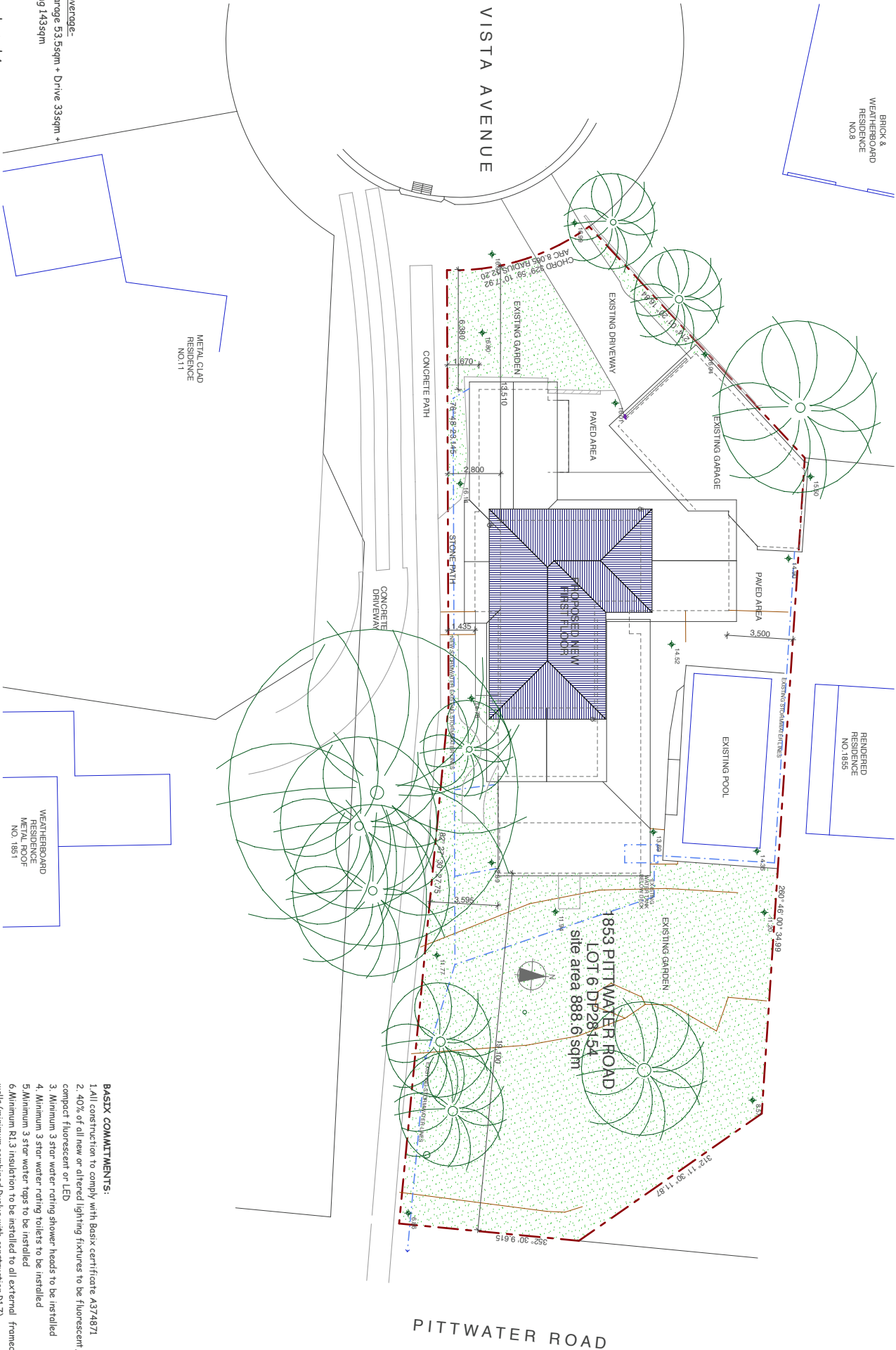


AMENDMENTS		JO WILLMORE DESIGNS 11 Hudson Parade Clareville NSW 2107 9918 2479 ABN 27 370 370 173	
PROPOSED ALTERATIONS & ADDITIONS		for: R. & J. Wall at: LOT 6, DP 28154, 1853 Pittwater Road BAYVIEW 2104	
drawing title		SITE PLAN	
date: APRIL 2020 scale: 1:200 (A3)		drawing number DA-01	

