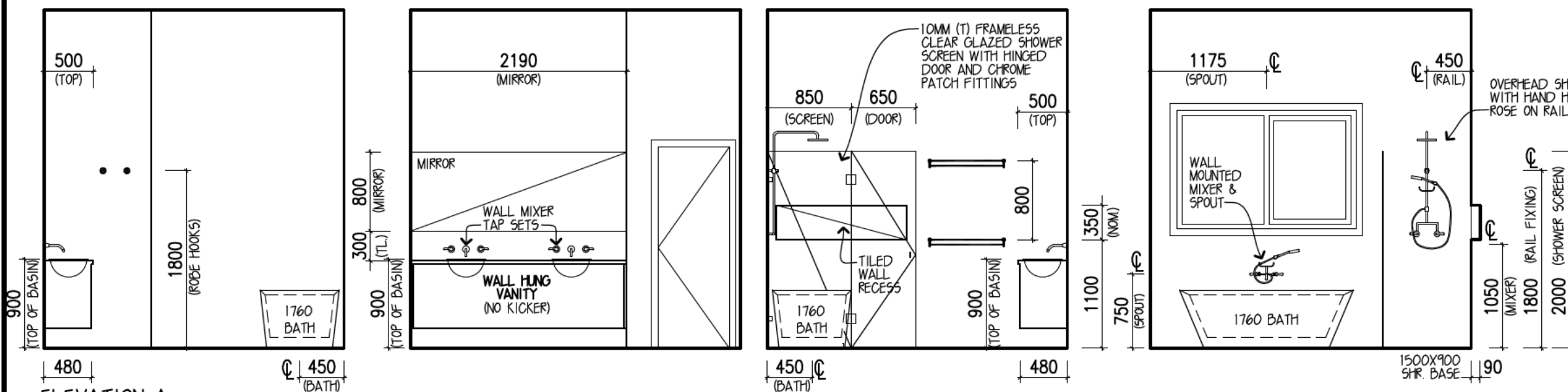
DESIGN: ALTO 33	
FACADE: PENINSULA	CEILING: 25, R
GARAGE: SINGLE	LOCATION: F
SECTION	
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OWNER: [REDACTED]	
LOT 40, NO.136 NARRABEEN PARK PARADE MONA VALE	
JOB No: 704711	DATE: 25.09.2019
FC DATE: 25.05.2020	MST VER: 04.12.2018
SCALE: 1:100 ON A3 SHEET	REVISION: G
DRAWN: ALM	CHECK: DUM
SHEET: 6 of 11	



ELEVATION D
PANTRY

ELEVATION B
GARAGE

ELEVATION A
STORAGE (STUDY)

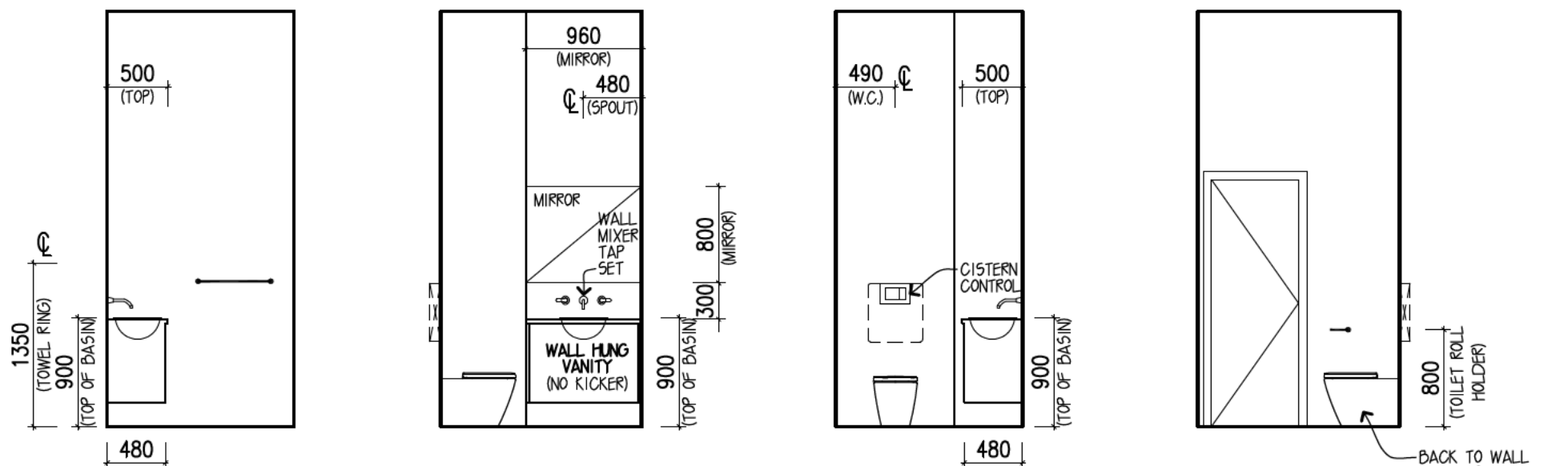


ELEVATION A
BATH

ELEVATION B

ELEVATION C

ELEVATION D



ELEVATION A
POWDER ROOM 1

ELEVATION B

ELEVATION C

ELEVATION D

NOTES:

- * TILE & CUPBOARD DIMENSIONS ARE APPROXIMATE ONLY & MAY BE ALTERED TO SUIT MODULAR SIZES.
- * INTERNAL DIMENSIONS INDICATED ARE TAKEN FROM PLASTER.
- * ALL DIMENSIONS ARE SUBJECT TO SITE MEASURE
- * SHOWER SCREEN HEIGHTS ARE INDICATIVE ONLY AND WILL ALTER DEPENDING ON SHOWER BASE CONSTRUCTION METHODS

BATHROOM ACCESSORIES LEGEND

TOILET RING (700MM ABOVE FFL)	—	SGL TOWEL RAIL (600)
SGL ROBE HOOK (1700MM ABOVE FFL)	•	SGL TOWEL RAIL (760)
SOAP HOLDER (1200MM ABOVE FFL)	—	SGL TOWEL RAIL (900)
TOWEL RING (1200MM ABOVE FFL)	—	DBL TOWEL RAIL (760)
GLASS SHELF (1200MM ABOVE FFL)	—	DBL TOWEL RAIL (900)
	—	ALL TOWEL RAILS (1200MM ABOVE FFL)

BATHROOM ACCESSORIES NOTES:

- ONLY APPLICABLE WHEN INCLUDED IN THE CONTRACT
- ALL SYMBOLS ARE GENERIC ONLY
- ALL HEIGHTS ARE NOMINAL AND SUBJECT TO TILE SELECTION/LAYOUT
- HORIZONTAL POSITION OF ACCESSORIES WILL BE AT THE DISCRETION OF METRICON

NOTE: ADDITIONAL BLOCKING PROVIDED INSIDE WALL BEHIND ACCESSORIES (REFER TO 0-TYP-BLOC-01)

DESIGN: **ALTO 33**

FACADE: **PENINSULA** CEILING: **25, R**

GARAGE: **SINGLE** LOCATION: **F**

INTERNALS

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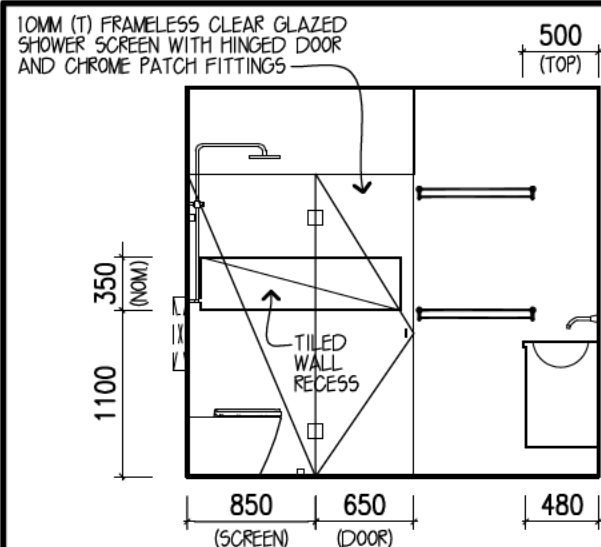
OWNER: **LOT 40, NO.136 NARRABEEN PARK PARADE**
MONA VALE

JOB No: **704711** DATE: **25.09.2019**

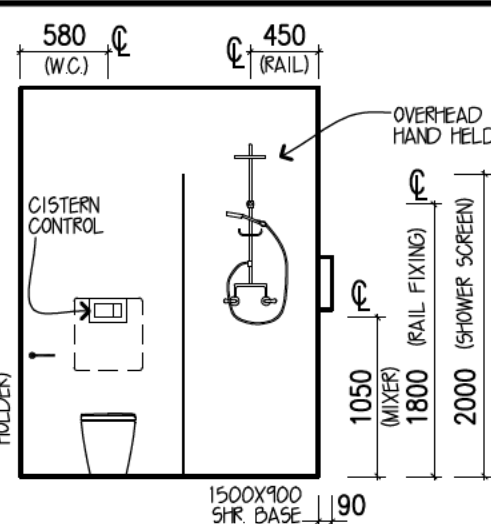
FC DATE: **25.05.2020** MST VER: **04.12.2018**

SCALE: REVISION: **G**

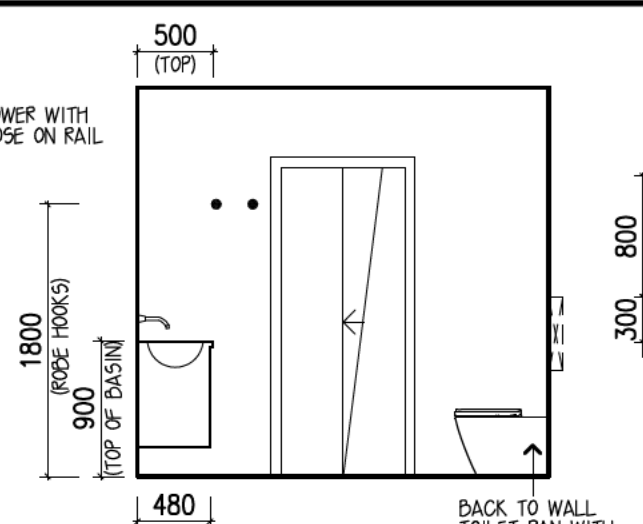
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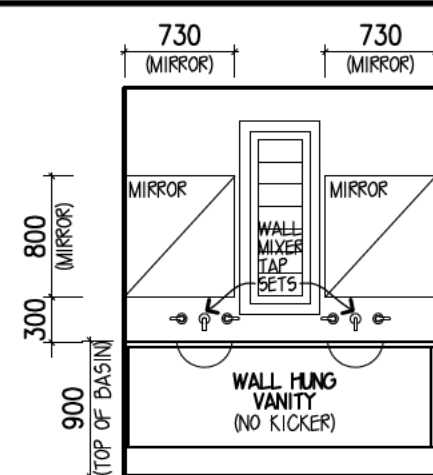
ELEVATION A
ENSUITE 1



ELEVATION B



ELEVATION C



ELEVATION D

NOTES:

- * TILE & CUPBOARD DIMENSIONS ARE APPROXIMATE ONLY & MAY BE ALTERED TO SUIT MODULAR SIZES.
- * INTERNAL DIMENSIONS INDICATED ARE TAKEN FROM PLASTER.
- * ALL DIMENSIONS ARE SUBJECT TO SITE MEASURE
- * SHOWER SCREEN HEIGHTS ARE INDICATIVE ONLY AND WILL ALTER DEPENDING ON SHOWER BASE CONSTRUCTION METHODS

BATHROOM ACCESSORIES LEGEND

TOILET RING (700MM ABOVE FFL)	—	SGL TOWEL RAIL (600)
SGL ROBE HOOK (1700MM ABOVE FFL)	•	SGL TOWEL RAIL (760)
SOAP HOLDER (1200MM ABOVE FFL)	—	SGL TOWEL RAIL (900)
TOWEL RING (1200MM ABOVE FFL)	—	DBL TOWEL RAIL (760)
GLASS SHELF (1200MM ABOVE FFL)	---	DBL TOWEL RAIL (900)
		ALL TOWEL RAILS (1200MM ABOVE FFL)

BATHROOM ACCESSORIES NOTES:

- ONLY APPLICABLE WHEN INCLUDED IN THE CONTRACT
- ALL SYMBOLS ARE GENERIC ONLY
- ALL HEIGHTS ARE NOMINAL AND SUBJECT TO TILE SELECTION/LAYOUT
- HORIZONTAL POSITION OF ACCESSORIES WILL BE AT THE DISCRETION OF METRICON

NOTE: ADDITIONAL BLOCKING PROVIDED INSIDE WALL BEHIND ACCESSORIES (REFER TO 0-TYP-BLOC-01)

DESIGN: **ALTO 33**

FACADE: **PENINSULA** CEILING: **25, R**

GARAGE: **SINGLE** LOCATION: **F**

INTERNALS

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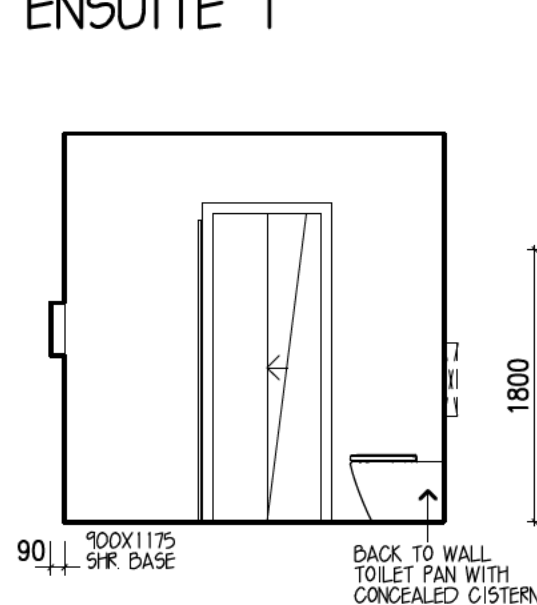
OWNER: **LOT 40, NO.136 NARRABEEN PARK PARADE**
MONA VALE

JOB No: **704711** DATE: **25.09.2019**

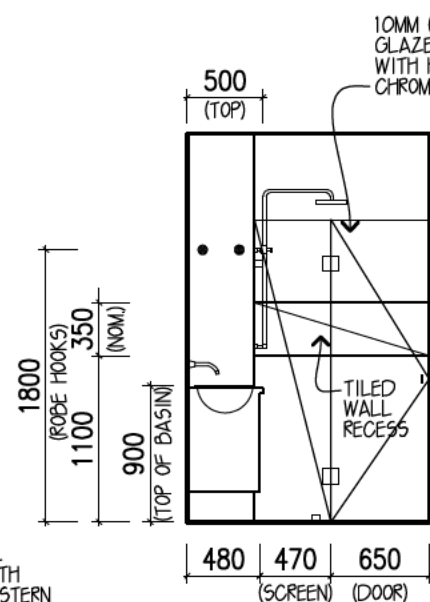
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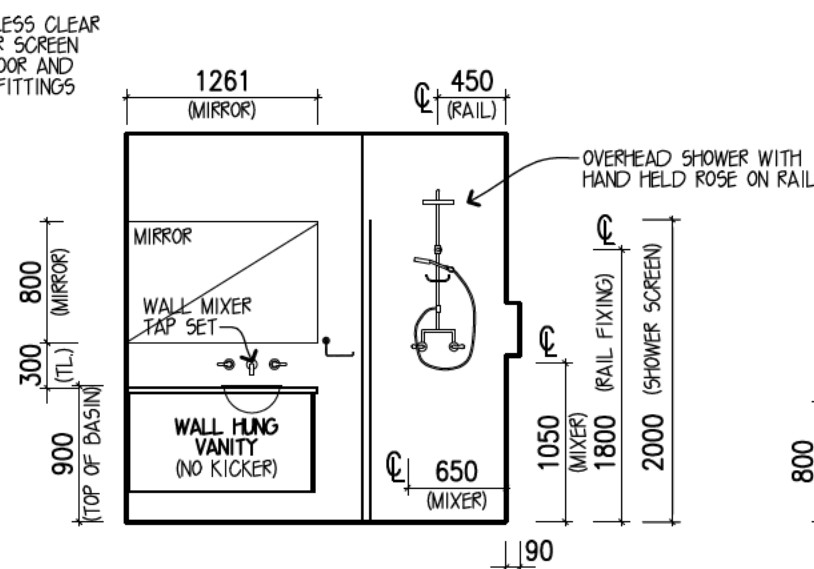
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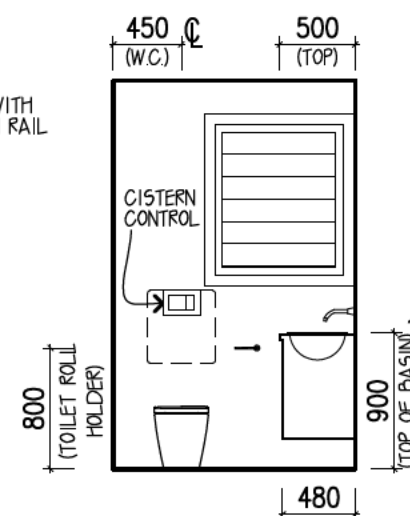
ELEVATION A
ENSUITE 2



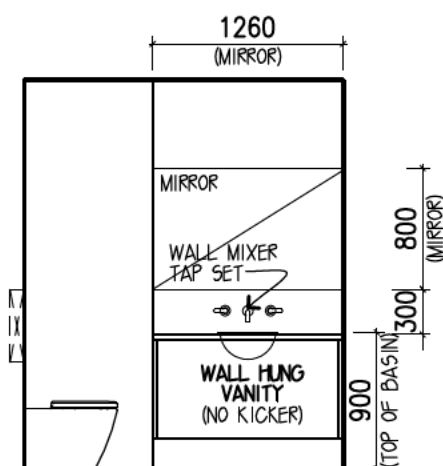
ELEVATION B



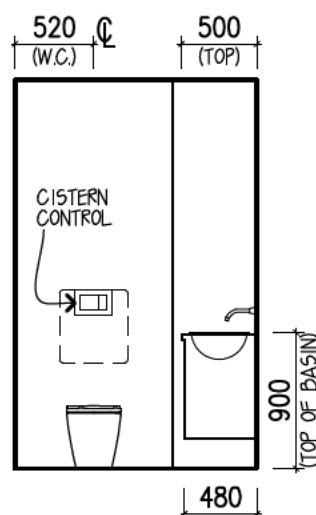
ELEVATION C



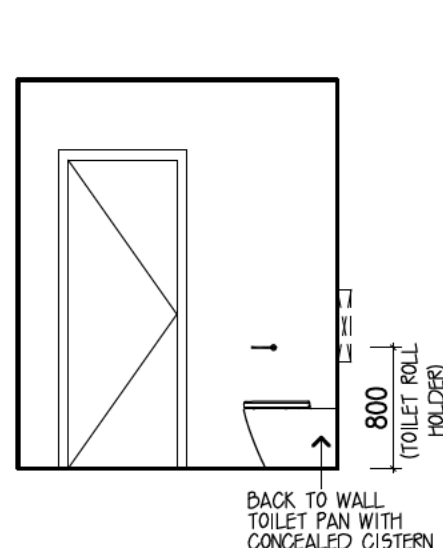
ELEVATION D



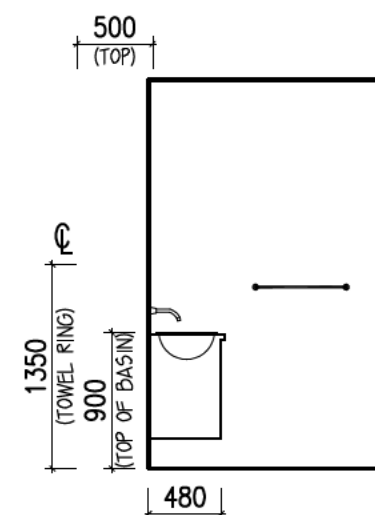
ELEVATION A
POWDER 2



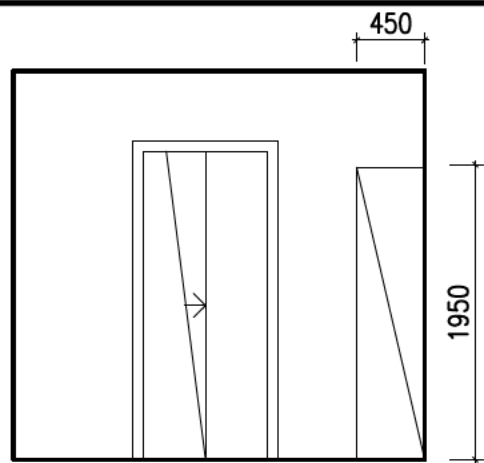
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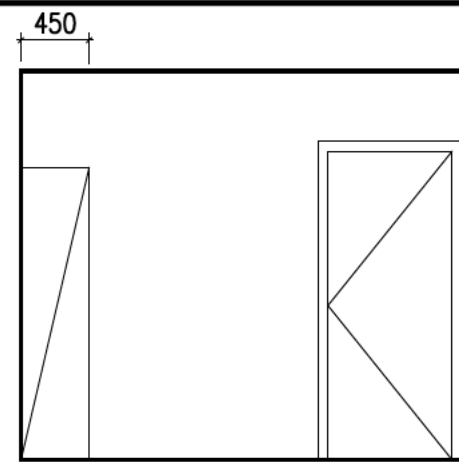
ELEVATION C



