

**The following reference notes must be read in conjunction with the architectural plans and construction notes, contained herein. Some of these notes may not be applicable to the scope of works.**

**STORMWATER DRAINS.**

SUPPLY, INSTALL AND CONNECT NEW STORMWATER DRAINS FROM NEW DOWNPIPES TO EXISTING SERVICE AS NECESSARY.  
**NOTE:** BUILDER ASSUMES AN EXISTING STORMWATER DRAIN SYSTEM CURRENTLY EXISTS ON SITE AND IS DISCHARGED TO A LEGAL POINT. BUILDER HAS MADE NO ALLOWANCE TO PROVIDE NEW **SWD** SYSTEM AND / OR LEGAL POINT OF DISCHARGE SHOULD NO SYSTEM EXIST

**ASBESTOS.**

UNLESS OTHERWISE SPECIFIED IN THESE SPECIFICATIONS. NO ALLOWANCE HAS BEEN MADE FOR THE REMOVAL OR HANDLING OF ANY ASBESTOS PRODUCTS. SHOULD ANY ASBESTOS BE ENCOUNTERED ANY COSTS INVOLVED IN REMOVING OR HANDLING THESE PRODUCTS WILL BE THE CLIENTS RESPONSIBILITY.

**GUTTERS AND DOWNPIPES.**

ALL GUTTERS AND DOWNPIPES HAS BEEN ALLOWED AS ZINCALUME QUADRANT COLORBOND.  
**NO** ALLOWANCE HAS BEEN MADE TO MATCH EXISTING ALUMINIUM GUTTERS AND DOWNPIPES UNLESS SPECIFICALLY NOTED OTHERWISE.

**GLAZING.**

ALL NEW GLAZING TO COMPLY WITH **AS 1288 (2006) - GLASS IN BUILDINGS.**

**DOOR FURNITURE.**

INSTALLATION OF MORTICE LOCKS WILL BE AT EXTRA CHARGE.

**BASIX** Certificate

*Fixtures and systems*

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent or light-emitting-diode (LED) lamps.

**Fixtures**

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

**Insulation requirements:**

Construction	Additional insulation required (R-value)
Floor above Existing Dwelling or Building	NIL
External Wall: <u>Framed</u> (weatherboard Fibro, metal clad)	R1.30 (or R1.70 including construction)
Flat Ceiling, Pitched Roof:	Ceiling: R2.50 (up), roof: foil/sarking and other specification are medium (solar absorptance 0.475 - 0.70)

**Windows and glazed doors glazing requirements**

<b>W6, W7, &amp; W8</b>	Improved Aluminium, Single Pyrolytic Low-E, (U-value: 4.48, SHGC: 0.46)
<b>W1, W2, W3, W4, W5, W9, W10 &amp; W11</b>	Improved Aluminium, Single Clear, (U-value: 6.44, SHGC: 0.75)

**ELECTRICALS**

EXISTING CABLES WILL BE INSPECTED WHEN WORK COMMENCES.  
ANY UPGRADE OR RECTIFICATION WORK REQUIRED WILL BE QUOTED ON SITE.

**METER BOX.**

**NO** ALLOWANCE HAS BEEN MADE TO UPGRADE METER BOX.

**RELOCATION OF METER BOX.**

**NO** ALLOWANCE HAS BEEN MADE TO RELOCATE EXISTING METER BOX.

**EXISTING TREES AND VEGETATION**

**NO** ALLOWANCE HAS BEEN MADE TO CLEAR THE AREA OF THE PROPOSED ADDITION OF ANY TREES, SHRUBS OR OTHER VEGETATION.

**FLOOR REPAIRS.**

**MAKE** GOOD FLOOR WITH ONE PIECE OF TIMBER FLOORING LAID IN THE SAME DIRECTION OF THE WALL BEING DEMOLISHED.

**SKYLIGHTS AND SOLAR TUBES.**

ACTUAL POSITION MAY CHANGE ON SITE, DEPENDING ON STRUCTURAL CONDITIONS.

**ALL TIMBER SIZES ARE NOMINAL**

**CONCRETE FOOTINGS & SLABS.**

**NO** ALLOWANCE FOR ANY PIERING.

**TERMITE TREATMENT.**

KORDON TREMITE TREATMENT TO EXTERNAL SLAB EDGES AND PENETRATIONS.

**CARPORT & AWNINGS**

**(unless specified)**

**NO** ALLOWANCE HAS BEEN MADE TO REMOVE & RE-ERECT. THIS WILL BE THE CLIENT'S RESPONSIBILITY IF IT RESTRICTS ACCESS TO DELIVER BUILDING MATERIAL OR ERECT SCAFFOLDING. DISCUSS OPTIONS WITH SUPERVISOR.

**WHERE EXISTING WALLS ARE TO BE DEMOLISHED**

IF THE REMAINING CEILINGS ARE NOT THE SAME LEVEL OR MATERIAL ADDITIONAL REMEDIAL WORKS MAY BE REQUIRED AND MUST BE DISCUSSED WITH YOUR SUPERVISOR

**CEMENT RENDER**

**NO** ALLOWANCE HAS BEEN MADE TO REPAIR CRACKED OR FALLEN RENDER AS A CONSEQUENCE OF RENOVATION WORK

**SMOKE ALARM.**

ALL NEW SMOKE ALARMS TO COMPLY WITH **AUSTRALIAN STANDARDS.**

**LANDSCAPING**

ANY LANDSCAPING REQUIRED TO COMPLY WITH THE BCA BY OWNER

**STACK & VENTS**

FINAL POSITION MAY CHANGE DEPENDING ON THE ONSITE CONDITIONS. (TO BE DISCUSSED WITH ADDBUILD SUPERVISOR.)

