

Additional Notes
Refer to Mechanical Engineer's Details.
Refer to Ecology, Aquatic and Coastal report.
Flood RLs are set as prescribed by Flood Consultant. Refer to details.
Refer to BCA Consultant Reports and Specifications.
Note Alternate Access Consultant report.
Refer to Performance Solution Report.
Refer to Fire Engineering Report.
Refer to Landscape Architect Design and Details.

Section J Compliance
Part J1 - BUILDING FABRIC - Cafe/Office Building
Part J3 - BUILDING SEALING - Cafe/Office Building
Part J5 - A/C & VENTILATION SYSTEMS - Cafe/Office Building
Part J6 - ARTIFICIAL LIGHTING & POWER - Cafe/Office Building
RELEVANT NCC/BCA CLAUSE
Clause J1.3 - Roof Construction
Clause J1.5 - Glazing and
Clause J1.6 - Floor Construction
DTS Non-Compliance
Refer to Consultant Report re: Clause J1.3, Clause J1.5 and Clause J1.6

RELEVANT PERFORMANCE REQUIREMENTS
Clause JP1 - Energy Use
ASSESSMENT METHOD (by Consultant)
NCC 2019, Volume 1, Amendment 1, Clause A2.2(2)(b)(i) - Section JV3 Verification using a reference building
Thermal Insulation (Floor, Roof and Walls) is to be in accordance with BCA Clause J1.2, AS/NZS 4659.1:2018, AS/NZS 4659.2:2018 and JV3 Report

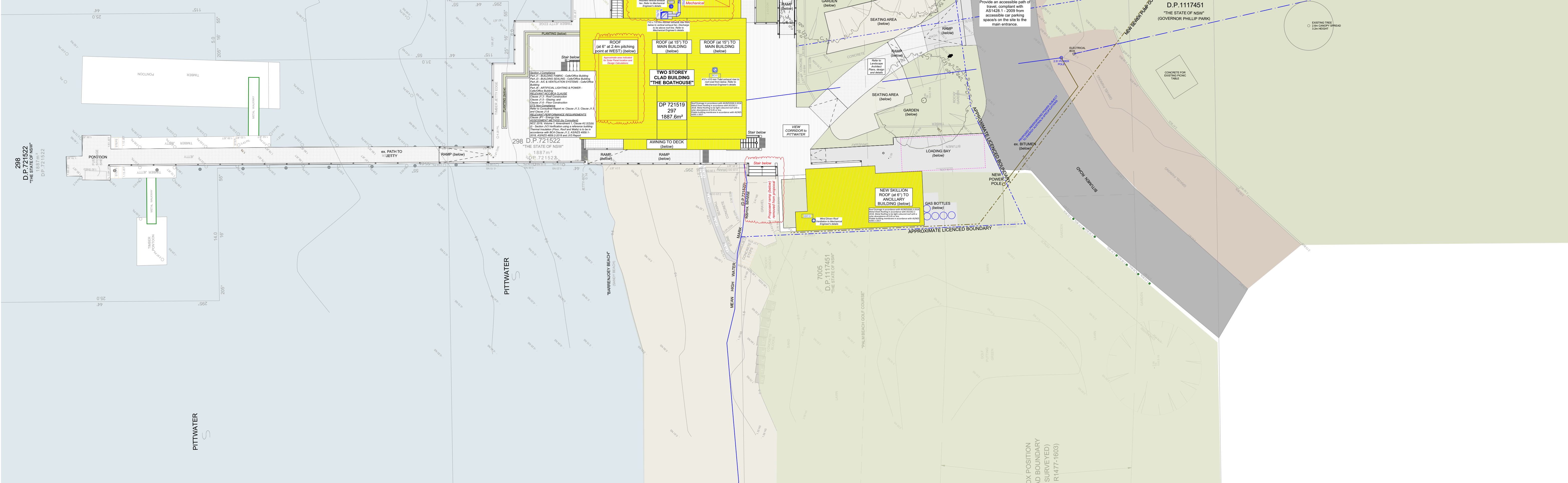
Flooding
In order to protect property and occupants from flood risk the following is required:
Building Components and Structural Soundness – B1
All new development below the Flood Planning Level of shall be designed and constructed as flood compatible buildings in accordance with Reducing Vulnerability of Buildings to Flood Damage: Guidance on Building in Flood Prone Areas, Hawkesbury-Nepean Floodplain Management Steering Committee (2006).
Building Components and Structural Soundness – B2
All new development must be designed to ensure structural integrity up to the Probable Maximum Flood level of 2.93m AHD, taking into account the forces of floodwater, wave action, flowing water with debris, buoyancy and immersion.
Building Components and Structural Soundness – B3
All new electrical equipment, power points, wiring, fuel lines, sewerage systems or any other service pipes and connections must be waterproofed and/or located above the Flood Planning Level. All existing electrical equipment and power points located below the Flood Planning Level must have residual current devices installed to cut electricity supply during flood events.