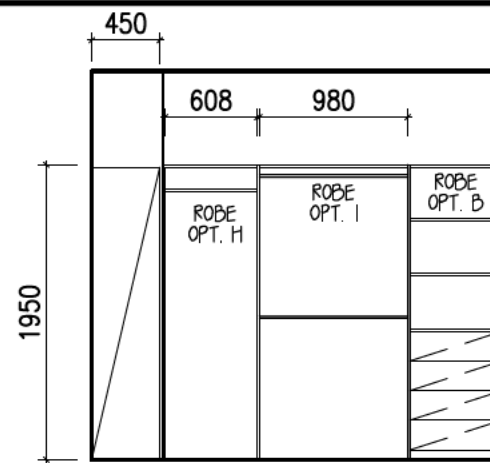
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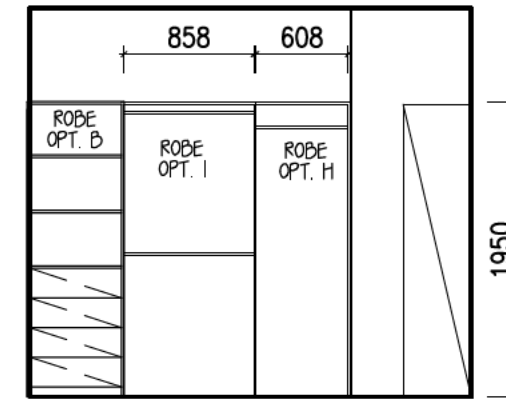
ELEVATION A
W.I.R. 1



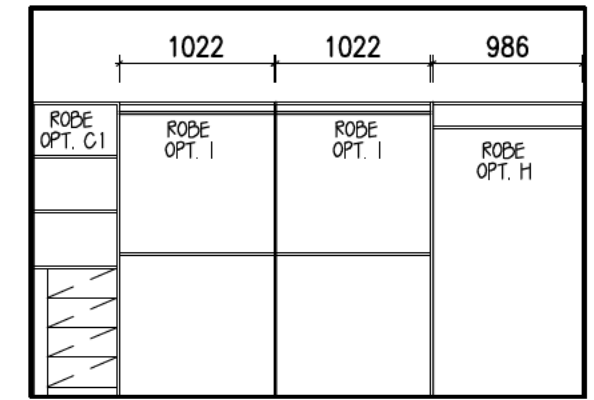
ELEVATION B



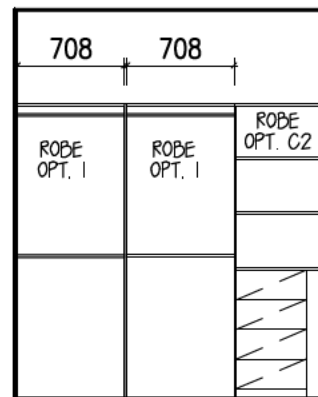
ELEVATION C



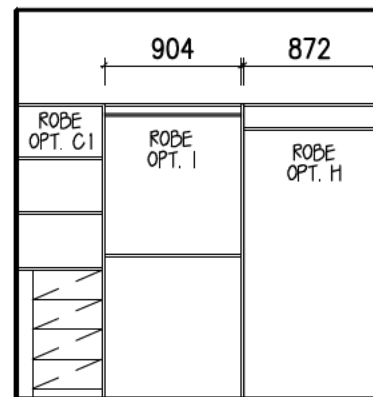
ELEVATION D



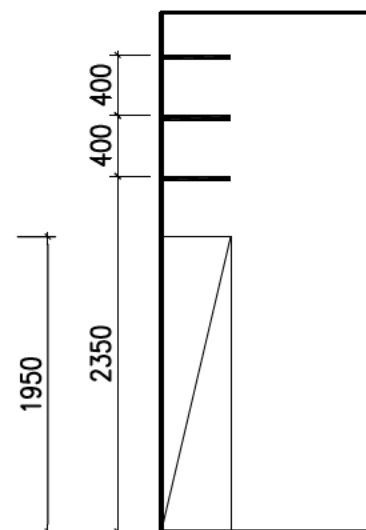
BED 1 ELEVATION B
ROBE



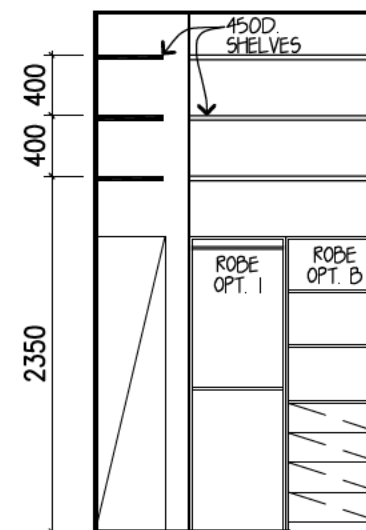
BED'S 2 ELEVATION B
ROBE



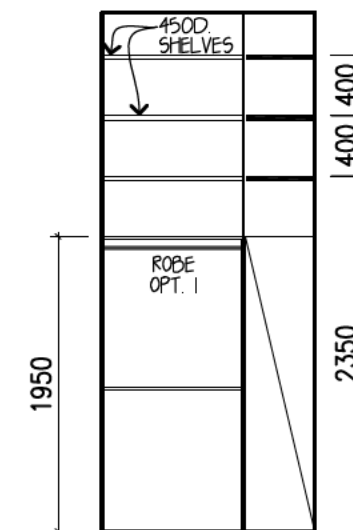
BED'S 3 ELEVATION A
ROBE



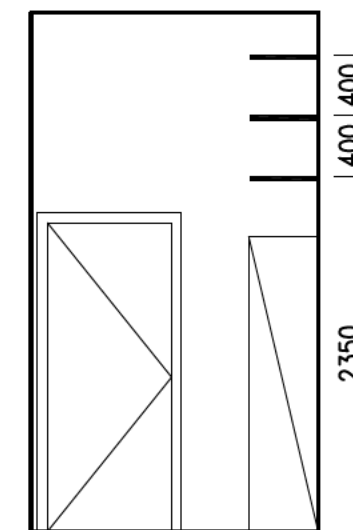
ELEVATION A
W.I.R. 4



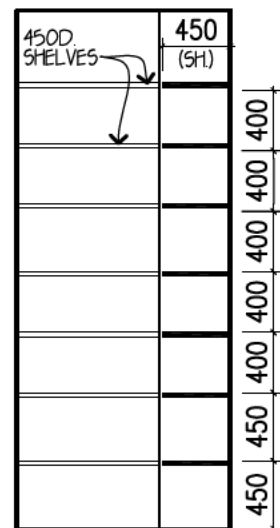
ELEVATION B



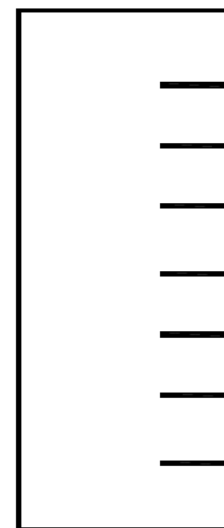
ELEVATION C



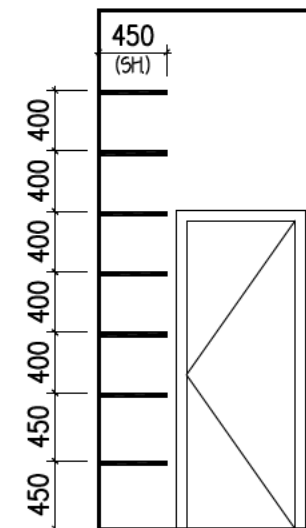
ELEVATION D



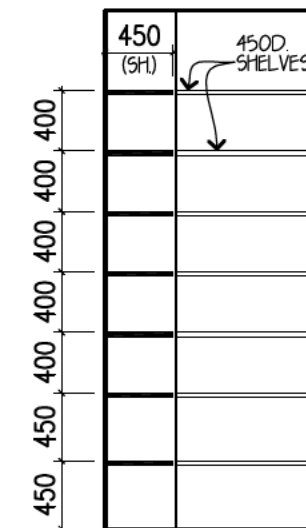
ELEVATION A
W.I.L.



ELEVATION B



ELEVATION C



ELEVATION D

NOTE: ADDITIONAL BLOCKING PROVIDED INSIDE WALL
BEHIND ACCESSORIES (REFER TO O-TYP-BLOC-01)

DESIGN: **ALTO 33**

FACADE: **PENINSULA** CEILING: **25, R**

GARAGE: **SINGLE** LOCATION: **F**

INTERNALS

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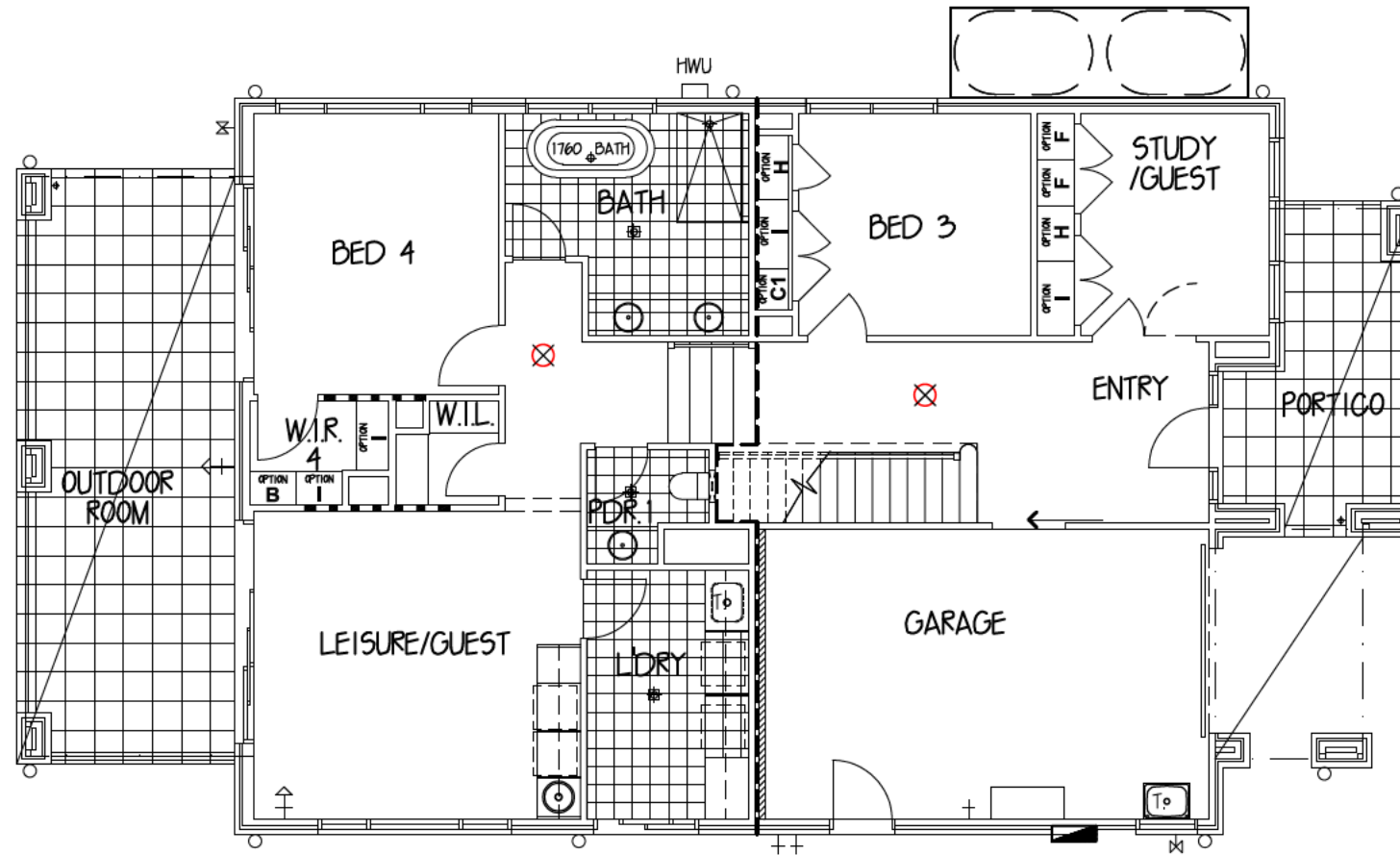
LOT 40, NO.136 NARRABEEN PARK PARADE
MONA VALE

JOB No: **704711** DATE: **25.09.2019**

FC DATE: **25.05.2020** MST VER: **04.12.2018**

SCALE: REVISION: **G**

DRAWN: **ALM** CHECK: **DUM** SHEET: **9 of 11**



FLOOR COVERINGS LEGEND



WET AREA FLOOR TILING
TOTAL AREA: 16.52 SQM



TILED FLOOR AREAS
TOTAL AREA: 0 SQM



TIMBER FLOOR AREAS
TOTAL AREA: 0 SQM



CARPET FLOOR AREAS
TOTAL AREA: 0 SQM



EXTERNAL TILED FLOOR AREAS
TOTAL AREA: 32.60 SQM

DESIGN: ALTO 33

FACADE: PENINSULA CEILING 25, R

GARAGE: SINGLE LOCATION: F

GROUND FLOOR FLOOR COVERINGS

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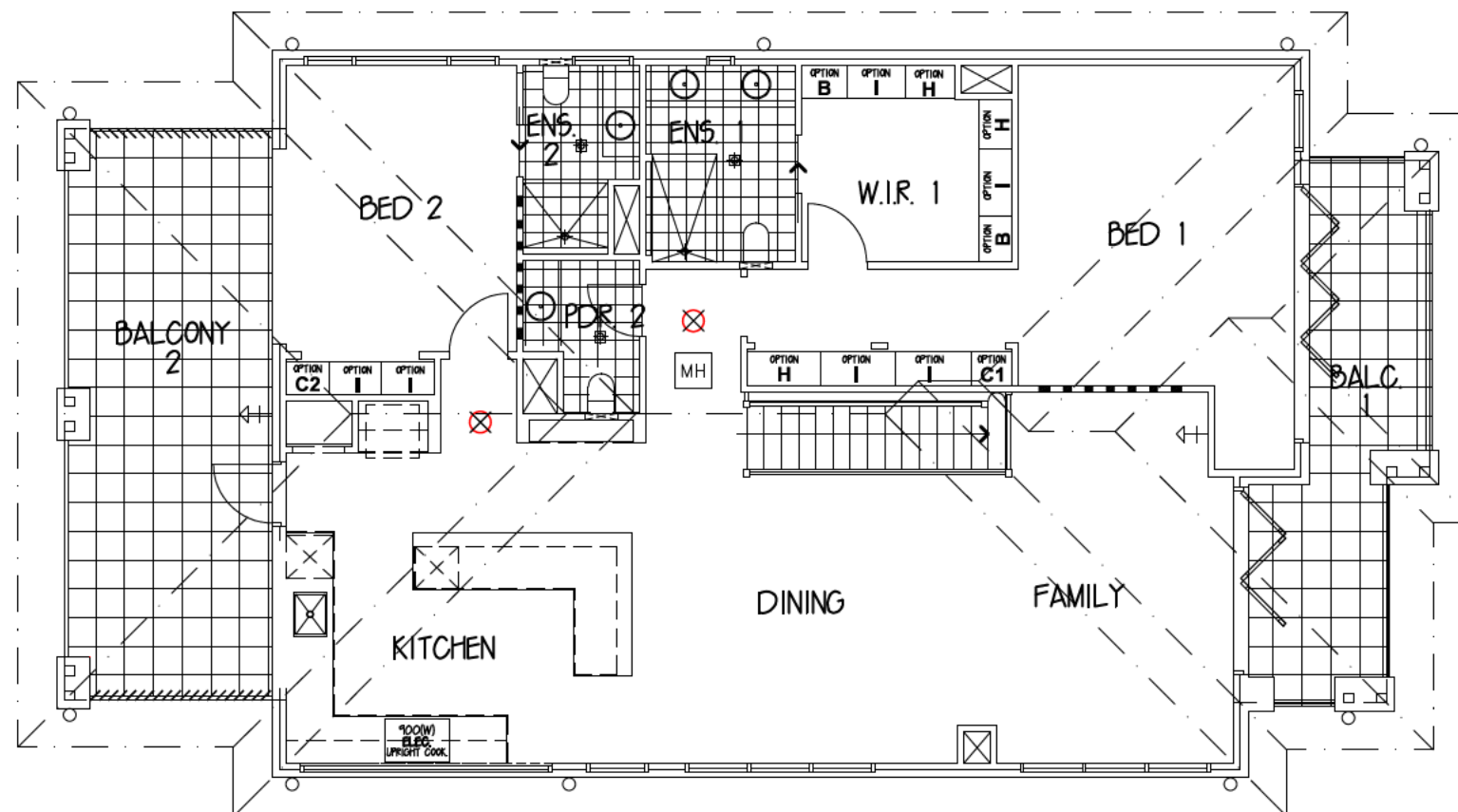
OWNER: **LOT 40, NO.136 NARRABEEN PARK PARADE**
MONA VALE

JOB No: 704711 DATE: 25.09.2019

FC DATE: 25.05.2020 MST VER: 04.12.2018

SCALE: 1:100 ON A3 SHEET REVISION: G

DRAWN: ALM CHECK: DUM SHEET: 10 of 11



FLOOR COVERINGS LEGEND



WET AREA FLOOR TILING
TOTAL AREA: 11.96 SQM



CARPET FLOOR AREAS (STAIRS ONLY)
TOTAL AREA: 7.52 SQM



TIMBER FLOOR AREAS
TOTAL AREA: 0 SQM



EXTERNAL TILED FLOOR AREAS
TOTAL AREA: 34.50 SQM



CARPET FLOOR AREAS (EXC. STAIRS)
TOTAL AREA: 0 SQM



TILED FLOOR AREAS
TOTAL AREA: 0 SQM

DESIGN: **ALTO 33**

FACADE: **PENINSULA** CEILING 25, R

GARAGE: **SINGLE** LOCATION: F

FIRST FLOOR FLOOR COVERINGS

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OWNER:

**LOT 40, NO.136 NARRABEEN PARK PARADE
MONA VALE**

JOB No: **704711**

DATE: **25.09.2019**

FC DATE: **25.05.2020**

MST VER: **04.12.2018**

SCALE: **1:100 ON A3 SHEET**

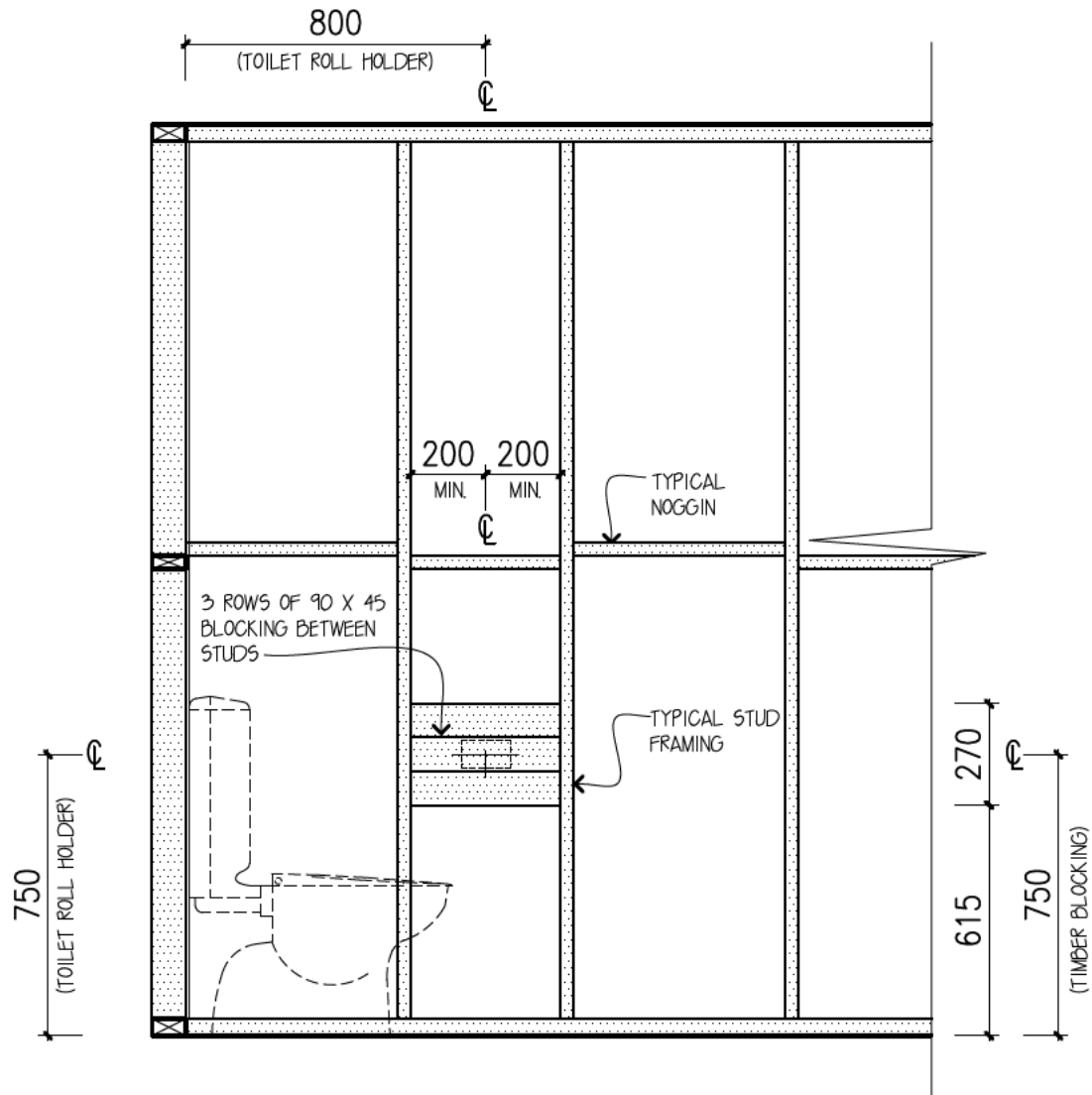
REVISION: **G**

DRAWN: **ALM**

CHECK: **DUM**

SHEET: **11 of 11**

NOTE:
REFER TO WORKING DRAWINGS
FOR TOILET ROLL HOLDER
LOCATION.



FRONT ELEVATION
TOILET ROLL HOLDER
SCALE 1 : 20

BLOCKING DETAIL
TOILET ROLL HOLDER
SHEET 1 OF 3

Option Detail

metricon

501 Blackburn Road, Mount Waverley Vic 3149
P.O. Box 857, Mount Waverley Vic 3149
Telephone 03 9915 5555 Fax 03 9222 5144
Building Practitioner Reg. No. DB-U8929 A.C.N. 005 108 752
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METRICON HOMES
501 BLACKBURN ROAD
MT. WAVERLEY

APPROVED:

DATE:

SCALE: **AS NOTED**

MST VER:

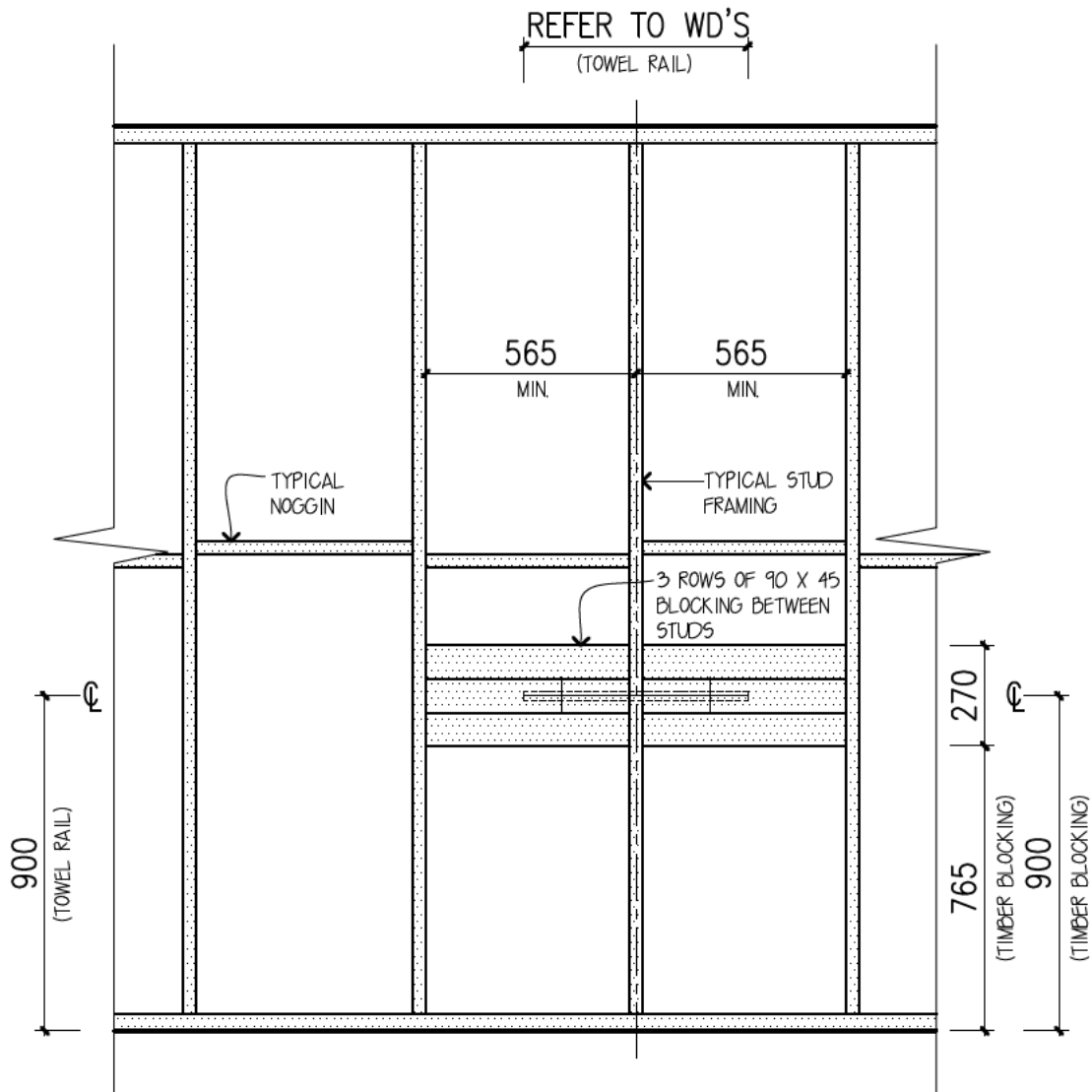
DRAWN: **KJE**

CHKD: **DM**

ISSUED DATE: **06/04/17**

SHEET: **0-TYP-BLOC-01**

NOTE:
REFER TO WORKING DRAWINGS
FOR TOWEL RAIL LOCATION.



FRONT ELEVATION
TOWEL RAIL
SCALE 1 : 20

BLOCKING DETAIL

TOWEL RAIL

SHEET 2 OF 3

Option Detail

metricon

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MT. WAVERLEY

APPROVED:

DATE:

SCALE: AS NOTED

MST VER:

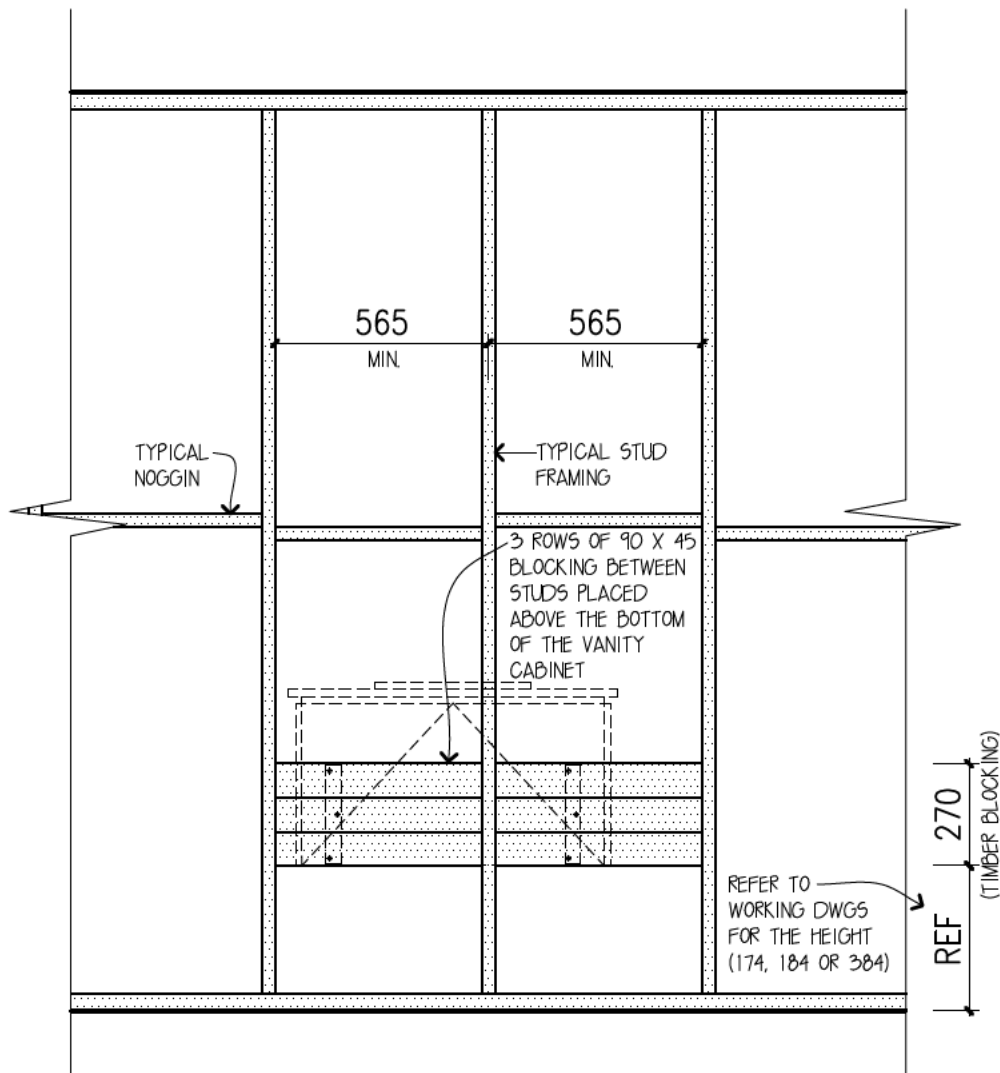
DRAWN: KJE

CHKD: DM

ISSUED DATE: 06/04/17

SHEET: 0-TYP-BLOC-01

NOTE:
REFER TO WORKING DRAWINGS FOR
THE SIZE OF THE VANITY CABINET.



FRONT ELEVATION
WALL HUNG VANITY CABINET
SCALE 1 : 20

BLOCKING DETAIL
WALL HUNG VANITY
SHEET 3 OF 3

Option Detail

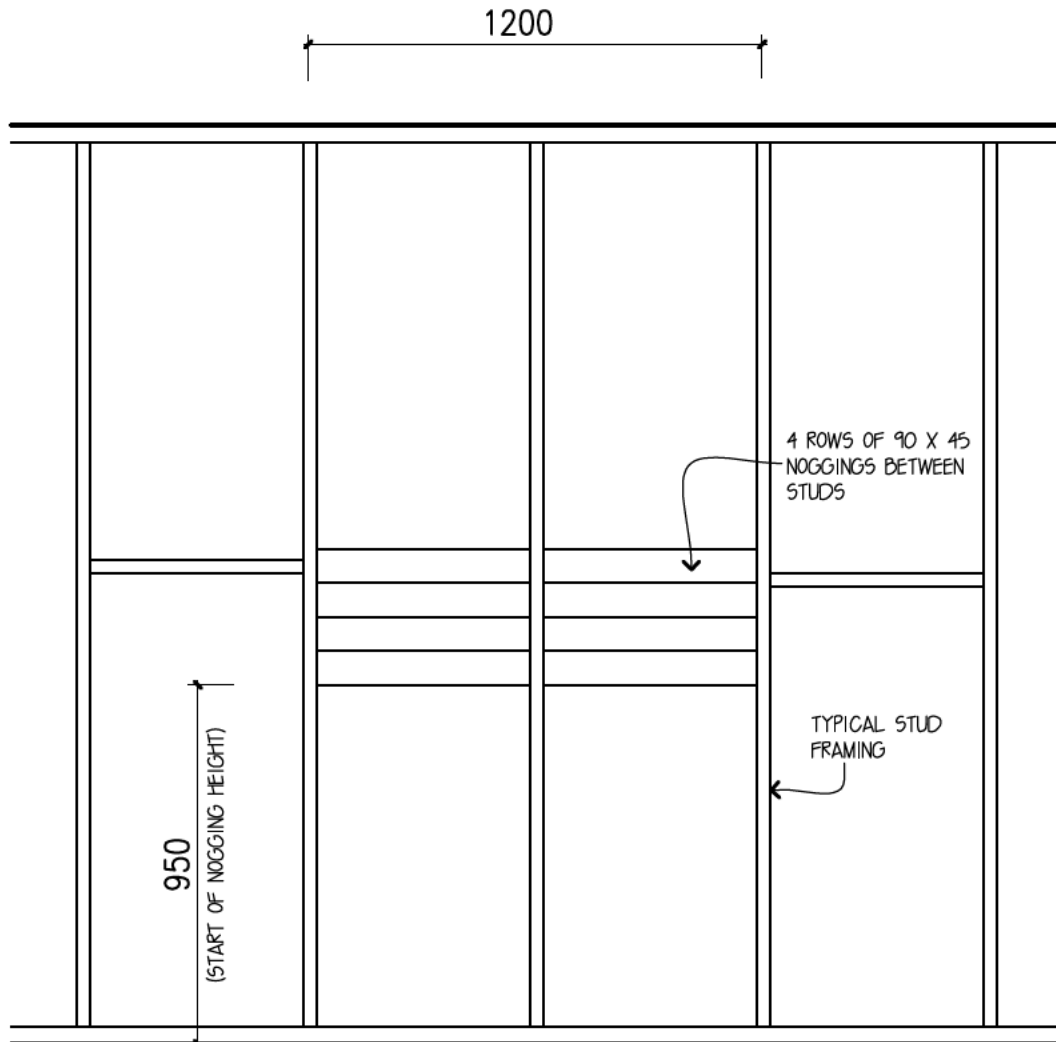
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APPROVED:	DATE:
SCALE: AS NOTED	MST VER:
DRAWN: KJE	CHKD: DM
ISSUED DATE: 06/04/17	SHEET: 0-TYP-BLOC-01

NOTE:
REFER TO WORKING DRAWINGS
FOR TELEVISION LOCATION.



NOGGING DETAIL
OVERALL SIZE
SCALE 1 : 20

NOGGING DETAIL
TV BRACKET SUPPORT.
SHEET 1 OF 1.

Option Detail

metricon

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P.O. Box 857, Mount Waverley Vic 3149
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METRICON HOMES
501 BLACKBURN ROAD
MT. WAVERLEY

APPROVED:

DATE:

SCALE: **AS NOTED**

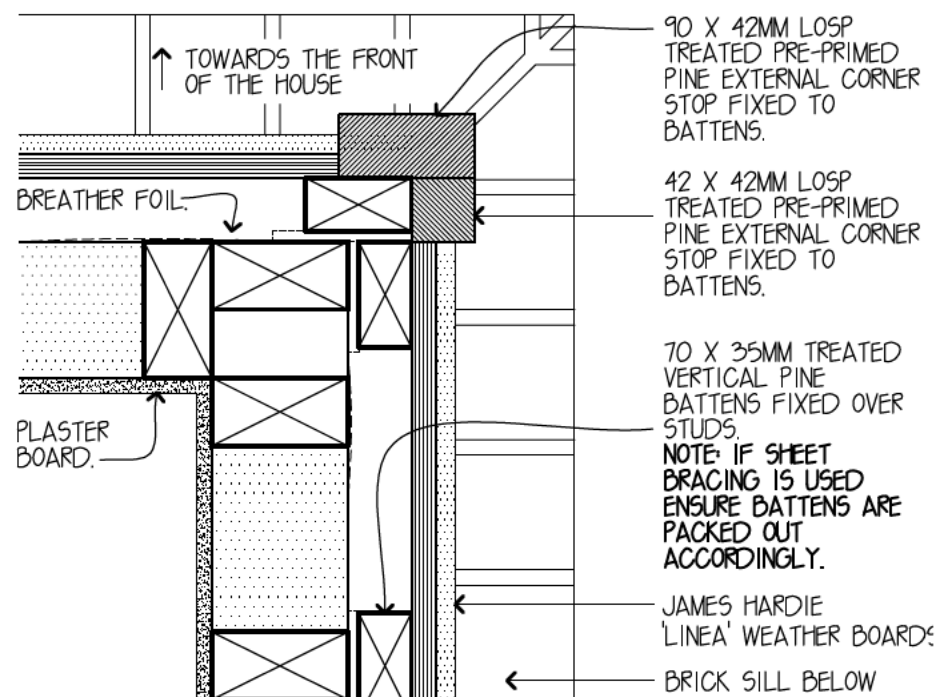
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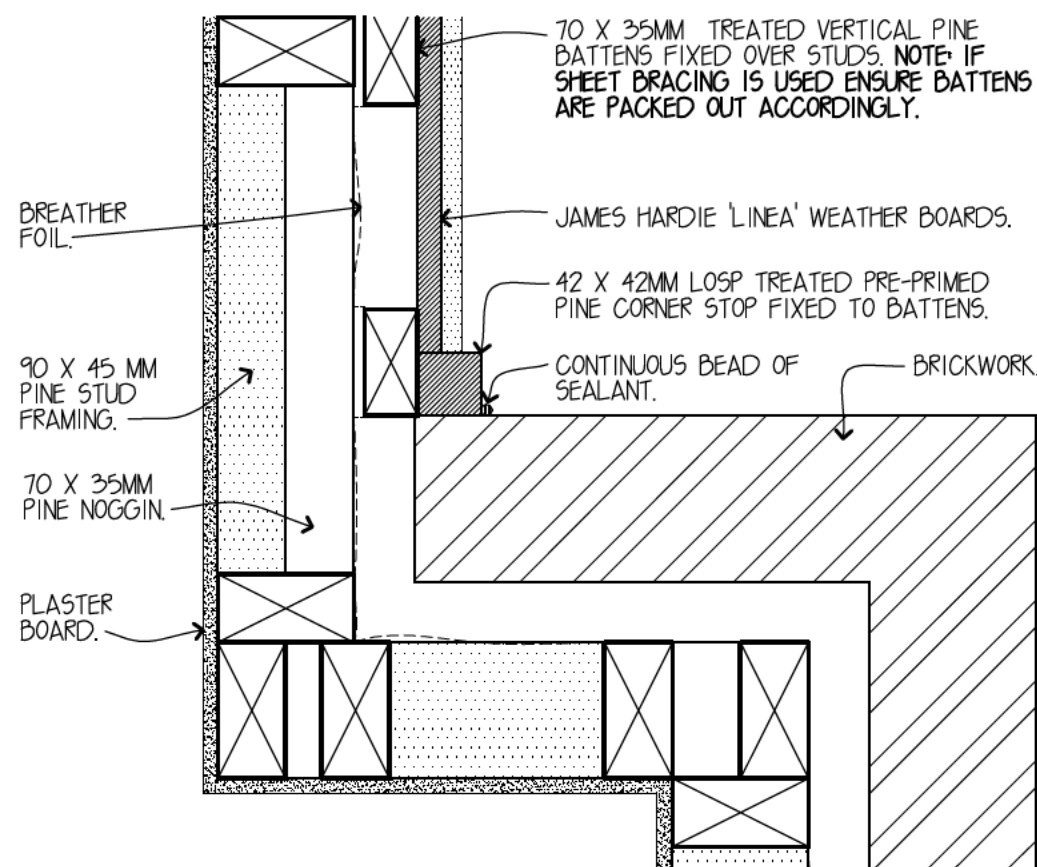
CHKED: **DM**

