

3 GONDOLA RD, NORTH NARRABEEN DEVELOPMENT APPLICATION



	DRAWING NAME	SCALE	ISSUE	DATE
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A4101	JUN 21 SHADOW DIAGRAM 12 PM	1:500	A	-
A4102	JUN 21 SHADOW DIAGRAM 3 PM	1:500	A	-

UNIT SCHEDULE						
	UNIT No.	BDRMS	AREA m2	POS (m2)	IN UNIT STORAGE	BASEMENT STORAGE
FIRST FLOOR						
	U101	2 B	85.29	12.32	4.07	18.70
	U102	2 B	87.58	10.69	4.80	24.99
	U103 (s) (a)	2 B	89.41	10.03	5.96	23.27
	U104	2 B	75.02	10.20	4.44	24.53
SECOND FLOOR						
	U201	2 B	85.29	12.32	4.07	23.64
	U202	2 B	87.58	10.69	4.80	18.33
	U203 (s) (a)	2 B	89.41	10.03	5.96	19.24
	U204	2 B	75.02	10.20	4.44	26.83

ADAPTABLE = AS4299 CLASS C REQUIREMENT
LHD SILVER = LIVABLE HOUSING DESIGN GUIDELINES 'SILVER LEVEL'



	mackenzie architects international Pacific Hwy, Gordon 2072 Phone: (02) 9967 9966 Fax: (02) 9967 9977 info@maininternational.com.au www.maininternational.com.au	Nominated Architect No.6033 ABN 78 091 101 201 ACN 091107201	STATUS: #Project Status LEGEND: DO NOT SCALE DRAWINGS VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK COPYRIGHT: Mackenzie Architects International is the owner of the copyright subsisting in these drawings, plans, designs and specifications. They must not be used, reproduced or copied in whole or part without prior written consent of Mackenzie Architects International.	AMENDMENTS <table border="1"> <tr> <th>REV</th> <th>STATUS</th> <th>BY</th> <th>DATE</th> </tr> <tr> <td>A</td> <td>DEVELOPMENT APPLICATION</td> <td>AM</td> <td>18/05/2022</td> </tr> </table>	REV	STATUS	BY	DATE	A	DEVELOPMENT APPLICATION	AM	18/05/2022	PROJECT NORTH PROJECT Development Application 3 GONDOLA RD NORTH NARRABEEN NSW 2101, AUSTRALIA	DRAWING: COVER PAGE SCALE: @A3 DRAWING NO.: A0000 ISSUE: A Copyright Mackenzie Architects International. All rights reserved
			REV	STATUS	BY	DATE								
A	DEVELOPMENT APPLICATION	AM	18/05/2022											
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LEGEND