SITE CALCULATIONS	
Site Area : 888.6sqm	
Existing & Proposed Site Coverage:- House & Decks 204sqm + Garage 53.5sqm + Drive 33sqm + pool 37.5sqm + paths& paving 143sqm = 471 sqm = 53.00%	
Existing & Proposed Soft Landscaped Area - 412sqm = 46.36% of site	

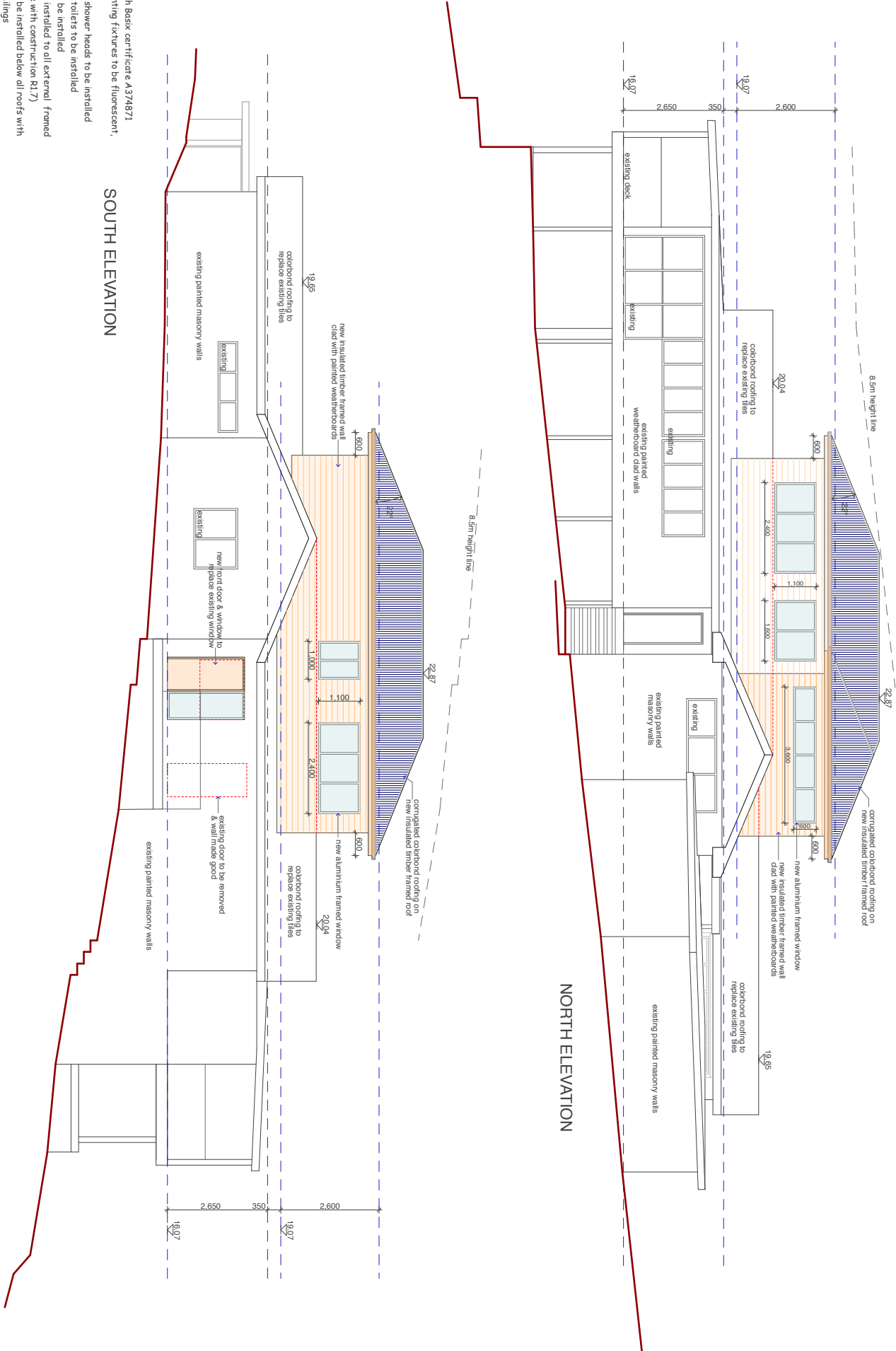


**BASIX COMMITMENTS:**

1. All construction to comply with Basix certificate A374871
2. 40% of all new or altered lighting fixtures to be fluorescent, compact fluorescent or LED
3. Minimum 3 star water rating shower heads to be installed
4. Minimum 3 star water rating toilets to be installed
5. Minimum 3 star water taps to be installed
6. Minimum R1.3 insulation to be installed to all external framed walls (minimum combined Rvalue with construction R1.7)
7. 55mm foil backed blanket to be installed below all roofs with minimum R1.74 insulation to ceilings