ISSUED DATE: 11/02/14

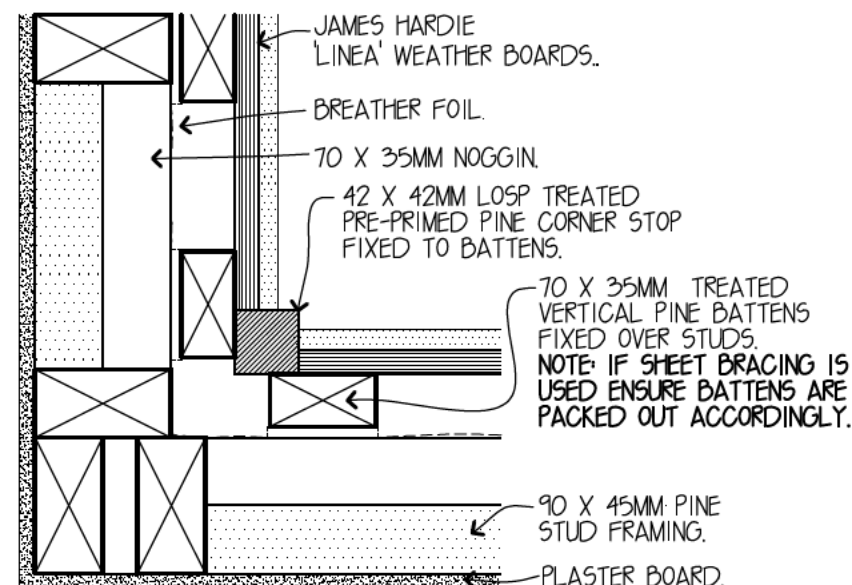
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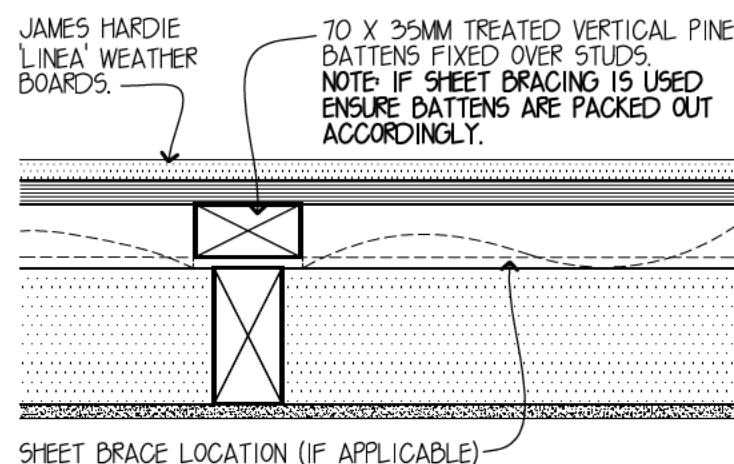
TYPICAL PLAN VIEW
EXTERNAL CORNER
SCALE 1:5



TYPICAL INTERNAL CORNER TRIM
BRICKWORK / WEATHERBOARD JUNCTION
PLAN VIEW
SCALE 1:5

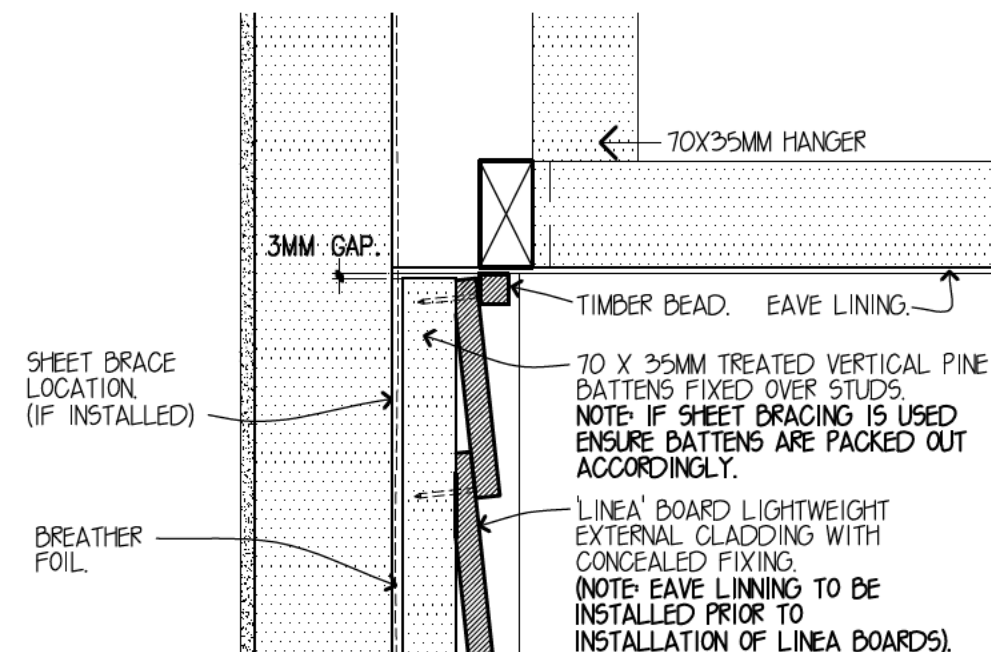


TYPICAL INTERNAL
CORNER JUNCTION
PLAN VIEW
SCALE 1:5

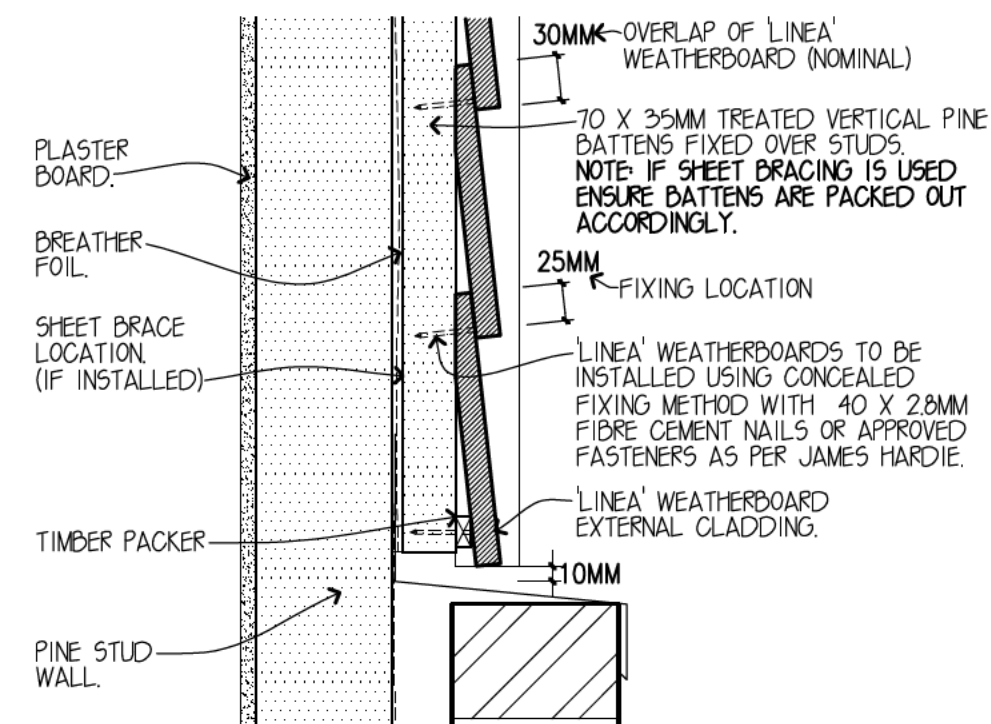


TYPICAL PLAN VIEW
BATTEN POSITION
SCALE 1:5

NOTE:
FOR FURTHER INFORMATION
REFER TO 'JAMES HARDIE'
INSTALLATION INSTRUCTIONS.



TYPICAL EAVE JUNCTION.
SECTION C-C.
SCALE 1:5



TYPICAL BRICK JUNCTION.
SECTION

JAMES HARDIE
'LINEA' WEATHBOARDS
DETAILS

SHEET 1 OF 2

Standard Detail

metricon

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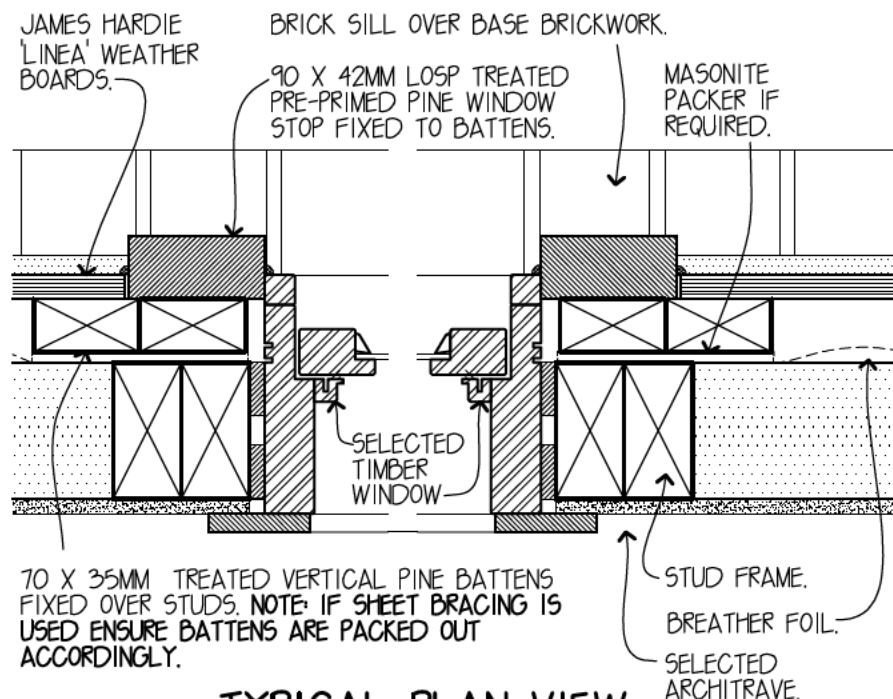
METRICON HOMES
501 BLACKBURN ROAD
MT. WAVERLEY

APPROVED: DRG. DATE: 01/03/18

SCALE: AS NOTED MST VER: 04-02-08

DRAWN: BNDM CHKD: PM

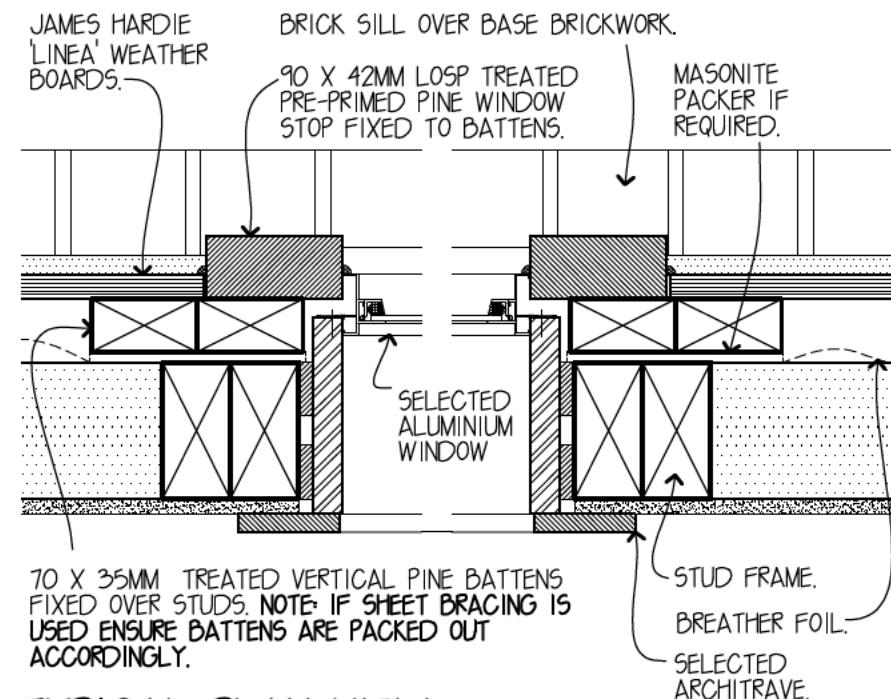
ISSUED DATE: 30/10/2018 SHEET: 5-TYP-CLAD-02



TYPICAL PLAN VIEW

TIMBER WINDOW DETAIL

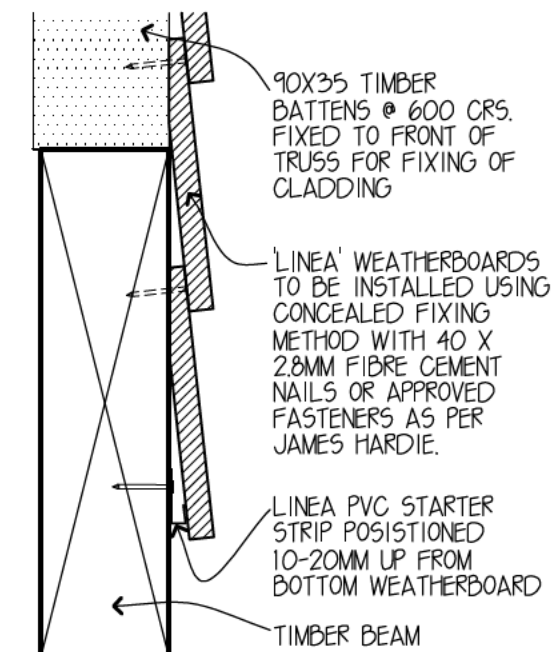
SCALE: 1:5



TYPICAL PLAN VIEW

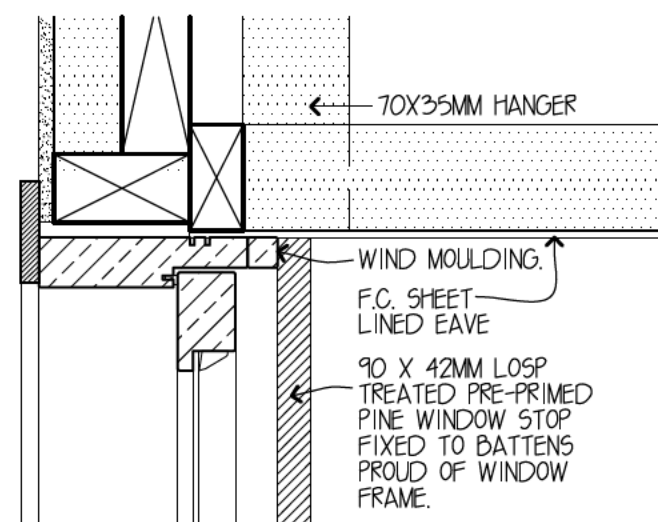
ALUMINIUM WINDOW DETAIL

SCALE: 1:5



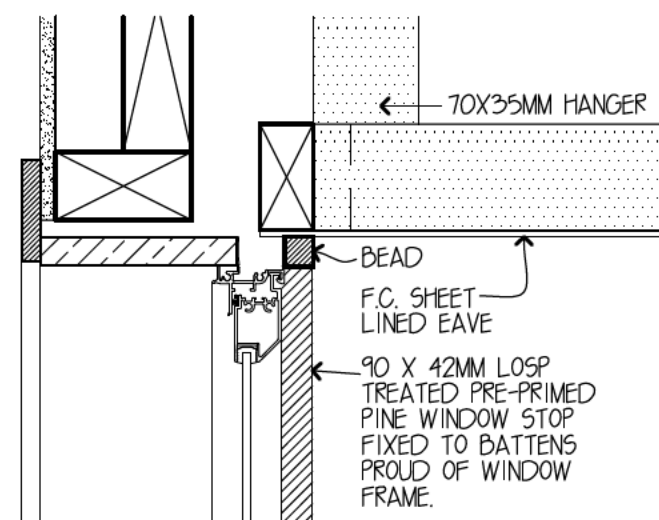
TYPICAL DETAIL
BEAM DIRECT FIX CLADDING

SCALE: 1:5



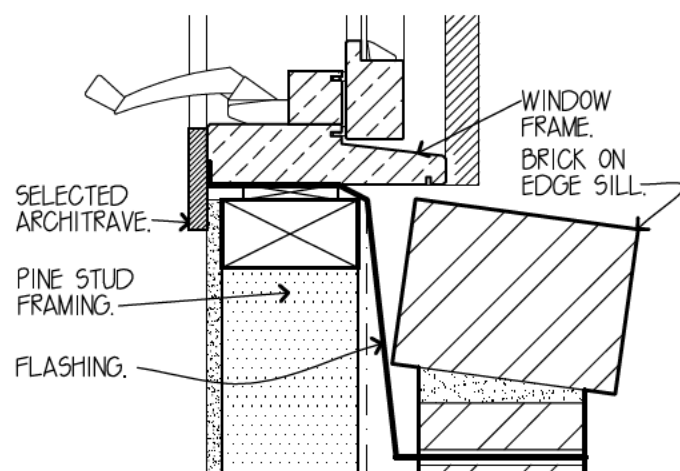
TYPICAL DETAIL
TIMBER WINDOW HEAD

SCALE: 1:5



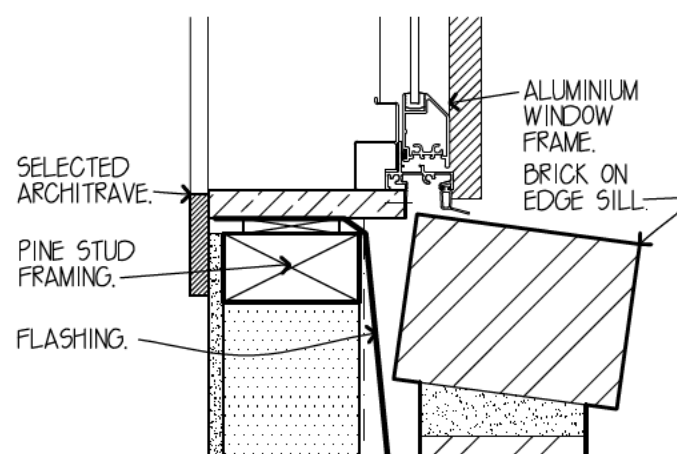
TYPICAL DETAIL
ALUMINIUM WINDOW HEAD

SCALE: 1:5



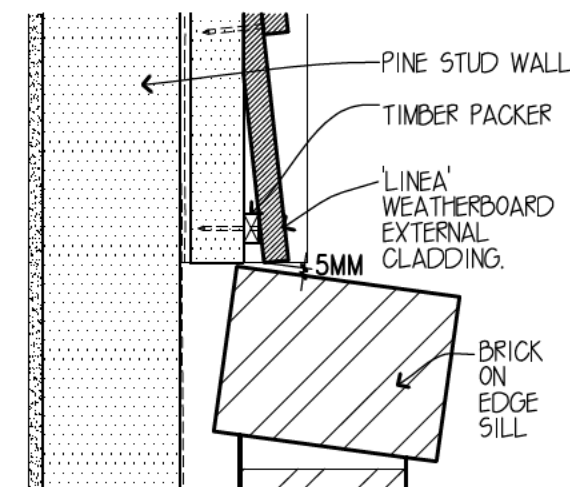
TYPICAL DETAIL
TIMBER WINDOW SILL

SCALE: 1:5



TYPICAL DETAIL
ALUMINIUM WINDOW SILL

SCALE: 1:5



CLADDING BRICKWORK JUNCTION.

