

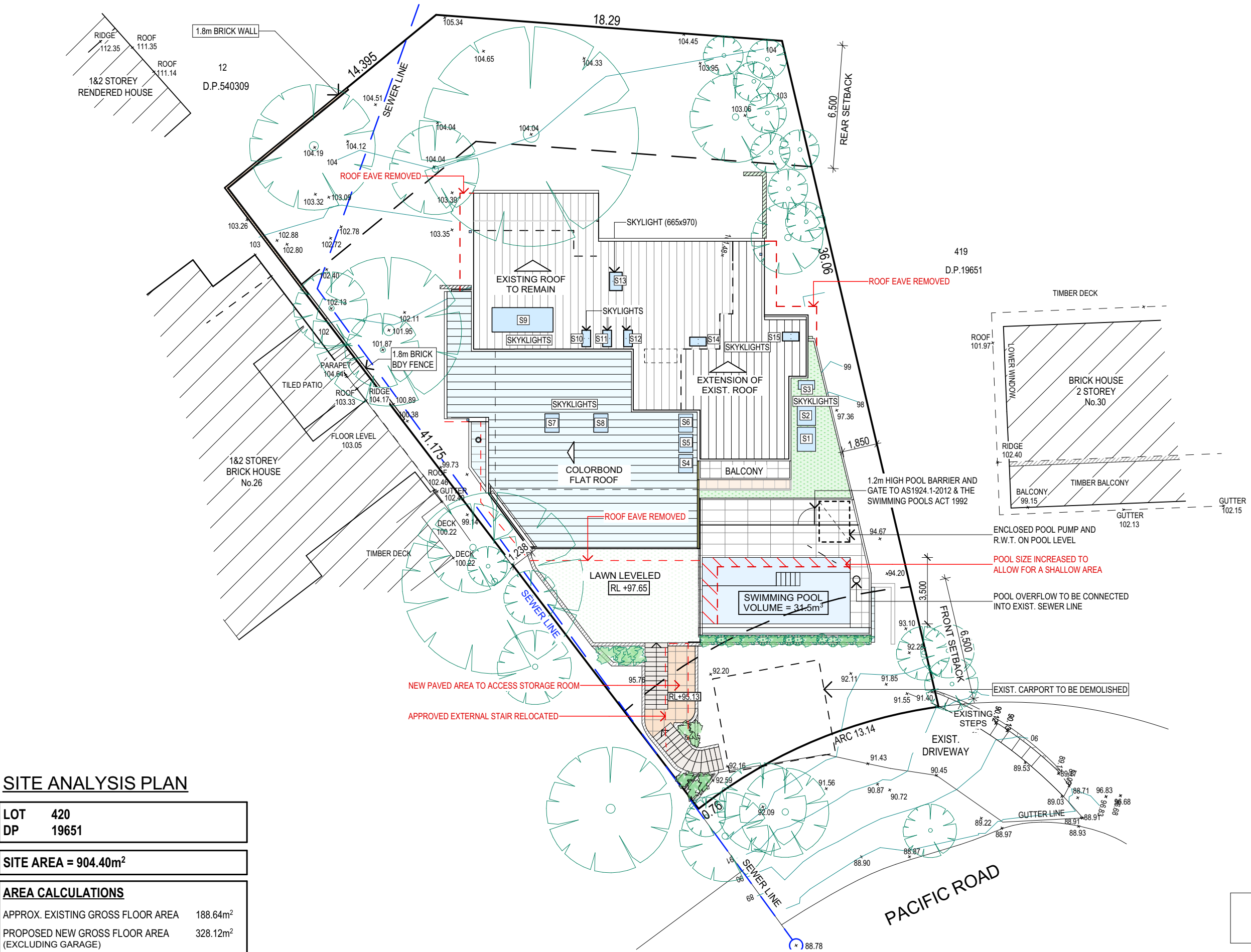
## SECTION 4.55 - ALTERATIONS AND ADDITIONS TO APPROVED DA DRAWINGS

28 PACIFIC ROAD - PALM BEACH



### INDEX OF DRAWINGS:

- MOD.01 SITE PLAN
- MOD.02 PROPOSED GARAGE FLOOR PLAN
- MOD.03 POOL FLOOR PLAN
- MOD.04 PROPOSED LOWER GROUND FLOOR PLAN
- MOD.05 PROPOSED GROUND FLOOR PLAN
- MOD.06 PROPOSED FIRST FLOOR PLAN
- MOD.07 PROPOSED NORTH EAST ELEVATION
- MOD.08 PROPOSED NORTH WEST ELEVATION
- MOD.09 PROPOSED SOUTH EAST ELEVATION
- MOD.10 PROPOSED SOUTH WEST ELEVATION
- MOD.11 SECTION AA
- MOD.12 SECTION BB / BASIX NOTES
- MOD.13 LANDSCAPE AREA CALCULATION PLAN
- MOD.14 ROOF PLAN AND STORMWATER CONCEPT PLAN



SITE ANALYSIS PLAN

LOT	420
DP	19651

SITE AREA =	904.40m <sup>2</sup>
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AREA CALCULATIONS	
APPROX. EXISTING GROSS FLOOR AREA	188.64m <sup>2</sup>
PROPOSED NEW GROSS FLOOR AREA (EXCLUDING GARAGE)	328.12m <sup>2</sup>

**NOTE:** MODIFICATIONS TO APPROVED DA DRAWING SHOWN IN RED

TRUE NORTH:

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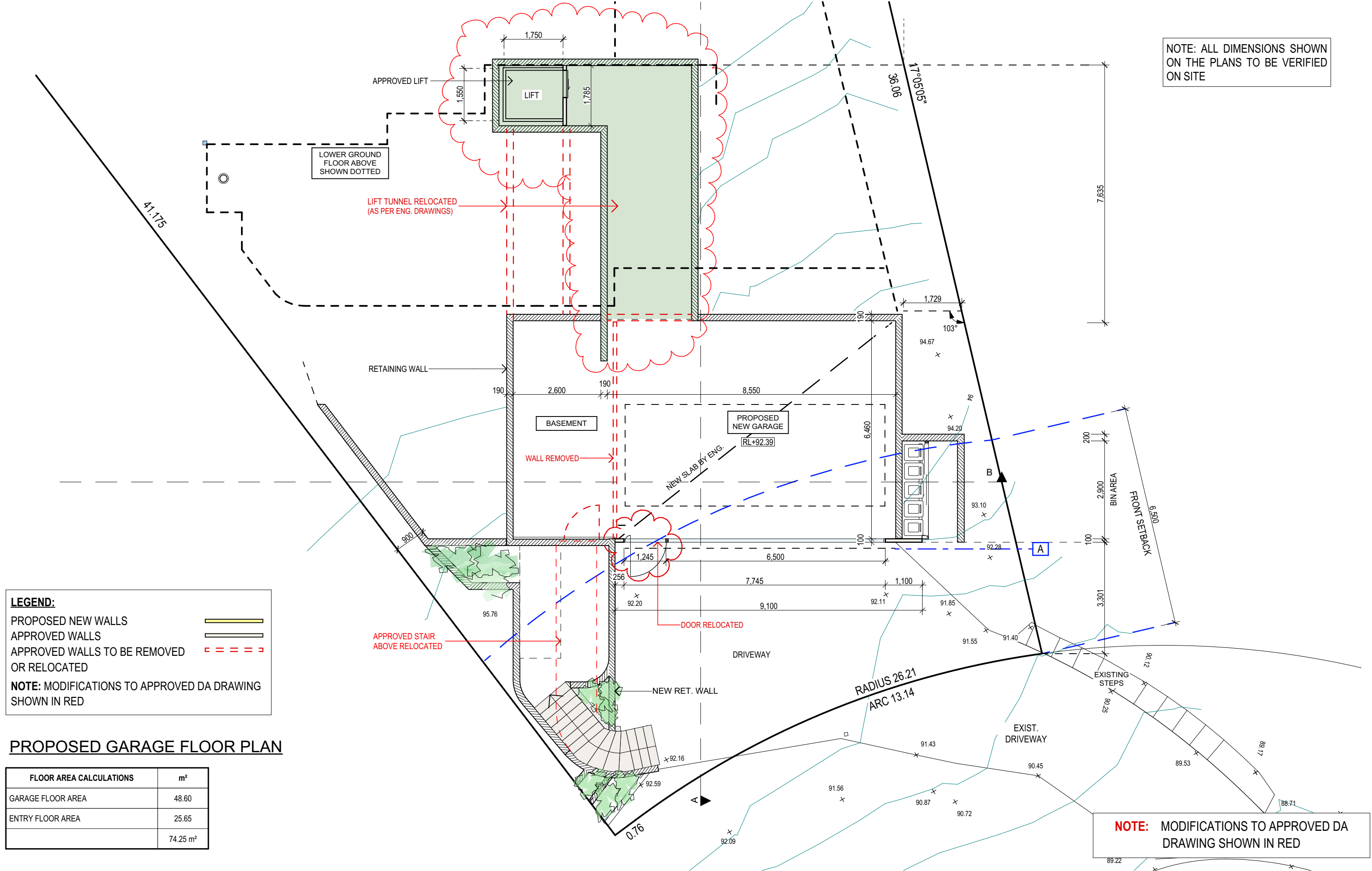
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PROJECT DETAILS:  
SECTION 4.55 - ALTERATION AND ADDITIONS  
28 PACIFIC RD - PALM BEACH