— SITE BOUNDARY

PROPOSED SITE

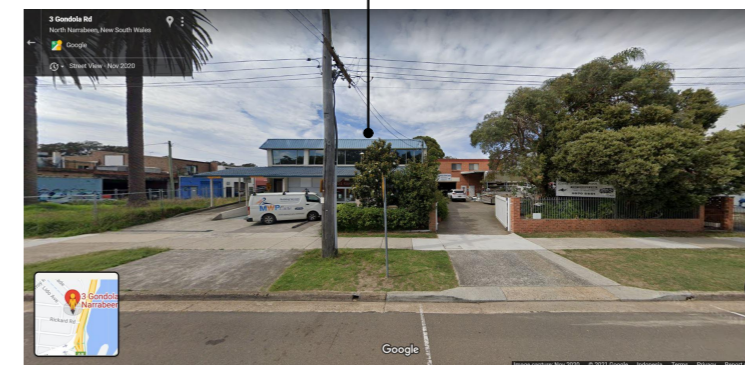


GONDOLA ROAD TOWARDS PITTPATER ROAD



PROPOSED SITE

PROPOSED SITE



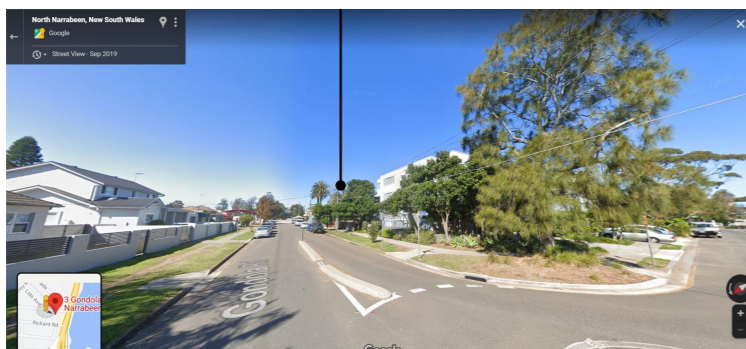
PROPOSED SITE FROM GONDOLA ROAD



PROPOSED SITE

PROPOSED SITE

PROPOSED SITE



INTERSECTION OF VERONA ST AND GONDOLA RD



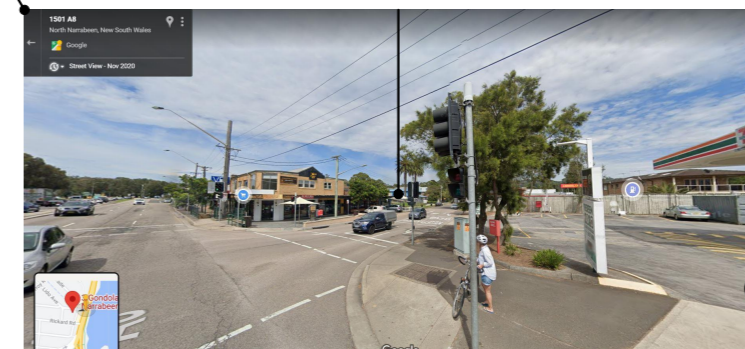
FROM SITE LOOKING

Energy Rating Certificate Number: 0009179740

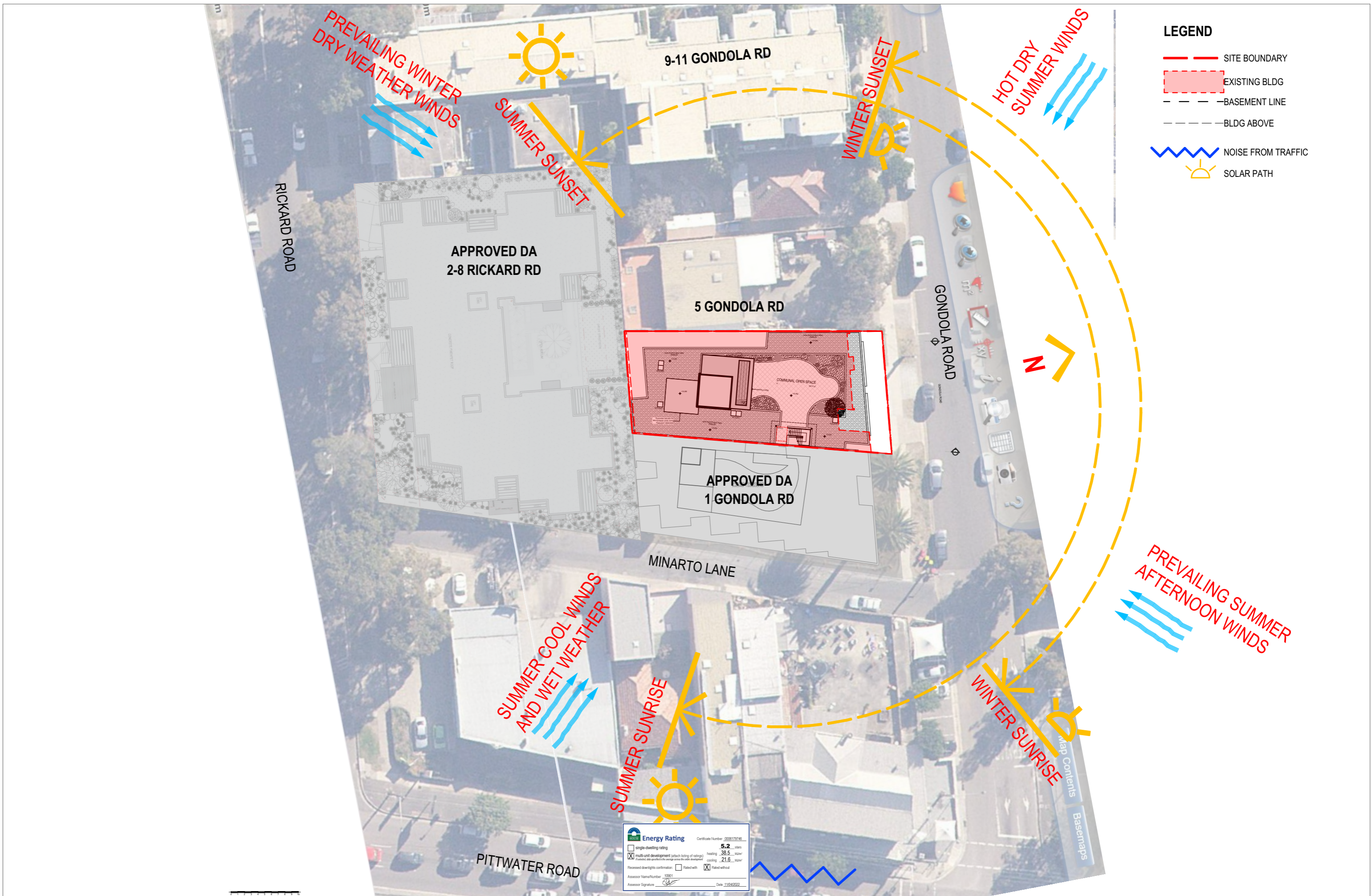
single-dwelling rating **5.2** stars
 multi-unit development (attach listing of ratings) **heating 38.5** stars
 cooling **21.8** stars
 Possible air quality in the range areas for each development