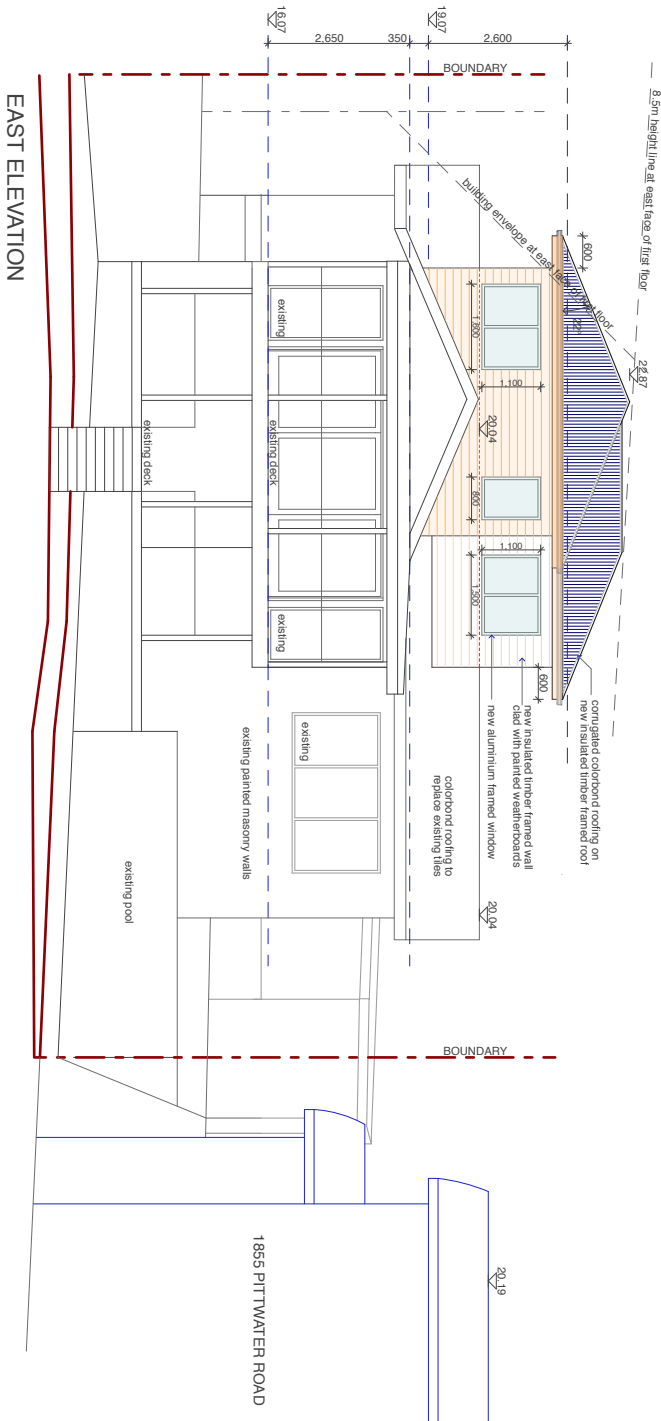
**BASIX COMMITMENTS:**

1. All construction to comply with Basix certificate A374871
2. 40% of all new or altered lighting fixtures to be fluorescent, compact fluorescent or LED
3. Minimum 3 star water rating shower heads to be installed
4. Minimum 3 star water rating toilets to be installed
5. Minimum 3 star water taps to be installed
6. Minimum R1.3 insulation to be installed to all external framed walls (minimum combined Rvalue with construction R1.7)
7. 59mm foil backed blanket to be installed below all roofs with minimum R1.74 insulation to ceilings