Fencing – F1
New fencing (including pool fencing, boundary fencing, balcony balustrades and accessway balustrades) shall be open to allow for the unimpeded movement of flood waters. It must be designed with a minimum of 50% open area from the natural ground level up to the 1% AEP flood level. Openings should be a minimum of 75mm x 15mm.
Storage of Goods – G1
Storage areas for hazardous or potentially polluting materials shall not be located below the Flood Planning Level unless adequately protected from floodwaters in accordance with industry standards.

Flood Proofing
The floor levels of the Boat Hire General Storage and Bin Room must be wet flood proofed up to the Probable Maximum Flood level of 2.93m AHD.
Details demonstrating compliance are to be submitted to the Certifying Authority prior to the issue of the Construction Certificate.
Reason: To reduce the impact of flooding and flood liability on owners and occupiers of flood-prone property and reduce public and private losses in accordance with Council and NSW Government policy.

Flooring Notes
Floor Coverings to NCC 2019 Vol 1 C1.10
Slip Ratings to SA HB 198:2014 and AS 4663-2013 Tables 3(a) and 3(b)
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Sub-floor ventilation in accordance with BCA Clause F1.12 and Table F1.12

Fire Response
Refer to design and Design Certificate by Fire Consultant for lighting and Fire extinguisher layout and specifications
Fire precautions during construction with a Fire extinguisher at each exit (temporary) from each storey



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CLIENT: LONDON LAKES PARTNERSHIP
THE BOATHOUSE
PALM BEACH

Compliance with Section J of the NCC 2019- volume 1 – Amendment 1 for new Café/Office Building is achieved using the performance based JV3 Verification method using a reference building to Partners Energy Report

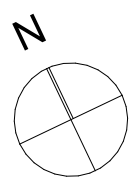
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Roslyn Toia
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rosyn@canvasarch.com.au 0405 60 11 30

Drawing Name
SITE PLAN

Drawing Scale
1:200

Drawn
RT

Layout ID
CC02-A
26/08/22 Section 4.55 Certificate



northern beaches council
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
MOD2023/0171

7006
DP.1117451

Additional Notes
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Fencing – F1
New fencing (including pool fencing, boundary fencing, balcony balustrades and accessway balustrades) shall be open to allow for the unimpeded movement of flood waters. It must be designed with a minimum of 50% open area from the natural ground level up to the 1% AEP flood level. Openings should be a minimum of 75mm x 75mm.
Storage of Goods – G1
Storage areas for hazardous or potentially polluting materials shall not be located below the Flood Planning Level unless adequately protected from floodwaters in accordance with industry standards.

Flood Proofing
The floor levels of the Boat Hire General Storage and Bin Room must be wet flood proofed up to the Probable Maximum Flood level of 2.93m AHD.
Details demonstrating compliance are to be submitted to the Certifying Authority prior to the issue of the Construction Certificate.
Reason: To reduce the impact of flooding and flood liability on owners and occupiers of flood-prone property and reduce public and private losses in accordance with Council and NSW Government policy.

Flooring Notes
Floor Coverings to NCC 2019 Vol 1 C1.10
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Fire Response
Refer to design and Design Certificate by Fire Consultant for lighting and Fire extinguisher layout and specifications
Fire precautions during construction with a Fire extinguisher at each exit (temporary) from each storey

General Specification Notes
Termite risk management in accordance with AS3660.1-2014
Blockwork in accordance with AS3700-2018
Structural Steel in accordance with AS4100-1998
Structural Timber in accordance with AS1720.1-2010
Roof Drainage in accordance with AS/NZS3500.3-2018
Metal Sheet Roofing in accordance with AS1562.1-2018. Metal Roofing to be light coloured roof with a solar absorbance of 0.45 or less
Pliable building membrane in accordance with AS/NZS 4200.1-2017
Aluminium Structures in accordance with AS/NZS 1664.1-1997 or AS/NZS 1664.2-1997
Waterproofing of wet areas in accordance with BCA Clause & Table F1.7 and AS3740-2010
Damp proofing - Damp proof course that prevents moisture from the ground from reaching the lowest timber elements of the building, and walls above damp-proof course in accordance with AS/NZS 2904-1995 or AS3660.1- 2014

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CLIENT: LONDON LAKES PARTNERSHIP
THE BOATHOUSE
PALM BEACH

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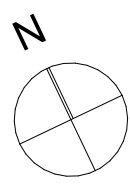
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Drawing Name
SITE & GROUND PLAN 1:200