Processed daylight confirmation: Rated with Rated without

Assessor Name/Number: 10001
 Assessor Signature: [Signature]
 Date: 11/04/2022



INTERSECTION OF PITTPATER ROAD AND GONDOLA ROAD



- LEGEND**
- SITE BOUNDARY
 - EXISTING BLDG
 - BASEMENT LINE
 - BLDG ABOVE
 - ~ NOISE FROM TRAFFIC
 - ☀ SOLAR PATH

Energy Rating Certificate Number: 0005179749

single-dwelling rating	5.2 stars
multi-unit development (attach listing of ratings)	heating 38.5 stars
cooling 21.8 stars	cooling 21.8 stars
Processed daylight confirmation:	<input type="checkbox"/> Rated with <input checked="" type="checkbox"/> Rated without
Assessor Name/Number	10001
Assessor Signature	Date: 18/04/2022




REV	STATUS	BY	DATE
A	DEVELOPMENT APPLICATION	AM	18/05/2022



PROJECT NORTH
 PROJECT Development Application
 3 GONDOLA RD
 NORTH NARRABEEN
 NSW 2101, AUSTRALIA

DRAWING: SITE ANALYSIS		
SCALE: 1:500@A3	DRAWING NO.: A0002	ISSUE: A
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LEGEND

-  SITE BOUNDARY
-  EXISTING BLDG TO BE DEMOLISHED
-  REMOVE, MAKE GOOD ALL REDUNDANT CROSSINGS



CONVERT EXISTING GREEN VERGE TO VEHICLE CROSSING

CONVERT EXISTING CONCRETE DRIVEWAY TO GREEN VERGE

CONCRETE DRIVEWAY TO BE DEMOLISHED

CONVERT EXISTING CONCRETE DRIVEWAY TO GREEN VERGE



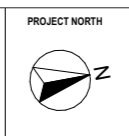
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 ACH 091107201

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DRAWING:
DEMOLITION PLAN
 SCALE: 1:200@A3
 DRAWING NO.: **A0003**
 ISSUE:
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LEGEND

