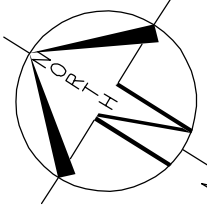


NORTH



- (B) EASEMENT TO DRAIN WATER 2.5 WIDE (VIDE DP1206507)
- (L) EASEMENT FOR SEWERAGE PURPOSES 5 WIDE (VIDE 6390790) (APPROXIMATE POSITION)
- (M) EASEMENT FOR WATER SUPPLY PURPOSES 2.5 WIDE (VIDE DP1206507)
- (O) EASEMENT FOR ACCESS AND MAINTENANCE PURPOSES 2.5 WIDE (VIDE DP1206507)
- (V) EASEMENT FOR ACCESS, CONSTRUCTION AND MAINTENANCE PURPOSES 0.9 WIDE
- (W) EASEMENT TO DRAIN WATER 2 WIDE (VIDE DP1206507)
- (X) EASEMENT FOR ACCESS, MAINTENANCE AND SUPPORT 0.9 WIDE (VIDE DP1206507)
- (X) RIGHT OF CARRIAGEWAY VARIABLE WIDTH No.8

LOT 18
D.P: 270907
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
PITTWATER DCP 21 - D16

| | |
|---|----------------------|
| SITE AREA | 333.8 m ² |
| ROOF AREA | 167.4 m ² |
| LANDSCAPED AREA | |
| TOTAL LANDSCAPE AREA: | 55.6 m ² |
| (MIN. DIMENSION OF 4.0m) | 16.7 % |
| MIN. REQUIRED BY COUNCIL: | 35 % |
| PRIVATE OPEN SPACE | |
| TOTAL OPEN SPACE AREA: | 83.8 m ² |
| (MIN. DIMENSION OF 3.0m) | |
| MIN. REQUIRED BY COUNCIL: | 80 m ² |
| HEIGHT RESTRICTION | |
| MAXIMUM RIDGE HEIGHT | 10.5 m |
| (F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS) | |

WIND CLASSIFICATION: "N2"
SLAB CLASSIFICATION: "H1"

NOTE:
 ALL GROUND LINES ARE APPROXIMATE.
 EXTENT OF FILL & BATTER WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

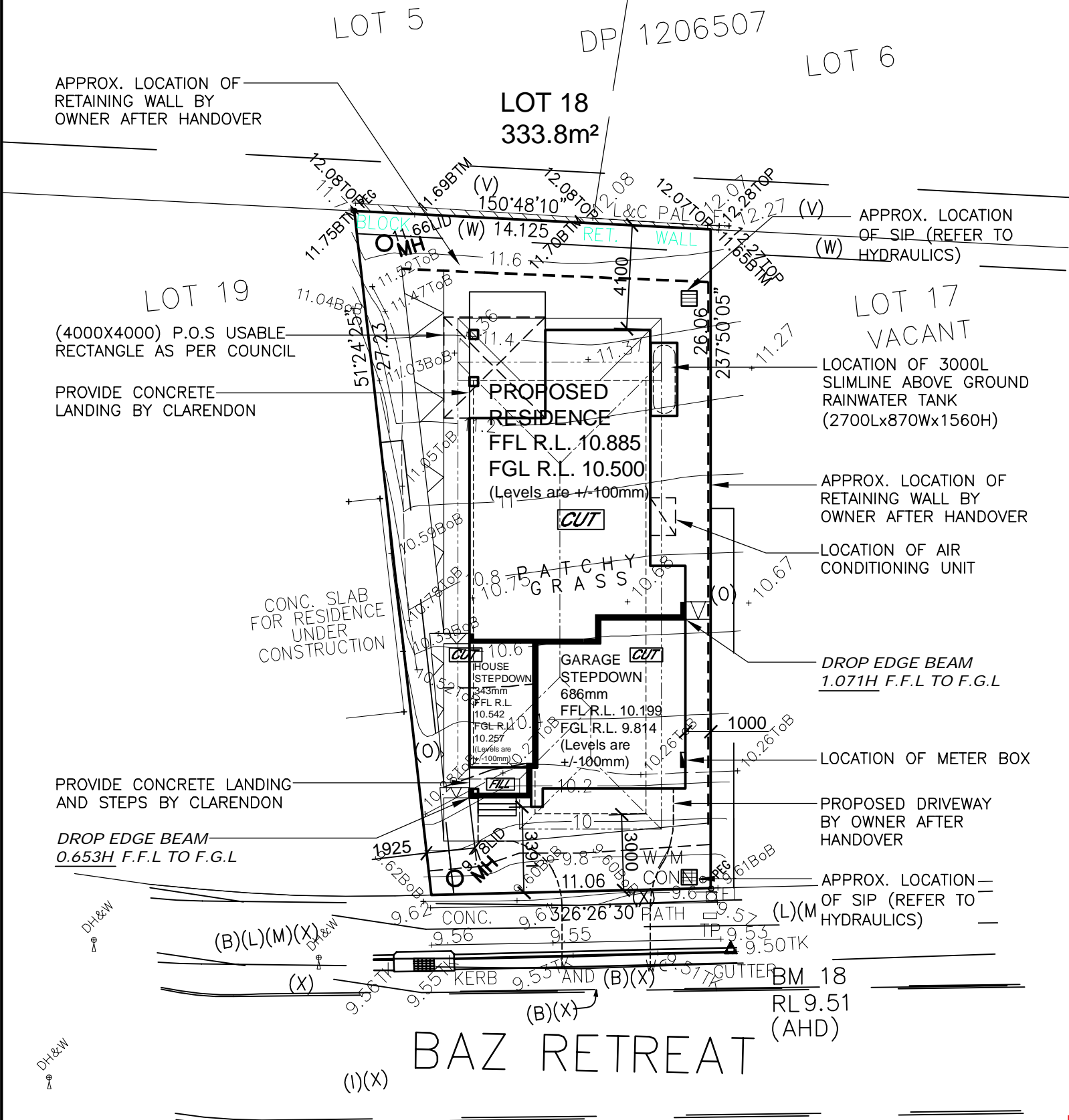
0005321823 22 Oct 2020

5.1
 NATIONWIDE HOUSE ENERGY RATING SCHEME

Assessor: Daniel Warda
 Accreditation No: 101182
 Address: Barrett Street, Bardon Ridge, NSW, 2234

64.7 MJ/m²

www.nathers.gov.au hstar.com.au



SITE PLAN
SCALE 1:200

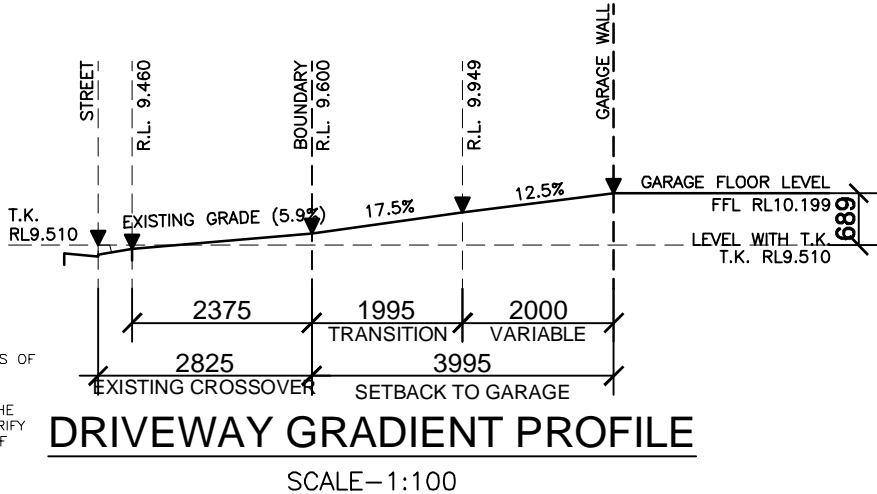
GENERAL NOTES

A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED

B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY

C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION

D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.