Drawing Scale
1:200

Drawn
RT

Layout ID
CC05-A
26/08/22 Section 4.55 Certificate

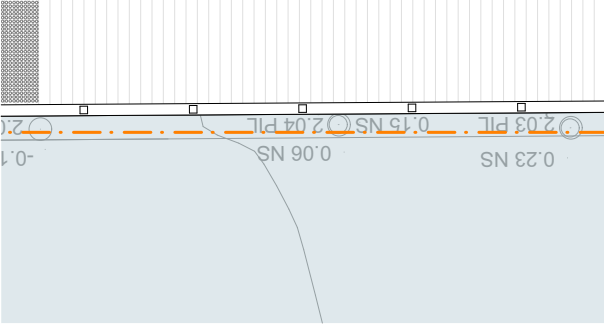
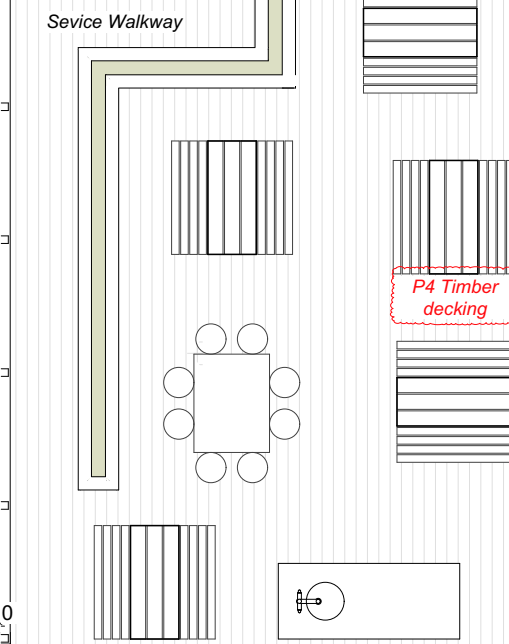


Additional Notes
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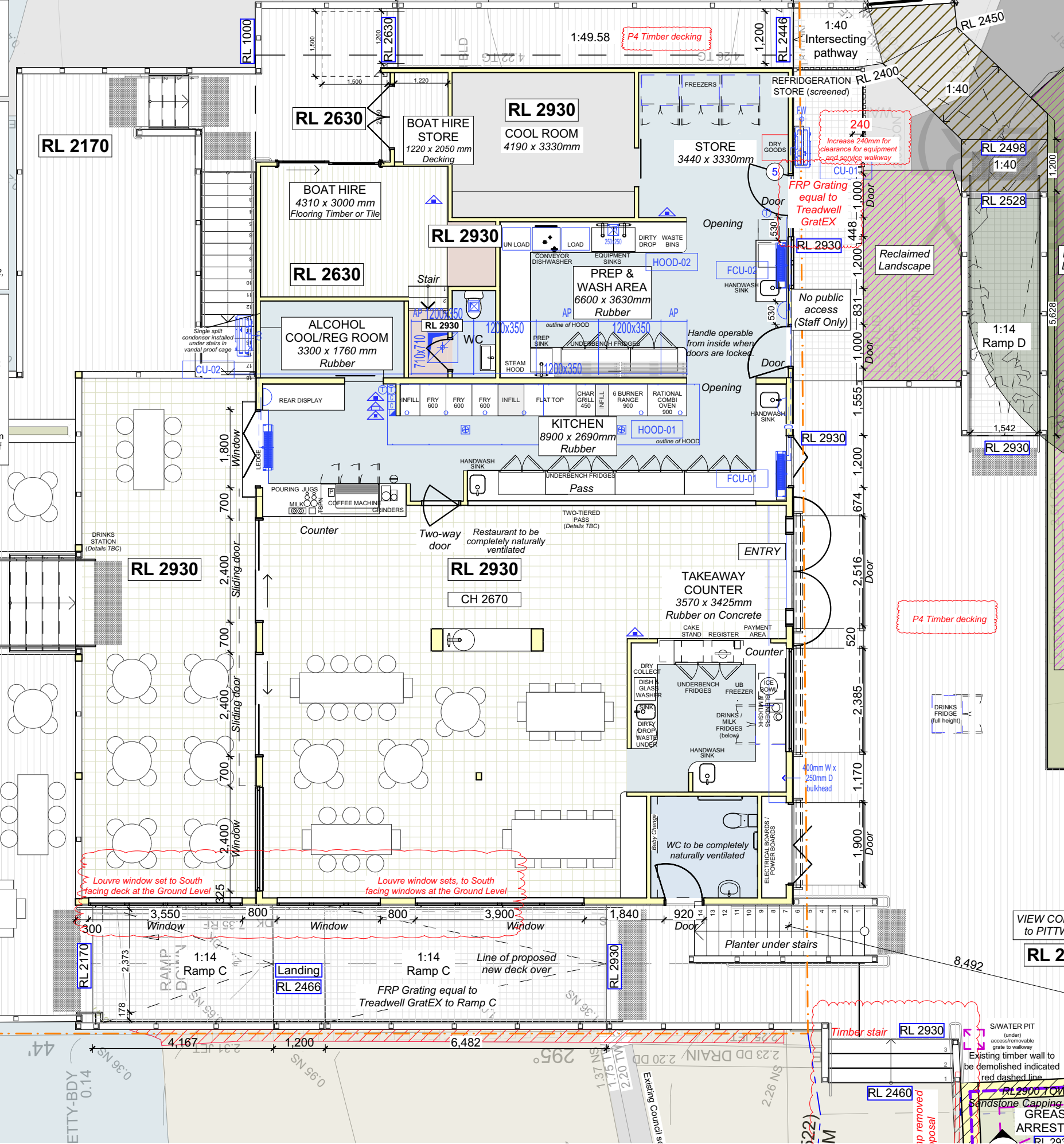
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Damp-proofing - Damp proof course that prevents moisture from the ground from reaching the lowest timber elements of the building, and walls above damp-proof course in accordance with AS/NZS 2904-1995 or AS3660.1- 2014