-  SITE BOUNDARY
-  EXCAVATION EXTENT



5 GONDOLA RD

2-8 RICKARD RD

3 GONDOLA RD
ESTIMATED EXCAVATION VOLUME : 2400 m3

1 GONDOLA RD

GONDOLA RD

MINARTO LANE



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EXCAVATION PLAN
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LEGEND

- SITE BOUNDARY
- EXISTING BLDG



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DRAWING:
SITE PLAN

SCALE:
1:200@A3

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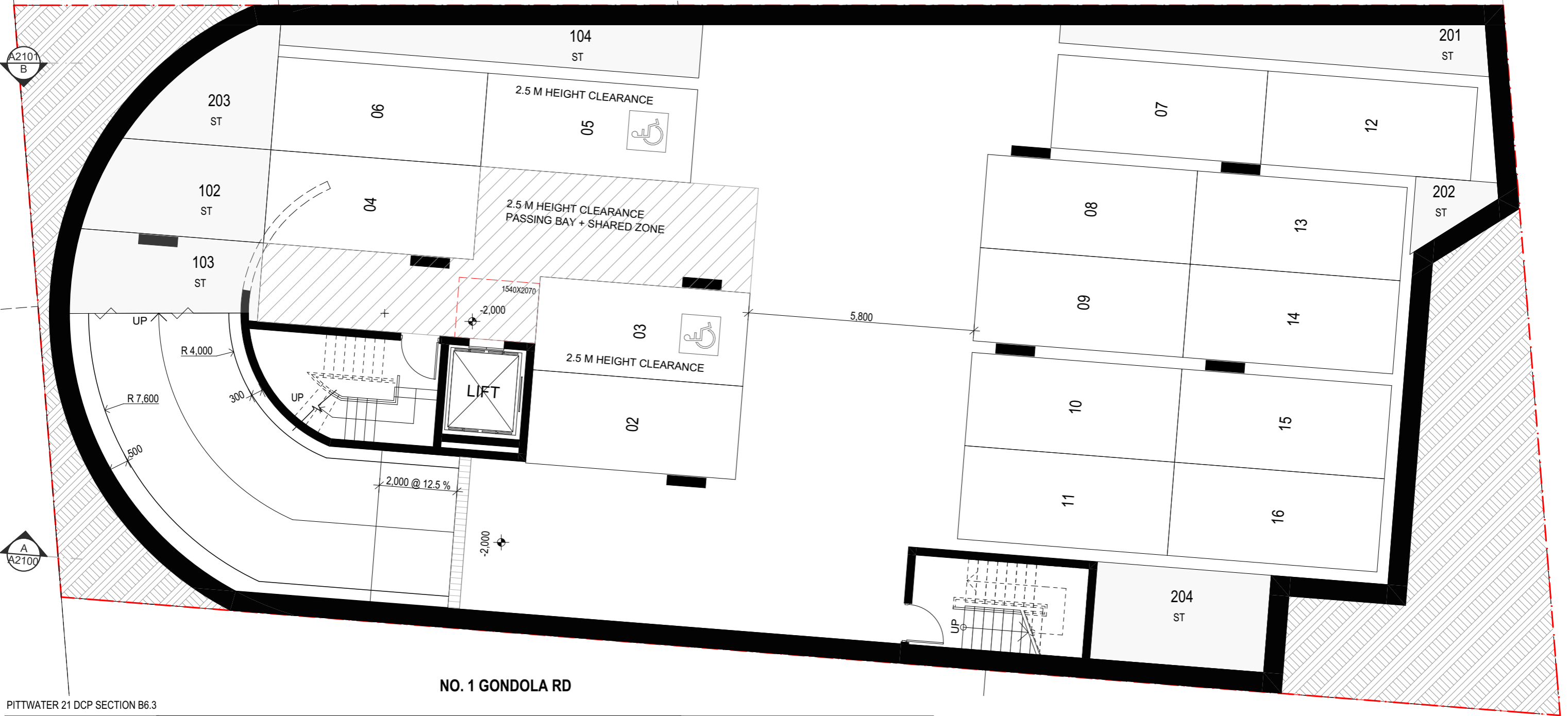
DRAWING NO.:
A1000