SPECIFICATION		SPECIAL NOTES				
<div>○ 2 / 90 X 38 EXTERNAL TOP PLATES</div> <div>○ 90 X 45 EXTERNAL BOTTOM PLATES</div> <div>○ 90 X 38 EXT STUDS @ 450 CTRS MAX</div> <div>○ 70 X 45 INT TOP &amp; BOTTOM PLATES</div> <div>○ 70 X 45 INT STUDS @450 CTRS MAX</div> <div>○ HJ 200 ENGINEERED FLOOR JOISTS @ 450 CTRS MAX UNLESS OTHERWISE SPECIFIED BY ENGINEER</div>		<div>○ ALL BUILDING MUST BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA (BCA).</div> <div>○ ALL DOOR FURNITURE TO BE SUPPLIED BY OWNER AND FIXED BY BUILDER.</div> <div>○ BATHROOM FIXTURES, FITTINGS, TAPS AND TILES TO BE SUPPLIED BY OWNER AND FIXED BY BUILDER.</div> <div>○ SHOWER SCREEN &amp; MIRROR SUPPLIED AND FIXED BY BUILDER</div> <div>○ WALL TILES TO FIRST FLOOR SHOWER ROOM TO CEILING.</div>				
FLOORING	FIRST FLOOR: STRUCTURAL SHEET.(UNSANDED).	<b>WORKS BY OWNER</b>				
FASCIA	180 X 25 TREATED PINE.	<div>○ RELOCATE TV ANTENNA.</div> <div>○ REMOVE AND REINSTATE THE PHOTOVOLTAIC SOLAR PANELS FROM THE ROOF.</div>				
BARGE	180 x 25 TREATED PINE.	<b>DO NOT SCALE OFF DRAWINGS</b>				
WINDOWS AND EXTERNAL DOORS	ALUMINIUM SLIDING, FIXED & DOUBLE HUNG WINDOWS WITH ALUMINIUM FRAMED NYLON MESH FLYSCREENS.	ALL FINISHED GROUND LEVELS AND DIMENSIONS AS SHOWN ON PLAN ARE THEORETICAL ONLY AND ARE SUBJECT TO SITE CONDITIONS				
BRICKWORK	COMMON BRICKS	1	TO ESTIMATING	OP		07.04.21
CLADDING	HARDIEPLANK WEATHERBOARDS FINISH. LAID OVER FOIL SARKING.	2	TO CONTRACTS	OP		13.04.21
ROOF PLUMBING	100 x 50 OR 100 x 75 ACE DOWNPIPES 115mm POWDERCOATED QUAD GUTTERS	3	TO VARIATION 1	OP		04.05.21
SOFFIT LINING	4.5 mm F.C. SHEET.					
ROOF COVERING	FIRST FLOOR: NEW CEMENT ROOF TILES FROM STANDARD RANGE. LAY OVER FOIL SARKING.					
INTERNAL LININGS	INT. WALL CEILINGS WET AREA CORNICE <div>- 10 mm PLASTERBOARD</div> <div>- 10 mm PLASTERBOARD</div> <div>- 6 mm VILLABOARD</div> <div>- 100mm 4 STEP CAIRO</div>	NO.	ISSUE	DRWN	APP	DATE
INTERNAL FIXINGS FINGER JOINTED PINE	JAMBS SKIRTING ARCHITRAVE <div>- EX 90 X 38 REBATED</div> <div>- EX 75 X 25 COLONIAL</div> <div>- EX 75 X 25 COLONIAL</div>	COPYRIGHT: THIS DESIGN AND PRINTS ARE THE PROPERTY OF ADDBUILD MASTER BUILDERS PTY. LTD. AND IS ISSUED FOR THE SOLE PURPOSE OF ENTERING INTO A BUILDING CONTRACT WITH THE COMPANY. IT MUST NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN PERMISSION OF THE COMPANY				
BUILT IN CUPBOARDS	N/A.	THIS IS THE PLAN REFERED TO IN THE CONTRACT DATED				
DOORS	4 PANEL SOLID CORE FOR PAINTING	<b>DATE:</b>				
ELECTRICAL TO ADDITIONS	TWO WAY LIGHT SWITCH LIGHT POINTS DOUBLE G.P.O. SMOKE ALARM <div>×—○—×</div> <div>○—×</div> <div>∩</div> <div>⊙</div> <div>1.OFF</div> <div>8.OFF</div> <div>10.OFF</div> <div>2.OFF</div>	<b>SIGNED:</b> <b>OWNER</b>				
	CIRCUITS RCD safety switch to new power circuit <div>2.OFF</div> <div>2.OFF</div>	<b>SIGNED:</b> <b>OWNER</b>				
		<b>SIGNED:</b> <b>BUILDER</b>				
HOT WATER SYSTEM	CONNECT TO EXISTING HOT WATER UNIT	<b>PROPOSED GROUND FLOOR AND FIRST FLOOR ADDITIONS &amp; ALTERATIONS</b>				
STAIRCASE AND HANDRAILS	TYPE: MAPLE CLOSED RISER TIMBER STRINGER  NOMINAL WIDTH: 900mm RISE: 18No. x 178 TREAD: 240mm FINISH: MAPLE TREADS & MAPLE RISERS, MAPLE TURNED BALUSTRADE.  <b><u>PLYWOOD LINING UNDER TREADS BY STAIR MANUFACTURER.</u></b>	FOR: Mr. B. & Mrs. K. NORRIS				
METALWORK	INTERNAL: BLACK, EXTERNAL: PRIMED	AT: 6 BARINGA AVENUE. SEAFORTH. NSW. 2092				
EXCAVATION	EXCAVATION HAS BEEN ASSUMED TO BE IN SOIL, CLAY OR OTHER MATERIAL REASONABLY CAPABLE OF EXCAVATION WITH HAND TOOLS	<div><b>A</b>ddbuild</div> <div>Master Builders Pty. Ltd</div> <div>Suite OC / 9 Blaxland Road, RHODES, NSW, 2138</div> <div>Phone: 8765 1555 / Fax: 8765 1778</div>				
INSULATION TO ADDITIONS ONLY	CEILING TO FIRST FLOOR ADDITION: R 3.0 INSULATION. EXTERNAL WALLS TO FIRST FLOOR ADDITION: R 2.0 THERMAL INSULATION. INTERNAL WALLS TO FIRST FLOOR ADDITION : R1.7 ACOUSTIC/THERMAL INSULATION.	www.addbuild.com.au Email: info@addbuild.com.au Builders Licence No. 114851C A.B.N. 47 092 812 649				
PAINTING	ALL INTERNAL PAINTING TO FIRST FLOOR ADDITION BY: OWNER. ALL EXTERNAL PAINTING TO FIRST FLOOR ADDITION BY: BUILDER ALL RENOVATION PAINTING BY OWNER UNLESS SPECIFICALLY NOTED OTHERWISE.	SCALE: 1:100 1:200 SHEET No: 01 JOB No: 1875/3				

Area Calculations:

Site Area -- 600.60m<sup>2</sup>

Existing Ground Floor Area -- 119.97m<sup>2</sup>

Existing Other Structure -

Pergola -- 29.59m<sup>2</sup>

Verandah -- 1.96m<sup>2</sup>

Garage -- 32.48m<sup>2</sup>

Studio (under garage) -- 32.48m<sup>2</sup>

Shed (combined) -- 5.90m<sup>2</sup>

Existing Hardstand Area

Swimming Pool & Deck(Combined) -- 56.66m<sup>2</sup>

Concrete Driveway -- 7.33m<sup>2</sup>

Paved Path -- 16.30m<sup>2</sup>

Existing Gross Floor Area. -- 152.45 m<sup>2</sup>

Existing Floor Space Ratio (FSR) -- 0.25 : 1

Total Existing Site Coverage -- 270.09 m<sup>2</sup> or 44 %

Total Existing Landscape Area -- 330.51 m<sup>2</sup> or 56 %

Proposed Ground Floor Area. -- 152.45 m<sup>2</sup>

(not affected)

Proposed First Floor Area . -- 59.40 m<sup>2</sup>

Total Proposed Gross Area -- 211.85 m<sup>2</sup>

Proposed Floor Space Ratio (FSR) -- 0.35 : 1

Total Proposed Site Coverage -- 270.09 m<sup>2</sup> or 44 %

(not affected)