- Directional Exit Sign**
Fire Exit Signage
ABE 4.5kg Fire Extinguisher
Wet Chemical 7L Fire Extinguisher
1.8m x 1.8m Fire Blanket
Foam 9L Fire Extinguisher



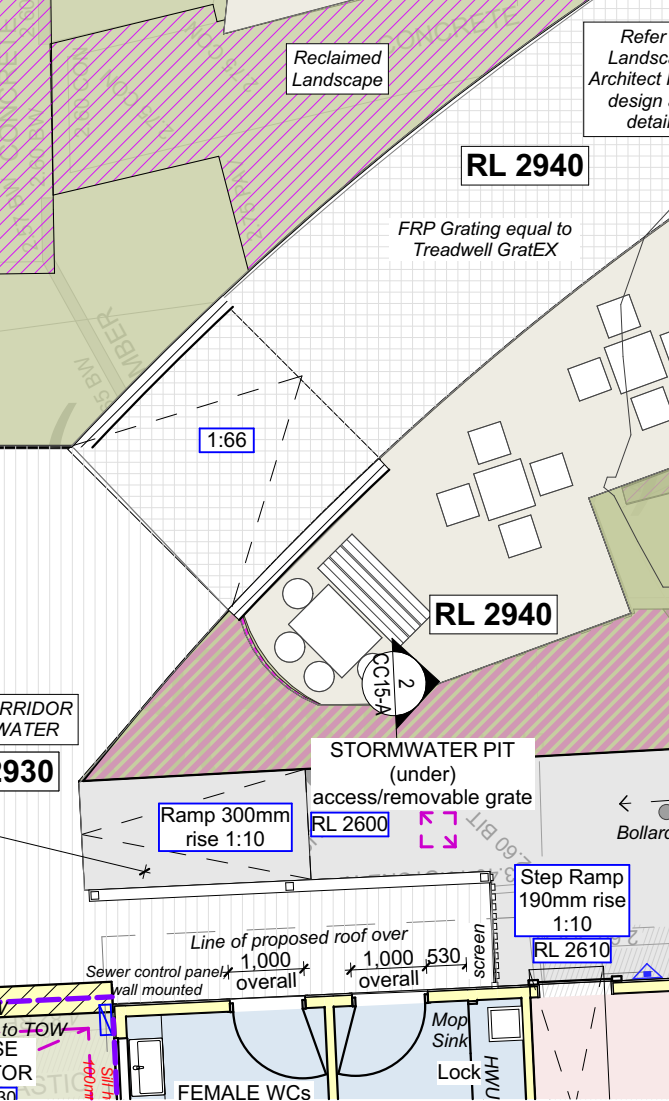
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Flooding
In order to protect property and occupants from flood risk the following is required:
Building Components and Structural Soundness – B1
All new development must be designed in accordance with the Flood Planning Level of shall be designed and constructed as flood resistant buildings in accordance with Reducing Vulnerability of Buildings to Flooding – Guidance on Building in Flood Prone Areas, Hawkesbury-Nepean Floodplain Management Steering Committee (2006).
Building Components and Structural Soundness – B2
All new development must be designed in accordance with the Flood Planning Level of 2.93m AHD, taking into account the forces of floodwater, wave action, flowing water, and debris impact.
Building Components and Structural Soundness – B3
All new electrical equipment, power points, wiring, fuel lines, sewerage systems or any other service pipes and connections must be protected and/or located above the Flood Planning Level. All existing electrical equipment and power points located below the Flood Planning Level must have residual current devices installed to cut electricity supply during flood events.