DRIVEWAY GRADIENT PROFILE
 SCALE - 1:100

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2021/0132

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD

STORMWATER TO STREET VIA RAINWATER TANK
 REFER TO HYDRAULIC DETAILS

| | | | | | | |
|---|-------------|--|--|---|--|--------------------------|
| CLIENT'S SIGNATURE: _____ | DATE: _____ | PRODUCT: GREENWICH 28 Classic R/H Garage Sapphire Specification | CLIENT: Mrs. SAHAKIAN | DA DRAWINGS | | |
| <p>BL No. 2298C ABN 18 003 892 706</p> <p>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300</p> | | <p>© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.</p> | <p>SITE ADDRESS: Lot 18, No. 22 D.P:270907 Baz Retreat WARRIEWOOD, 2102</p> | <p>DRAWN: PJ</p> <p>RATIO @ A3: 1:200</p> <p>SHEET: 2</p> | <p>DATE: 31.08.20</p> <p>CHECKED: AK</p> <p>JOB No: 29914556</p> | <p>Rev: F</p> <p>NSW</p> |

SMOKE ALARM

AIR CONDITIONING DUCT

- DP o DOWN PIPE LOCATION
 - TAP GARDEN TAP LOCATION
 - LIFT OFF HINGES
 - SP STEEL POST
 - TSP TELESCOPIC STEEL POST
 - EXHAUST FAN
- ARTICULATION JOINTS TO ENGINEERS DETAILS

NOTE:
(UNLESS NOTED OTHERWISE)
300 DEEP BULKHEADS & SQ.
SETS. 150 DROPPED CEILINGS

PROVIDE T2 FRAMING
TO DWELLING IN LIEU
OF STANDARD

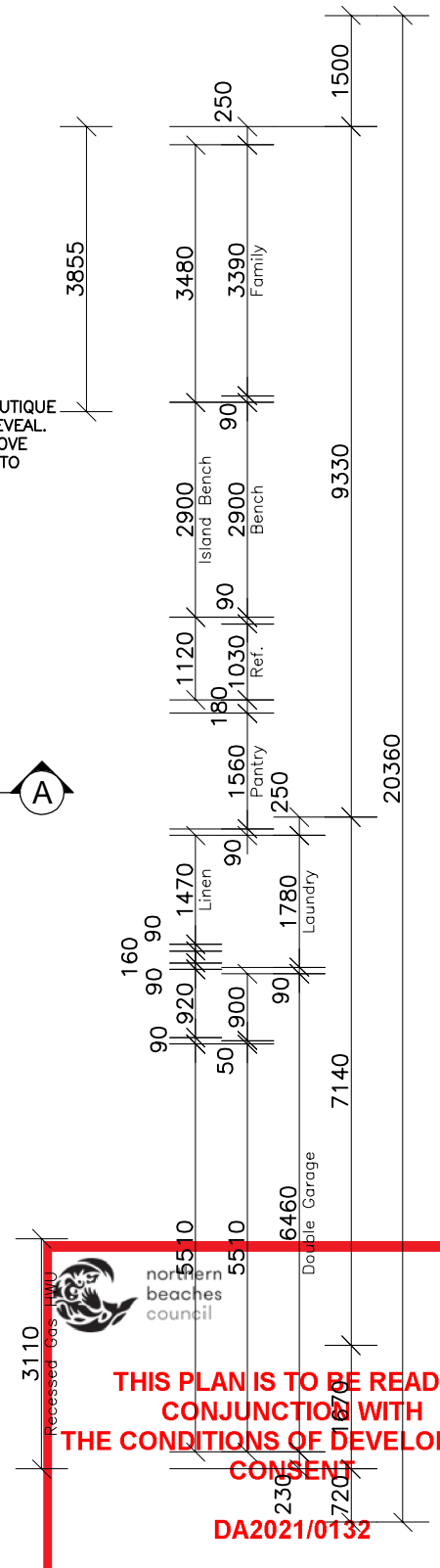
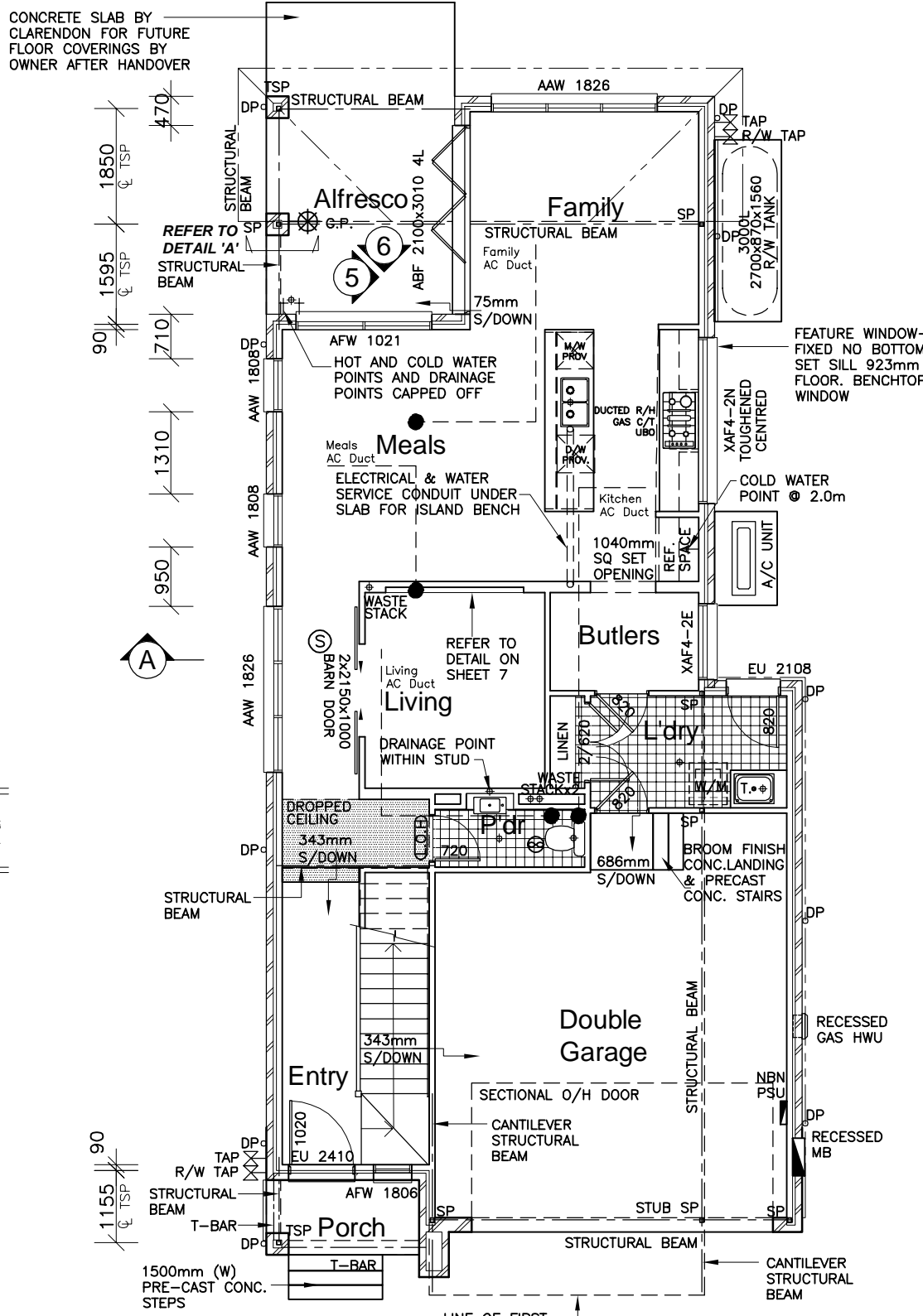
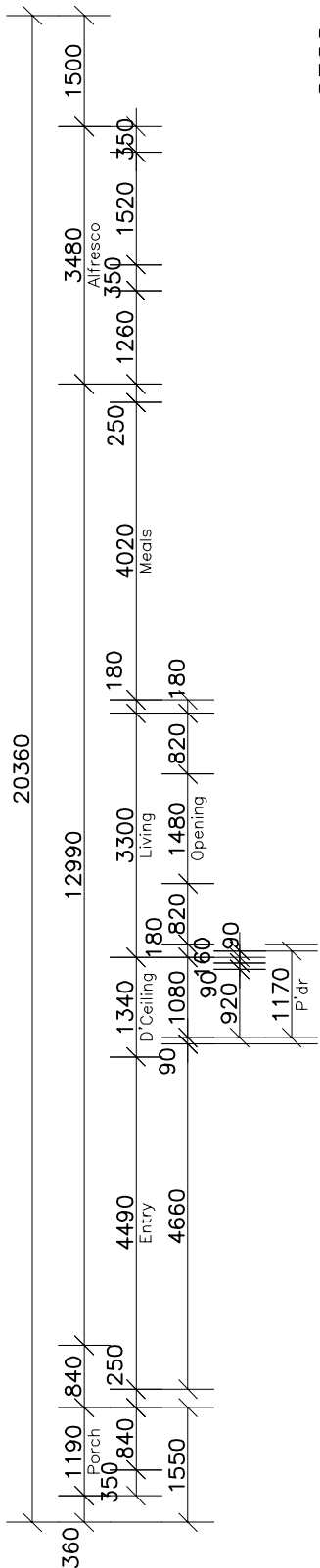
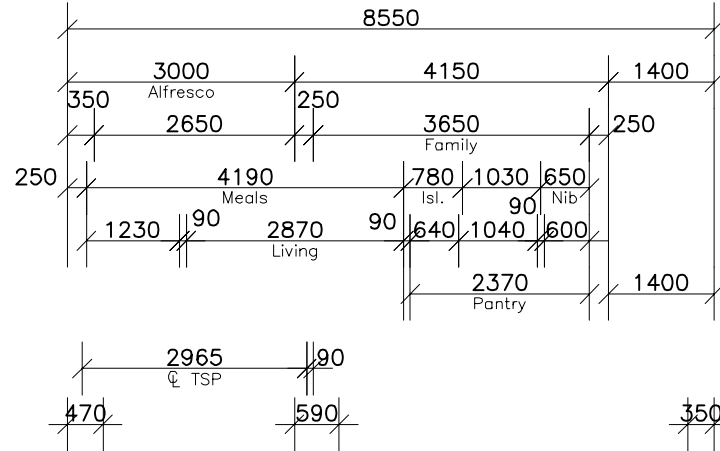