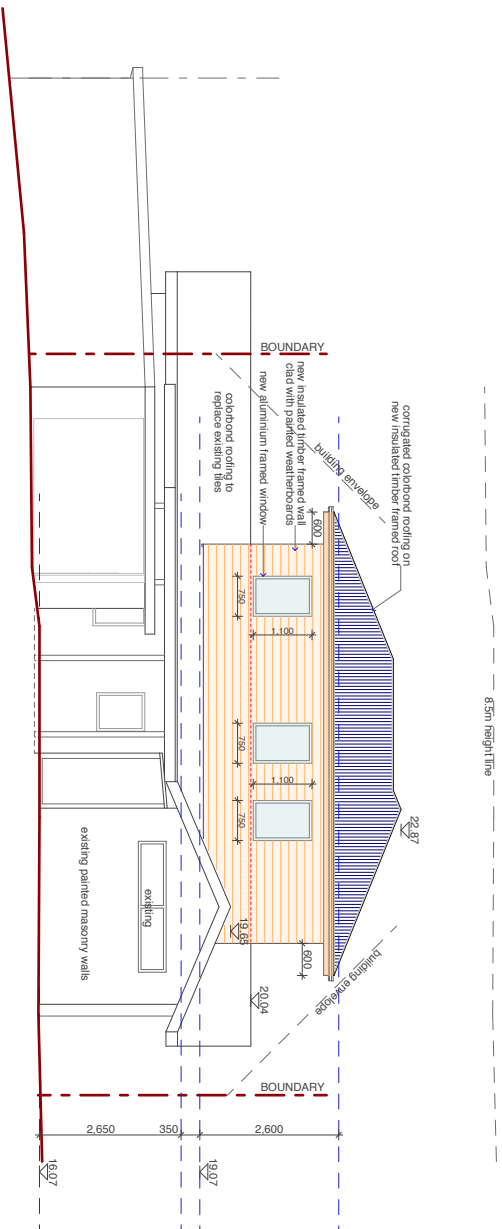
**SOUTH ELEVATION**

**NORTH ELEVATION**

AMENDMENTS		JO WILLMORE DESIGNS 11 Hudson Parade Clareville NSW 2107 9918 2479 ABN 27 370 370 173		PROPOSED ALTERATIONS & ADDITIONS for: R. & J. Wall at: LOT 6, DP 28154, 1853 Pittwater Road BAYVIEW 2104	
ELEVATIONS		drawing title		date: APRIL 2020 scale: 1:100 (A3)	
NOTE: Use figured dimension only. Do not scale off drawings. All levels and dimensions to be verified prior to construction of work.		drawing number		DA-04	



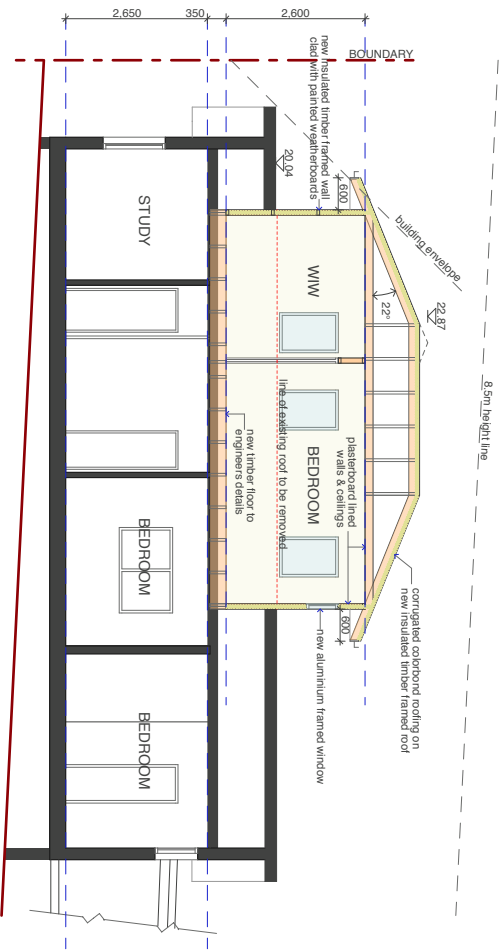
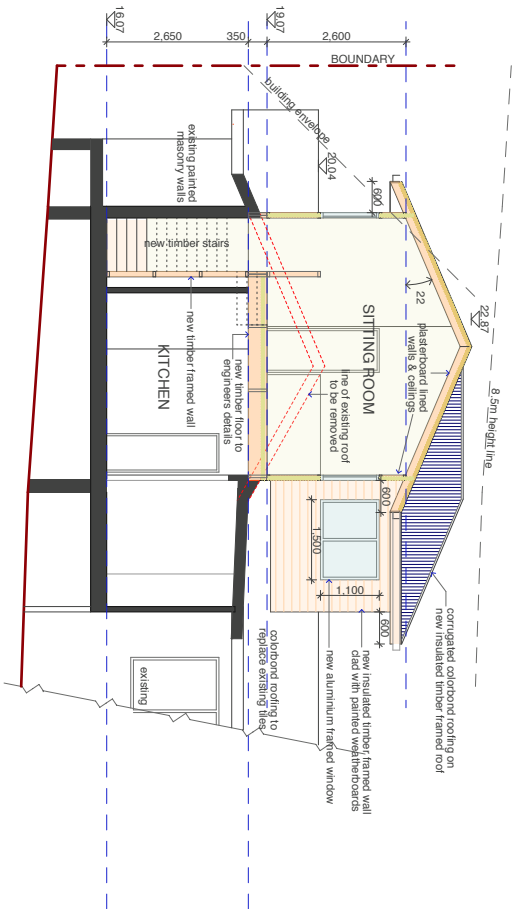
EAST ELEVATION