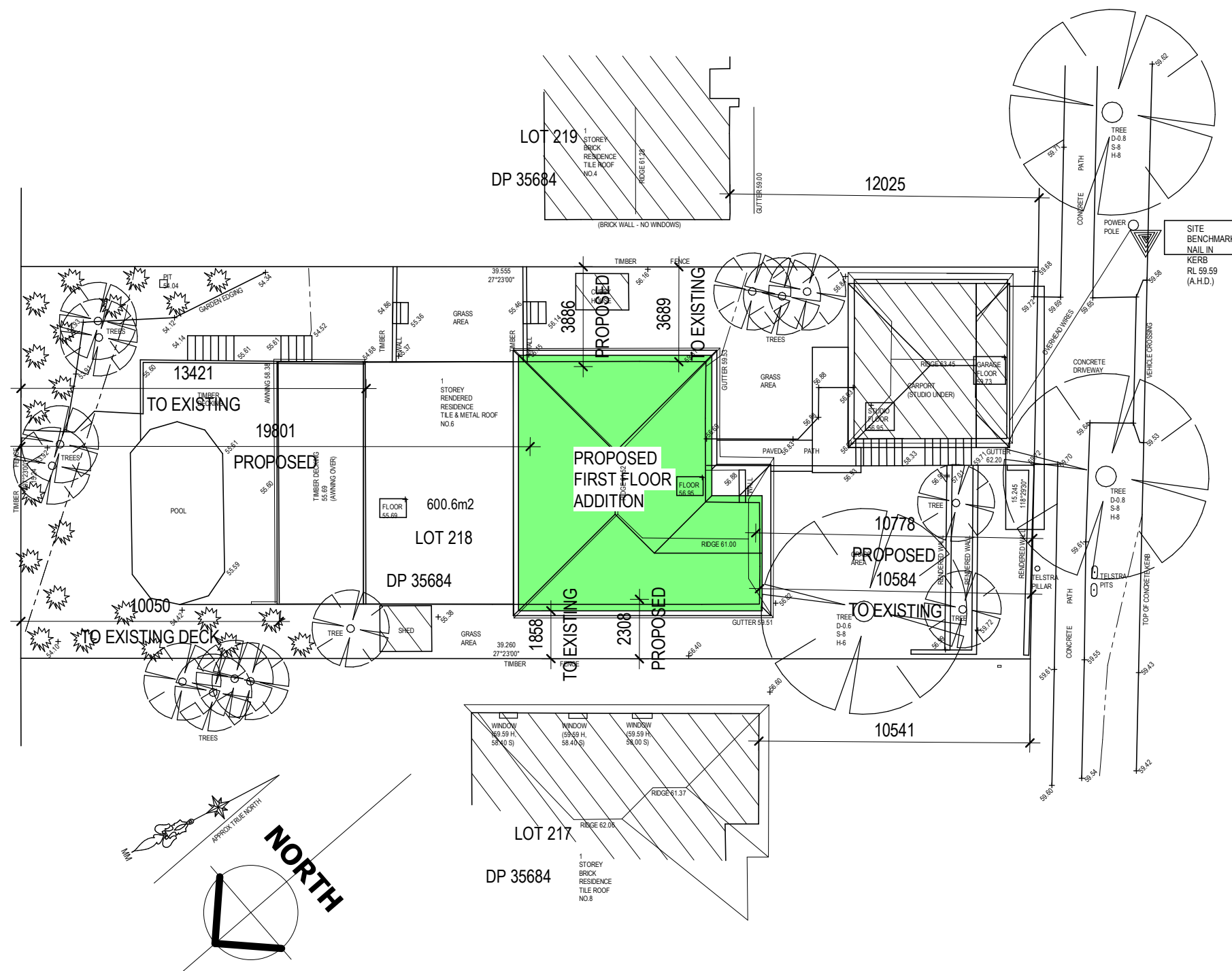
Total Proposed Landscape Area -- 330.51 m<sup>2</sup> or 56 %

(not affected)

Proposed Landscaping to Front -- 108.34 m<sup>2</sup>

Proposed Landscaping to Rear -- 187.57 m<sup>2</sup>

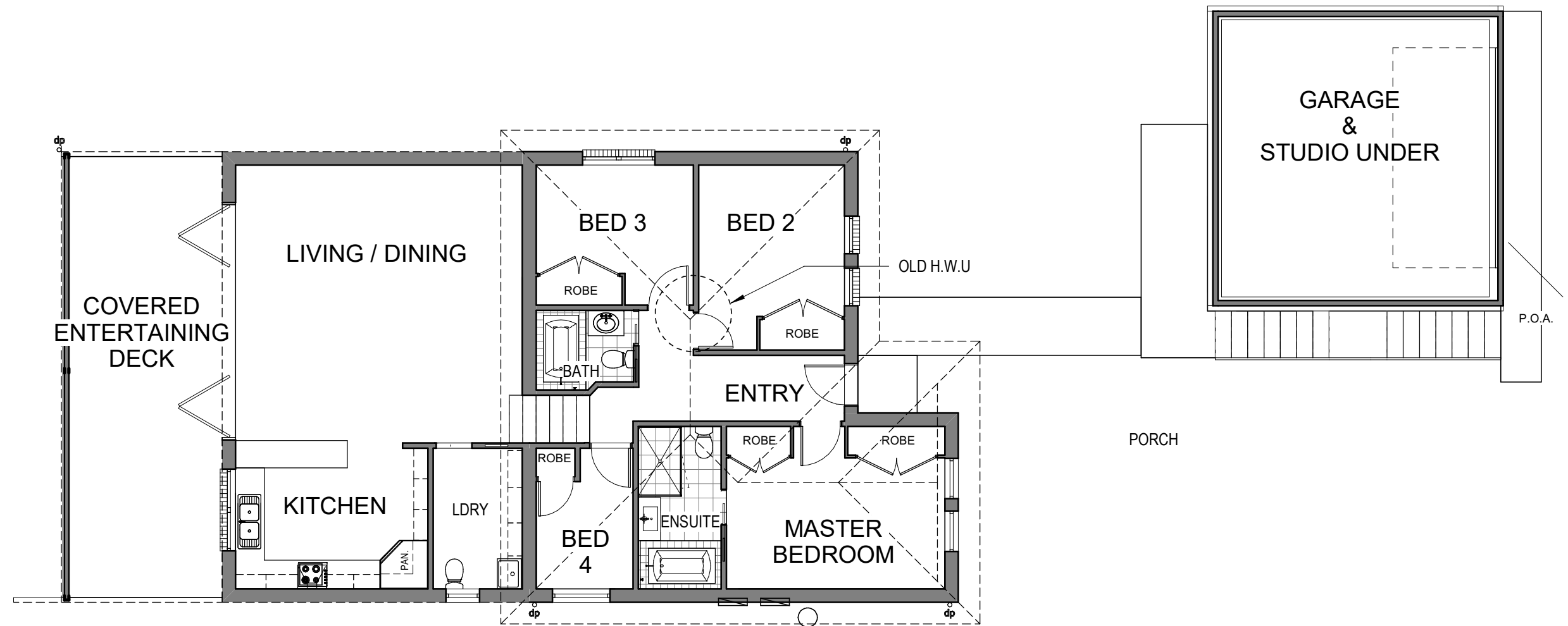
Private Open Space -- 244.23 m<sup>2</sup> or 40 %