DRAWING TITLE:  
SITE PLAN

DATE: 08/20	DRAWN BY: LB	SCALE: 1:200 @ A3
JOB No: 827/20	CHECKED BY: JJ	DRAWING No: <b>MOD.01</b>



**LEGEND:**

- PROPOSED NEW WALLS  
APPROVED WALLS  
APPROVED WALLS TO BE REMOVED  
OR RELOCATED

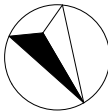
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**PROPOSED GARAGE FLOOR PLAN**

FLOOR AREA CALCULATIONS	m <sup>2</sup>
GARAGE FLOOR AREA	48.60
ENTRY FLOOR AREA	25.65
	74.25 m <sup>2</sup>

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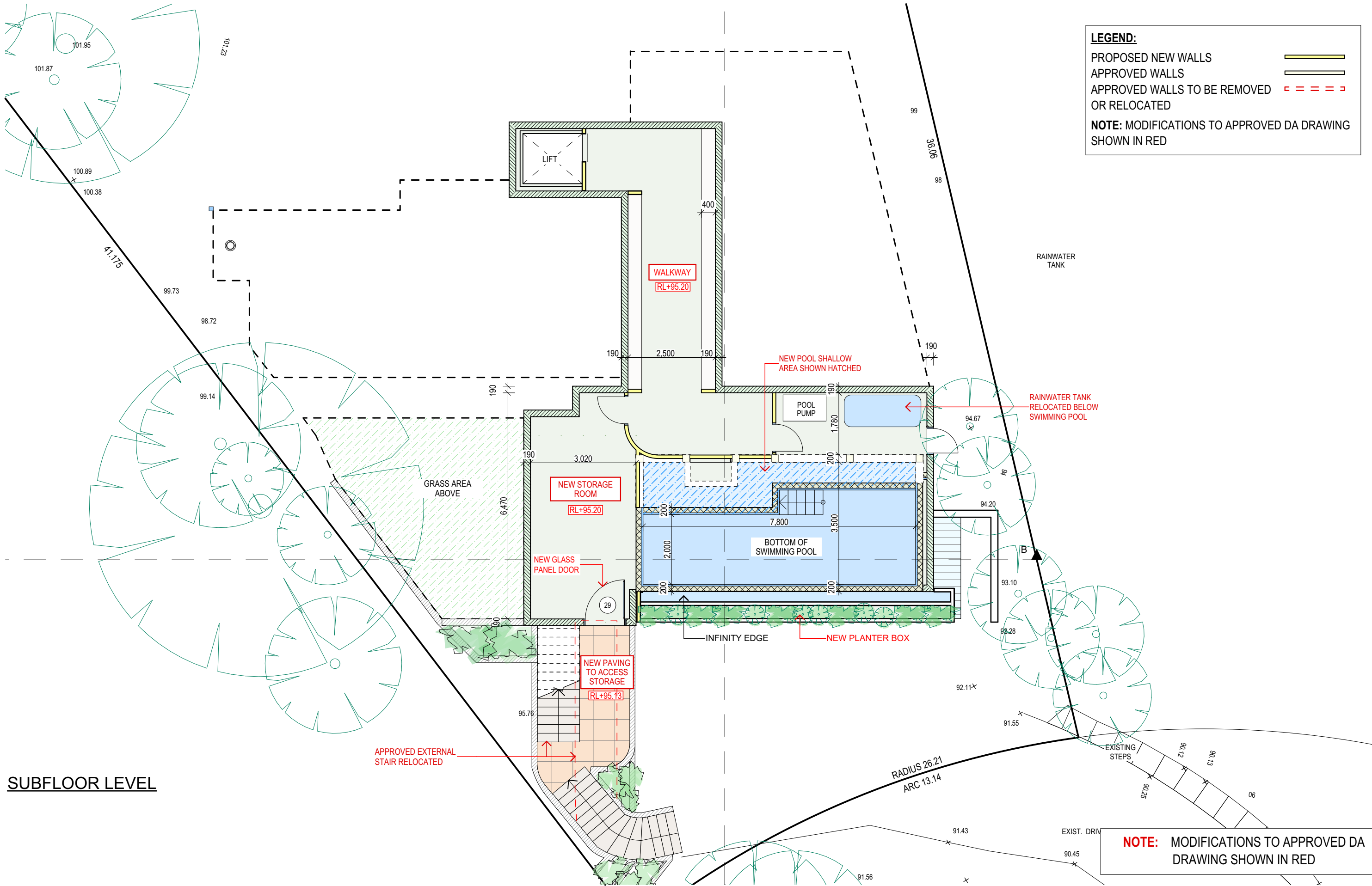
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PROJECT DETAILS: SECTION 4.55 - ALTERATION AND ADDITIONS 28 PACIFIC RD - PALM BEACH	DRAWING TITLE: PROPOSED GARAGE FLOOR PLAN
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DATE: 08/20	DRAWN BY: LB	SCALE: 1:100 @ A3
JOB No: 827/20	CHECKED BY: JJ	DRAWING No: <b>MOD.02</b>





**LEGEND:**

PROPOSED NEW WALLS

APPROVED WALLS

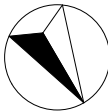
APPROVED WALLS TO BE REMOVED OR RELOCATED

**NOTE:** MODIFICATIONS TO APPROVED DA DRAWING SHOWN IN RED

**SUBFLOOR LEVEL**

**NOTE:** MODIFICATIONS TO APPROVED DA DRAWING SHOWN IN RED

TRUE NORTH:



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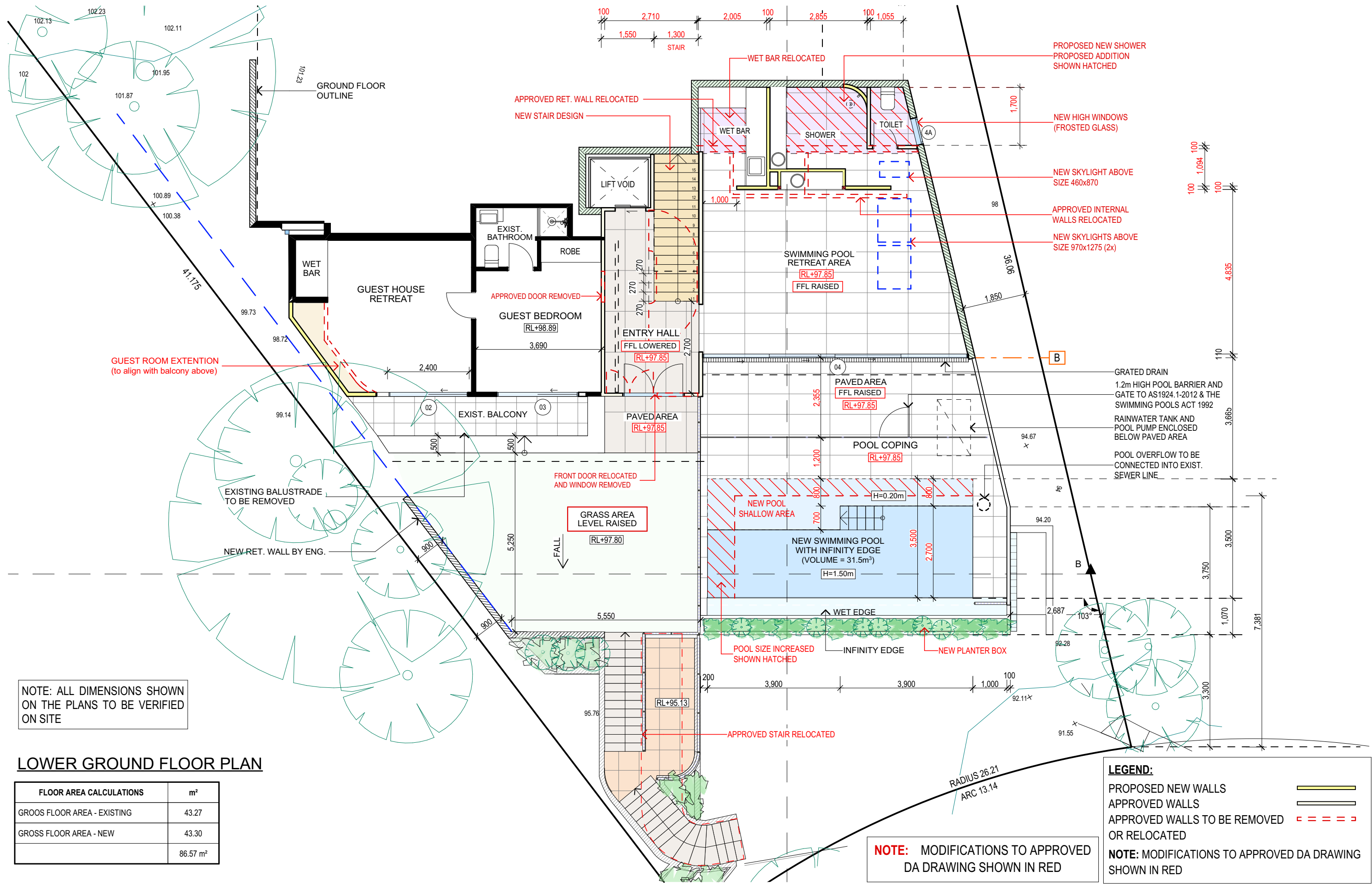
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PROJECT DETAILS: SECTION 4.55 - ALTERATION AND ADDITIONS 28 PACIFIC RD - PALM BEACH	DRAWING TITLE: SUBFLOOR LEVEL
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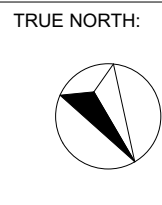
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NOTE: ALL DIMENSIONS SHOWN ON THE PLANS TO BE VERIFIED ON SITE