0005321823 22 Oct 2020

Assessor Daniel Warda
Accreditation No. 101182
Address Barrett Street, Barden Ridge, NSW, 2234

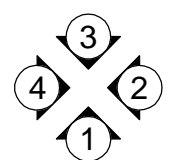
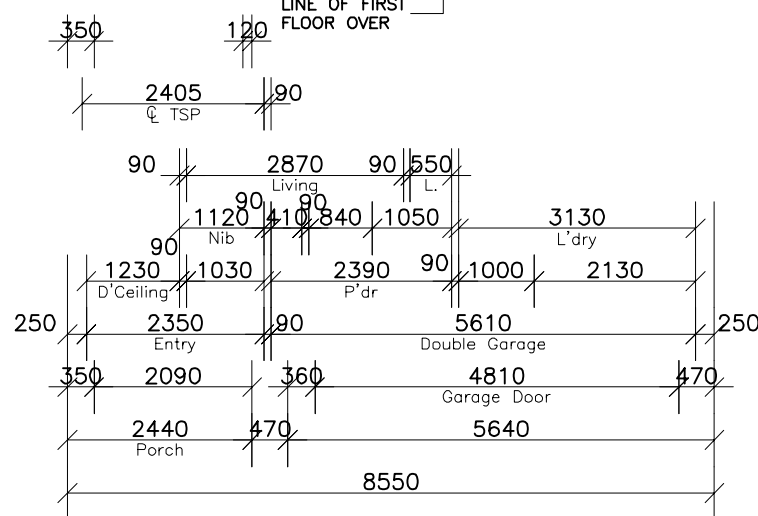
5.1
NATIONWIDE HOUSE ENERGY RATING SCHEME
64.7
www.nathers.gov.au

hstar.com.au



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2021/0132

GROUND FLOOR PLAN



CLIENT'S SIGNATURE:

DATE:

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706
Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of CLARENDON HOMES (NSW) P/L
Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:
GREENWICH 28
Classic
R/H Garage
Sapphire Specification

CLIENT:
Mrs. SAHAKIAN
SITE ADDRESS:
Lot 18, No. 22 D.P:270907
Baz Retreat
WARRIEWOOD, 2102

DA DRAWINGS

| | | |
|-------------------|------------------|--------|
| DRAWN: PG. | DATE: 01.10.20 | Rev: F |
| RATIO @ A3: 1:100 | CHECKED: AK | |
| SHEET: 3 | JOB No: 29914556 | NSW |

(S) SMOKE ALARM

DP DOWN PIPE LOCATION

TAP GARDEN TAP LOCATION

CLO.B LIFT OFF HINGES

SP STEEL POST

TSP TELESCOPIC STEEL POST

EXHAUST FAN

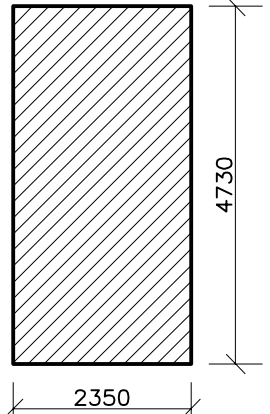
ARTICULATION JOINTS TO ENGINEERS DETAILS