BARINGA AVENUE

**Addbuild**  
Master Builders Pty. Ltd

SHEET NO	FOR:	JOB NO
02	Mr. B. & Mrs. K. NORRIS AT: 6 BARINGA AVENUE. SEAFORTH. NSW. 2092	1875/3



GROUND FLOOR - EXISTING  
SCALE - 1 : 100

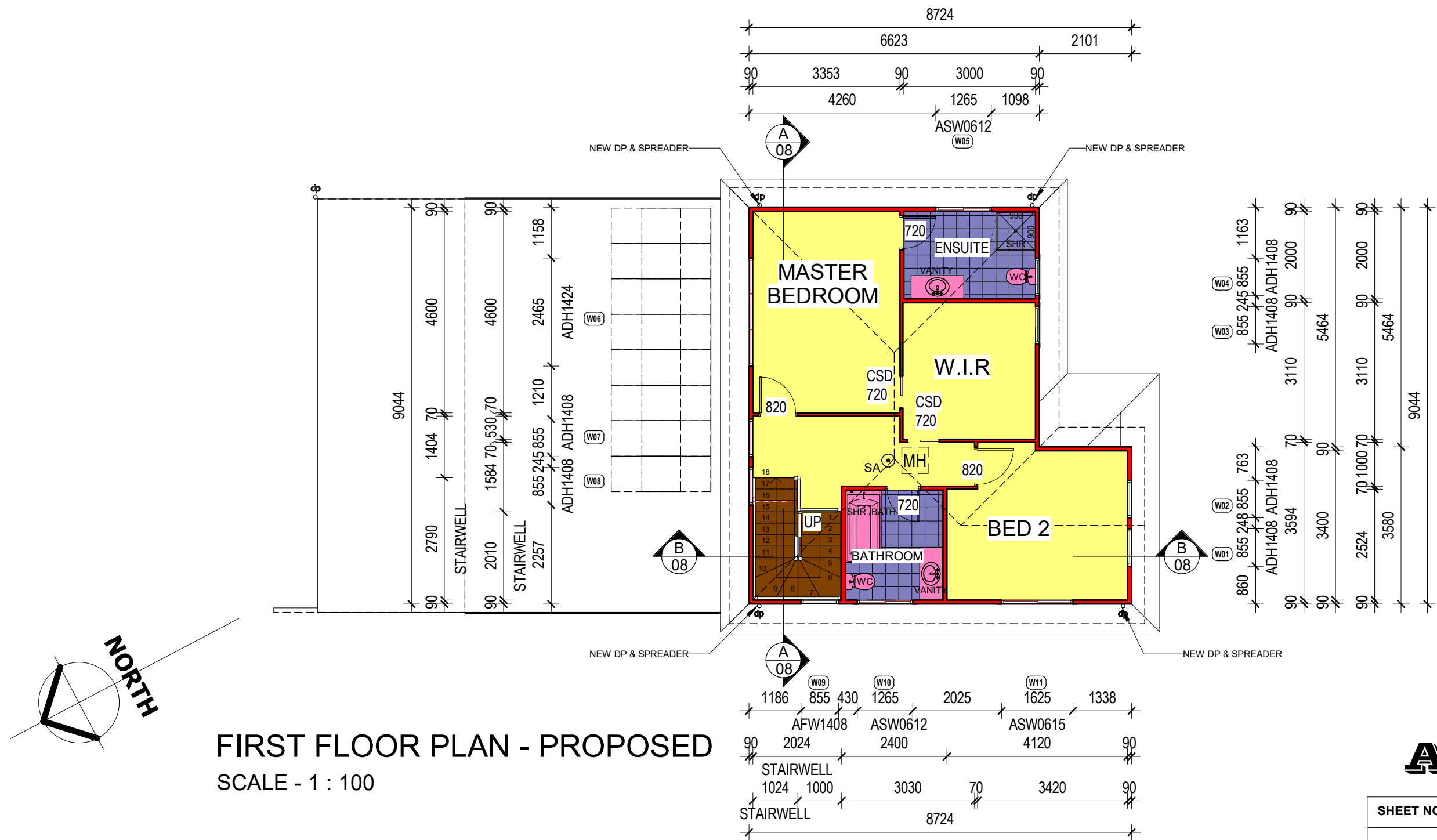
**Addbuild**  
Master Builders Pty. Ltd

SHEET NO	FOR:	JOB NO
03	Mr. B. & Mrs. K. NORRIS	1875/3
	AT: 6 BARINGA AVENUE. SEAFORTH. NSW. 2092	

<b>SHEET NO</b>	<b>FOR:</b> Mr. B. & Mrs. K. NORRIS	<b>JOB NO</b>
<b>04</b>	<b>AT:</b> 6 BARINGA AVENUE. SEAFORTH. NSW. 2092	<b>1875/3</b>



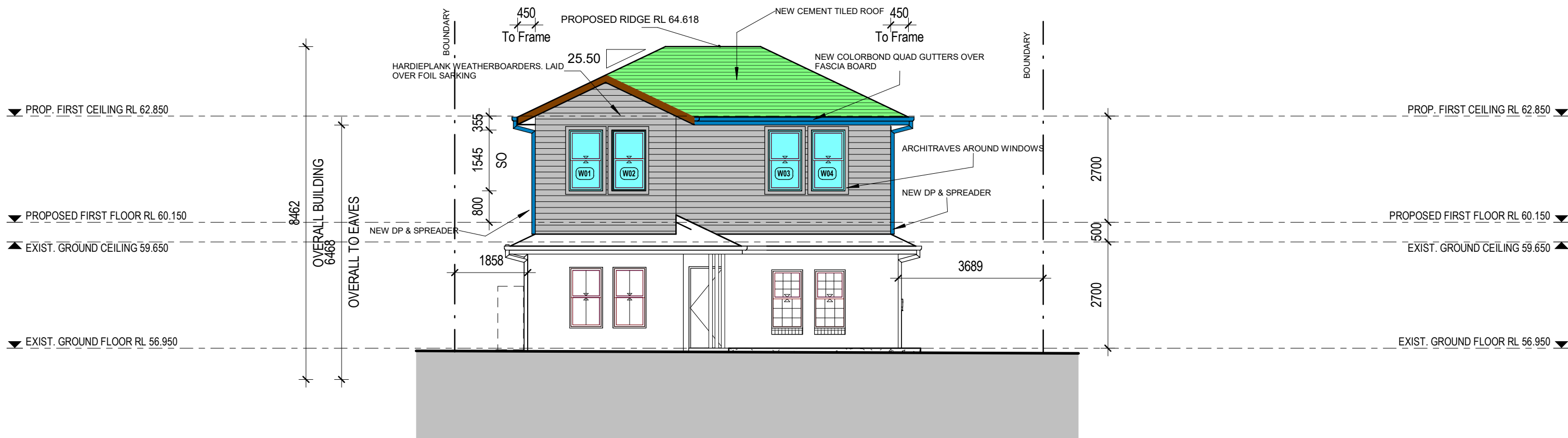
WINDOW & SLIDING DOOR Schedule												
Window No.	Stud Opening Height	Stud Opening Width	Frame Height	Frame Width	Assembly Code	Window Style	Glazing	Comments	Restricted Opening	Notes	Basix	Flyscreen
W01	1545	855	1480	800	ADH1408	DOUBLE HUNG	6.38mm LAMINATED		Yes			Yes
W02	1545	855	1480	800	ADH1408	DOUBLE HUNG	6.38mm LAMINATED		Yes			Yes
W03	1545	855	1480	800	ADH1408	DOUBLE HUNG	6.38mm LAMINATED		No			Yes
W04	1545	855	1480	800	ADH1408	DOUBLE HUNG	6.38mm LAMINATED	TRANSLUCENT	No			Yes
W05	665	1265	600	1210	ASW0612	SLIDING	6.38mm LAMINATED		No			Yes
W06	1545	2465	1480	2410	ADH1424	DOUBLE HUNG	6.38mm LAMINATED		Yes		LOW-E	Yes
W07	1545	855	1480	800	ADH1408	DOUBLE HUNG	6.38mm LAMINATED		No		LOW-E	Yes
W08	1545	855	1480	800	ADH1408	DOUBLE HUNG	6.38mm LAMINATED		No		LOW-E	Yes
W09	1545	855	1480	800	AFW1212	FIXED	6.38mm LAMINATED		No			Yes
W10	665	1265	600	1210	ASW0612	SLIDING	6.38mm LAMINATED	TRANSLUCENT	No			Yes
W11	665	1625	600	1570	ASW0615	SLIDING	6.38mm LAMINATED		Yes			Yes