LOWER GROUND FLOOR PLAN

FLOOR AREA CALCULATIONS	m <sup>2</sup>
GROSS FLOOR AREA - EXISTING	43.27
GROSS FLOOR AREA - NEW	43.30
	86.57 m <sup>2</sup>



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PROJECT DETAILS:
SECTION 4.55 - ALTERATION AND ADDITIONS
28 PACIFIC RD - PALM BEACH
DRAWING TITLE:
PROPOSED LOWER GROUND FLOOR PLAN

DATE:	08/20	DRAWN BY:	LB	SCALE:	1:100 @ A3
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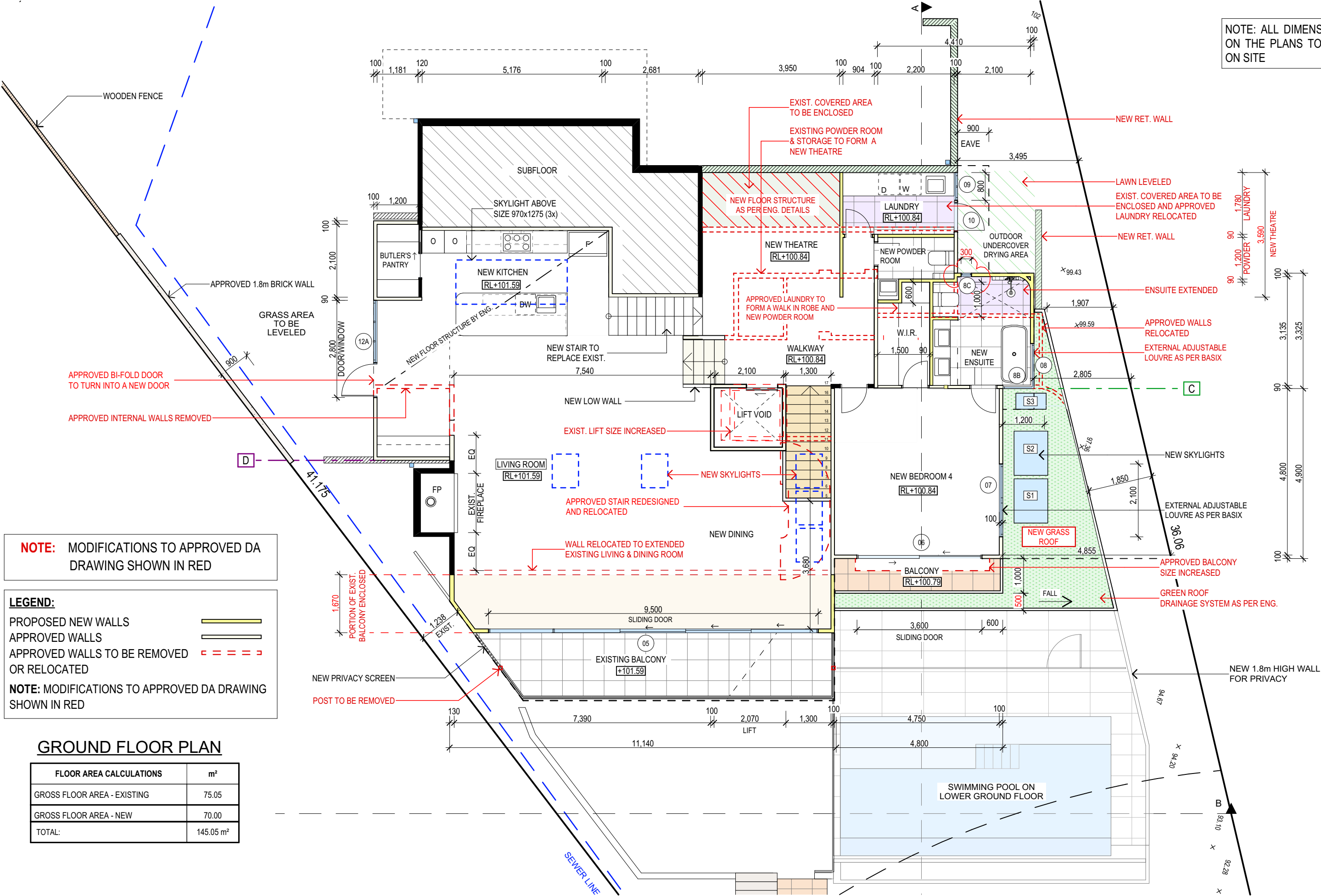
NOTE: MODIFICATIONS TO APPROVED DA DRAWING SHOWN IN RED

**LEGEND:**

PROPOSED NEW WALLS  
APPROVED WALLS  
APPROVED WALLS TO BE REMOVED OR RELOCATED

NOTE: MODIFICATIONS TO APPROVED DA DRAWING SHOWN IN RED

NOTE: ALL DIMENSIONS SHOWN ON THE PLANS TO BE VERIFIED ON SITE



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**LEGEND:**

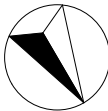
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APPROVED WALLS TO BE REMOVED  
OR RELOCATED

**NOTE:** MODIFICATIONS TO APPROVED DA DRAWING SHOWN IN RED

**GROUND FLOOR PLAN**

FLOOR AREA CALCULATIONS	m <sup>2</sup>
GROSS FLOOR AREA - EXISTING	75.05
GROSS FLOOR AREA - NEW	70.00
TOTAL:	145.05 m <sup>2</sup>

TRUE NORTH:



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PROJECT DETAILS:  
SECTION 4.55 - ALTERATION AND ADDITIONS  
28 PACIFIC RD - PALM BEACH