SECTION

SCALE: 1:5

NOTE:
FOR FURTHER INFORMATION
REFER TO 'JAMES HARDIE'
INSTALLATION INSTRUCTIONS.

JAMES HARDIE
'LINEA' WEATHBOARDS
DETAILS

SHEET 2 OF 2

Standard Detail

metricon

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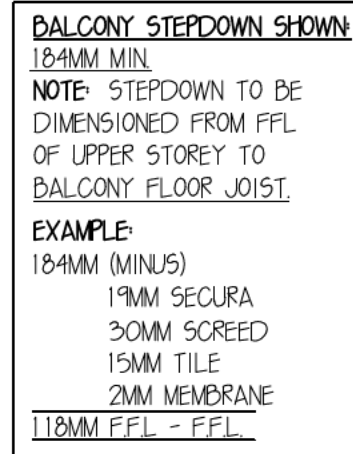
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501 BLACKBURN ROAD
MT. WAVERLEY

APPROVED: DRG. DATE: 01/03/18

SCALE: AS NOTED MST VER: 04-02-08

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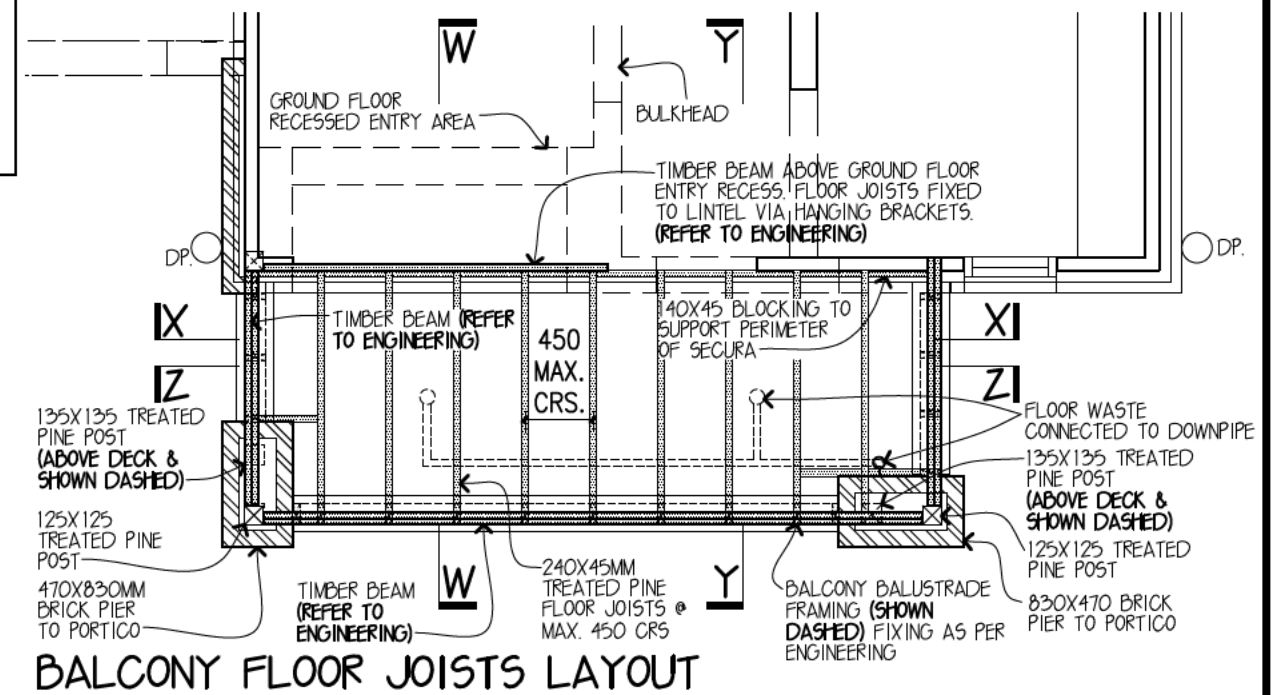
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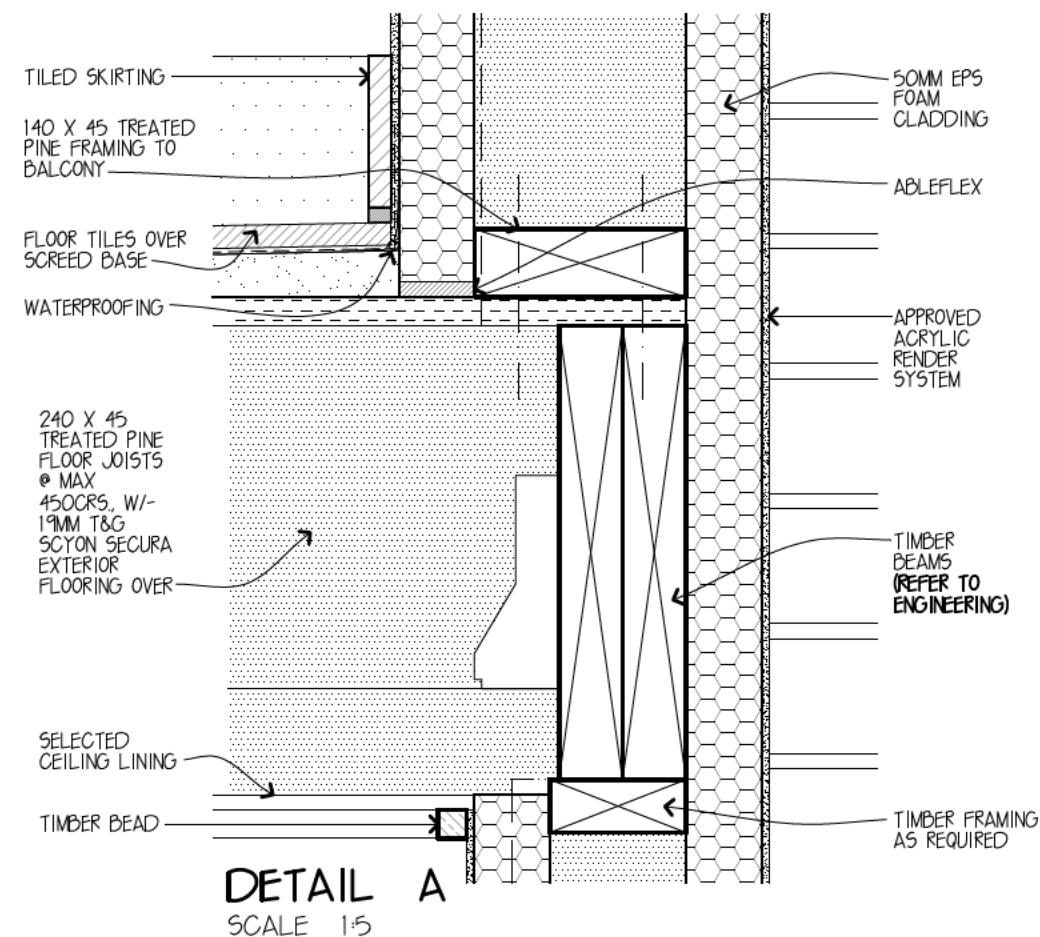
IMPORTANT NOTE:
REFER TO ENGINEERING FOR BALCONY
JOIST CONNECTION DETAIL AND
STRUCTURAL BEAM POSITIONING.

INDICATIVE TRUSS POSITIONS.
(REFER TO MANUFACTURER'S LAYOUT).



BALCONY FLOOR JOISTS LAYOUT

SCALE 1:50



DETAIL A
SCALE 1:5

PENINSULA FACADE DETAIL

SHEET 1 OF 4
2700 CEILING HEIGHT
(GROUND FLOOR)
2550 CEILING HEIGHT
(FIRST FLOOR)

Standard Detail

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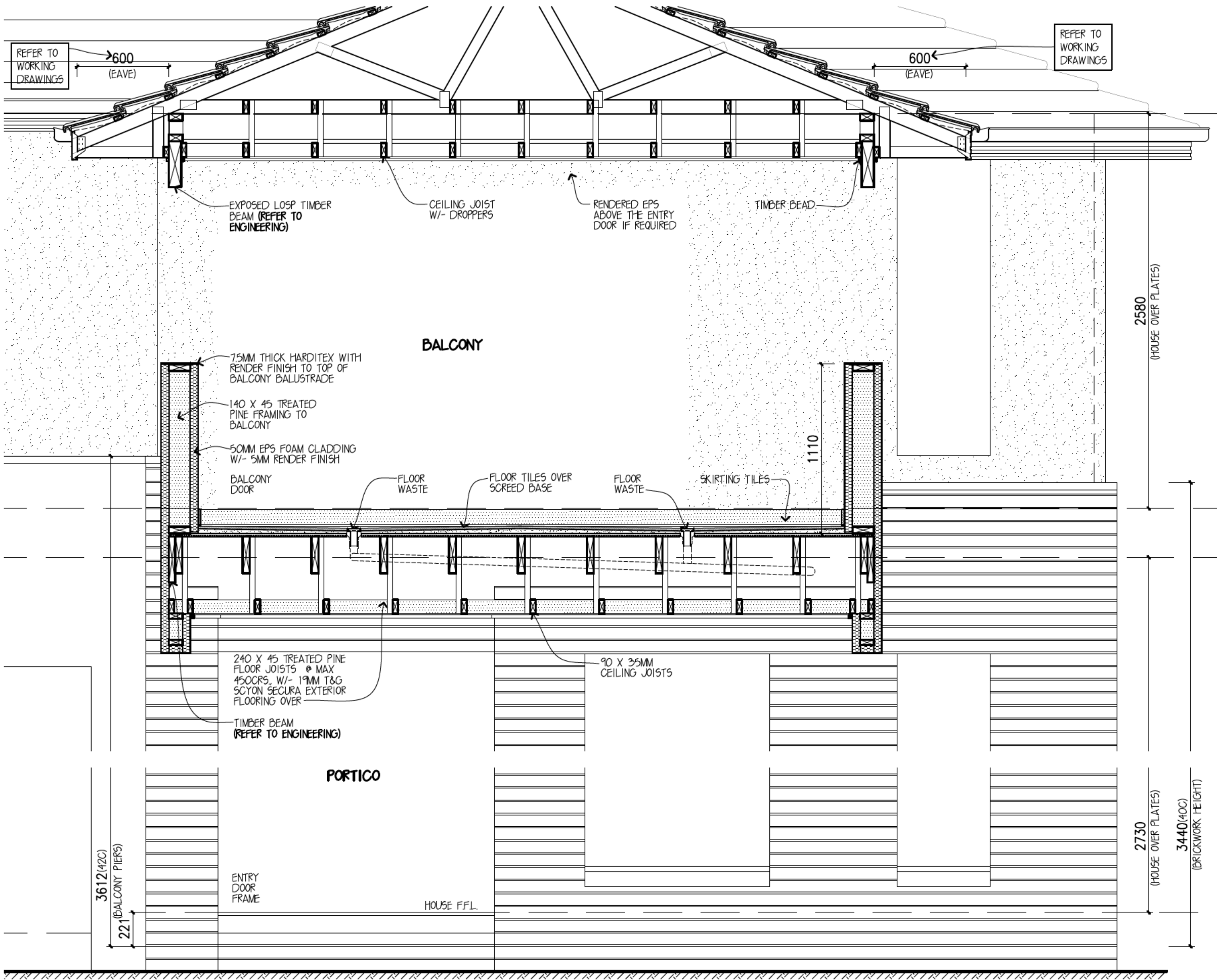
METRICON HOMES
501 BLACKBURN ROAD
MT WAVERLEY

APPROVED: PRM DATE: 07/05/2019

SCALE: AS NOTED	MST VER: 13/05/2016
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DRAWN: KHE, PG	CHKD: DM, DE
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ISSUED DATE: 07/05/2019	SHEET: 9-TYP-PENI-03
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INDICATIVE TRUSS POSITIONS.
(REFER TO MANUFACTURER'S LAYOUT).

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IMPORTANT NOTE:
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JOIST CONNECTION DETAIL AND
STRUCTURAL BEAM POSITIONING.

PENINSULA FACADE
DETAIL

SHEET 2 OF 4
2700 CEILING HEIGHT
(GROUND FLOOR)
2550 CEILING HEIGHT
(FIRST FLOOR)

Standard Detail

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MT. WAVERLEY

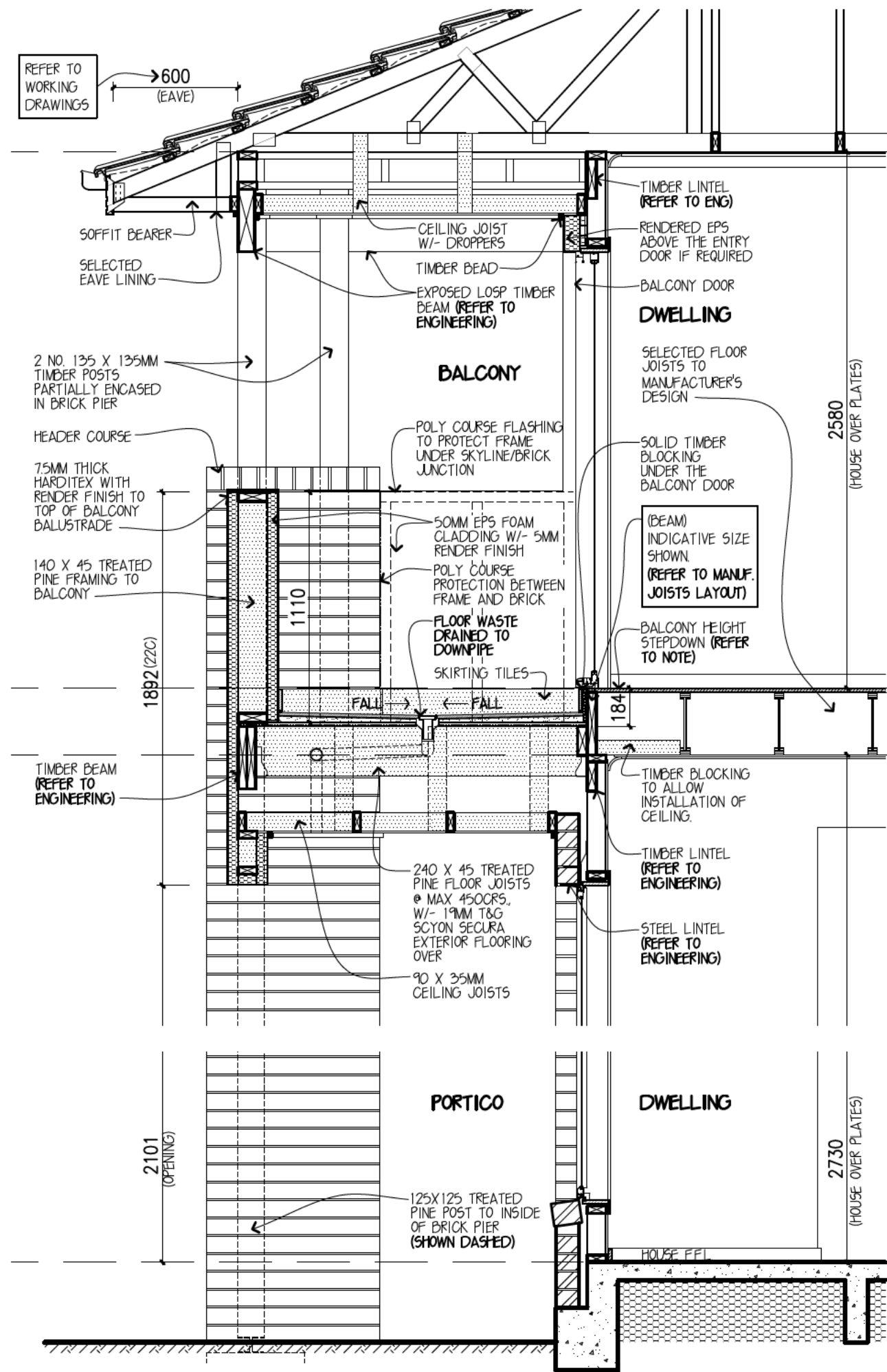
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SCALE: **AS NOTED** MST VER: 13/05/2016

DRAWN: **KHE, PG** CHKED: **DM, DE**

ISSUED DATE: 07/05/2019 SHEET: **S-TYP-PENI-03**

SECTION X-X
THROUGH PORTICO, & BALCONY
SCALE 1:25

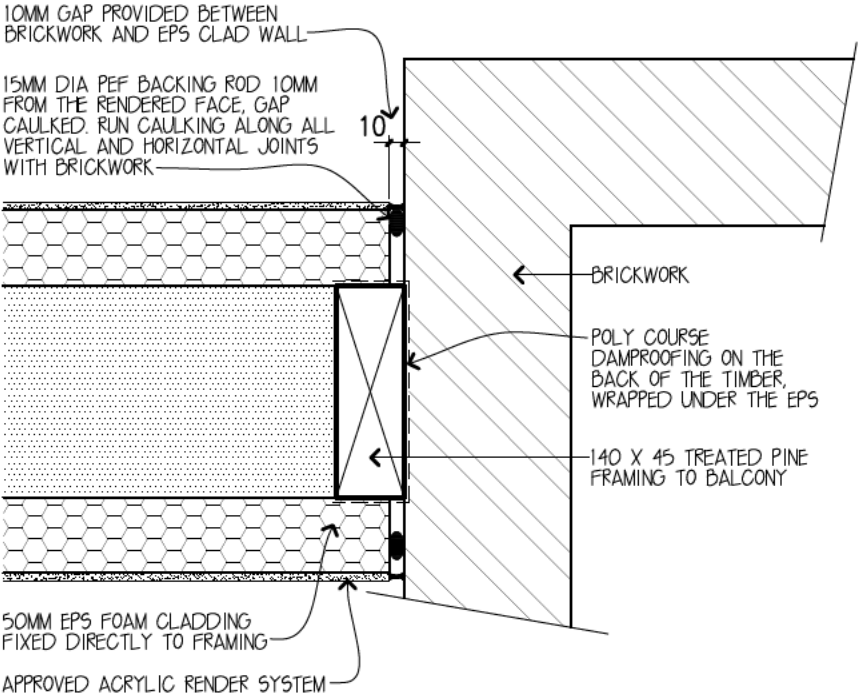


SECTION Y-Y
THROUGH PORTICO, DWELLING & BALCONY

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JOIST CONNECTION DETAIL AND
STRUCTURAL BEAM POSITIONING.

INDICATIVE TRUSS POSITIONS.
(REFER TO MANUFACTURER'S LAYOUT).



DETAIL C - EPS-BRICKWALL
JUNCTION (PLAN VIEW)
SCALE 1:5

PENINSULA FACADE
DETAIL

SHEET 3 OF 4
2700 CEILING HEIGHT
(GROUND FLOOR)
2550 CEILING HEIGHT
(FIRST FLOOR)

Standard Detail

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MT.WAVERLEY

APPROVED: PRM	DATE: 07/05/2019
SCALE: AS NOTED	MST VER: 13/05/2016
DRAWN: KHE, PG	CHKED: DM, DE
ISSUED DATE: 07/05/2019	SHEET: 5-TYP-PENI-03



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JOIST CONNECTION DETAIL AND
STRUCTURAL BEAM POSITIONING.