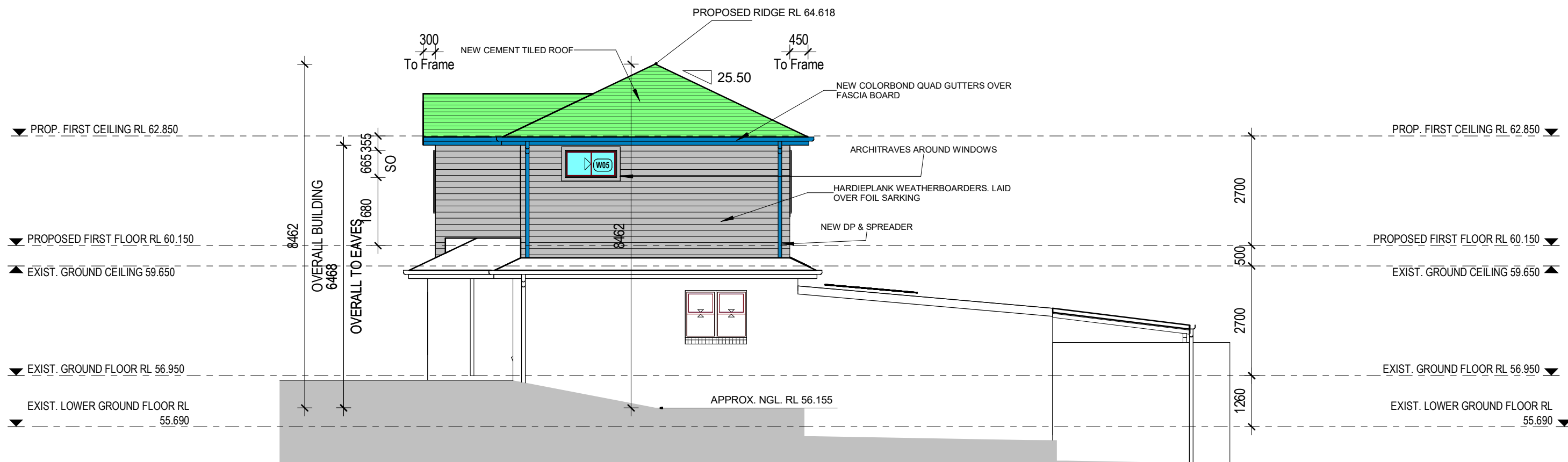
FIRST FLOOR PLAN - PROPOSED  
SCALE - 1 : 100

**Addbuild**  
Master Builders Pty. Ltd

SHEET NO	FOR:	JOB NO
05	Mr. B. & Mrs. K. NORRIS AT: 6 BARINGA AVENUE. SEAFORTH. NSW. 2092	1875/3



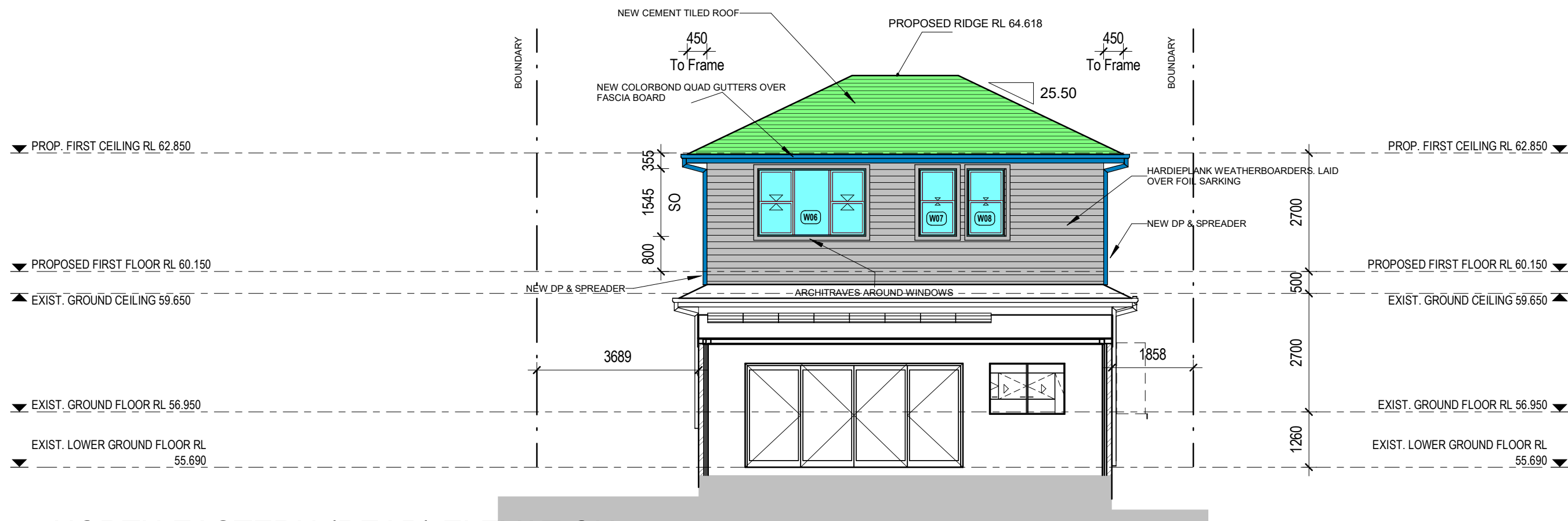
**SOUTH EASTERN(FRONT) ELEVATION**  
SCALE - 1 : 100