Fencing – F1
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CLIENT: LONDON LAKES PARTNERSHIP

THE BOATHOUSE
PALM BEACH

Compliance with Section J of the NCC 2019- volume 1 – Amendment 1 for new Cafe/Office Building is achieved using the performance based JV3 Verification method using a reference building to Partners Energy Report

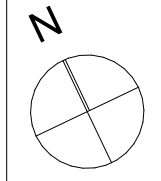
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Roslyn Toia
NSW REG: 9453 BARCH (HONS I)
roslyn@canvasarch.com.au 0405 60 11 30

Drawing Name
PROPOSED GROUND FLOOR PLAN - A3

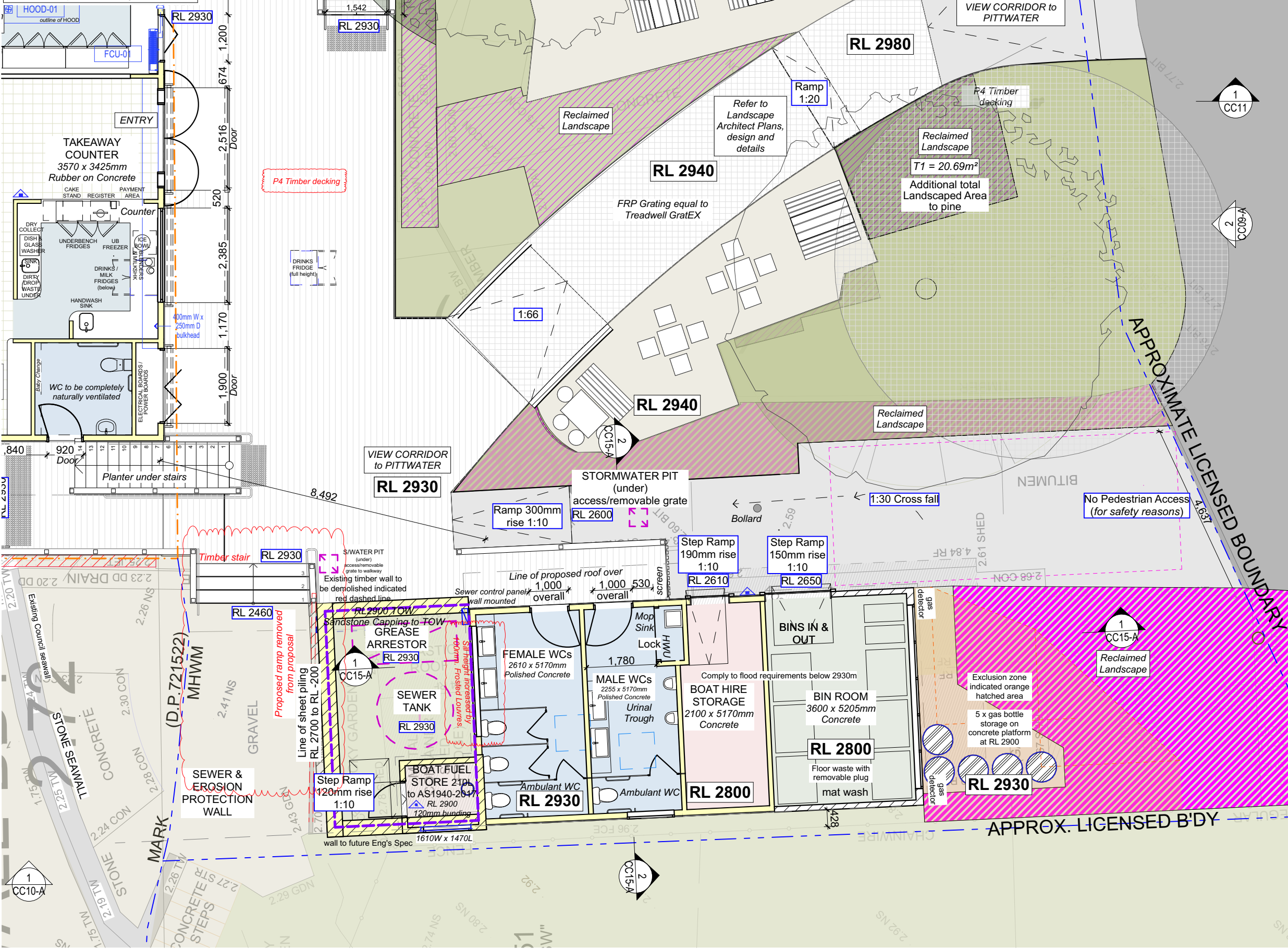
Drawing Scale
1:100

Drawn
RT

Layout ID
CC06-A
26/08/22 Section 4.55 Certificate



Additional Notes
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DTS Non-Compliance
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RELEVANT PERFORMANCE REQUIREMENTS
Clause JP1 - Energy
ASSESSMENT METHOD (by Consultant)
NCC 2019, Volume 1, Amendment 1, Clause J2.2(2)(b), Section JV3 Verification using a reference building
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MOB 2023-0171