PENINSULA FACADE DETAIL

SHEET 4 OF 4
2700 CEILING HEIGHT
(GROUND FLOOR)
2550 CEILING HEIGHT
(FIRST FLOOR)

Standard Detail

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MT. WAVERLEY

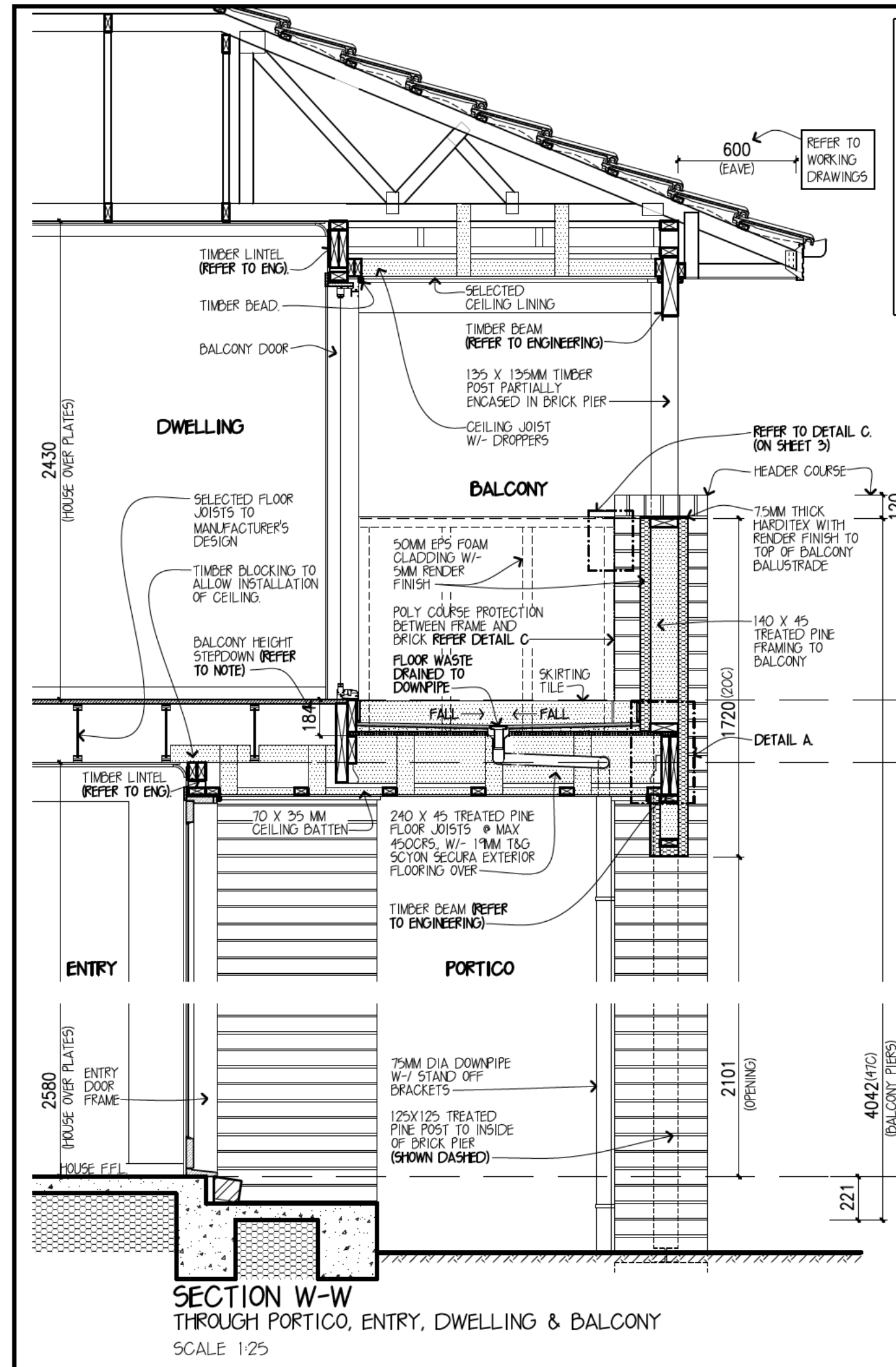
APPROVED: PRM DATE: 07/05/2019

SCALE: AS NOTED	MST VER: 13/05/2016
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DRAWN: KHE, PG	CHKD: DM, DE
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ISSUED DATE: 07/05/2019	SHEET: 5-TYP-PENI-03
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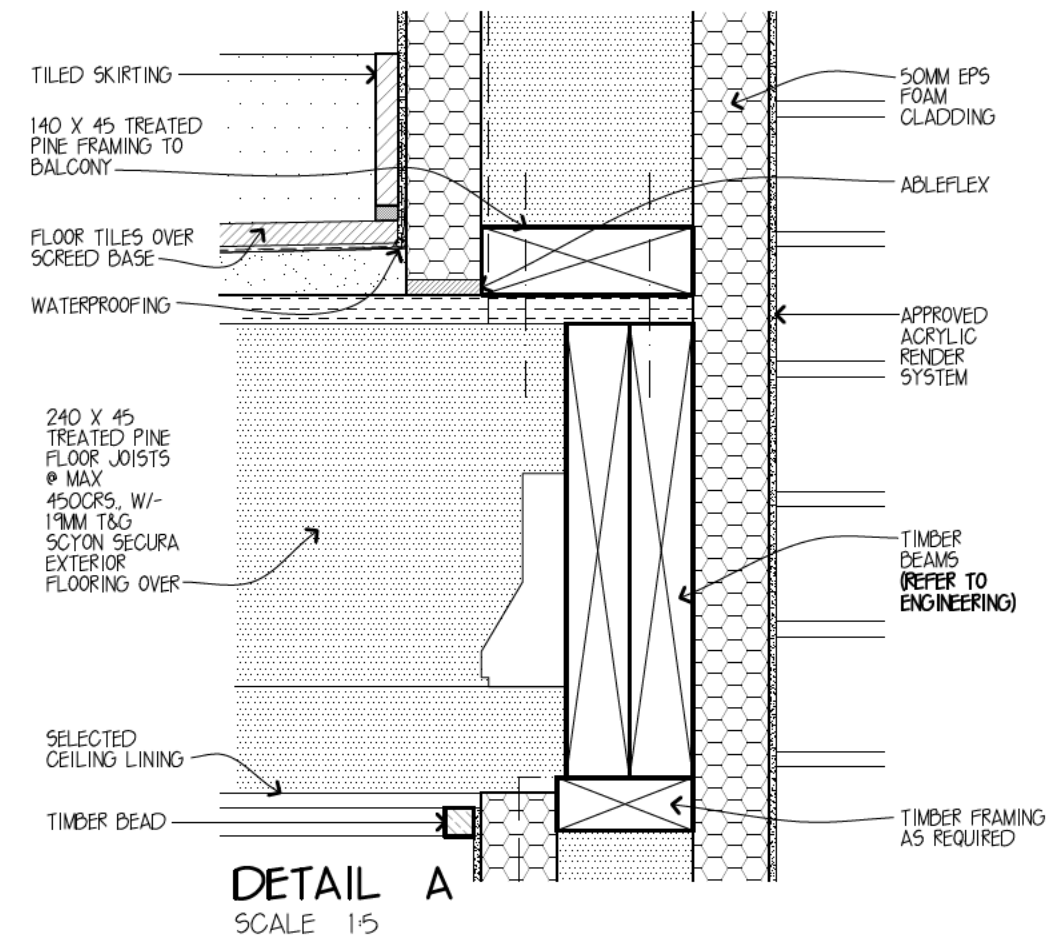
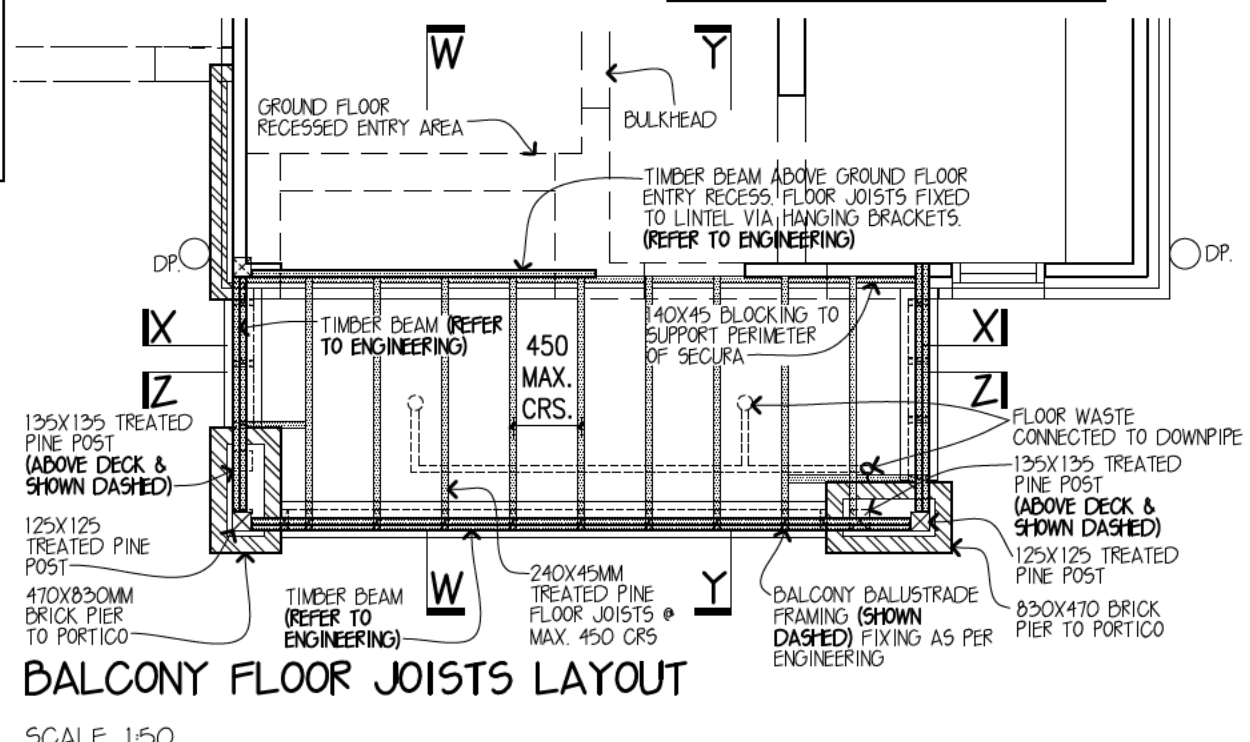
SECTION Z-Z
THROUGH PORTICO & BALCONY
SCALE 1:25



BALCONY STEPDOWN SHOWN:
184MM MIN
NOTE: STEPDOWN TO BE DIMENSIONED FROM FFL OF UPPER STOREY TO BALCONY FLOOR JOIST.
EXAMPLE:
184MM (MINUS)
19MM SECURA
30MM SCREED
15MM TILE
2MM MEMBRANE
118MM FFL - FFL

IMPORTANT NOTE:
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INDICATIVE TRUSS POSITIONS.
(REFER TO MANUFACTURER'S LAYOUT).



PENINSULA FACADE DETAIL

SHEET 1 OF 4
2550 CEILING HEIGHT
2407H. TIMBER DOOR
(GROUND FLOOR)
2400 CEILING HEIGHT
(FIRST FLOOR)

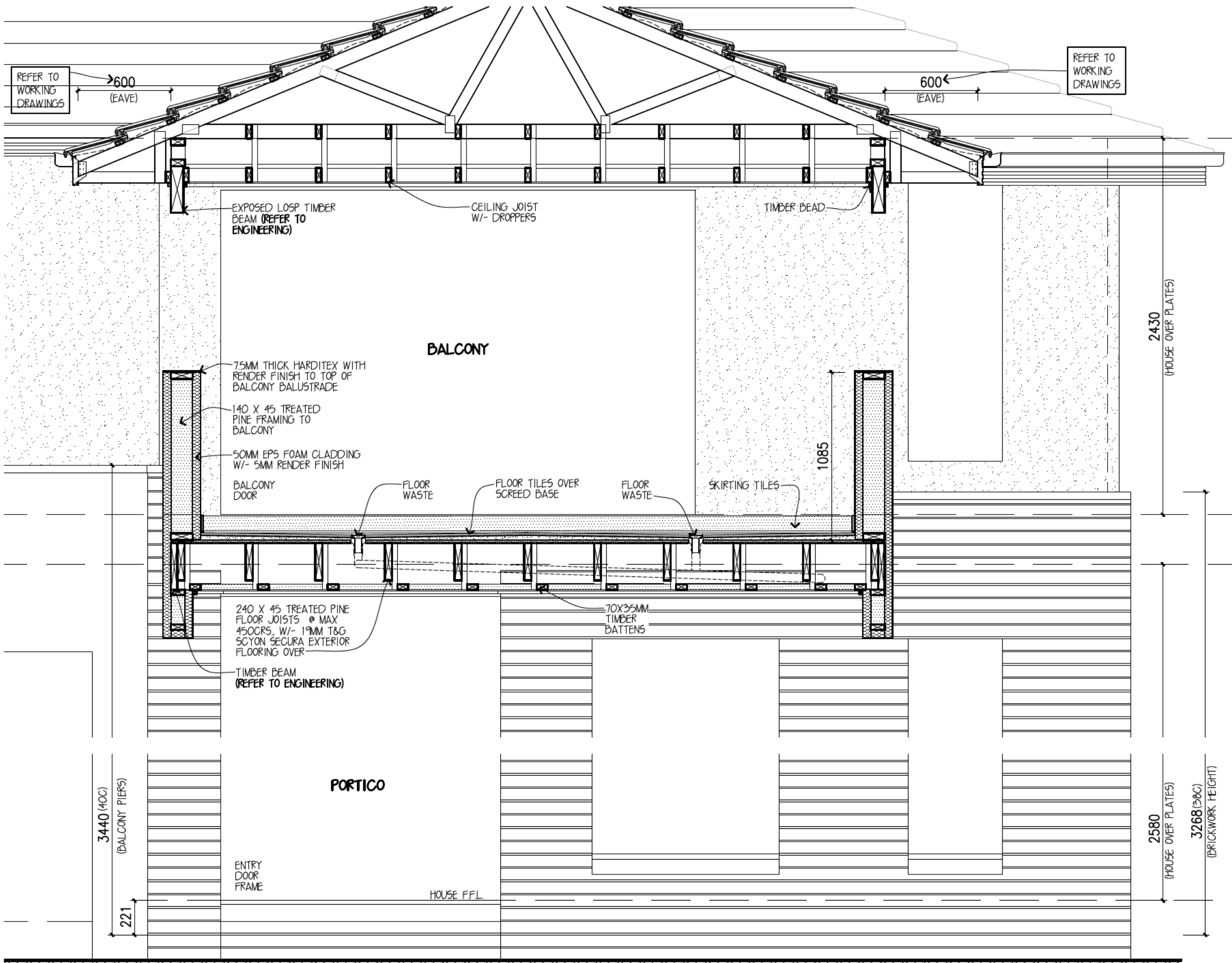
Standard Detail

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METRICON HOMES
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INDICATIVE TRUSS POSITIONS.
(REFER TO MANUFACTURER'S LAYOUT).

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IMPORTANT NOTE:
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JOIST CONNECTION DETAIL AND
STRUCTURAL BEAM POSITIONING.

PENINSULA FACADE
DETAIL

SHEET 2 OF 4
2550 CEILING HEIGHT
2407H. TIMBER DOOR
(GROUND FLOOR)
2400 CEILING HEIGHT
(FIRST FLOOR)

Standard Detail

metricon

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METRICON HOMES
501 BLACKBURN ROAD
MT.WAVERLEY

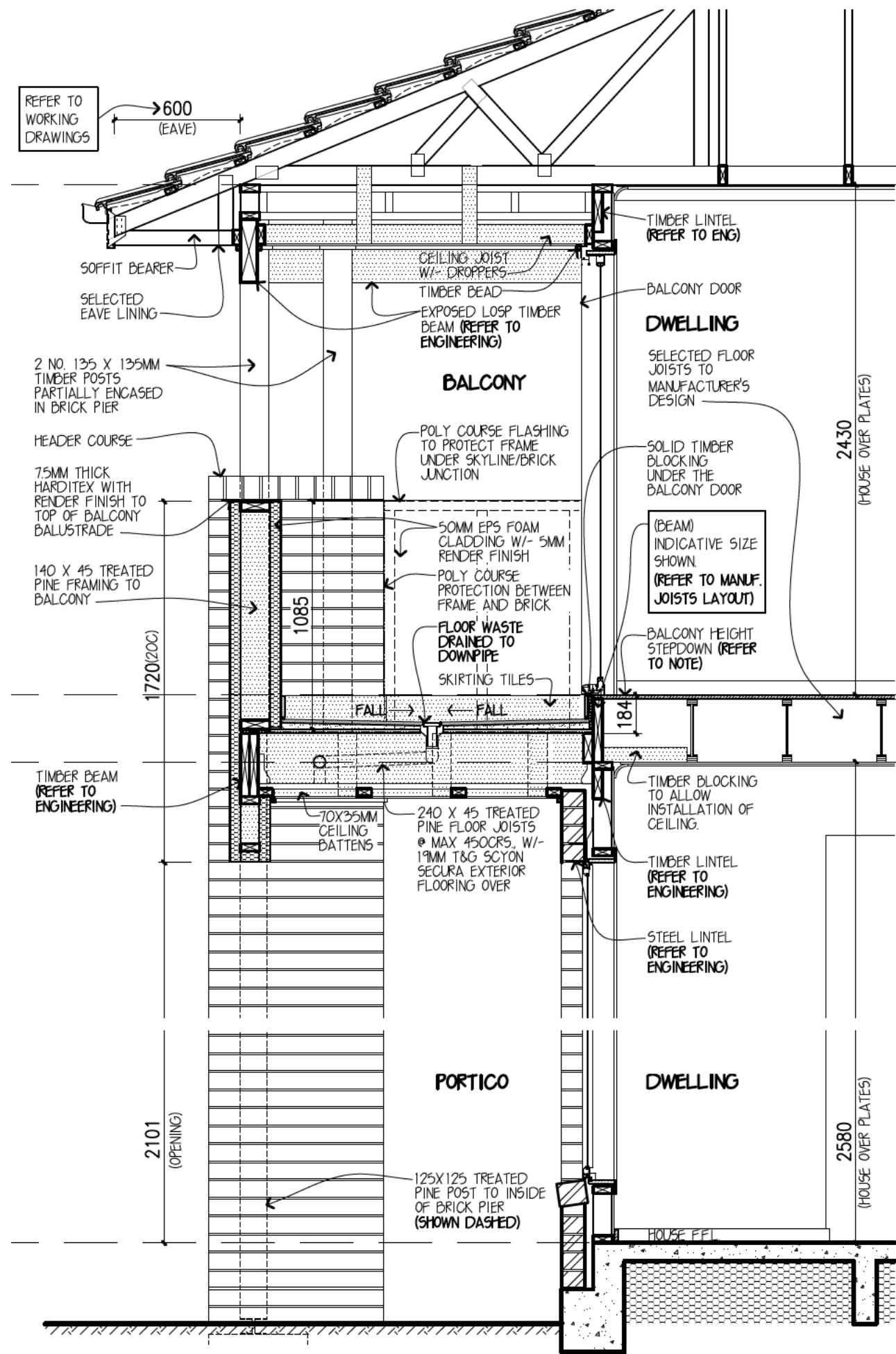
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ISSUED DATE: 07/05/2019 SHEET: **S-TYP-PENI-03**

SECTION X-X
THROUGH PORTICO, & BALCONY
SCALE 1:25

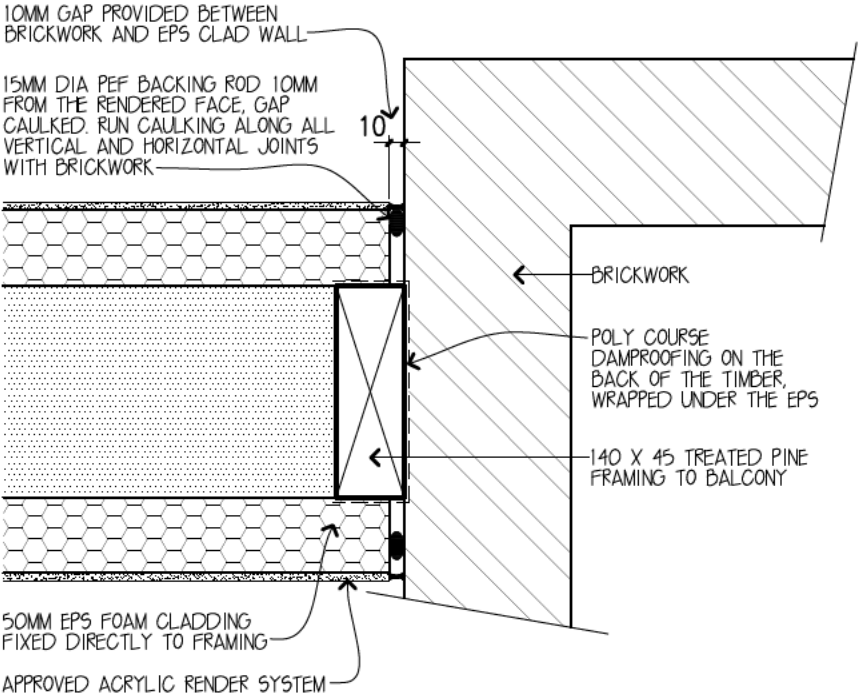


SECTION Y-Y
THROUGH PORTICO, DWELLING & BALCONY
SCALE 1:25

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INDICATIVE TRUSS POSITIONS.
(REFER TO MANUFACTURER'S LAYOUT).