DRAWING TITLE:  
PROPOSED GROUND FLOOR PLAN

DATE:  
08/20

JOB No:  
827/20

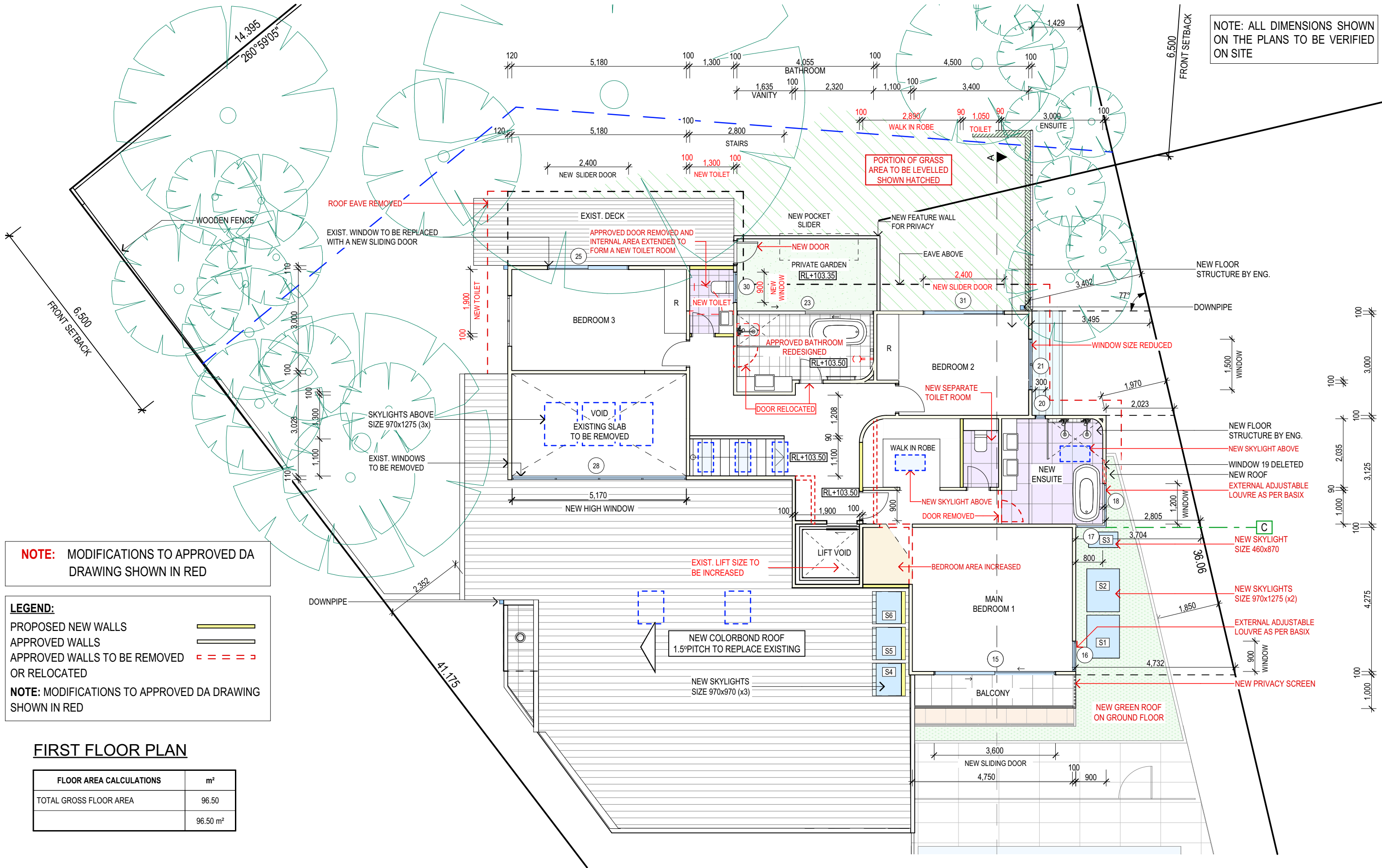
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**MOD.05**





NOTE: ALL DIMENSIONS SHOWN ON THE PLANS TO BE VERIFIED ON SITE

**NOTE:** MODIFICATIONS TO APPROVED DA DRAWING SHOWN IN RED

**LEGEND:**

PROPOSED NEW WALLS

APPROVED WALLS

APPROVED WALLS TO BE REMOVED

OR RELOCATED

**NOTE:** MODIFICATIONS TO APPROVED DA DRAWING SHOWN IN RED

FIRST FLOOR PLAN

FLOOR AREA CALCULATIONS	m <sup>2</sup>
TOTAL GROSS FLOOR AREA	96.50
	96.50 m <sup>2</sup>

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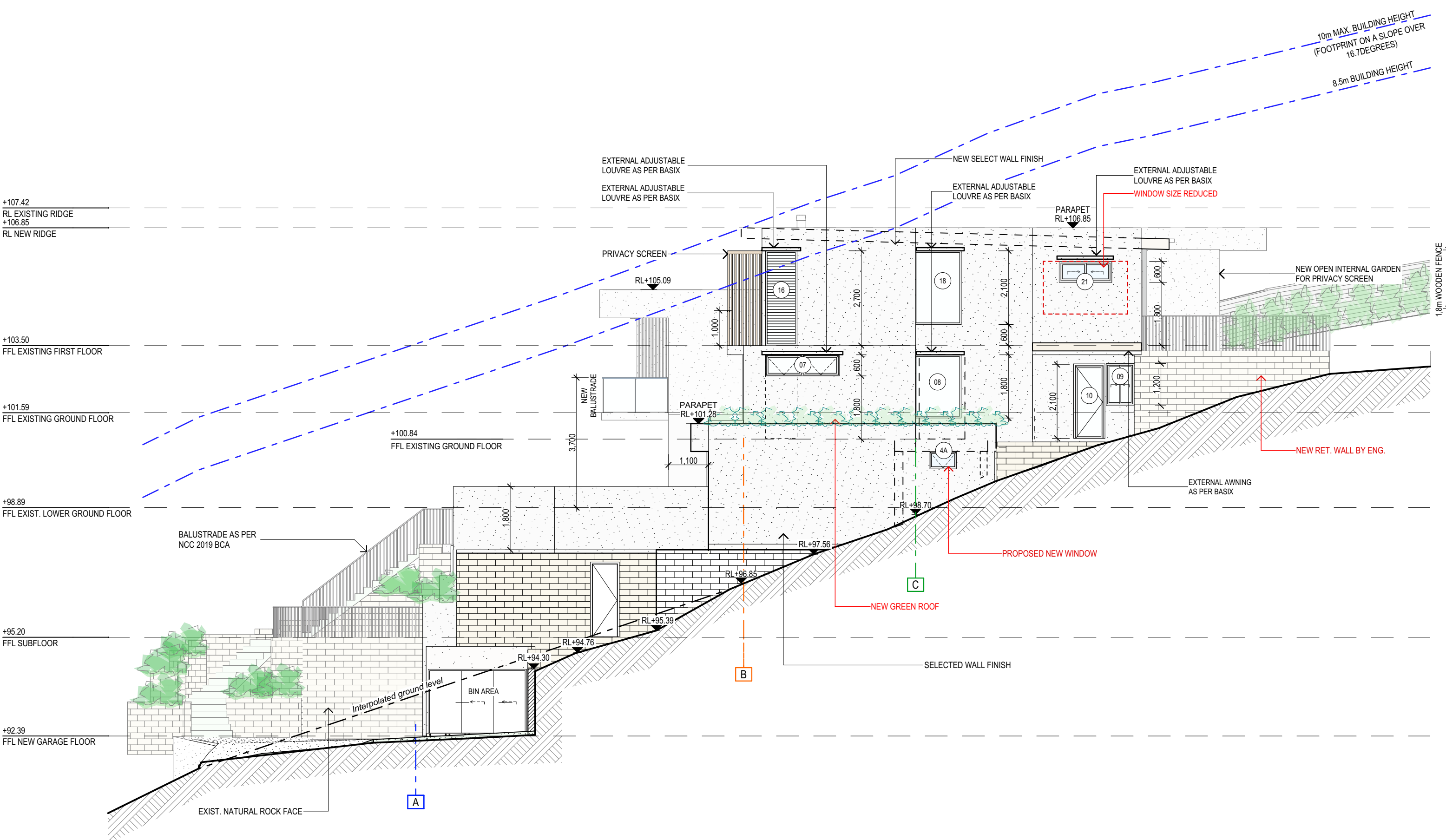
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PROJECT DETAILS: SECTION 4.55 - ALTERATION AND ADDITIONS 28 PACIFIC RD - PALM BEACH	DATE: 08/20	DRAWN BY: LB	SCALE: 1:100 @ A3
DRAWING TITLE: PROPOSED FIRST FLOOR PLAN	JOB No: 827/20	CHECKED BY: JJ	DRAWING No: MOD.06