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	Directional Exit Sign
	ABE 4.5kg Fire Extinguisher
	Wet Chemical 7L Fire Extinguisher
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CLIENT: LONDON LAKES PARTNERSHIP

THE BOATHOUSE
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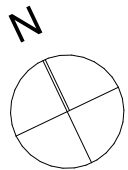
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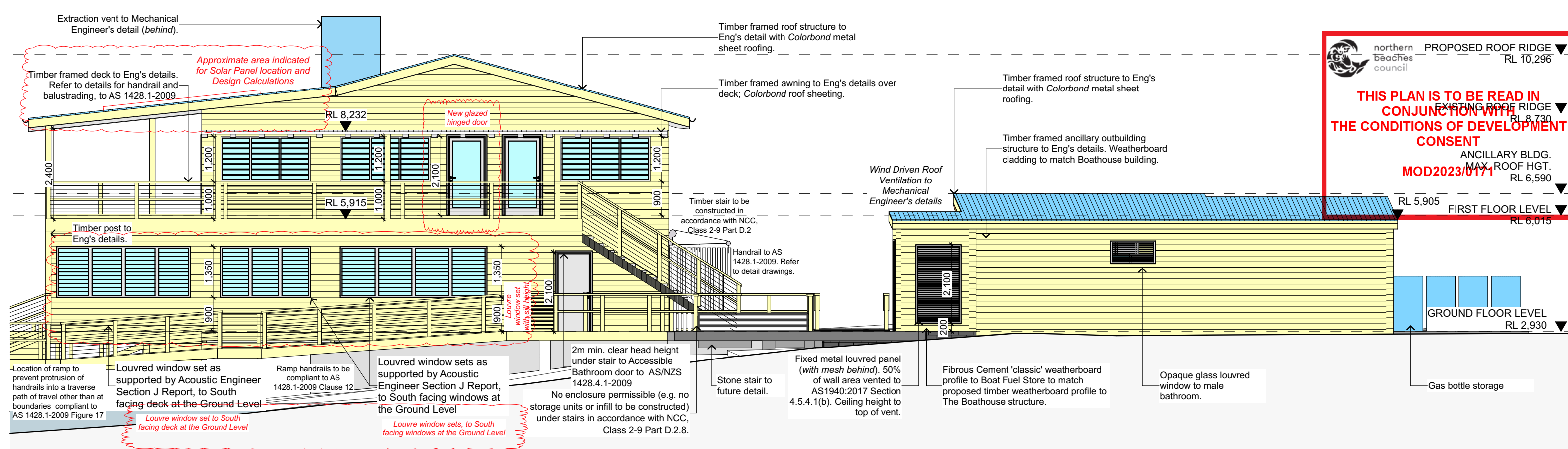
Drawing Name
**PROPOSED ANCILLARY
BUILDING GROUND FLOOR
PLAN - A3**