DETAIL C - EPS-BRICKWALL
JUNCTION (PLAN VIEW)
SCALE 1:5

PENINSULA FACADE
DETAIL

SHEET 3 OF 4
2550 CEILING HEIGHT
2407H. TIMBER DOOR
(GROUND FLOOR)
2400 CEILING HEIGHT
(FIRST FLOOR)

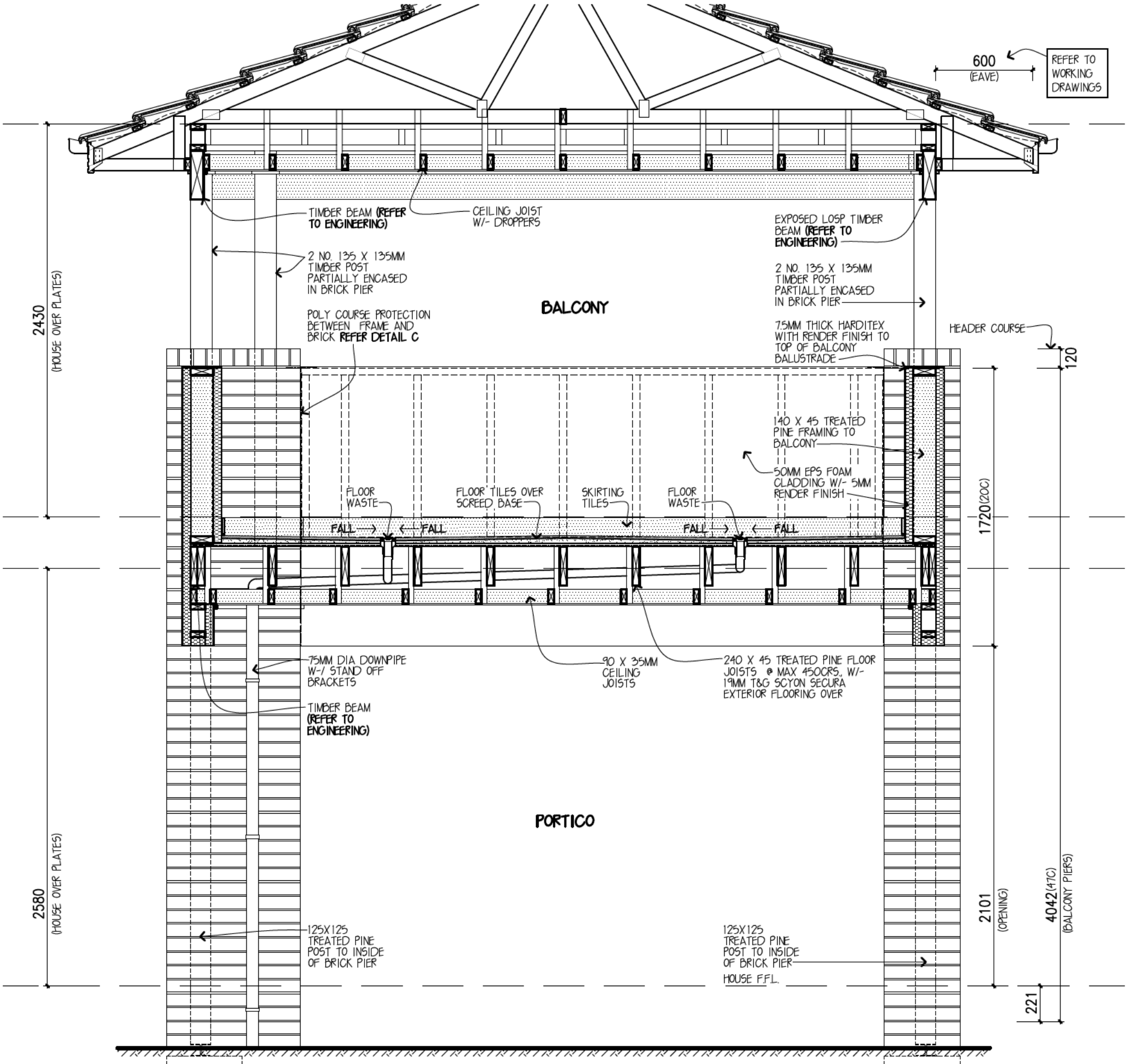
Standard Detail

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APPROVED: PRM	DATE: 07/05/2019
SCALE: AS NOTED	MST VER: 13/05/2016
DRAWN: KHE, PG	CHKD: DM, DE
ISSUED DATE: 07/05/2019	SHEET: 5-TYP-PENI-03



SECTION Z-Z
THROUGH PORTICO & BALCONY
SCALE 1:25

INDICATIVE TRUSS POSITIONS.
(REFER TO MANUFACTURER'S LAYOUT).

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IMPORTANT NOTE:
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JOIST CONNECTION DETAIL AND
STRUCTURAL BEAM POSITIONING.

PENINSULA FACADE
DETAIL

SHEET 4 OF 4
2550 CEILING HEIGHT
2407H. TIMBER DOOR
(GROUND FLOOR)
2400 CEILING HEIGHT
(FIRST FLOOR)

Standard Detail

metricon

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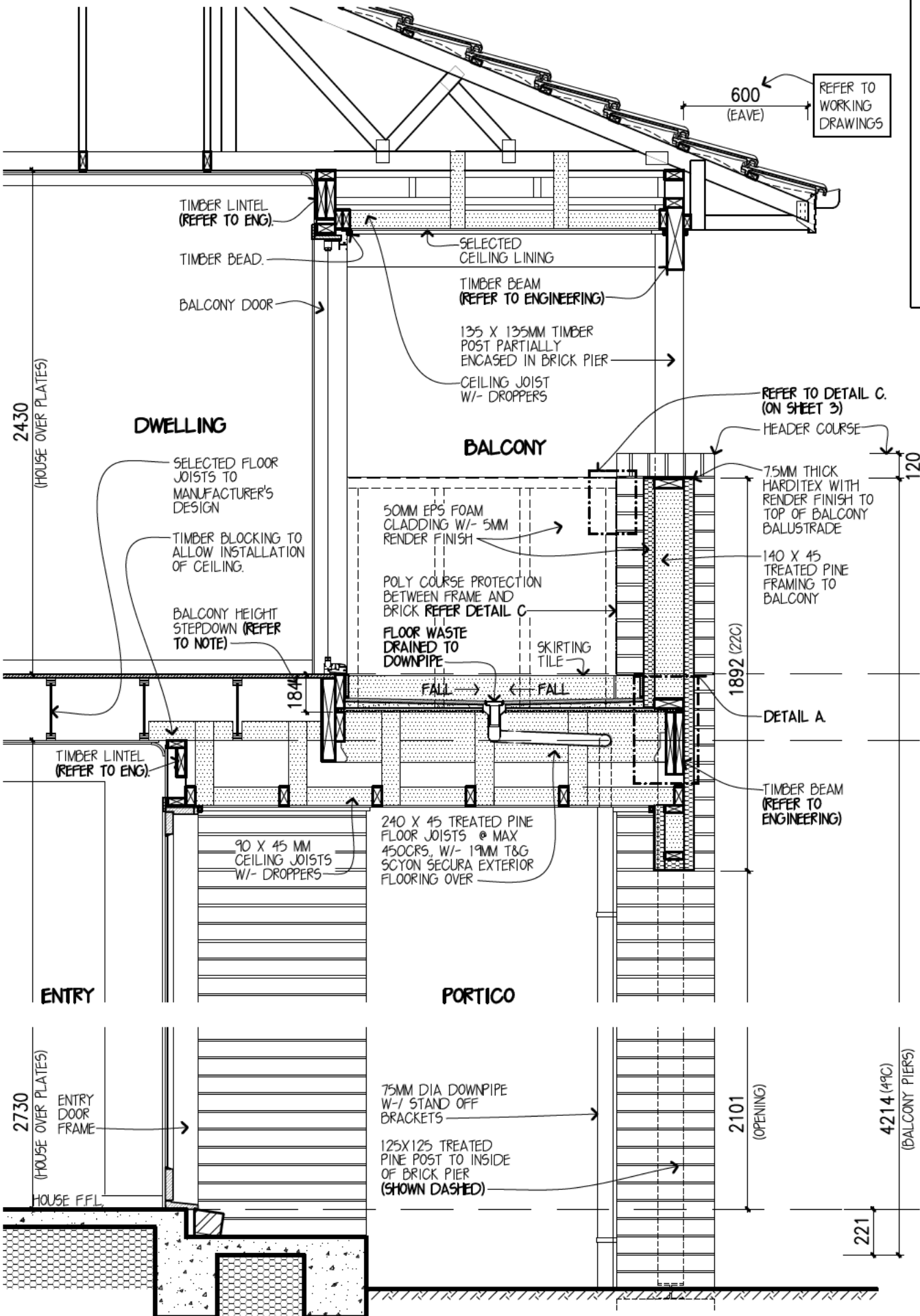
METRICON HOMES
501 BLACKBURN ROAD
MT.WAVERLEY

APPROVED: PRM DATE: 07/05/2019

SCALE: AS NOTED MST VER: 13/05/2016

DRAWN: KHE, PG CHKED: DM, DE

ISSUED DATE: 07/05/2019 SHEET: S-TYP-PENI-03



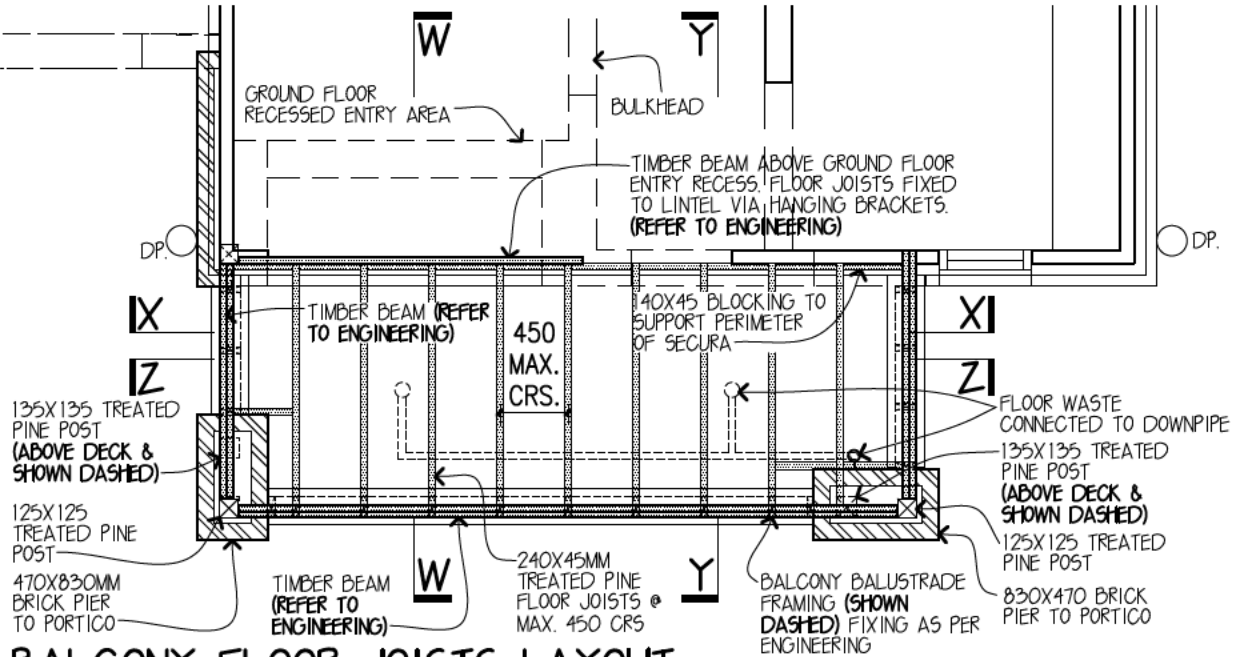
SECTION W-W
THROUGH PORTICO, ENTRY, DWELLING & BALCONY
SCALE 1:25

BALCONY STEPDOWN SHOWN:
184MM MIN
NOTE: STEPDOWN TO BE DIMENSIONED FROM FFL OF UPPER STOREY TO BALCONY FLOOR JOIST.
EXAMPLE:
184MM (MINUS)
19MM SECURA
30MM SCREED
15MM TILE
2MM MEMBRANE
118MM FFL - FFL

IMPORTANT NOTE:
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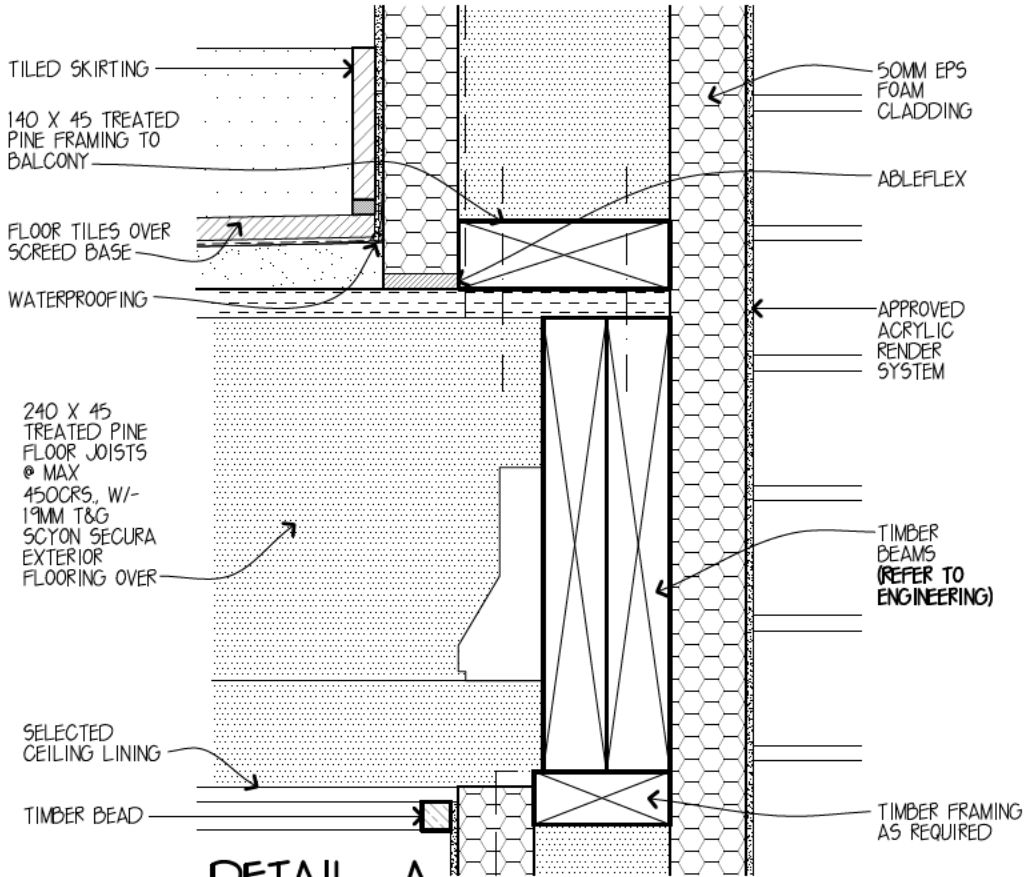
IMPORTANT NOTE:
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INDICATIVE TRUSS POSITIONS.
(REFER TO MANUFACTURER'S LAYOUT).



BALCONY FLOOR JOISTS LAYOUT

SCALE 1:50



DETAIL A
SCALE 1:5

PENINSULA FACADE DETAIL

SHEET 1 OF 4
2700 CEILING HEIGHT
2407H. TIMBER DOOR
(GROUND FLOOR)
2400 CEILING HEIGHT
(FIRST FLOOR)

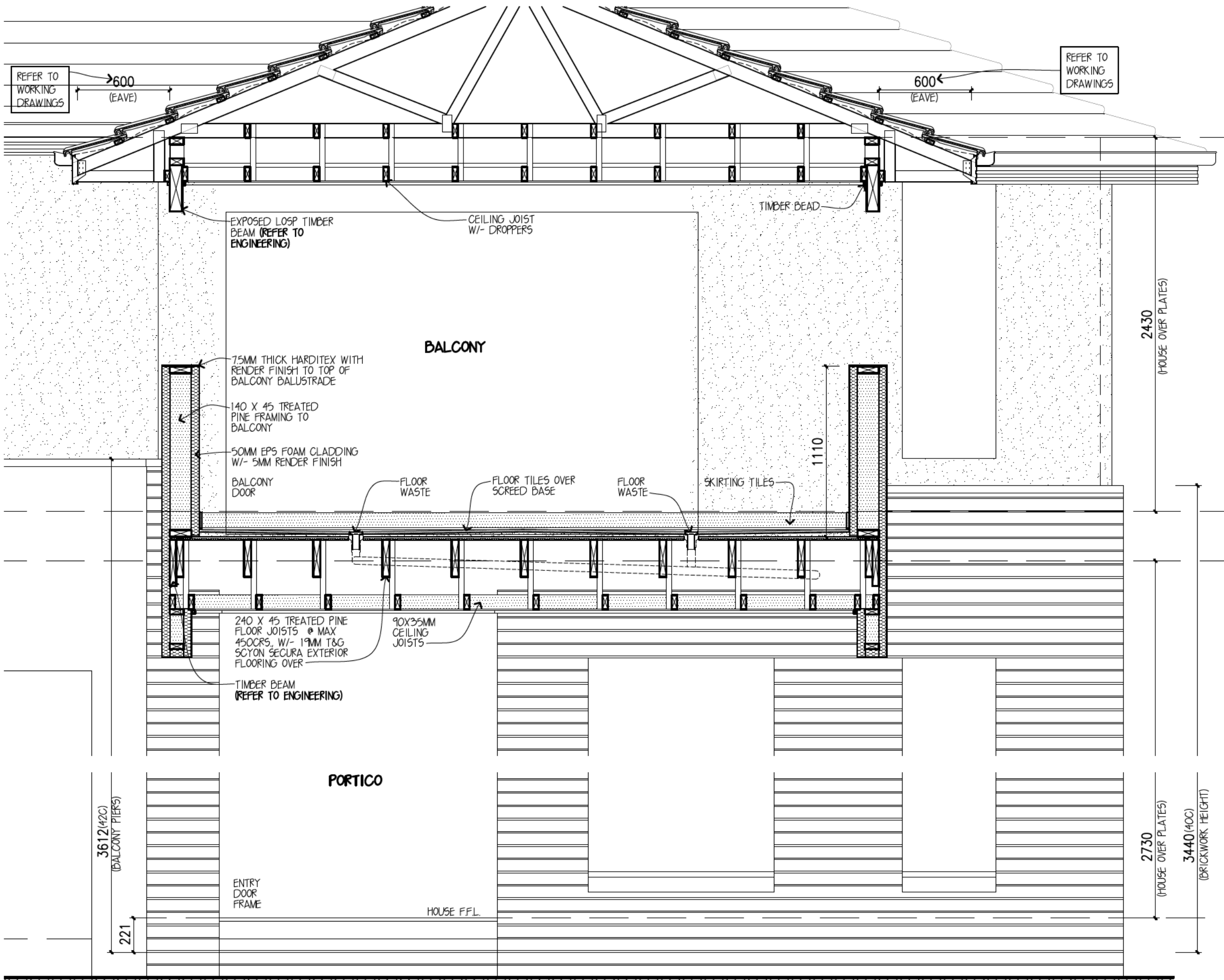
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MT.WAVERLEY

APPROVED: PRM	DATE: 07/05/2019
SCALE: AS NOTED	MST VER: 13/05/2016
DRAWN: KHE, PG	CHKD: DM, DE
ISSUED DATE: 07/05/2019	SHEET: 5-TYP-PENI-03



INDICATIVE TRUSS POSITIONS.
(REFER TO MANUFACTURER'S LAYOUT).