**NORTH WEST ELEVATION**

**NOTE:** MODIFICATIONS TO APPROVED DA  
DRAWING SHOWN IN RED

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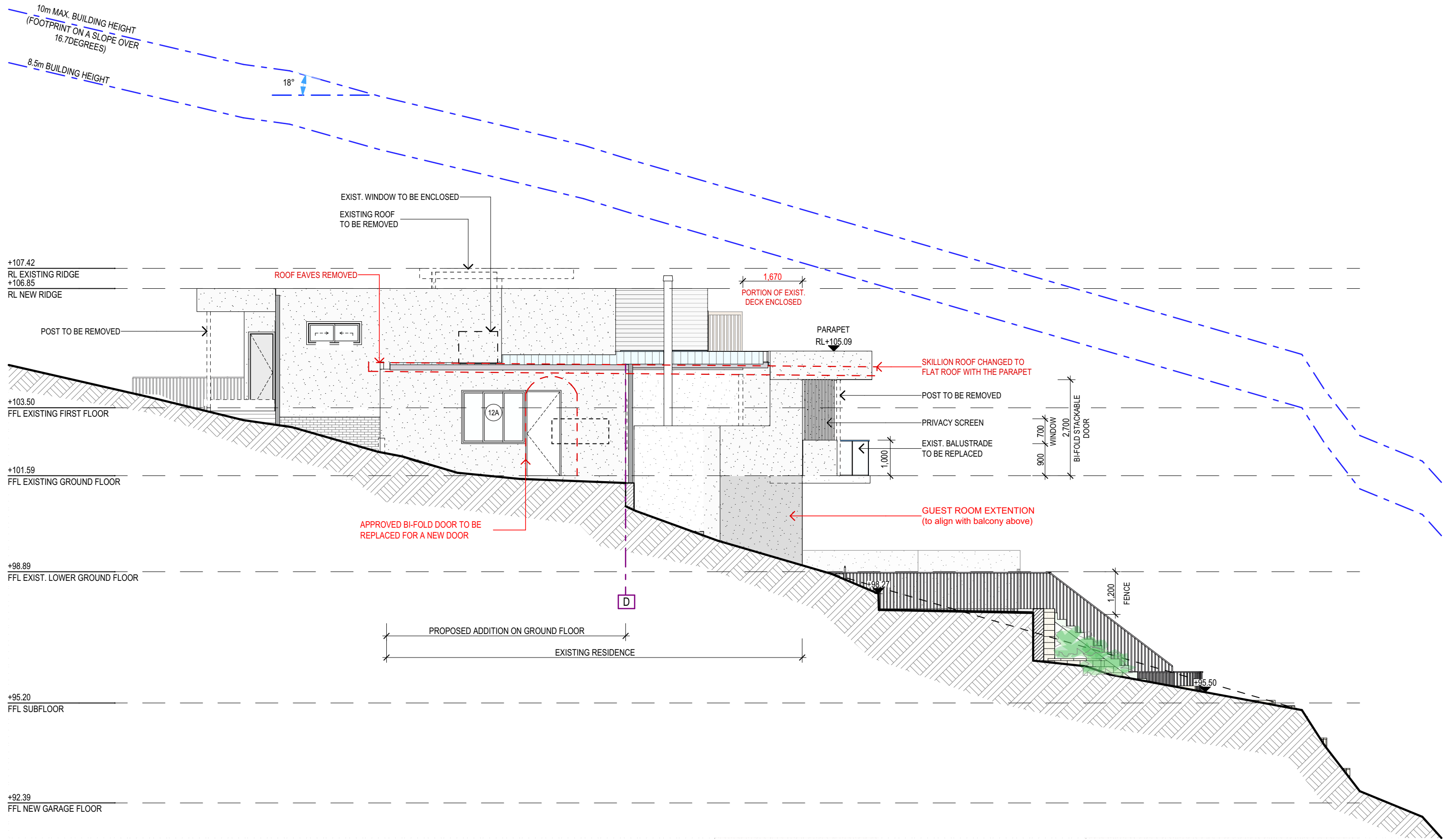
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PROJECT DETAILS: SECTION 4.55 - ALTERATION AND ADDITIONS 28 PACIFIC RD - PALM BEACH
DRAWING TITLE: PROPOSED NORTH WEST ELEVATION

DATE: 08/20	DRAWN BY: LB	SCALE: 1:100 @ A3
JOB No: 827/20	CHECKED BY: JJ	DRAWING No: <b>MOD.08</b>



**SOUTH EAST ELEVATION**

**NOTE:** MODIFICATIONS TO APPROVED DA  
DRAWING SHOWN IN RED

	<b>NOTES</b> (E & OE) <ul style="list-style-type: none"><li>• All structures including stormwater &amp; drainage to engineer's details.</li><li>• Do not obtain dimensions by scaling drawings.</li><li>• All dimensions are to be checked on site prior to starting work.</li><li>• These drawings are to be read in conjunction with all other consultant's drawings and specifications.</li><li>• All workmanship &amp; materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards &amp; local council requirements.</li><li>• New materials are to be used throughout unless otherwise noted.</li><li>• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.</li></ul>

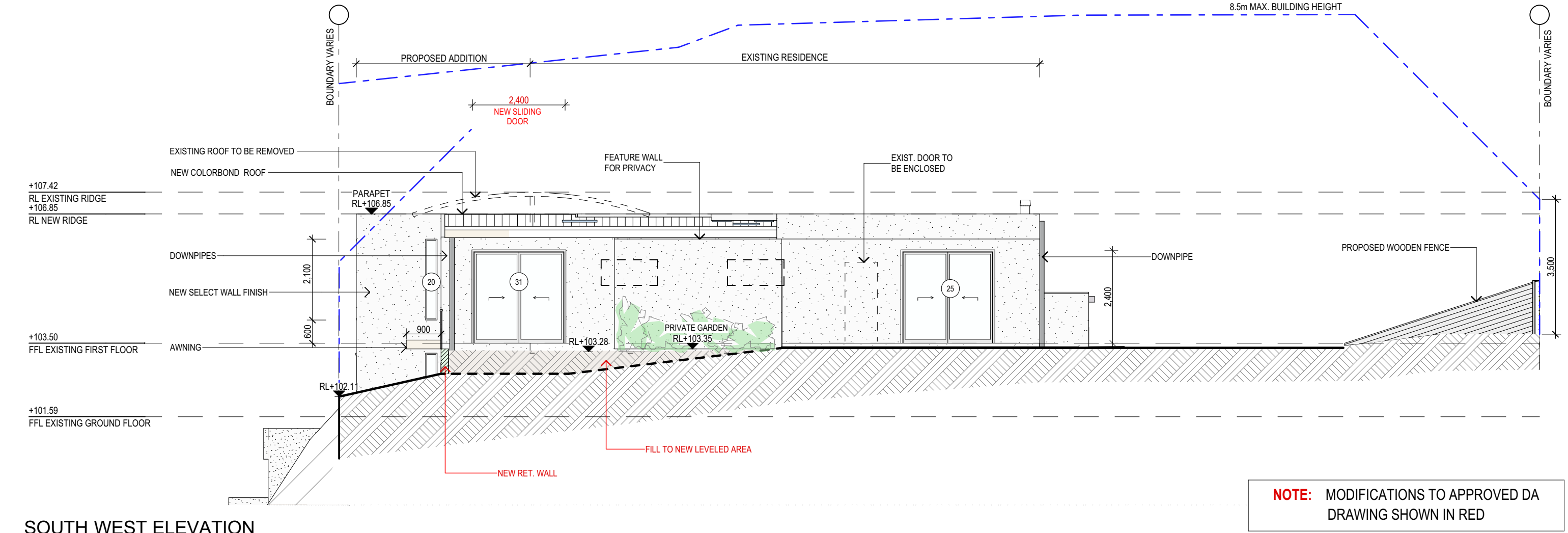
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PROJECT DETAILS: SECTION 4.55 - ALTERATION AND ADDITIONS 28 PACIFIC RD - PALM BEACH	DRAWING TITLE: PROPOSED SOUTH EAST ELEVATION
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DATE: 08/20	DRAWN BY: LB	SCALE: 1:100 @ A3
JOB No: 827/20	CHECKED BY: JJ	DRAWING No: <b>MOD.09</b>



SOUTH WEST ELEVATION

SPECIFICATION NOTES

- INTERNAL LINING**
- PROVIDE PLASTERBOARD LINING.
  - INSTALL TO MANUFACTURERS SPECIFICATIONS & AS 2589
- EXTERNAL WALLS:**
- BRICK VENEER WALLS WITH SELECTED BRICKS TO DWELLING.
  - LIGHTWEIGHT TIMBER CLADDING OR SIMILAR TO SINGLE GARAGE/GYM.
- FLOOR:**
- GROUND FLOOR TO BE REINFORCED CONCRETE SLAB IN ACCORDANCE WITH AS2870.
  - FIRST FLOOR TO BE TIMBER FRAMED FINISHED WITH T&G HARDWOOD FLOORING.
- WET AREAS:**
- ALL WATERPROOFING TO AS 3740
  - PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS & SHOWERS WALLS TO MANUFACTURES INSTRUCTIONS
- BEARERS AND JOISTS:**
- SHALL BE INSTALLED TO COMPLY WITH AS1684 AS AMENDED FOR TIMBER COMPONENTS OR AS3620 FOR LIGHTHWEIGHT STEEL FRAMING SECTIONS OR AS PER THE NASH ALTERNATIVES TO AS 3623.
- ANT CAPS:**
- SHALL BE INSTALLED IN ACCORDANCE WITH AS3660.
- PROFILED STEEL ROOF:**
- NCC VOL.2 PART 3.5.1.
  - DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH AS/NZS 1562.
- ROOFING:**
- COLORBOND ROOF CLADDING
- CONCRETE:**
- SHALL BE IN ACCORDANCE WITH NCC VOL.1 PART B1.4 OR VOL.2 PART 3.2.3.
  - ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE AS3600.
- CONCRETE BLOCKS OR BRICKS:**
- TO COMPLY WITH TO AS4455 MANSORY BUILDING BLOCKS/PAVER.