ISSUE:
A

LEGEND

- SITE BOUNDARY
- EXISTING BLDG
- BASEMENT LINE
- BLDG ABOVE

NO. 5 GONDOLA RD



NO. 1 GONDOLA RD

PITTWATER 21 DCP SECTION B6.3

SHOP TOP HOUSING	Minimum Number of Car Spaces	1 bicycle rack / 3 dwelling
	1 bedroom dwellings	1 space per dwelling
	2 or more bedroom dwellings	2 spaces per dwelling
	Adaptable Housing in accordance with control C1.9 of the Pittwater 21 Development Control Plan.	1 space per dwelling in accordance with AS 4299-1995: Adaptable Housing.
The provision of parking for people with disabilities must be provided at a rate of 3% of the required parking spaces, excluding parking required for Adaptable Housing.		
Separate visitor parking is to be provided at a rate of 1 space per 3 dwellings rounded up.		
Provision must be made for garbage collection, removalist vans and emergency vehicles.		
COMMERCIAL PREMISES	2.5 car parking spaces per 100m ² Gross Lettable Area (GLA)	>200 m ²
Provision of accessible parking spaces for people with disabilities must be at the rate of 3% of required car parking spaces and must be appropriately signposted.		
Where the Gross Floor Area (GFA) exceeds 400m ² , provision is to be made for: Delivery vehicles at 1 space per 4000m ² GFA or 1 space whichever is greater; Courier parking at 1 space per 1000m ² GFA or 1 space, whichever is greater.		

Energy Rating Certificate Number: 0009179740

5.2 stars

single-dwelling rating

multi-unit development (batch listing of ratings) Rating: 38.5 stars

Passive design (batch listing of ratings) Rating: 21.8 stars

Assessor Name/Number: 10001

Assessor Signature: [Signature]