Drawing Scale
1:100

Drawn
RT

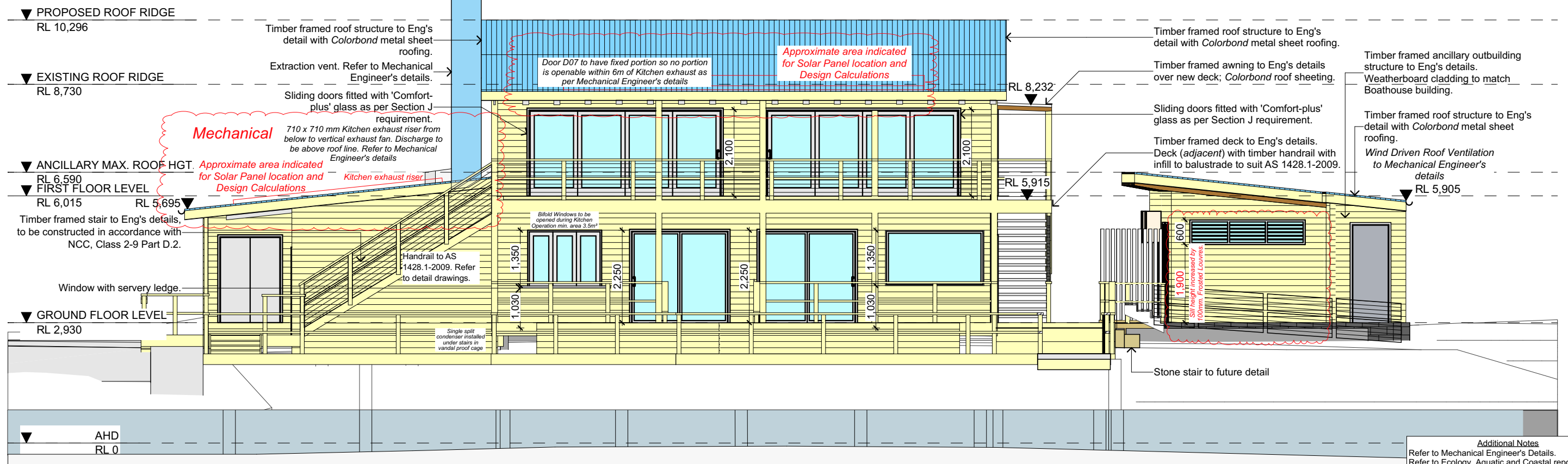
Layout ID
CC07-A
26/08/22 Section 4.55 Certificate





SOUTH ELEVATION

1:100



WEST ELEVATION

1:100

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Drawing Name
SOUTH / WEST ELEVATIONS

Drawing Scale
1:100

Drawn
RT

Layout ID
CC10-A
26/08/22 Section 4.55 Certificate

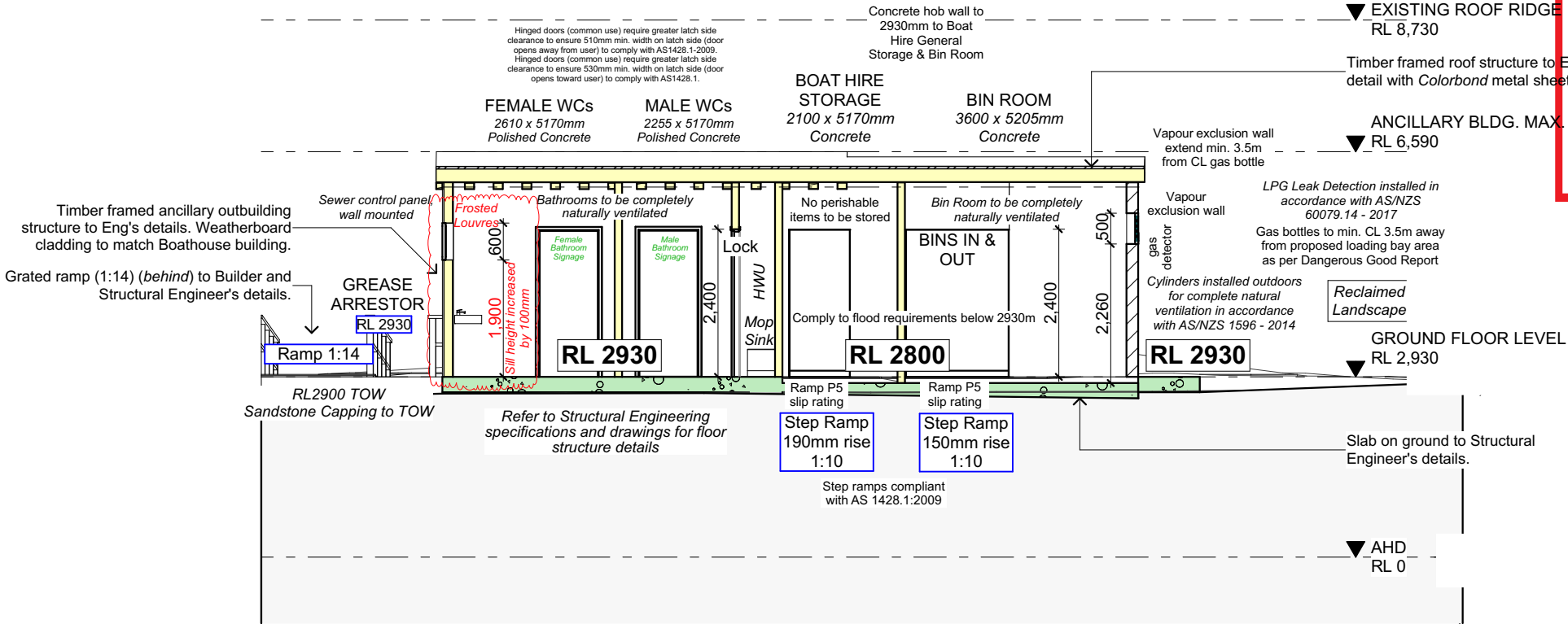
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Clause J1.2, AS/NZS 4859.1-2018, AS/NZS 4859.2-2018 and JV3 Report