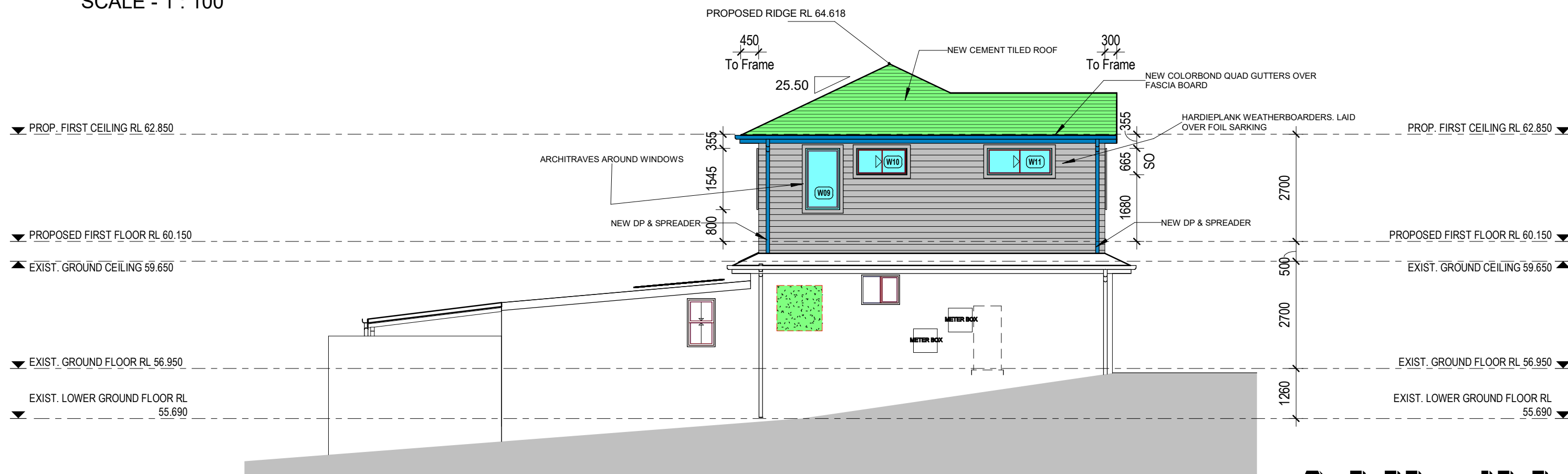
**SOUTH WESTERN (RIGHT) ELEVATION**  
SCALE - 1 : 100

**Addbuild**  
Master Builders Pty. Ltd

SHEET NO	FOR:	JOB NO
06	Mr. B. & Mrs. K. NORRIS	1875/3
	AT: 6 BARINGA AVENUE. SEAFORTH. NSW. 2092	



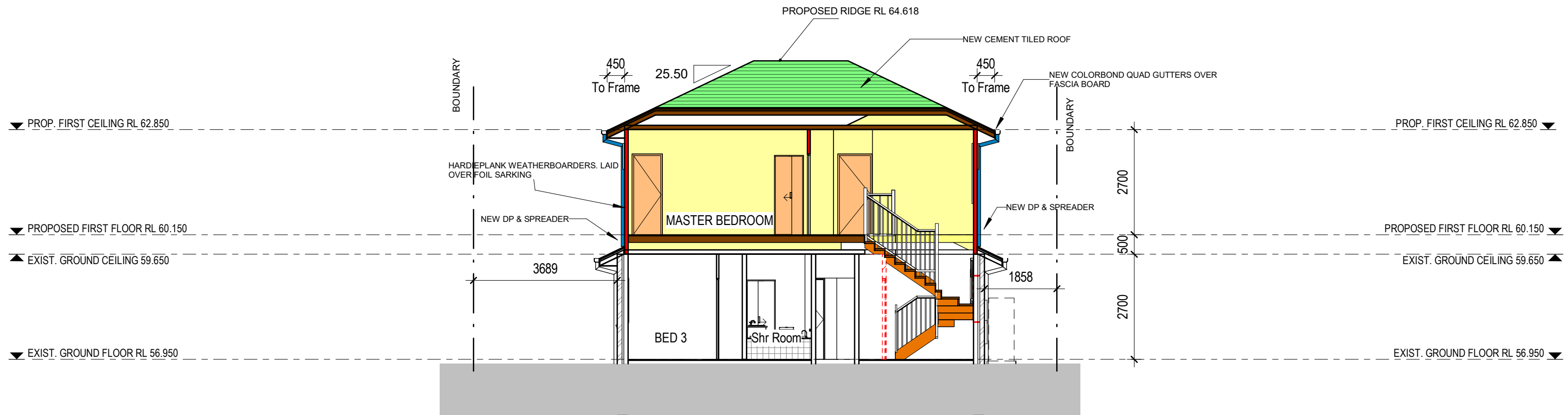
**NORTH EASTERN (REAR) ELEVATION**  
SCALE - 1 : 100



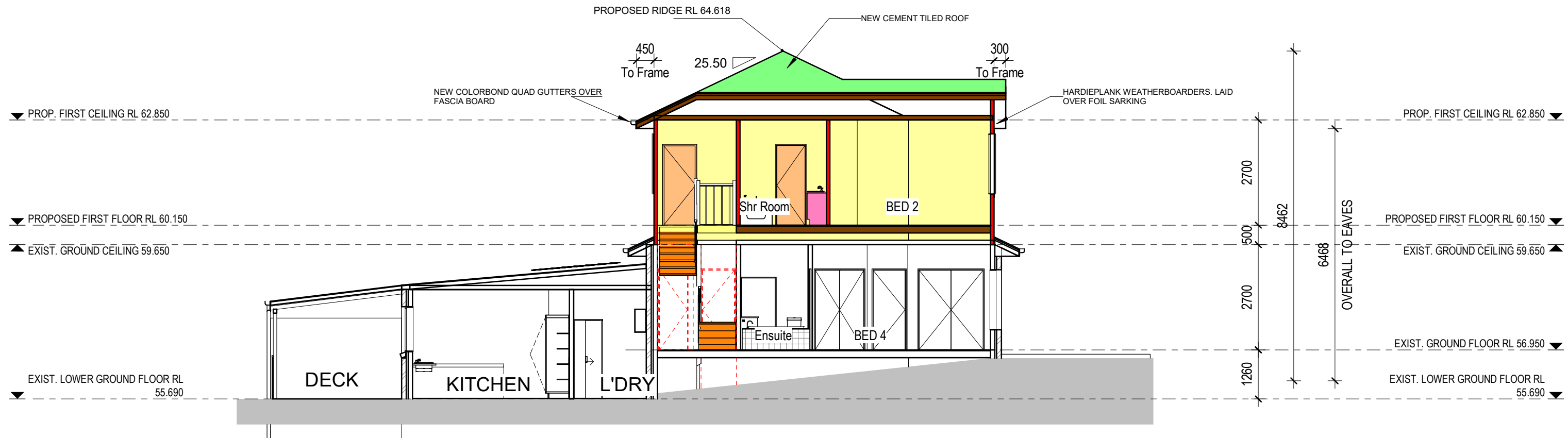
**NORTH WESTERN(LEFT) ELEVATION**  
SCALE - 1 : 100