WEST ELEVATION

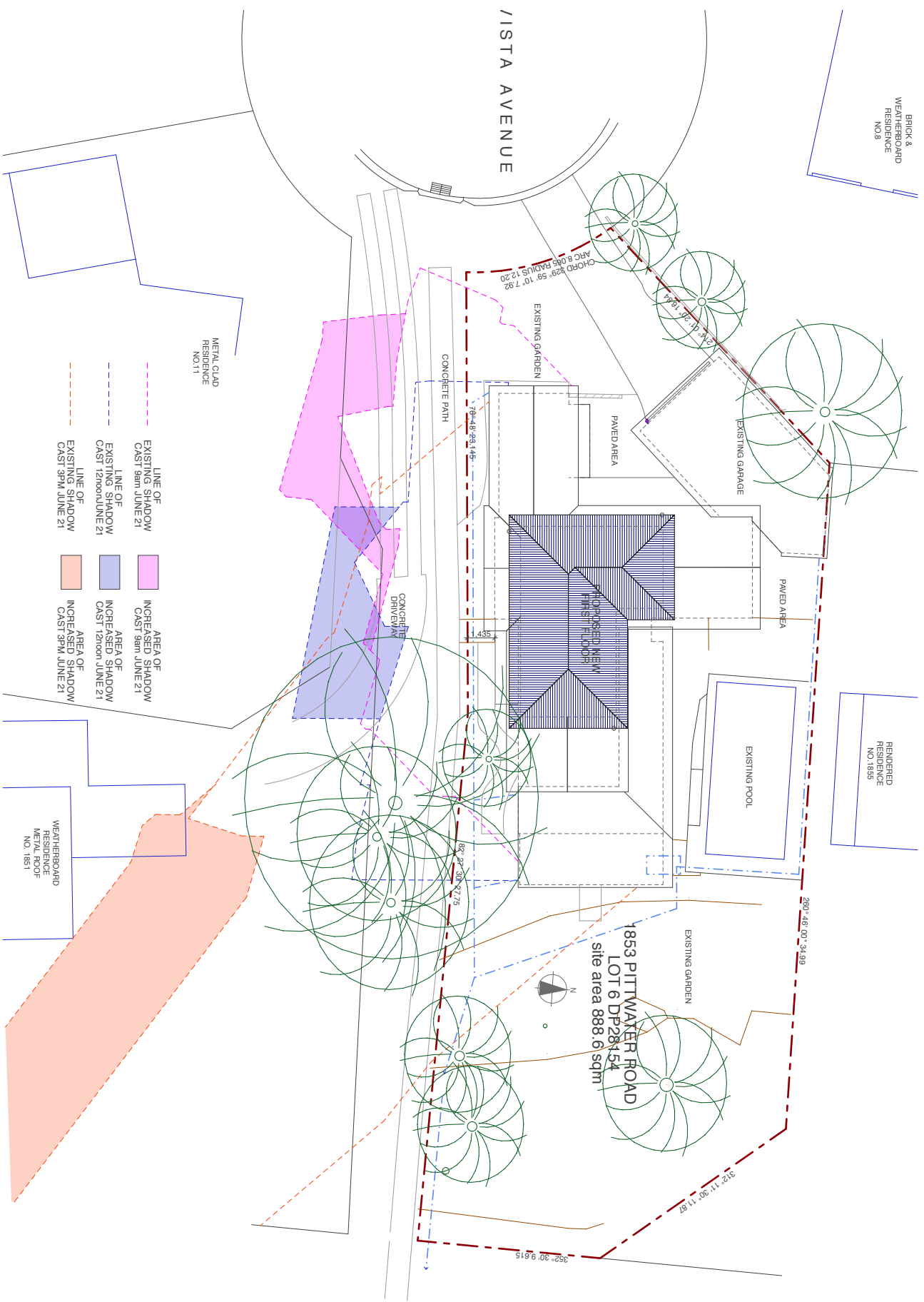
- BASIC COMMITMENTS:**
1. All construction to comply with Basic certificate A374871.
  2. 40% of all new or altered lighting fixtures to be Fluorescent, compact Fluorescent or LED.
  3. Minimum 3 star water rating shower heads to be installed.
  4. Minimum 3 star water rating toilets to be installed.
  5. Minimum 3 star water taps to be installed.
  6. Minimum R1.3 insulation to be installed to all external framed walls (minimum combined R-value with construction R1.7).
  7. 55mm foil backed blanket to be installed below all roofs with minimum R1.74 insulation to ceilings.