AIR CONDITIONING DUCT

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD



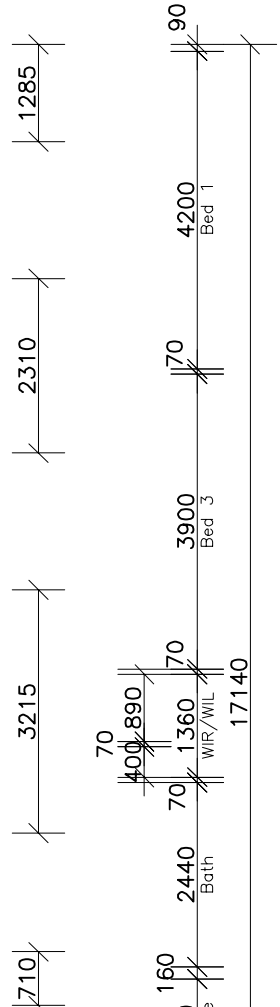
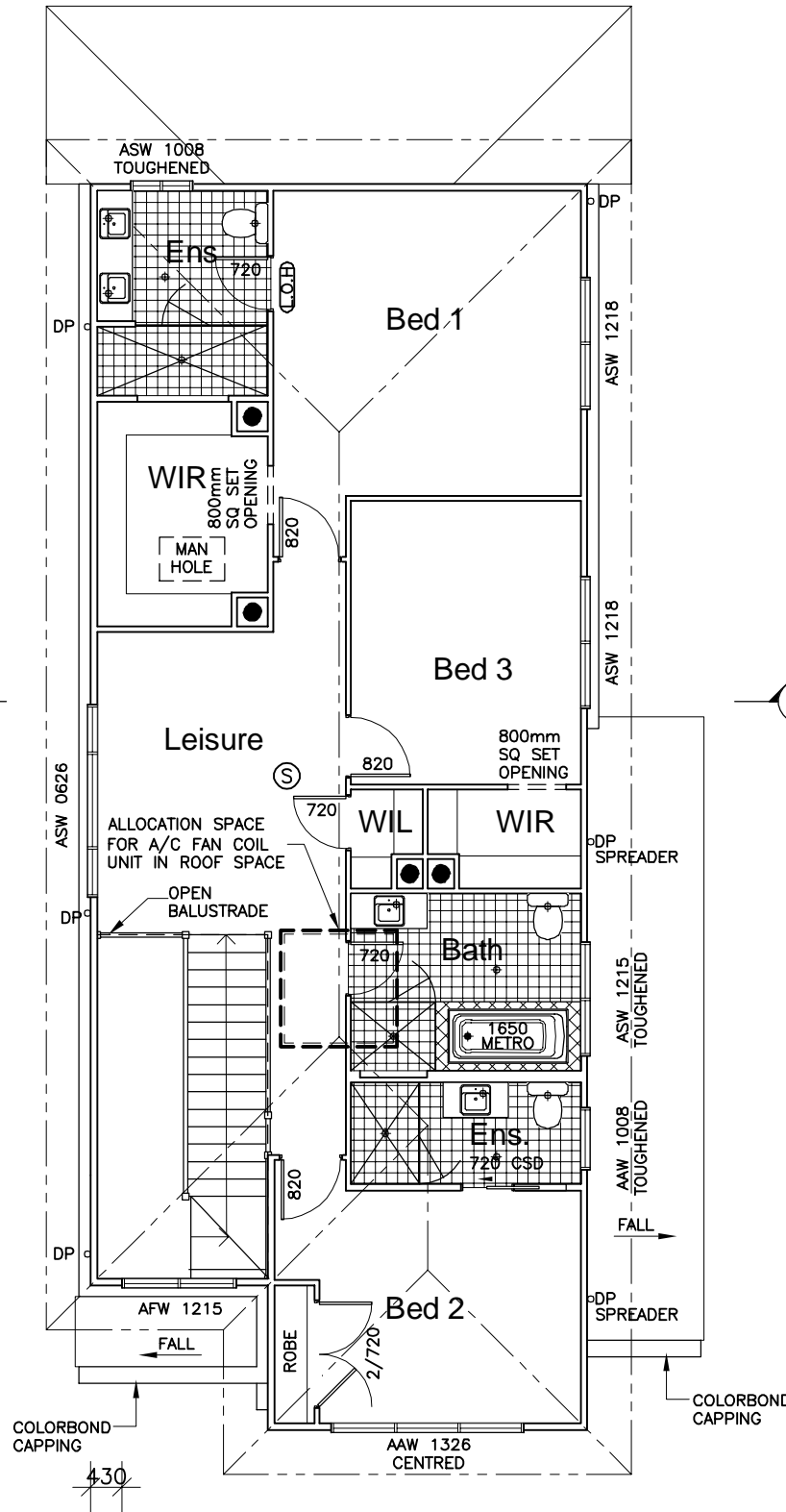
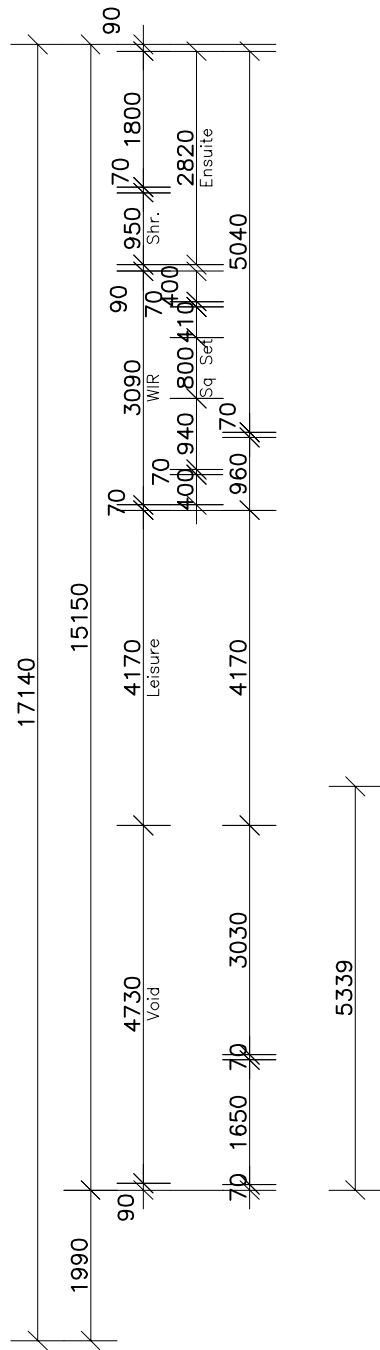
NOTE: (UNLESS NOTED OTHERWISE) 300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS



STAIR CUTOUT SCALE 1:100

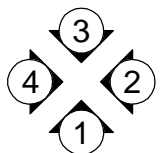
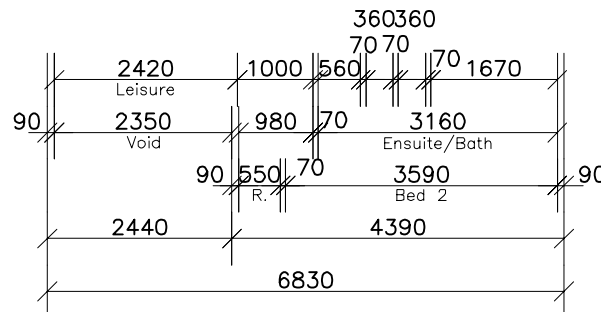
NOTE: ALL FIRST FLOOR BEDROOM & LIVING WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 3.9.2.5 OF THE B.C.A - PROTECTION OF OPENABLE WINDOWS

NOTE: SHOWER NOOK/RECESS REFER TO CDN 54.260 & SHEET 10 FOR DETAILS



northern beaches council
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2021/0132

FIRST FLOOR PLAN



CLIENT'S SIGNATURE:

DATE:

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706
Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of CLARENDON HOMES (NSW) P/L
Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:
GREENWICH 28
Classic
R/H Garage
Sapphire Specification

CLIENT:
Mrs. SAHAKIAN
SITE ADDRESS:
Lot 18, No. 22 D.P:270907
Baz Retreat
WARRIEWOOD, 2102