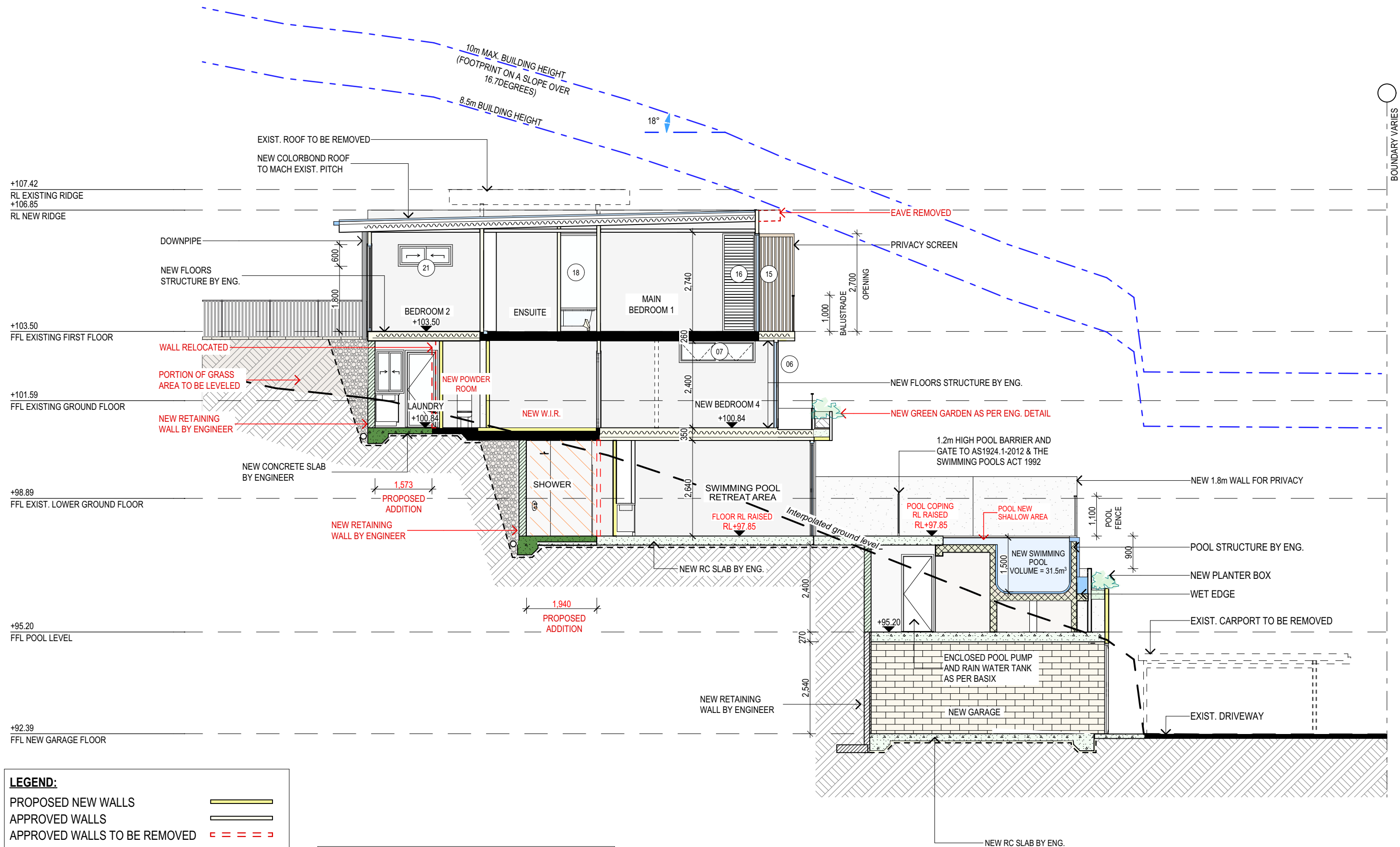
- FOOTINGS:**
- FOOTINGS TO BE IN ACCORDANCE WITH AS1480.
  - FOOTINGS TO BE IN ACCORDANCE WITH NCC VOL.2 PARTS 3.2.3, 3.2.4 AND 3.2.5
  - ALL REINFORCEMENTS SHALL CONFORM TO AS1302, AS1303 AND AS1304.
- BRICK AND BLOCKWORK:**
- CONSTRUCTION OF MASONRY BUILDINGS SHALL BE AS PER AS3700 OR AS4773.
- CARPENTRY:**
- TIMBER TO COMPLY WITH AS1170.2 OR AS4055.
  - ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS1684 AND 1720 AS APPLICABLE.
- TIMBER FRAMING:**
- TO COMPLY WITH NCC VOL.2 PART 3.4
  - GROUND FLOOR TIMBERS SHALL BE ONLY OF HARDWOOD, CYPRESS PINE OR PRESSURE TREATED RADIATA OR CANADA PINE BELOW A HEIGHT OF 300mm ABOVE FINISHED GROUND LEVEL AND MUST NOT BE BUILT INTO BRICKWORK.
  - SUBFLOOR VENTILATION SHALL CONFORM TO NCC VOL.2 PART 3.4.1.
  - IN BUSHFIRE PRONE AREAS SPECIAL CONDITIONS APPLY.
  - WHERE TERMITE BARRIERS NEED TO BE INSPECTED, 400mm CLEARANCE IS REQUIRED BETWEEN THE UNDERSIDE OF BEARER AND GROUND SURFACE.
  - USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY.
  - DO NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED LOCATION.
  - PROVIDE STRUCTURE BRACING IN ACCORDANCE WITH AS1684
  - PROVIDE STRUCTURE TIEDOWN IN ACCORDANCE WITH AS1684
  - USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER.
- TERMITE CONTROL:**
- TO BE IN ACCORDANCE WITH TO AS3660.1
  - SHALL BE IN ACCORDANCE WITH NCC VOL.2 PART 3.1.3 OR VOL.1 PART B1.4.
- FLASHING AND CAPPINGS:**
- SELECTION AND INSTALLATION OF METAL RAINWATER GOODS REFER TO AS2180
  - FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING OF AN APRON FLASHING AND OVER FLASHING, WITH AT LEAST 100mm OVERLAP.
  - PROVIDE FOR INDEPENDENT MOVEMENT BETWEEN ROOF AND PROJECTION.

- LIGHTING:**
- 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS
- DOOR & WINDOWS:**
- ALL FRAMED WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH AS2047-48 FOR ALUMINIUM WINDOWS AND AS2047 FOR TIMBER WINDOWS.
  - ALUMINIUM FRAMED WINDOWS AND DOORS.
  - WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS.
- STAIRS, HANDRAILS AND BALUSTRADES:**
- SOLID COLORBOND BALUSTRADE.
  - NCC VOL.2 PARTS 3.9.1 AND 3.9.2
  - RELATIONSHIP OF RISER TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED OR AS PERMITTED IN AS1657.
  - BALUSTRADES SHALL BE PROVIDED TO ALL LANDINGS, RAMPS, DECKS, ROOFS AND OTHER ELEVATED PLATFORMS WHERE THE VERTICAL DISTANCE FROM THAT LEVEL IS MORE THAN 1m ABOVE THE ADJOINING FLOOR OR FINISHED GROUND LEVEL.
  - THE HEIGHT OF BALUSTRADE MUST BE A MINIMUM OF 1m HIGH ABOVE LANDING AND NOT LESS THAN 865mm ABOVE THE NOSINGS OF ANY STAIR TREADS OR FLOOR RAMP AND HAVE NO OPENING GREATER THAN 125mm.
  - THE HEIGHT OF BALUSTRADE TO THE NEW STAIR CASES IS TO BE MEASURED A MINIMUM 865mm ABOVE THE NOSING LINE AND HAVE NO OPENING GREATER NO OPENING GREATER THAN 125mm.
- SLIP RESISTANCE:**
- MATERIALS TO BE USED FOR SURFACES OF FLOORS, STAIR LANDING, STEPS AND NOSINGS SHALL BE IN ACCORDANCE WITH THE CLASSIFICATIONS FOR SLIP RESISTANCE AS APPLY IN AS4586 AND HB198.
- STORMWATER:**
- EAVES GUTTERS, VALLEY GUTTERS AND DOWPIPES**
- TO COMPLY WITH AS/NZS 2179 FOR METAL AND AS1273 FOR UPVC COMPONENTS.
  - NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE
  - COLORBOND GUTTERS AND DOWNPIPES
  - MINIMUM SLOPE OF EAVES AND GUTTERS 1:200

- GLAZING:**
- NCC VOL.1 PARTS B 1.4, D 3.12, F1.13 OR NCC VOL.2 PART 3.6
- SMOKE DETECTORS/ALARMS:**
- NCC VOL 2 PART 3.7.2, FIRE/SMOKE DETECTORS COMPLYING WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT ACT AND/OR STATE OR TERRITORY REGULATIONS MUST BE FITTED IN THE LOCATIONS REQUIRED AND APPROVED BY THE AUTHORITY AND SHALL BE INSTALLED IN ACCORDANCE WITH AS3786.
  - INSTALLATIONS IN BUILDINGS OTHER THAN CLASS 1 AND 10 MUST BE INSTALLED AND MANAGED TO COMPLY WITH NCC SPEC. E2.2a.
  - MULTIPLE ALARMS WITHIN HOUSES AND SOLE OCCUPANCY UNITS MUST BE HARD WIRED AND INTERCONNECTED.
- WASTE MANAGEMENT:**
- ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT.
  - ALL WASTE SHALL BE COVERED DURING TRANSPORTATION.
  - WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE.
- SEDIMENT CONTROL:**
- A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER SYSTEM.
- NOTE:**
- ALL PLANS ARE TO BE READ IN CONJUNCTION AND COMPLY WITH THE BASIX CERTIFICATE, BUSHFIRE AND GEOTECH REPORTS.