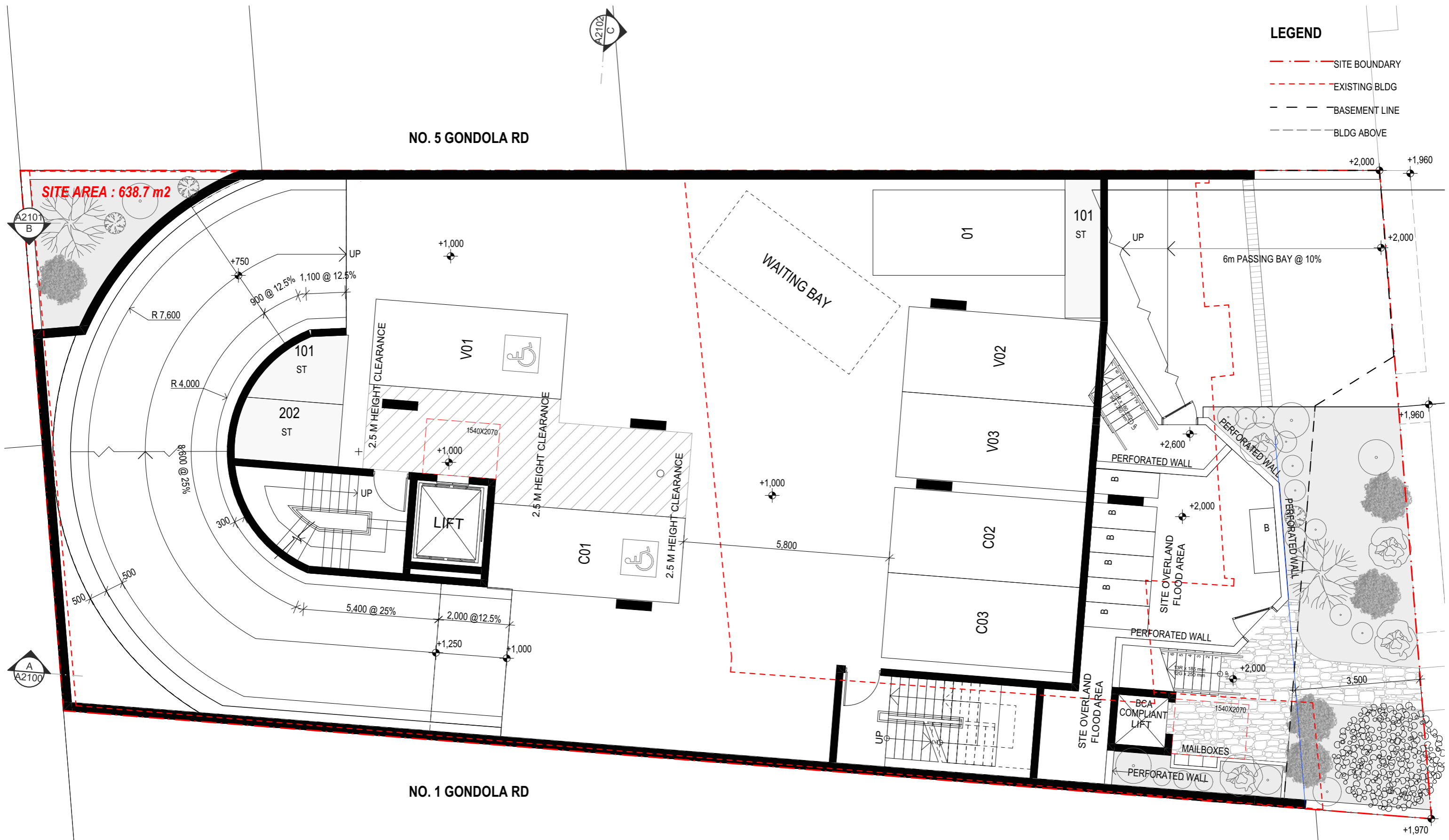
Date: 11/04/2022

RESI CAR SPACE CALCULATION	
6 UNITS @ 2 BEDROOM	12
2 ADAPTABLE UNITS @ 2 CARS	4
ACCESSIBLE SPACE	0.4
VISITOR SPACE	2.6
TOTAL RESIDENTIAL CAR	19
TOTAL BICYCLE RACK	2.7 ~ 3

COMM CAR CALCULATION	
119 m ² (INCLD. ACCESSIBLE SPACE)	2.9
TOTAL COMM CAR	3.4 ~ 3
TOTAL BICYCLE RACK	4

LEGEND

- - - SITE BOUNDARY
- - - EXISTING BLDG
- - - BASEMENT LINE
- - - BLDG ABOVE



Energy Rating Certificate Number: 0009179740

single-dwelling rating **5.2** stars
 multi-unit development (attach listing of ratings) **38.5** stars
 Possible discount to the energy score for this development: **21.8** stars