AMENDMENTS		JO WILLMORE DESIGNS 11 Hudson Parade Clareville NSW 2107 9918 2479 ABN 27 370 370 173		PROPOSED ALTERATIONS & ADDITIONS for: R. & J. Wall at: LOT 6, DP 28154, 1853 Pittwater Road BAYVIEW 2104	
drawing title		drawing number		date: APRIL 2020 scale: 1:100 (A3)	
ELEVATIONS		NOTE: Use figured dimension only. Do not scale off drawings. All levels and dimensions to be verified prior to construction of work.		DA-05	

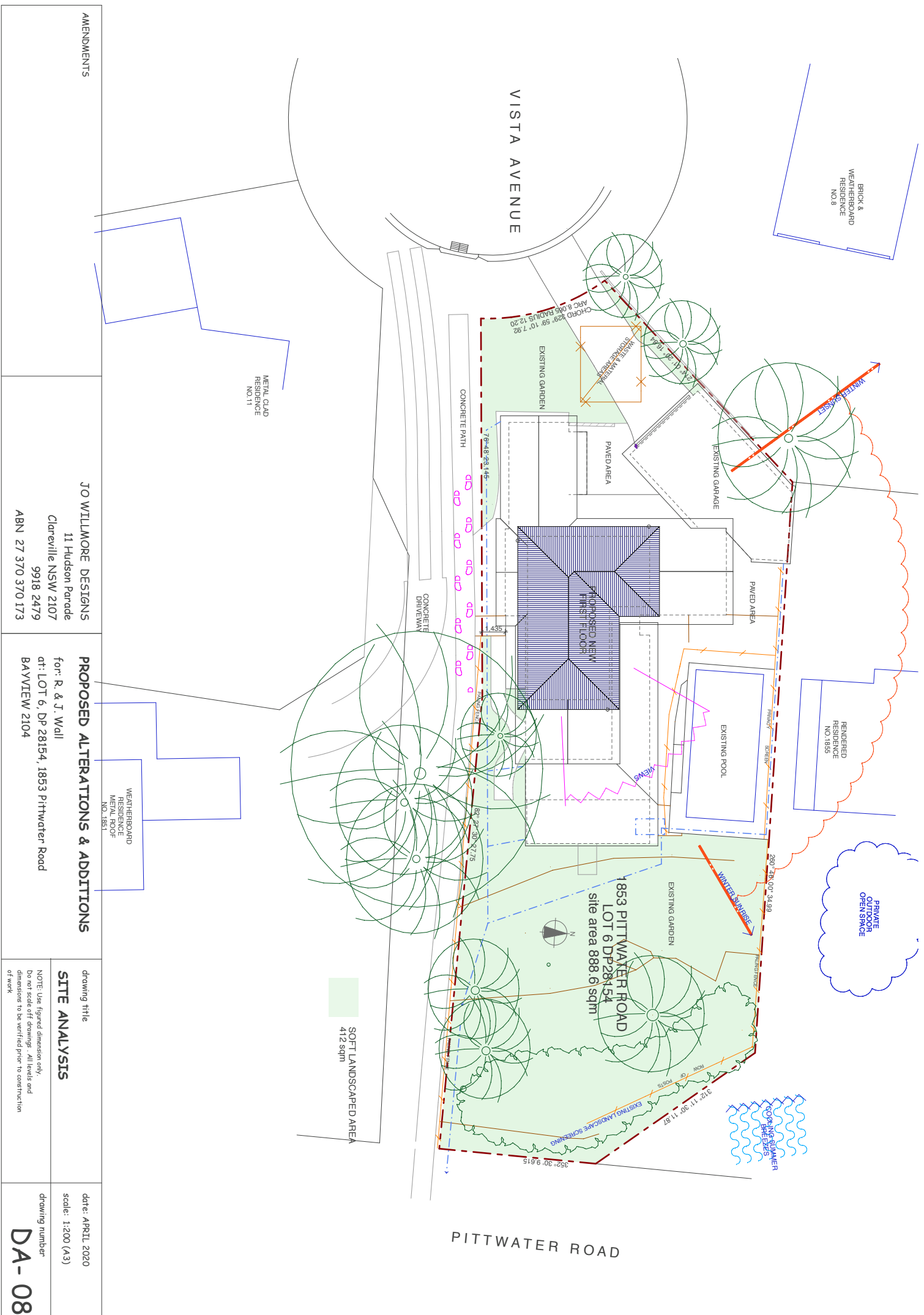


- BASIX COMMITMENTS:**
1. All construction to comply with Basix certificate A374871
  2. 40% of all new or altered lighting fixtures to be Fluorescent, compact Fluorescent or LED
  3. Minimum 3 star water rating shower heads to be installed
  4. Minimum 3 star water rating toilets to be installed
  5. Minimum 3 star water taps to be installed
  6. Minimum R1.3 insulation to be installed to all external framed walls (minimum combined R-value with construction R1.7)
  7. 55mm foil backed blanket to be installed below all roofs with minimum R1.74 insulation to ceilings

AMENDMENTS		JO WILLMORE DESIGNS 11 Hudson Parade Clareville NSW 2107 9918 2479 ABN 27 370 370 173	
PROPOSED ALTERATIONS & ADDITIONS		for: R. & J. Wall at: LOT 6, DP 28154, 1853 Pittwater Road BAYVIEW 2104	
SECTIONS		drawing title	date: APRIL 2020 scale: 1:100 (A3)
NOTE: Use figured dimension only. Do not scale off drawings. All levels and dimensions to be verified prior to construction of work.		drawing number	DA-06









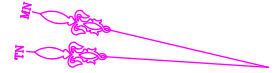
# PLAN OF

LOT 6 IN D.P. 28154  
AT No.1853 PITTWATER RD., BAYVIEW.  
SCALE 1:100@A1 DATUM A.H.D.

SITE AREA = 888.6 M SQ.