DA DRAWINGS

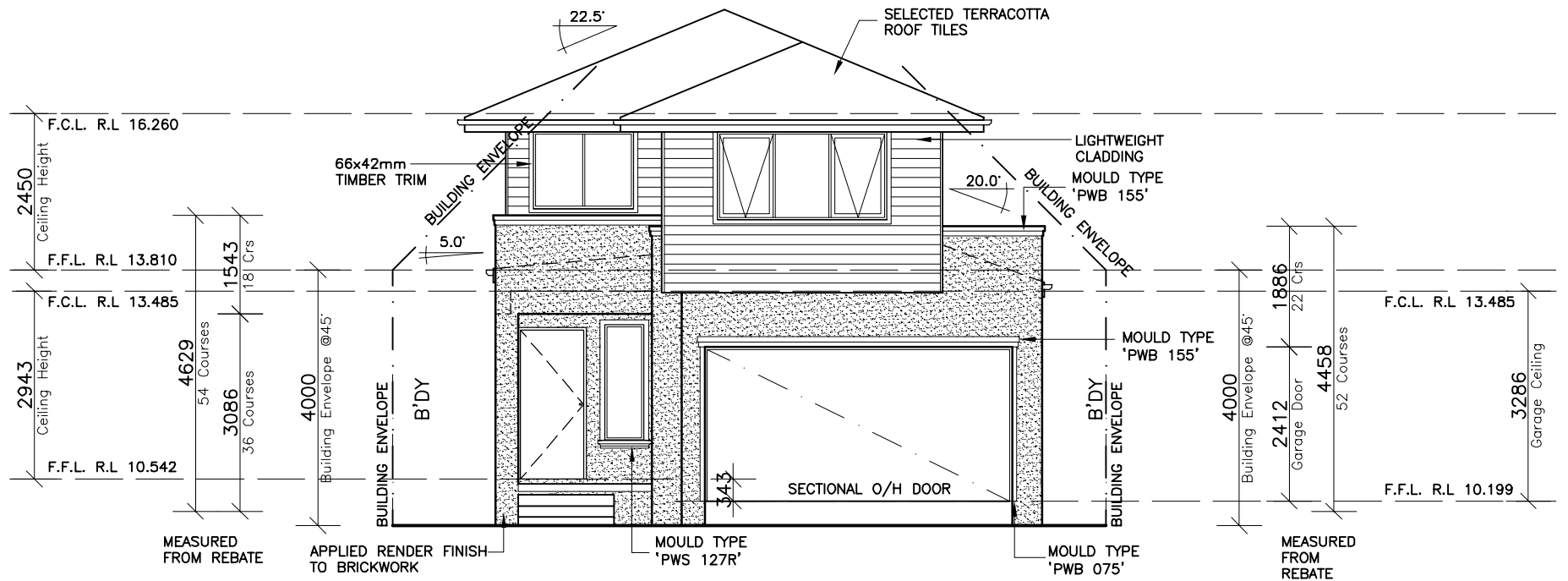
| | | |
|-------------------|------------------|--------|
| DRAWN: PG. | DATE: 01.10.20 | Rev: F |
| RATIO @ A3: 1:100 | CHECKED: AK | |
| SHEET: 4 | JOB No: 29914556 | NSW |

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD



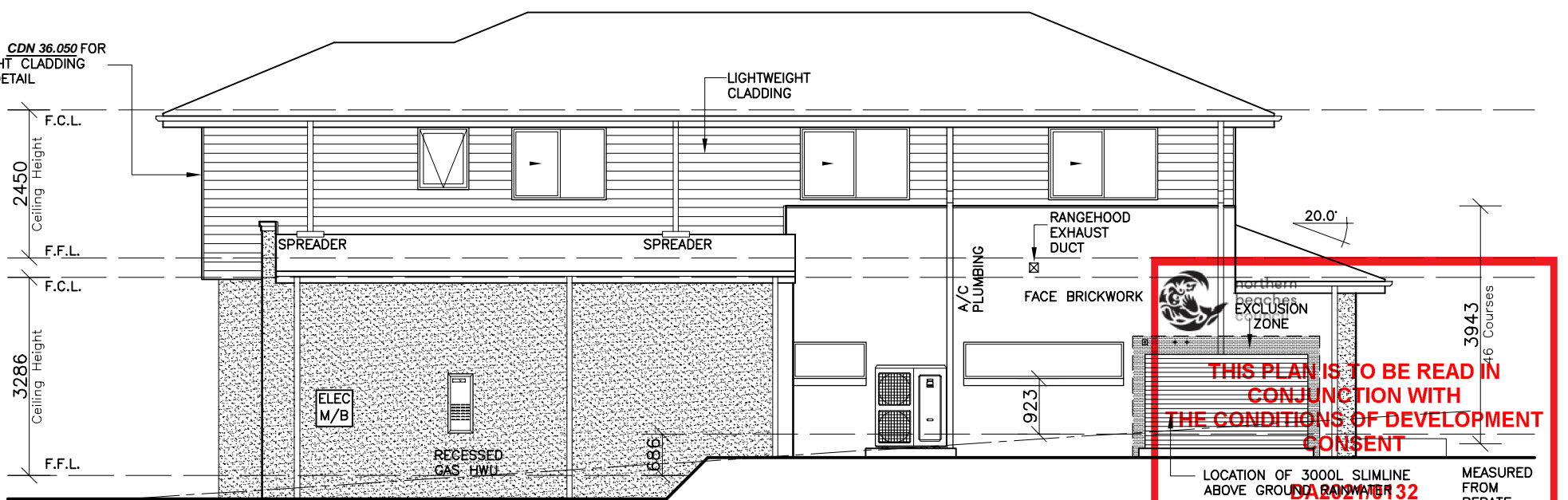
NOTE:
 PROVIDE THE FOLLOWING DUE TO PROXIMITY TO COASTAL WATERS:
 * EXPOSURE GRADE BRICKS,
 * STAINLESS STEEL WALL TIES,
 * LINTELS AND EXPOSED STRUCTURAL STEEL IN ACCORDANCE WITH THE B.C.A.,
 * COLORBOND VALLEY GUTTERS,
 * EXPOSURE GRADE MORTAR

NOTES:
 FOR DROP-OFF'S REFER TO FRAMING DETAILS
CDN 21.010-21.080



**ELEVATION 1
 -WEST-**

REFER TO **CDN 36.050** FOR LIGHTWEIGHT CLADDING CORNER DETAIL



**ELEVATION 2
 -SOUTH-**

CLIENT'S SIGNATURE: _____

DATE: _____

ClarendonHomes

BL No. 2298C
 ABN 18 003 892 706

Clarendon Homes (NSW) P/L
 21 Solent Circuit, Baulkham Hills NSW 2153
 T: (02) 8851 5300

© ALL RIGHTS RESERVED
 This plan is the property of CLARENDON HOMES (NSW) P/L. Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L.
 # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:
GREENWICH 28
 Classic
 R/H Garage
 Sapphire Specification

CLIENT:
 Mrs. SAHAKIAN
 SITE ADDRESS:
 Lot 18, No. 22 D.P:270907
 Baz Retreat
 WARRIEWOOD, 2102

DA DRAWINGS

| | | |
|-------------------|------------------|--------|
| DRAWN: PG. | DATE: 01.10.20 | Rev: F |
| RATIO @ A3: 1:100 | CHECKED: AK | |
| SHEET: 5 | JOB No: 29914556 | NSW |