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Master Builders Pty. Ltd

SHEET NO	FOR:	JOB NO
07	Mr. B. & Mrs. K. NORRIS	1875/3
	AT: 6 BARINGA AVENUE. SEAFORTH. NSW. 2092	



SECTION A-A

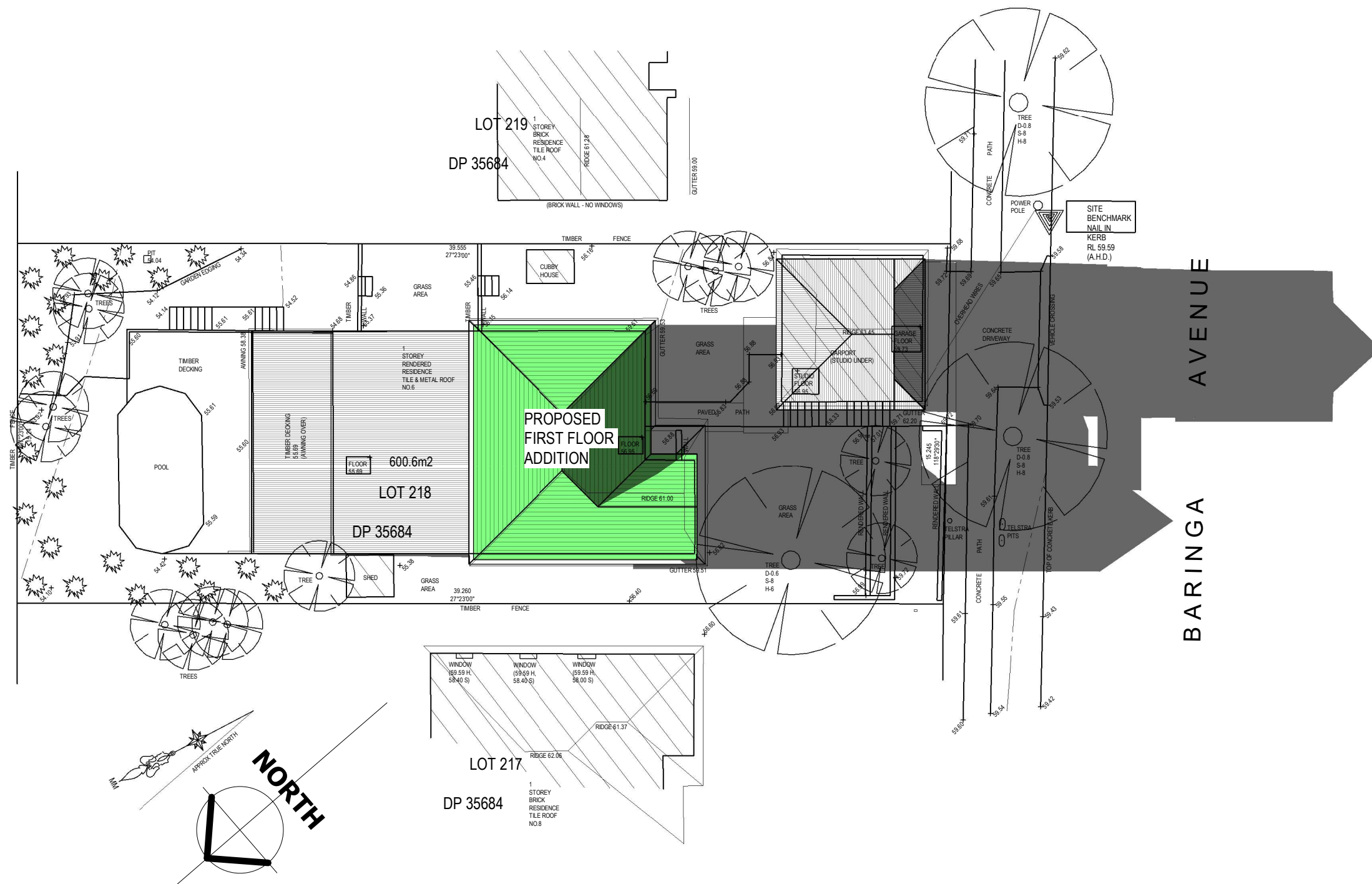


SECTION B-B

**Addbuild**  
Master Builders Pty. Ltd

SHEET NO	FOR:	JOB NO
08	Mr. B. & Mrs. K. NORRIS	1875/3
	AT: 6 BARINGA AVENUE. SEAFORTH. NSW. 2092	

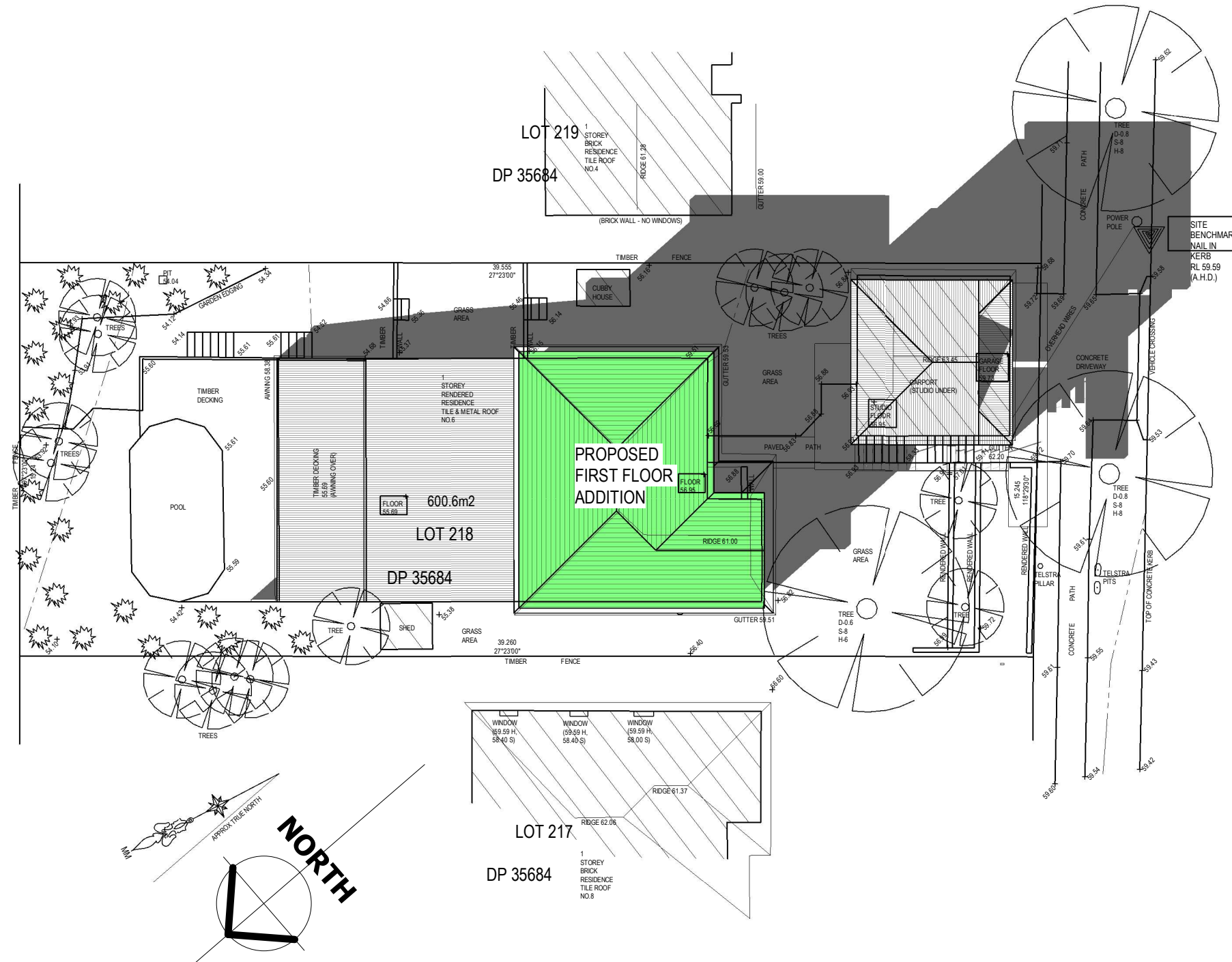




WINTER SHADOW DIAGRAM - 9.00am - 21st JUNE

**Addbuild**  
Master Builders Pty. Ltd

SHEET NO	FOR:	JOB NO
11.1	Mr. B. & Mrs. K. NORRIS	1875/3
	AT: 6 BARINGA AVENUE. SEAFORTH. NSW. 2092	

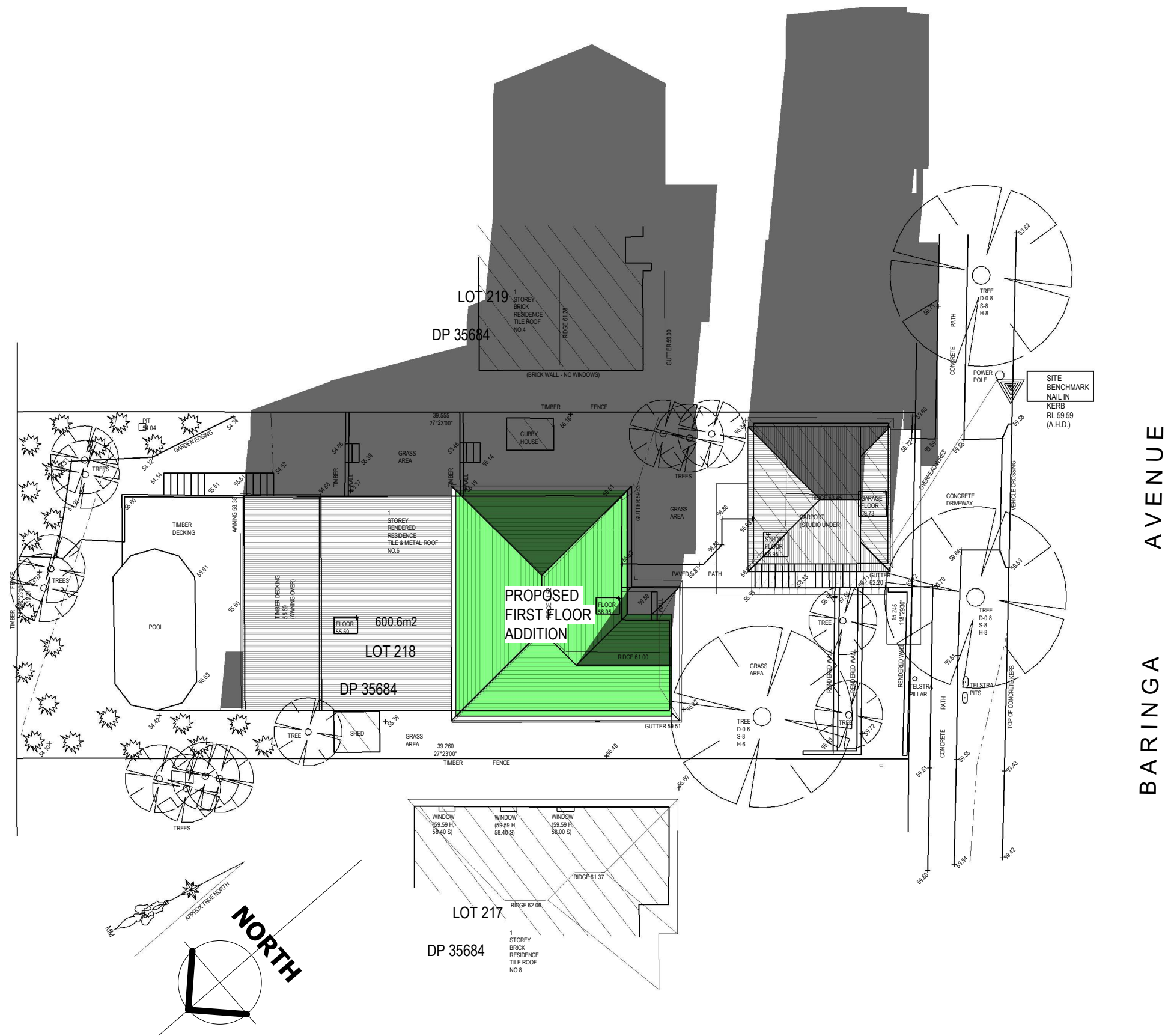


BARINGA AVENUE

WINTER SHADOW DIAGRAM - 12.00 noon - 21st JUNE

**Addbuild**  
Master Builders Pty. Ltd

SHEET NO	FOR: Mr. B. & Mrs. K. NORRIS	JOB NO