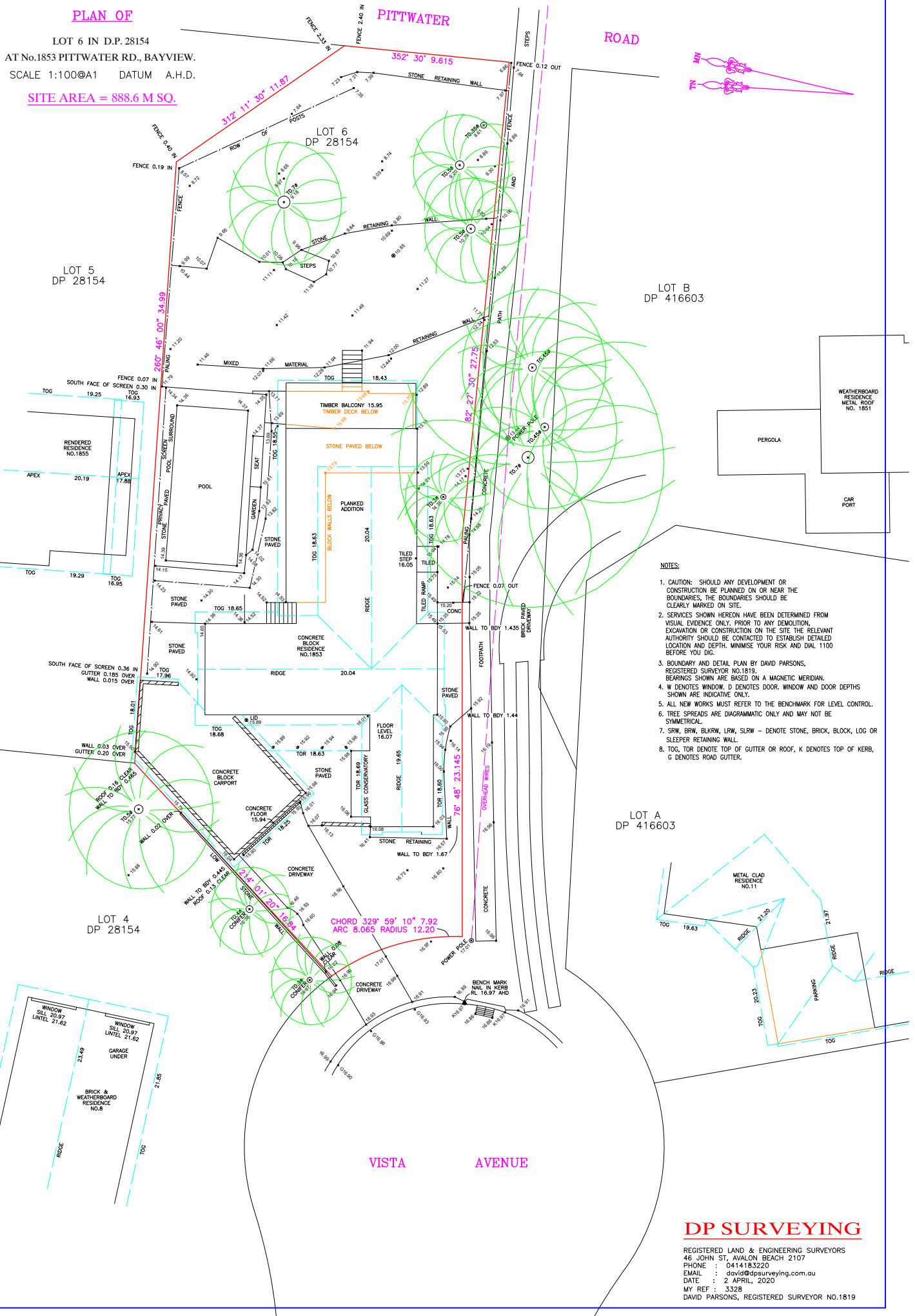
PITTWATER

ROAD



LOT 5  
DP 28154

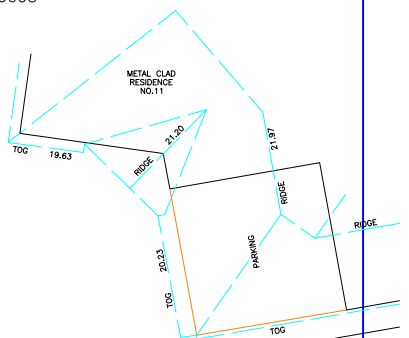
LOT B  
DP 416603



## NOTES:

1. CAUTION: SHOULD ANY DEVELOPMENT OR CONSTRUCTION BE PLANNED ON OR NEAR THE BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE.
2. SERVICES SHOWN HEREON HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH DETAILED LOCATION AND DEPTH. MINIMISE YOUR RISK AND DIAL 1100 BEFORE YOU DIG.
3. BOUNDARY AND DETAIL PLAN BY DAVID PARSONS, REGISTERED SURVEYOR NO.1819. BEARINGS SHOWN ARE BASED ON A MAGNETIC MERIDIAN.
4. W DENOTES WINDOW, D DENOTES DOOR, WINDOW AND DOOR DEPTHS SHOWN ARE INDICATIVE ONLY.
5. ALL NEW WORKS MUST REFER TO THE BENCHMARK FOR LEVEL CONTROL.
6. TREE SPREADS ARE DIAGRAMMATIC ONLY AND MAY NOT BE SYMMETRICAL.