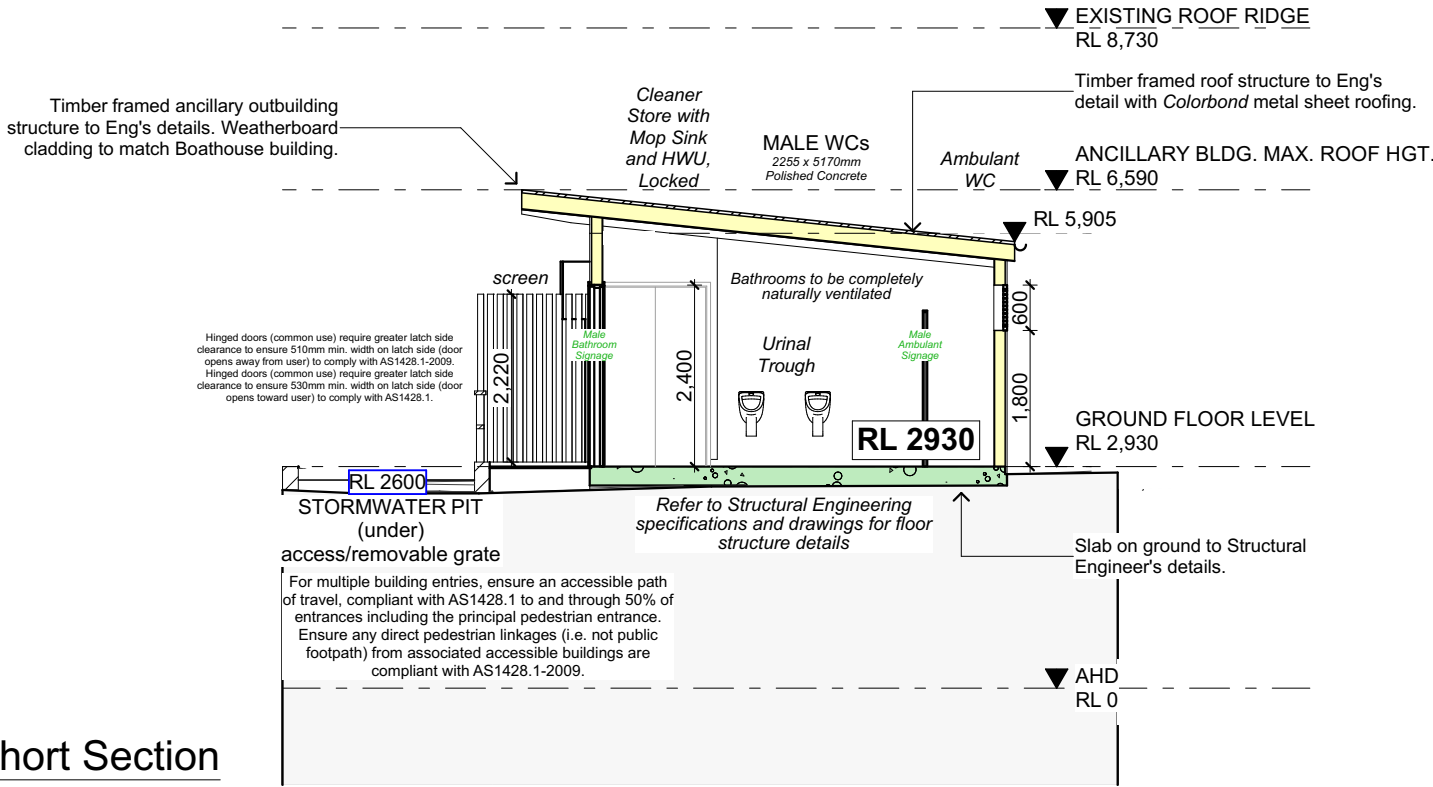


THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2023/0171



Ancillary Building Long Section
1:100



Ancillary Building Short Section
1:100

NOTES (FOR CONSTRUCTION)
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All new and altered works to relevant BCA and AS/NZ standards.



CLIENT: LONDON LAKES PARTNERSHIP

THE BOATHOUSE
PALM BEACH

Compliance with Section J of the NCC 2019- volume 1 – Amendment 1 for new Café/Office Building is achieved using the performance based JV3 Verification method using a reference building to Partners Energy Report

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Drawing Name
ANCILLARY BUILDING LONG & CROSS SECTION

Drawing Scale
1:100

Drawn
RT

Layout ID
CC15-A
26/08/22 Section 4.55 Certificate