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JOIST CONNECTION DETAIL AND
STRUCTURAL BEAM POSITIONING.

PENINSULA FACADE
DETAIL

SHEET 2 OF 4
2700 CEILING HEIGHT
2407H. TIMBER DOOR
(GROUND FLOOR)
2400 CEILING HEIGHT
(FIRST FLOOR)

Standard Detail

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MT.WAVERLEY

APPROVED: **PRM** DATE: 07/05/2019

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ISSUED DATE: 07/05/2019 SHEET: **S-TYP-PENI-03**

SECTION X-X
THROUGH PORTICO, & BALCONY
SCALE 1:25



ISSUED DATE: 07/05/2019	SHEET: 5-TYP-PENI-03
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JOIST CONNECTION DETAIL AND
STRUCTURAL BEAM POSITIONING.

PENINSULA FACADE DETAIL

SHEET 4 OF 4
2700 CEILING HEIGHT
2407H. TIMBER DOOR
(GROUND FLOOR)
2400 CEILING HEIGHT
(FIRST FLOOR)

Standard Detail

metricon

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501 BLACKBURN ROAD
MT. WAVERLEY

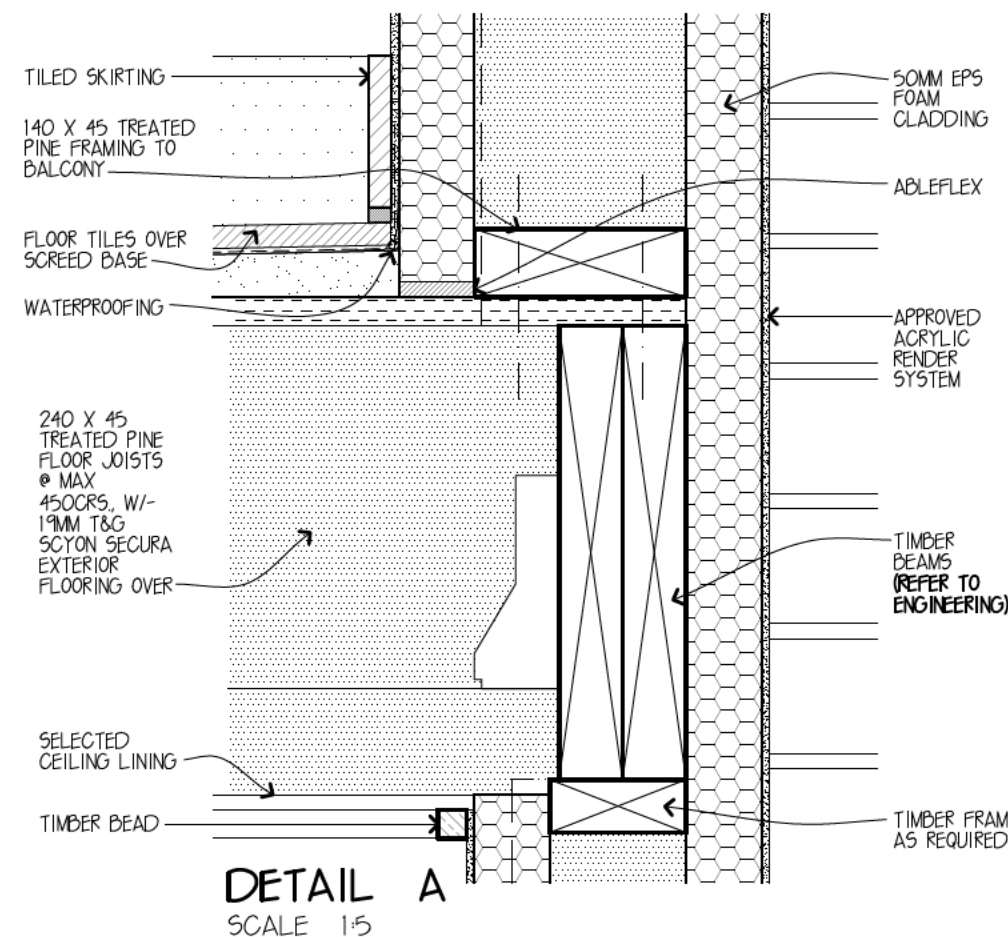
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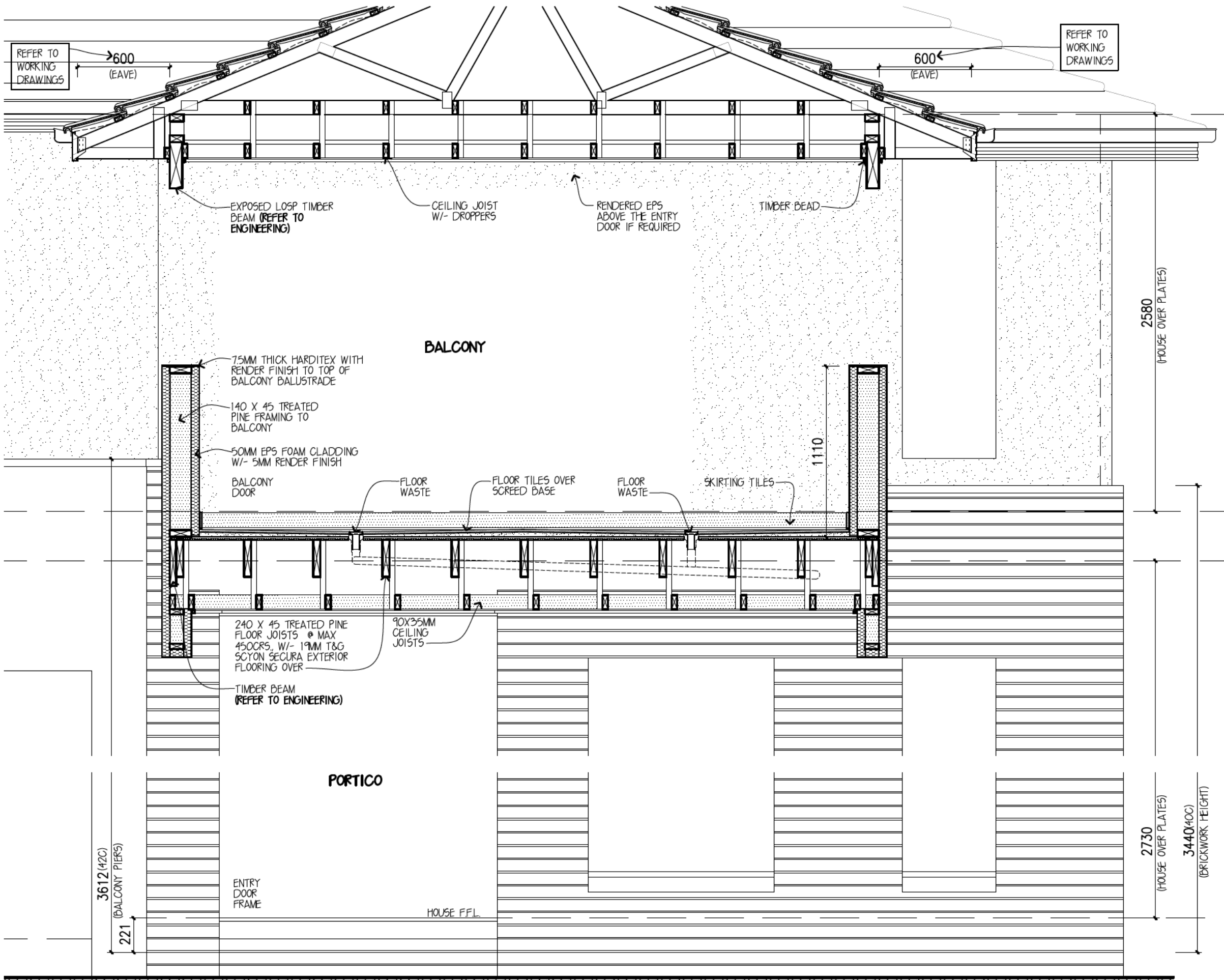
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ISSUED DATE: 07/05/2019	SHEET: 5-TYP-PENI-03
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SECTION Z-Z
THROUGH PORTICO & BALCONY
SCALE 1:25



ISSUED DATE: 07/05/2019	SHEET: 9-TYP-PENI-03
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INDICATIVE TRUSS POSITIONS.
(REFER TO MANUFACTURER'S LAYOUT).

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JOIST CONNECTION DETAIL AND
STRUCTURAL BEAM POSITIONING.

PENINSULA FACADE
DETAIL

SHEET 2 OF 4
2700 CEILING HEIGHT
2407H. TIMBER DOOR
(GROUND FLOOR)
2550 CEILING HEIGHT
(FIRST FLOOR)

Standard Detail

metricon

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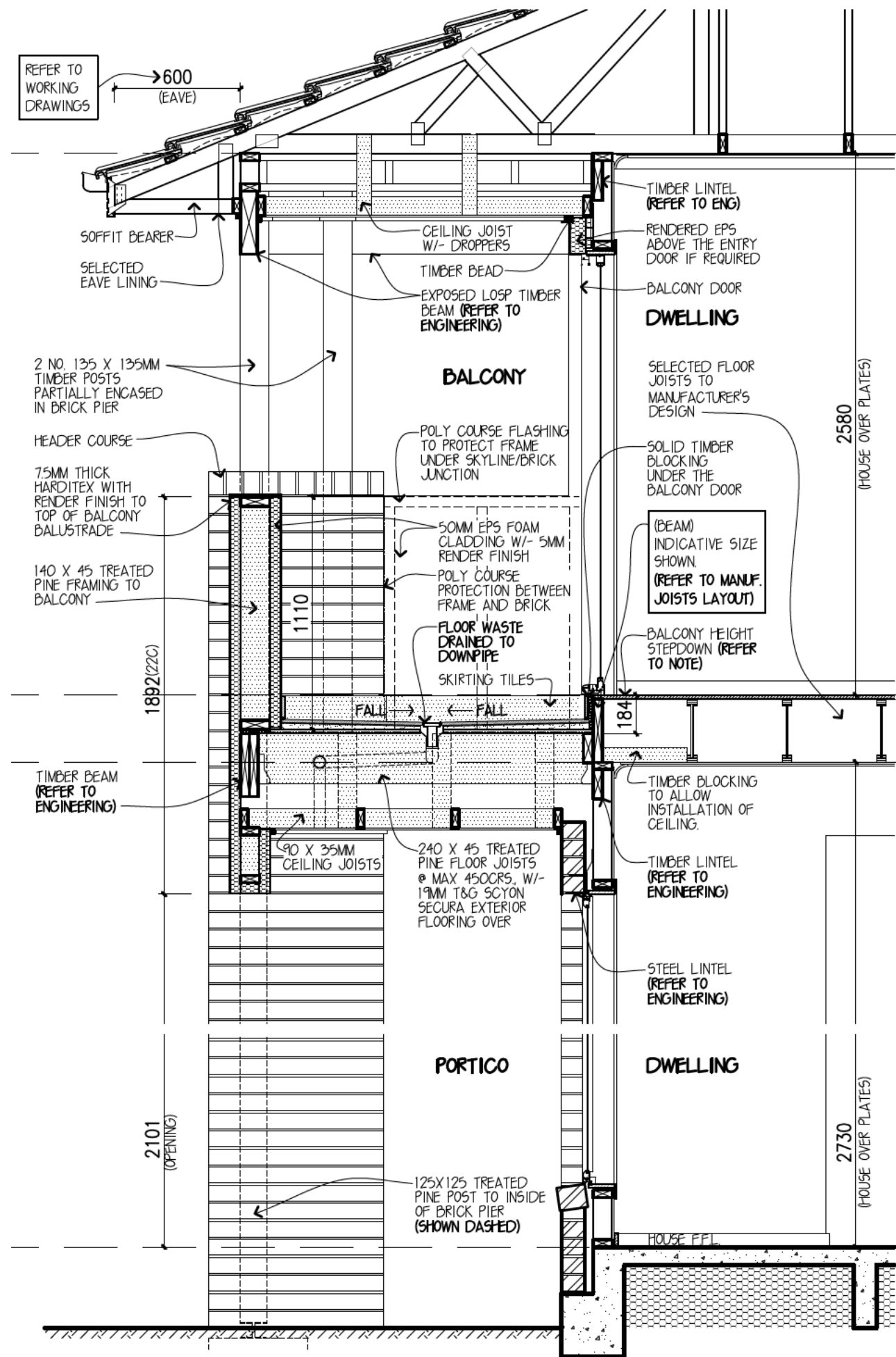
METRICON HOMES
501 BLACKBURN ROAD
MT. WAVERLEY

APPROVED: **PRM** DATE: 07/05/2019

SCALE: **AS NOTED** MST VER: 13/05/2016

DRAWN: **KHE, PG** CHKED: **DM, DE**

ISSUED DATE: 07/05/2019 SHEET: **S-TYP-PENI-03**

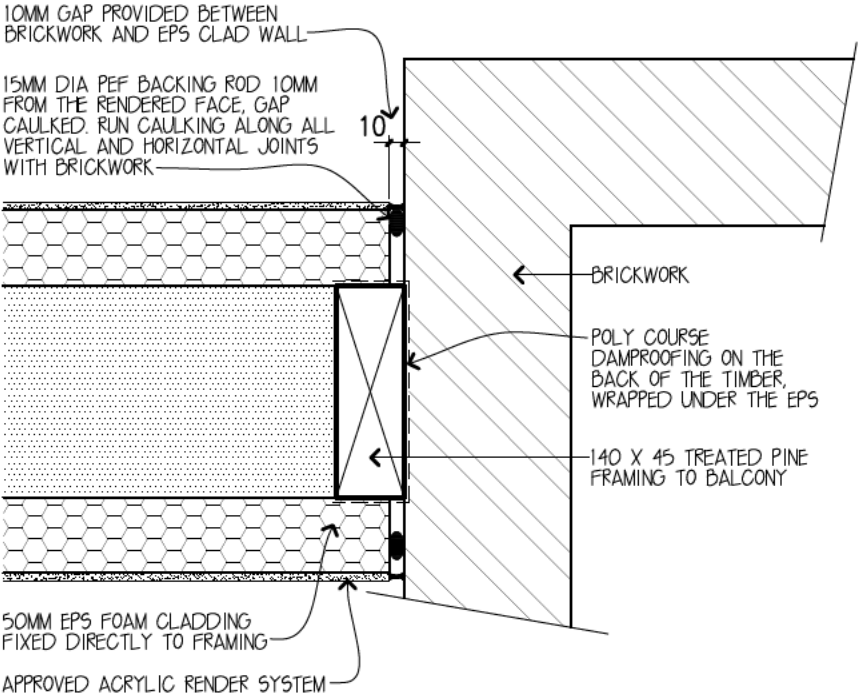


SECTION Y-Y
THROUGH PORTICO, DWELLING & BALCONY
SCALE 1:25

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JOIST CONNECTION DETAIL AND
STRUCTURAL BEAM POSITIONING.

INDICATIVE TRUSS POSITIONS.
(REFER TO MANUFACTURER'S LAYOUT).



DETAIL C - EPS-BRICKWALL
JUNCTION (PLAN VIEW)
SCALE 1:5

PENINSULA FACADE
DETAIL

SHEET 3 OF 4
2700 CEILING HEIGHT
2407H. TIMBER DOOR
(GROUND FLOOR)
2550 CEILING HEIGHT
(FIRST FLOOR)

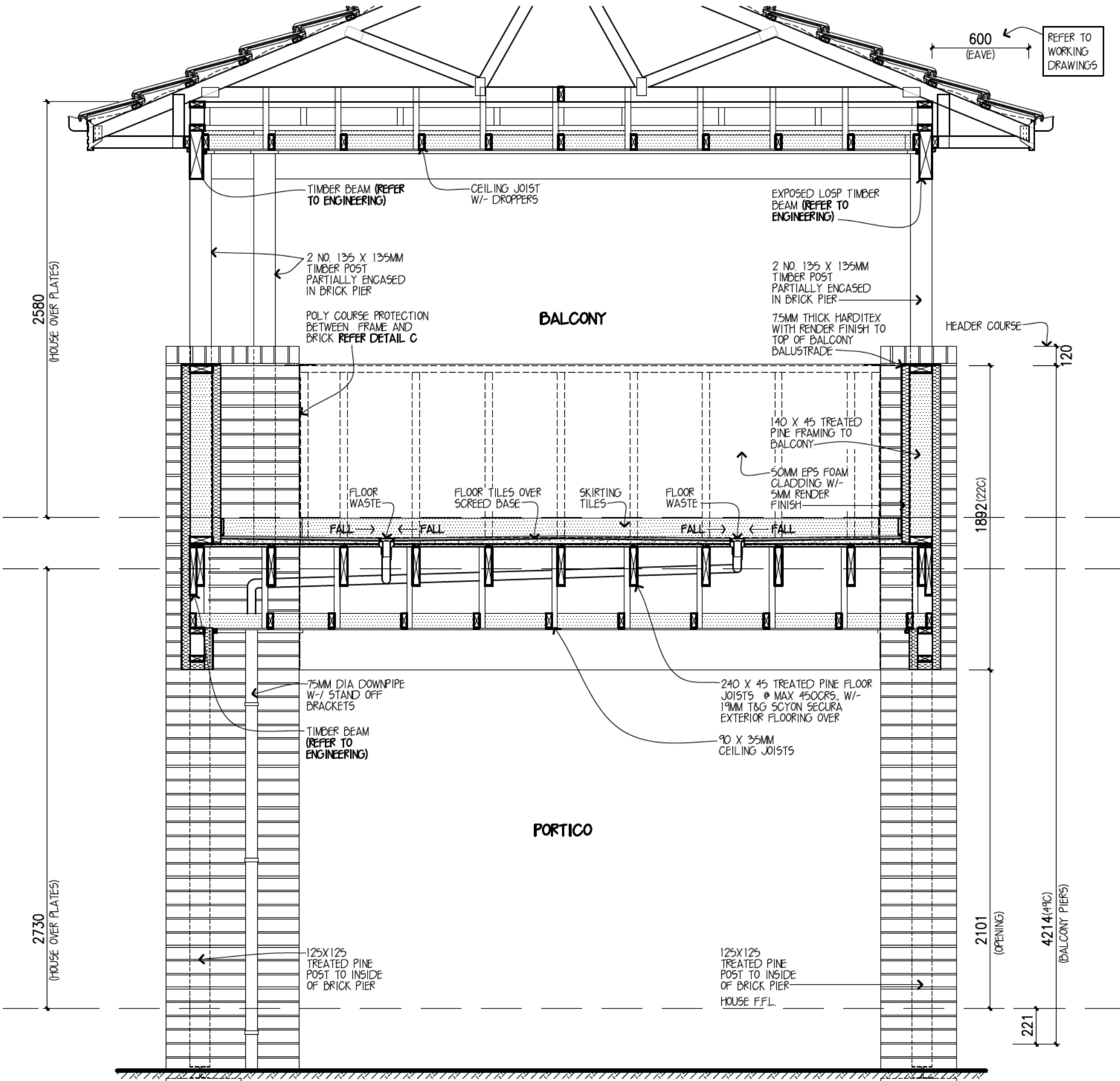
Standard Detail

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METRICON HOMES
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MT. WAVERLEY

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SCALE: AS NOTED	MST VER: 13/05/2016
DRAWN: KHE, PG	CHKD: DM, DE
ISSUED DATE: 07/05/2019	SHEET: 5-TYP-PENI-03



SECTION Z-Z
THROUGH PORTICO & BALCONY
SCALE 1:25

INDICATIVE TRUSS POSITIONS.
(REFER TO MANUFACTURER'S LAYOUT).

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IMPORTANT NOTE:
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PENINSULA FACADE
DETAIL

SHEET 4 OF 4
2700 CEILING HEIGHT
2407H. TIMBER DOOR
(GROUND FLOOR)
2550 CEILING HEIGHT
(FIRST FLOOR)

Standard Detail

metricon

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METRICON HOMES
501 BLACKBURN ROAD
MT. WAVERLEY

APPROVED: **PRM** DATE: 07/05/2019

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