<div>NOTES (E &amp; OE)</div> <div><ul style="list-style-type: none"><li>● All structures including stormwater &amp; drainage to engineer's details.</li><li>● Do not obtain dimensions by scaling drawings.</li><li>● All dimensions are to be checked on site prior to starting work.</li><li>● These drawings are to be read in conjunction with all other consultant's drawings and specifications.</li><li>● All workmanship &amp; materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards &amp; local council requirements.</li><li>● New materials are to be used throughout unless otherwise noted.</li><li>● Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.</li></ul></div>	<div>JJ Drafting</div> <div>Australia P/L.</div> <div>26/90 Mona Vale Road, Mona Vale, NSW, 2103</div> <div>PO Box 687, Dee Why, NSW, 2099</div> <div>Mob. 0414 717 541   Email. enquiries@jldrafting.com.au</div> <div>www.jldrafting.com.au</div> <div>ACN 651 693 346</div>	<table><tr><th>REV:</th><th>DATE:</th><th>DESCRIPTION:</th></tr><tr><td>M</td><td>11.08.22</td><td>SECTION 4.55 UPDATED</td></tr><tr><td>N</td><td>26.08.22</td><td>SECTION 4.55 UPDATED</td></tr><tr><td>O</td><td>09.11.22</td><td>SECTION 4.55 UPDATED</td></tr><tr><td>P</td><td>15.11.22</td><td>SECTION 4.55 UPDATED</td></tr><tr><td>Q</td><td>27.03.23</td><td>SECTION 4.55 UPDATED</td></tr><tr><td>R</td><td>29.08.23</td><td>SECTION 4.55 UPDATED</td></tr><tr><td>S</td><td>01.09.23</td><td>SECTION 4.55 UPDATED</td></tr></table>	REV:	DATE:	DESCRIPTION:	M	11.08.22	SECTION 4.55 UPDATED	N	26.08.22	SECTION 4.55 UPDATED	O	09.11.22	SECTION 4.55 UPDATED	P	15.11.22	SECTION 4.55 UPDATED	Q	27.03.23	SECTION 4.55 UPDATED	R	29.08.23	SECTION 4.55 UPDATED	S	01.09.23	SECTION 4.55 UPDATED	<div>PROJECT DETAILS:</div> <div>SECTION 4.55 - ALTERATION AND ADDITIONS</div> <div>28 PACIFIC RD - PALM BEACH</div>	<div>DATE:</div> <div>08/20</div>	<div>DRAWN BY:</div> <div>LB</div>	<div>SCALE:</div> <div>1:100 @ A3</div>
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**LEGEND:**

PROPOSED NEW WALLS

APPROVED WALLS

APPROVED WALLS TO BE REMOVED

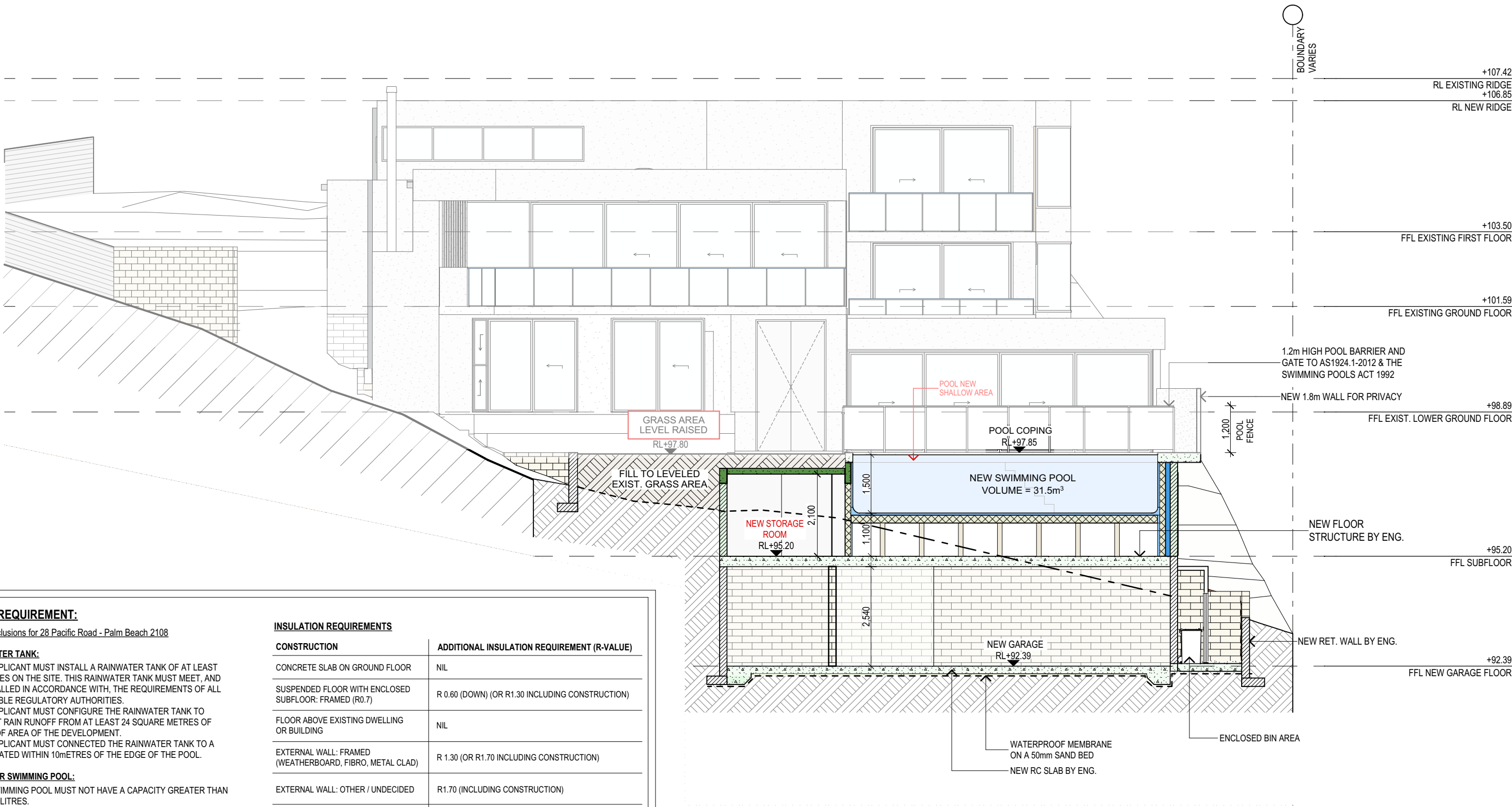
OR RELOCATED

**NOTE:** MODIFICATIONS TO APPROVED DA DRAWING SHOWN IN RED

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**SECTION AA**

	<div>NOTES (E &amp; OE)</div> <div><ul style="list-style-type: none"><li>• All structures including stormwater &amp; drainage to engineer's details.</li><li>• Do not obtain dimensions by scaling drawings.</li><li>• All dimensions are to be checked on site prior to starting work.</li><li>• These drawings are to be read in conjunction with all other consultant's drawings and specifications.</li><li>• All workmanship &amp; materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards &amp; local council requirements.</li><li>• New materials are to be used throughout unless otherwise noted.</li><li>• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.</li></ul></div>	<div><div>JJ Drafting</div><div>Australia P/L.</div><div>26/90 Mona Vale Road, Mona Vale, NSW, 2103</div><div>PO Box 687, Dee Why, NSW, 2099</div><div>Mob. 0414 717 541   Email. enquiries@jjdrafting.com.au</div><div>www.jjdrafting.com.au</div><div>ACN 651 693 346</div></div>	<div>REV:</div> <div>DATE:</div> <div>DESCRIPTION:</div>	<div>PROJECT DETAILS:</div> <div>SECTION 4.55 - ALTERATION AND ADDITIONS</div> <div>28 PACIFIC RD - PALM BEACH</div>		<div>DATE:</div> <div>08/20</div>	<div>DRAWN BY:</div> <div>LB</div>	<div>SCALE:</div> <div>1:100 @ A3</div>	
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**BASIX REQUIREMENT:**

BASIX Inclusions for 28 Pacific Road - Palm Beach 2108

**RAINWATER TANK:**

- THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 3062LITRES ON THE SITE. THIS RAINWATER TANK MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH, THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES.
- THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RAIN RUNOFF FROM AT LEAST 24 SQUARE METRES OF THE ROOF AREA OF THE DEVELOPMENT.
- THE APPLICANT MUST CONNECTED THE RAINWATER TANK TO A TAP LOCATED WITHIN 10mETRES OF THE EDGE OF THE POOL.