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD

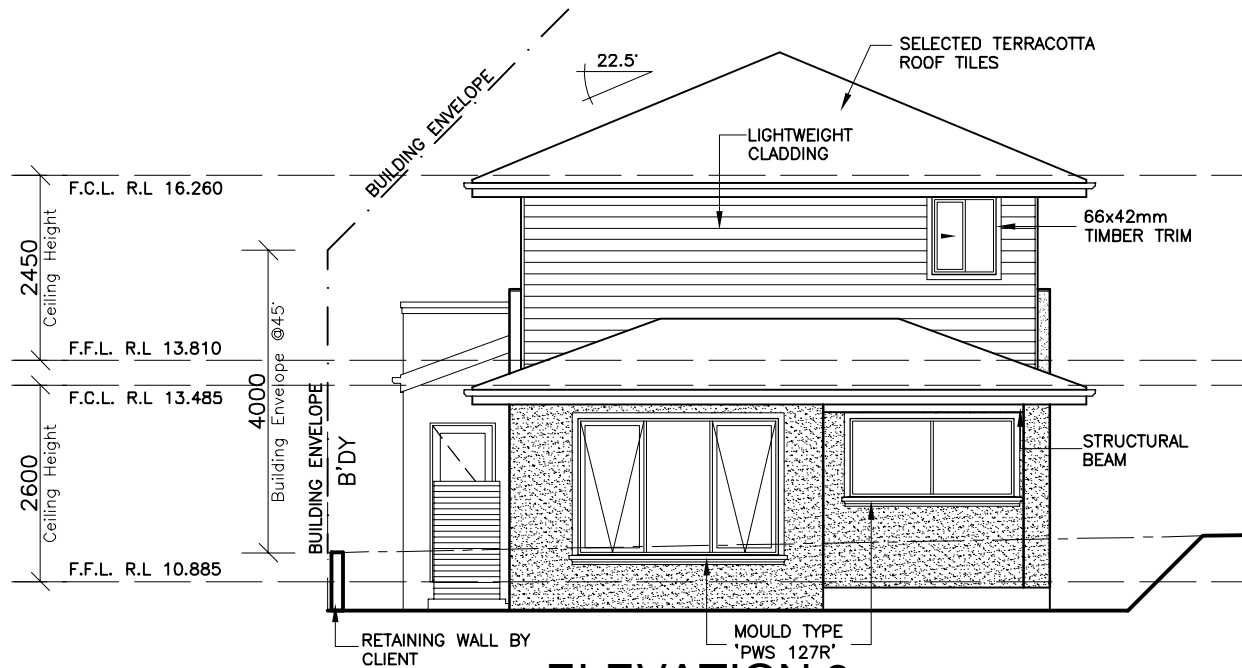


NOTE:
 PROVIDE THE FOLLOWING DUE TO PROXIMITY TO COASTAL WATERS:
 * EXPOSURE GRADE BRICKS,
 * STAINLESS STEEL WALL TIES,
 * LINTELS AND EXPOSED STRUCTURAL STEEL IN ACCORDANCE WITH THE B.C.A.,
 * COLORBOND VALLEY GUTTERS,
 * EXPOSURE GRADE MORTAR

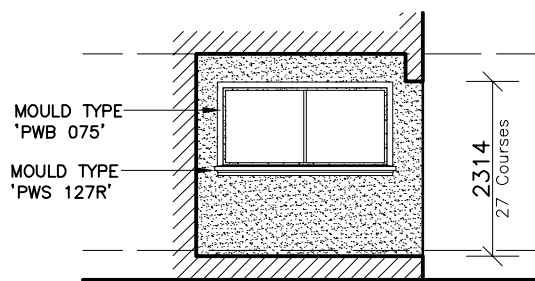
NOTES:
 FOR DROP-OFF'S REFER TO FRAMING DETAILS
CDN 21.010-21.080

0005321823 22 Oct 2020

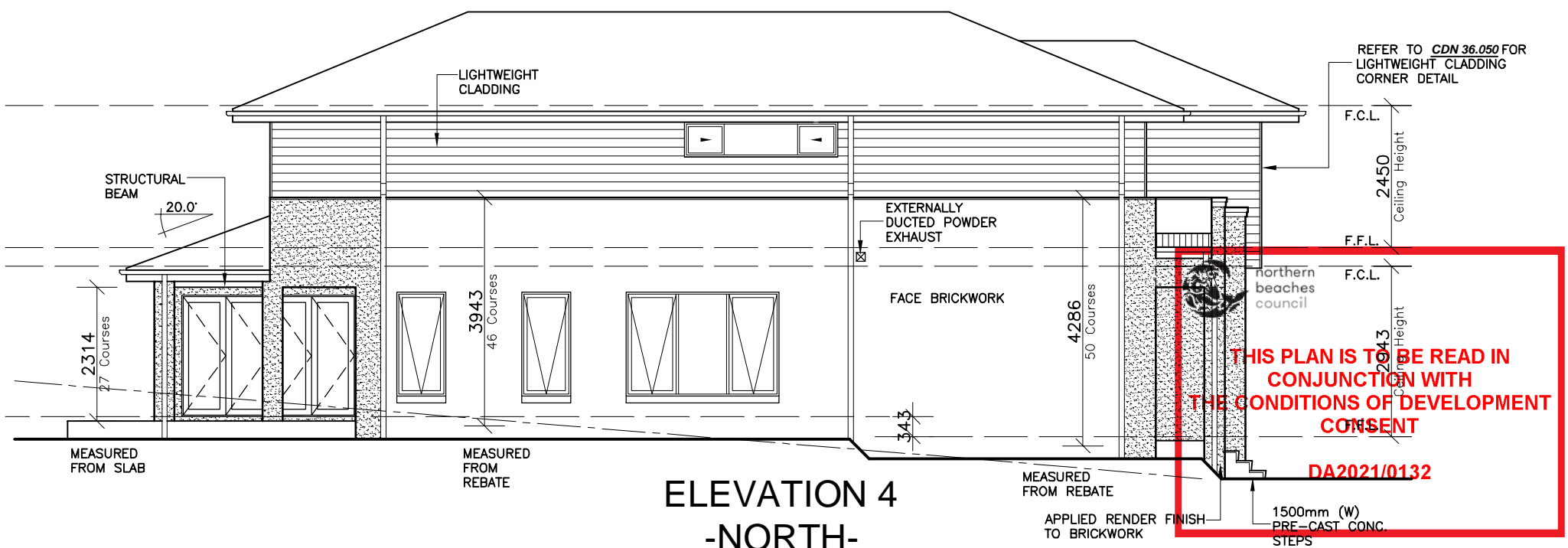
Assessor: Daniel Warda
 Accreditation No: 101182
 Address: Barrett Street, Bardon Ridge, NSW, 2234
 www.nathers.gov.au
 hstar.com.au



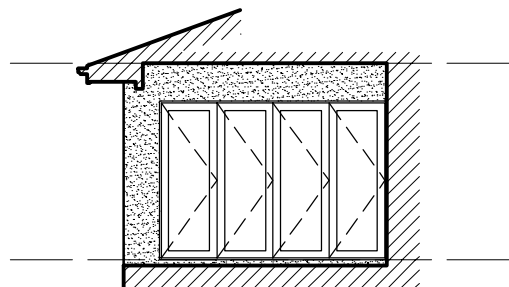
**ELEVATION 3
 -EAST-**



ELEVATION 6
 MEASURED FROM SLAB



**ELEVATION 4
 -NORTH-**



ELEVATION 5

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
 ABN 18 003 892 706

Clarendon Homes (NSW) P/L
 21 Solent Circuit, Baulkham Hills NSW 2153
 T: (02) 8851 5300

© ALL RIGHTS RESERVED
 This plan is the property of CLARENDON HOMES (NSW) P/L. Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L.
 # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:
GREENWICH 28
 Classic
 R/H Garage
 Sapphire Specification