7. SPW, BRW, BLKRW, LRW, SLRW -- DENOTE STONE, BRICK, BLOCK, LOG OR SLEEPER RETAINING WALL.
8. TOG, TOR DENOTE TOP OF GUTTER OR ROOF, K DENOTES TOP OF KERB, G DENOTES ROAD GUTTER.

LOT A  
DP 416603



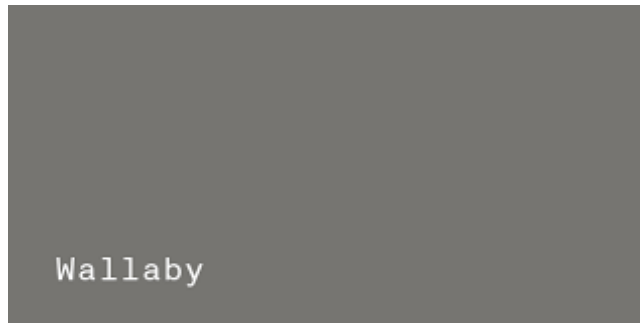
VISTA AVENUE

**DP SURVEYING**

REGISTERED LAND & ENGINEERING SURVEYORS  
46 JOHN ST, AVALON BEACH 2107  
PHONE : 0414183220  
EMAIL : david@dpsurveying.com.au  
DATE : 2 APRIL, 2020  
MY REF : 3328  
DAVID PARSONS, REGISTERED SURVEYOR NO.1819

## COLOURS FOR WALL HOUSE 1853 PITTWATER ROAD, BAYVIEW

**ROOF:** Corrugated colorbond 'Wallaby'



**WALLS:** New weatherboards painted to match existing, similar to British Paints 'Set in Stone'



**TRIMS:** trim, fascias & downpipes 'Woodland Grey'



**WINDOWS :** Aluminium framed powdercoated white