Processed drawings confirmation: Rated with Rated without

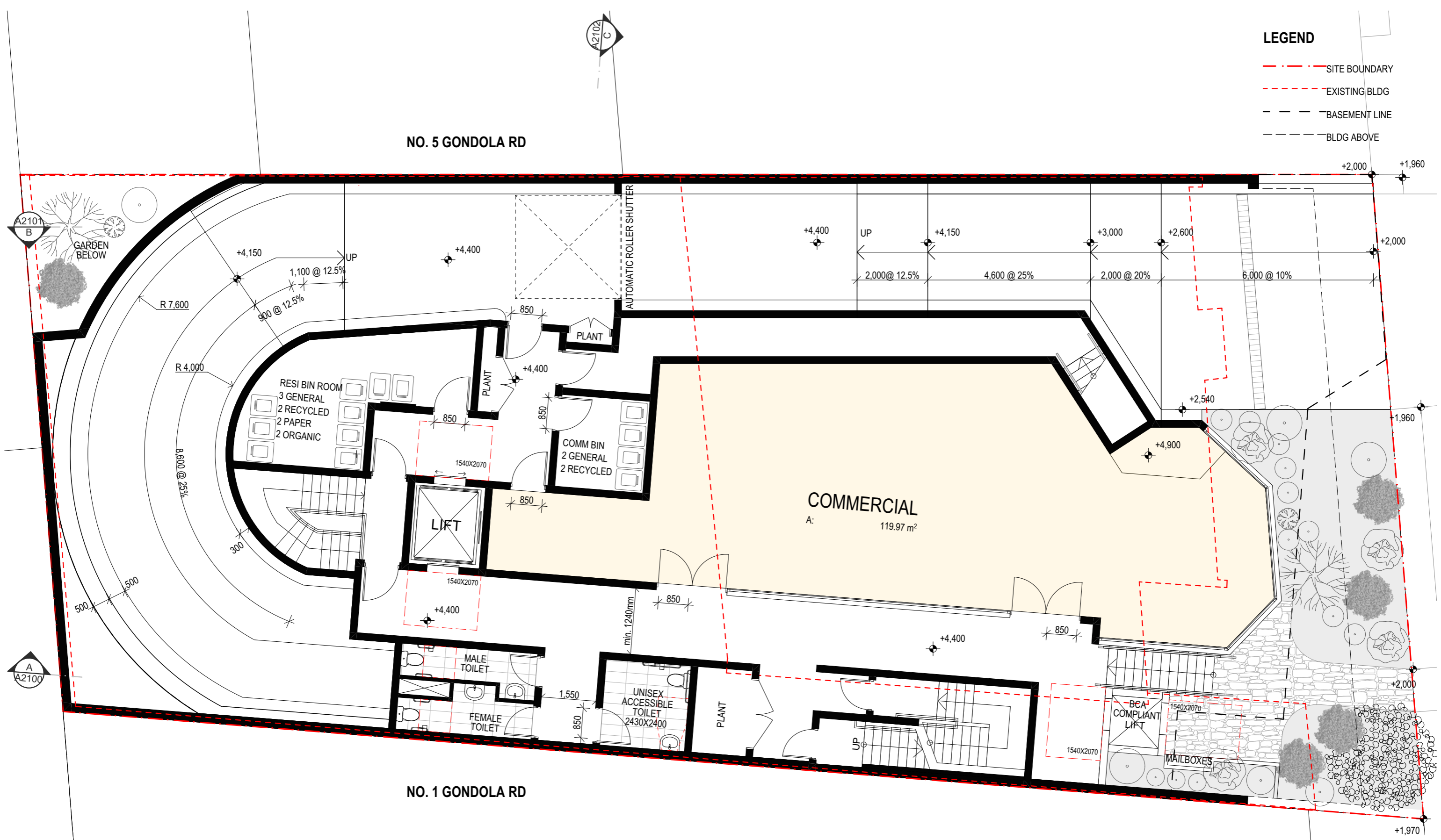
Assessor Name/Number: 10001
 Assessor Signature: [Signature]
 Date: 18/05/2022