CLIENT:
 Mrs. SAHAKIAN
 SITE ADDRESS:
 Lot 18, No. 22 D.P:270907
 Baz Retreat
 WARRIEWOOD, 2102

DA DRAWINGS

| | | |
|-------------------|------------------|--------|
| DRAWN: PG. | DATE: 01.10.20 | Rev: F |
| RATIO @ A3: 1:100 | CHECKED: AK | |
| SHEET: 6 | JOB No: 29914556 | NSW |

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD



PROVIDE R2.0 INSULATION BATTS TO CEILING JOISTS BETWEEN GARAGE & FIRST FLOOR

PROVIDE R2.0 INSULATION BATTS TO CEILING JOISTS BETWEEN PORCH & FIRST FLOOR and ALFRESCO & FIRST FLOOR (R3.5 INSULATION INSTALLED AS PART OF CONSTRUCTION METHOD)

0005321823 22 Oct 2020

Assessor Daniel Warda
Accreditation No. 101182
Address Barrett Street, Barden Ridge, NSW, 2234

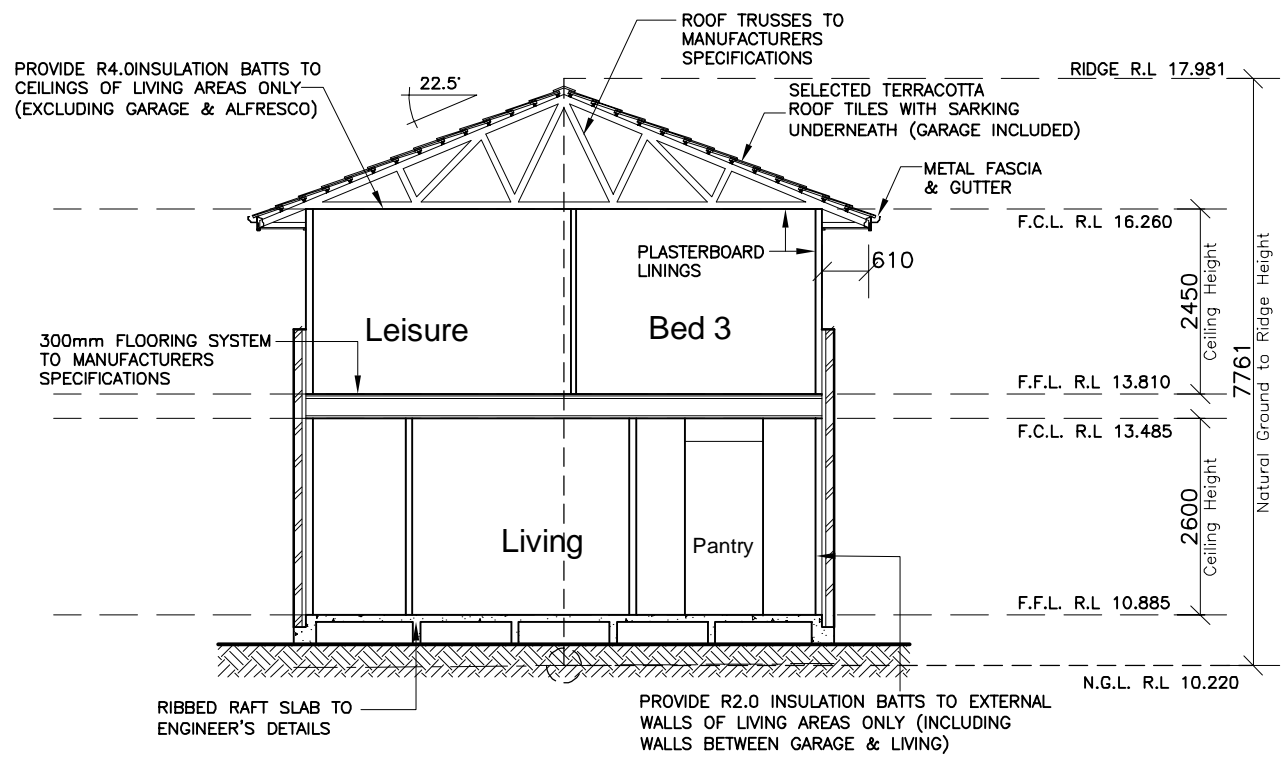
5.1
NATIONWIDE HOUSE
ENERGY RATING 5.1

64.7 MJ/m²

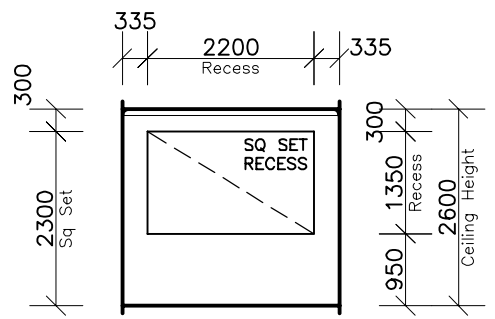
www.nathers.gov.au hstar.com.au

NOTE:
PROVIDE THE FOLLOWING DUE TO PROXIMITY TO COASTAL WATERS:

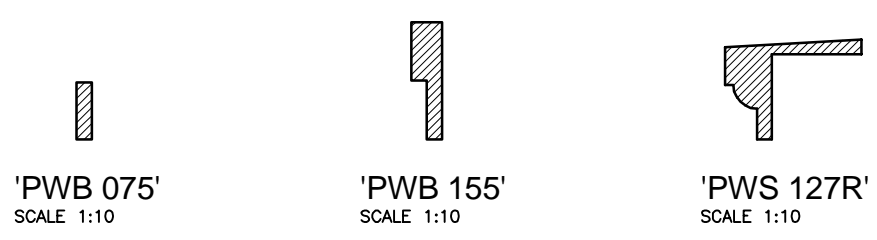
- * EXPOSURE GRADE BRICKS,
- * STAINLESS STEEL WALL TIES,
- * LINTELS AND EXPOSED STRUCTURAL STEEL IN ACCORDANCE WITH THE B.C.A.,
- * COLORBOND VALLEY GUTTERS,
- * EXPOSURE GRADE MORTAR



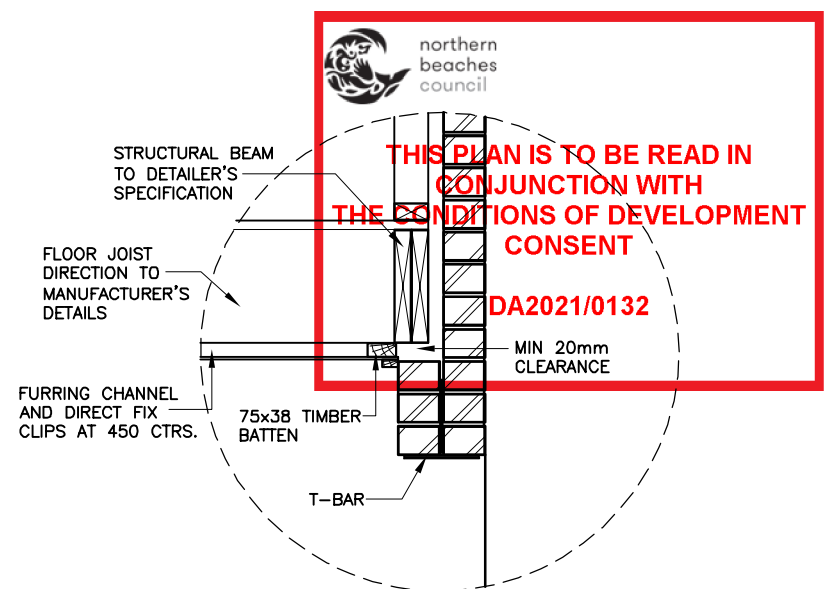
SECTION A-A.