11.2	AT: 6 BARINGA AVENUE. SEAFORTH. NSW. 2092	1875/3



WINTER SHADOW DIAGRAM - 3.00pm - 21st JUNE

BARINGA AVENUE

**Addbuild**  
Master Builders Pty. Ltd

SHEET NO	FOR: Mr. B. & Mrs. K. NORRIS	JOB NO
11.3	AT: 6 BARINGA AVENUE. SEAFORTH. NSW. 2092	1875/3

# Schedule of Finishes

For:

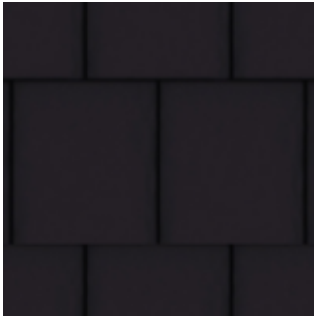
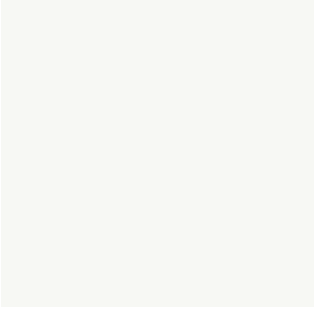
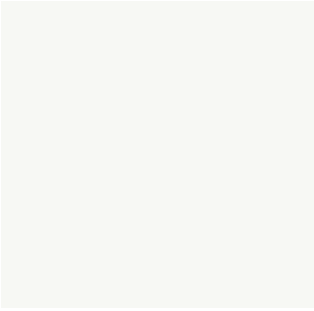
Mr & Mrs Norris

at:

6 Baringa Avenue, Seaforth



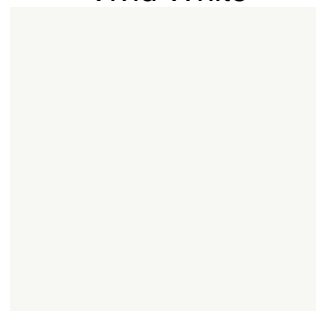
May 2021

External Building Component	Material	Finish and Colour
Roof	Concrete tiles	Horizon "Sambuca" 
Façade	Cladding	Painted – Dulux "Vivid White" 
Eaves	Aluminium	Painted – Dulux "Vivid White" 

Fascia

Timber

Painted – Dulux  
“Vivid White”



Gutters &  
Downpipes

Aluminium

“White”

Windows

Aluminum

Wideline “Pearl White”

Pearl White