**OUTDOOR SWIMMING POOL:**

- THE SWIMMING POOL MUST NOT HAVE A CAPACITY GREATER THAN 31.5 KILOLITRES.
- THE APPLICANT MUST INSTALL A POOL PUMP TIMER FOR THE SWIMMING POOL.
- THE APPLICANT MUST NOT INCORPORATE ANY HEATING SYSTEM.

**LIGHTING REQUIREMENTS:**

40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS

**WATER**

- SHOWER RATING \_\_\_\_\_ MINIMUM 3 STAR
- TAP RATING \_\_\_\_\_ MINIMUM 3 STAR
- WC'S RATING \_\_\_\_\_ MINIMUM 3 STAR

**INSULATION REQUIREMENTS**

CONSTRUCTION	ADDITIONAL INSULATION REQUIREMENT (R-VALUE)
CONCRETE SLAB ON GROUND FLOOR	NIL
SUSPENDED FLOOR WITH ENCLOSED SUBFLOOR: FRAMED (R0.7)	R 0.60 (DOWN) (OR R1.30 INCLUDING CONSTRUCTION)
FLOOR ABOVE EXISTING DWELLING OR BUILDING	NIL
EXTERNAL WALL: FRAMED (WEATHERBOARD, FIBRO, METAL CLAD)	R 1.30 (OR R1.70 INCLUDING CONSTRUCTION)
EXTERNAL WALL: OTHER / UNDECIDED	R1.70 (INCLUDING CONSTRUCTION)
FLAT CEILING, FLAT ROOF: FRAMED	Ceiling: R2.08 (up), roof: foil backed blanket (55 mm) Medium (solar absorptance 0.475 - 0.70)

**GLAZING DOORS / WINDOWS / SKYLIGHTS**

- STANDARD ALUMINIUM, SINGLE CLEAR, (or U-value: 7.63, SHGC: 0.75)  
WINDOWS/DOORS - W2, W3, W4, W5, W6, W8, W10, W12, W13, W15, W20, W23, W24, W25
- STANDARD ALUMINIUM, SINGLE PYROLYTIC low-e, (U-value: 5.7, SHGC: 0.47)  
WINDOWS/DOORS - W7, W9, W14, W16, W17, W18, W19, W21, W28
- TIMBER, LOW-E INTERNAL/ARGON FILL/CLEAR EXTERNAL, (or U-value: 2.5, SHGC: 0.456)  
SKYLIGHTS - S1, S2, S3

**SECTION BB**

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PROJECT DETAILS:  
SECTION 4.55 - ALTERATION AND ADDITIONS  
28 PACIFIC RD - PALM BEACH

DRAWING TITLE:  
SECTION BB / BASIX NOTES

DATE:  
08/20

JOB No:  
827/20

DRAWN BY:  
LB

CHECKED BY:  
JJ

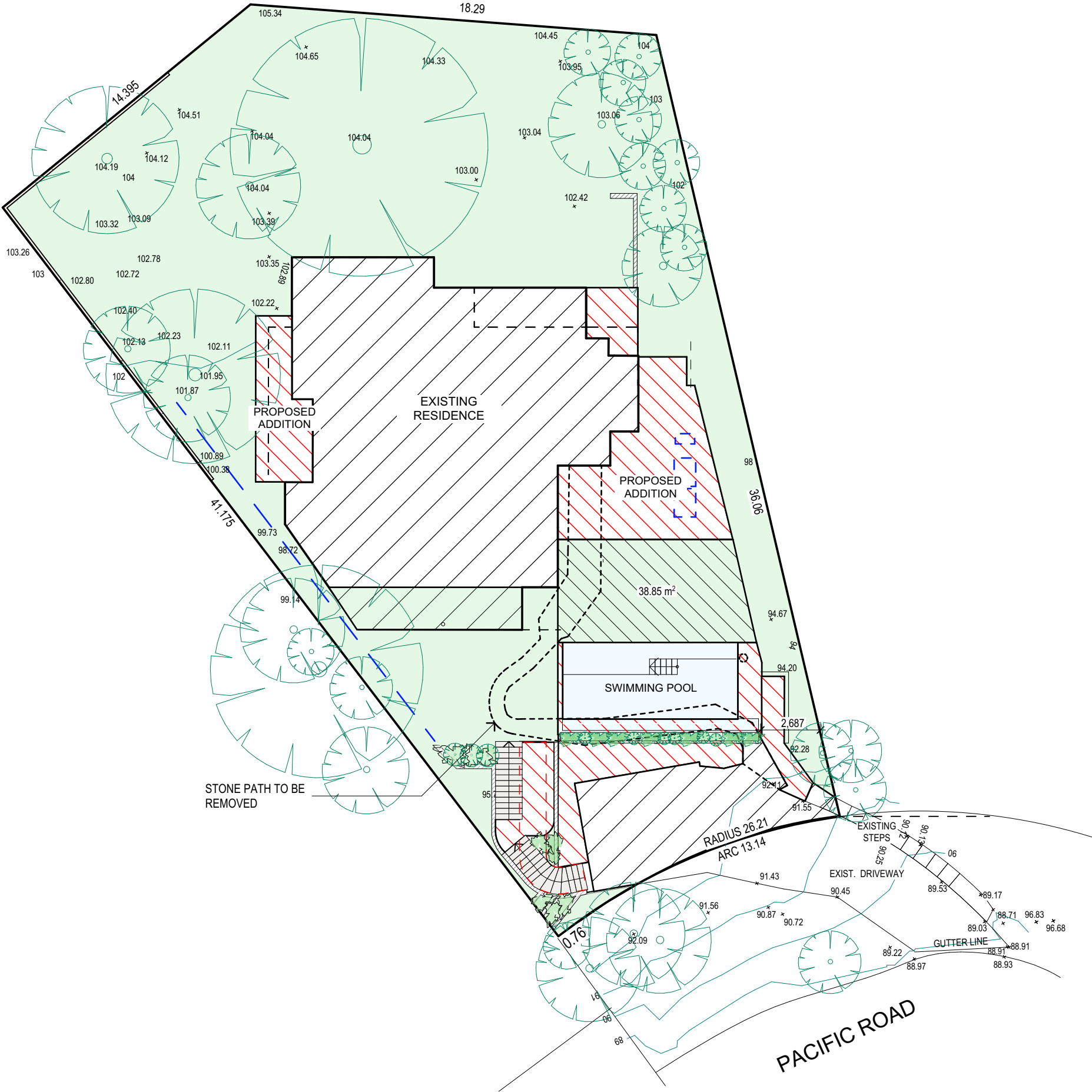
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DRAWING No:  
**MOD.12**

LANDSCAPE CALCULATION PLAN

NO CHANGES

CALCULATIONS			
SITE AREA			904.40m <sup>2</sup>
LANDSCAPE CONTROL		60%	542.64m <sup>2</sup>
EXISTING LANDSCAPED AREA (INCLUDES 6% OF OUTDOOR RECREATIONAL AREA)	<div><div></div><div></div></div>	75.97%	687.12m <sup>2</sup>
TOTAL LANDSCAPED AREA (INCLUDES 6% OF OUTDOOR RECREATIONAL AREA)	<div><div></div><div></div></div>	60%	542.64m <sup>2</sup>
EXISTING HARD SURFACE AREA	<div><div></div><div></div></div>		217.28m <sup>2</sup>
ADDITIONAL HARD SURFACE AREA	<div><div></div><div></div></div>		138.40m <sup>2</sup>
TOTAL HARD SURFACE AREA		40%	361.76m <sup>2</sup>



TRUE NORTH:

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DRAWING TITLE: LANDSCAPED AREA CALCULATION PLAN	JOB No: 827/20	CHECKED BY: JJ	DRAWING No: <b>MOD.13</b>