LIVING RECESS DETAIL



HAMPTONS MOULDING PROFILES



DETAIL 'A'
SCALE: 1:20

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of CLARENDON HOMES (NSW) P/L
Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:
GREENWICH 28
Classic
R/H Garage
Sapphire Specification

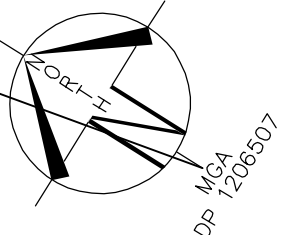
CLIENT:
Mrs. SAHAKIAN

SITE ADDRESS:
Lot 18, No. 22 D.P:270907
Baz Retreat
WARRIEWOOD, 2102

| DA DRAWINGS | | | |
|-------------------|------------------|--------|--|
| DRAWN: PG. | DATE: 01.10.20 | Rev: F | |
| RATIO @ A3: 1:100 | CHECKED: AK | | |
| SHEET: 7 | JOB No: 29914556 | NSW | |

NORTH

TN



LOT 18
D.P: 270907
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
PITTWATER DCP 21 - D16

0005321823 22 Oct 2020

5.1
NATIONWIDE HOUSE ENERGY RATING SCHEME

64.7 MJ/m²

www.nathers.gov.au

Assessor Daniel Warda
Accreditation No. 101182
Address Barrett Street, Barden Ridge, NSW, 2234

hstar.com.au

LOT 5

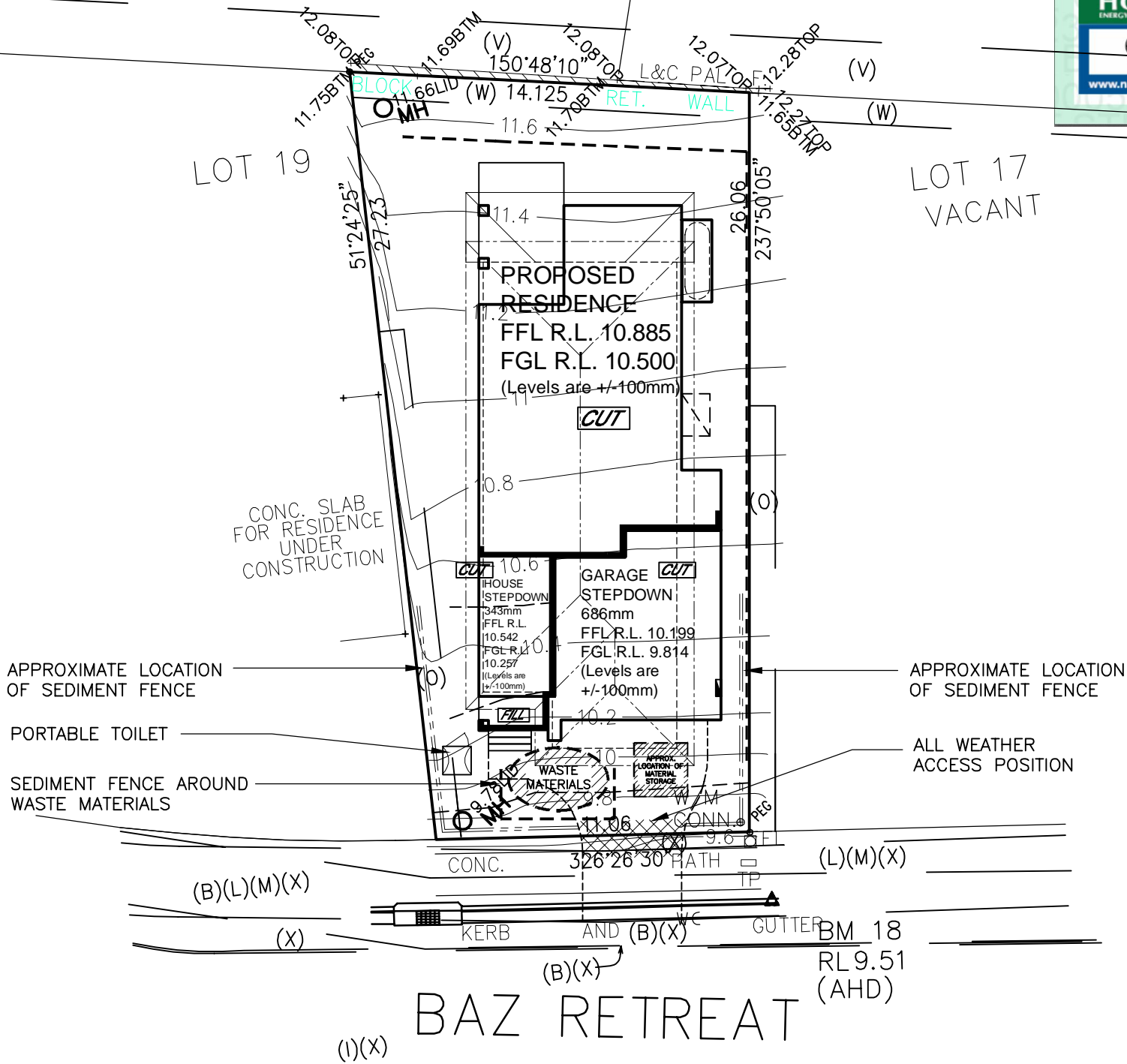
DP/ 1206507

LOT 6

LOT 18
333.8m²

LOT 19

LOT 17
VACANT



NOTE: THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT COISSON TO THE SITE

NOTE: DA2021/0132
GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE CUSTOMISED TO SITE CONDITIONS

- (B) EASEMENT TO DRAIN WATER 2.5 WIDE (VIDE DP1206507)
- (I) EASEMENT FOR SEWERAGE PURPOSES 5 WIDE (VIDE 6390790) (APPROXIMATE POSITION)
- (L) EASEMENT FOR WATER SUPPLY PURPOSES 2.5 WIDE (VIDE DP1206507)
- (M) EASEMENT FOR ACCESS AND MAINTENANCE PURPOSES 2.5 WIDE (VIDE DP1206507)
- (O) EASEMENT FOR ACCESS, CONSTRUCTION AND MAINTENANCE PURPOSES 0.9 WIDE
- (V) EASEMENT TO DRAIN WATER 2 WIDE (VIDE DP1206507)
- (W) EASEMENT FOR ACCESS, MAINTENANCE AND SUPPORT 0.9 WIDE (VIDE DP1206507)
- (X) RIGHT OF CARRIAGEWAY VARIABLE WIDTH No.8

CONSTRUCTION MANAGEMENT PLAN

EROSION AND SEDIMENT CONTROL PLAN

SEDIMENT CONTROL NOTES

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
- ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
- ALL SEDIMENT BAGS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEP DAILY.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.

SEDIMENT FENCE
NOT TO SCALE

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of CLARENDON HOMES (NSW) P/L. Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L.
ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:
GREENWICH 28
Classic
R/H Garage

Sapphire Specification

CLIENT:
Mrs. SAHAKIAN

SITE ADDRESS:
Lot 18, No. 22 D.P:270907
Baz Retreat
WARRIEWOOD, 2102

| DA DRAWINGS | | | |
|-------------------|------------------|------|---|
| DRAWN: PG. | DATE: 01.10.20 | Rev: | F |
| RATIO @ A3: 1:200 | CHECKED: AK | | |
| SHEET: 2.1 | JOB No: 29914556 | NSW | |