LEGEND

- - - SITE BOUNDARY
- - - EXISTING BLDG
- - - BASEMENT LINE
- - - BLDG ABOVE

NO. 5 GONDOLA RD

NO. 1 GONDOLA RD



Energy Rating Certificate Number: 0009179740

single-dwelling rating **5.2** stars

multi-unit development (attach listing of ratings) **38.5** stars

Processed drawings confirmation: Rated with Rated without

Assessor Name/Number: 10001
Assessor Signature: [Signature]
Date: 18/05/2022

LEGEND

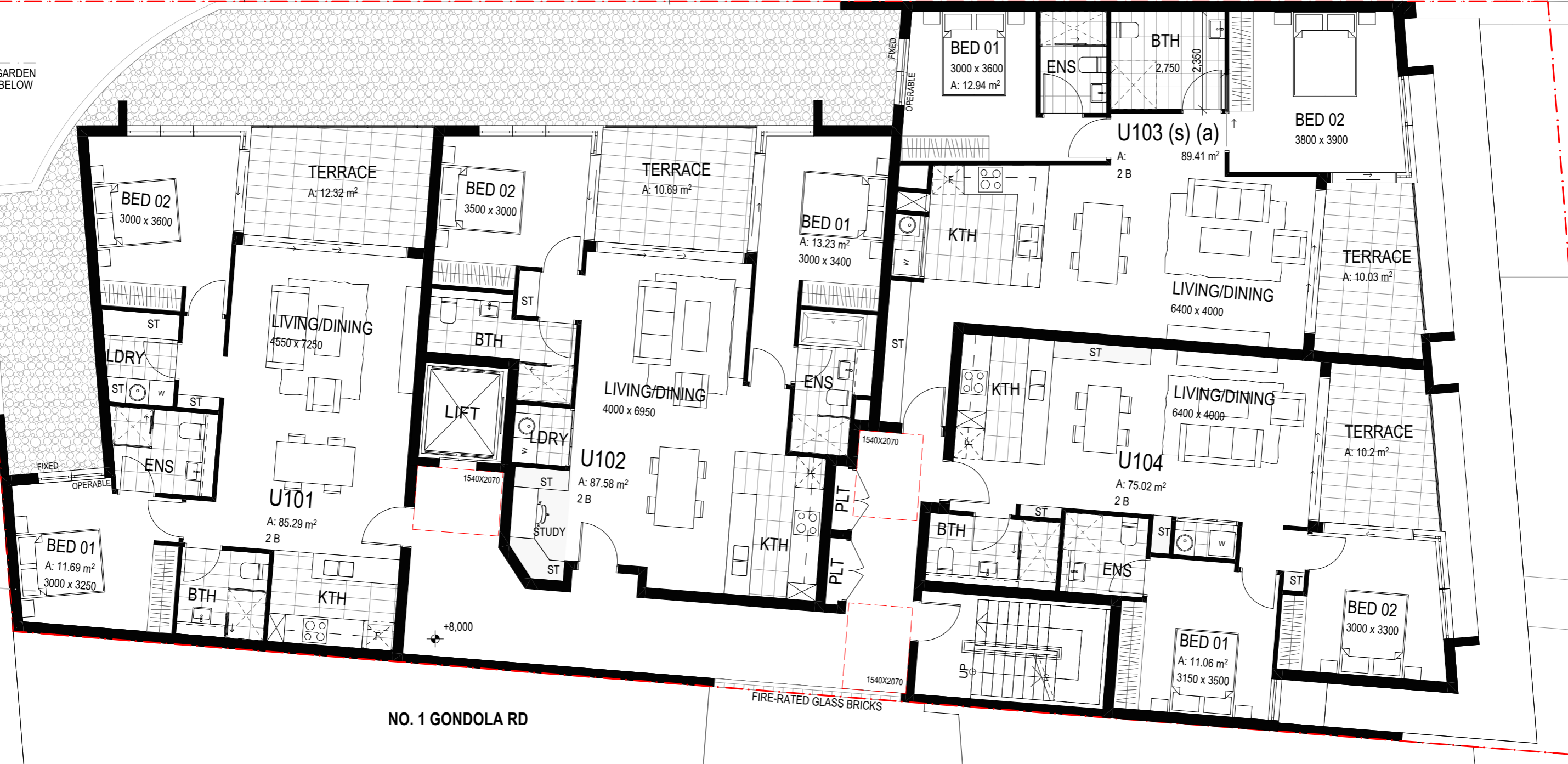
- - - SITE BOUNDARY
- - - EXISTING BLDG
- - - BASEMENT LINE
- - - BLDG ABOVE

NO. 5 GONDOLA RD

A2102
C

A2101
B
GARDEN BELOW

A
A2100



NO. 1 GONDOLA RD

FIRE-RATED GLASS BRICKS

Energy Rating Certificate Number: 0002179740

single-dwelling rating **5.2** stars
 multi-unit development (attach listing of ratings) **38.5** stars
 Possible star gain to the energy assessor **21.8** stars
 Assessor Name/Number: 10001
 Assessor Signature: [Signature] Date: 18/05/2022

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 ACN 091107201

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REV	STATUS	BY
A	DA	AM
		18/05/2022
		DATE

PROJECT NORTH

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 3 GONDOLA RD
 NORTH NARRABEEN
 NSW 2101, AUSTRALIA

DRAWING:
FIRST FLOOR PLAN

SCALE: 1:100@A3
 DRAWING NO.: **A1004**
 ISSUE: **A**

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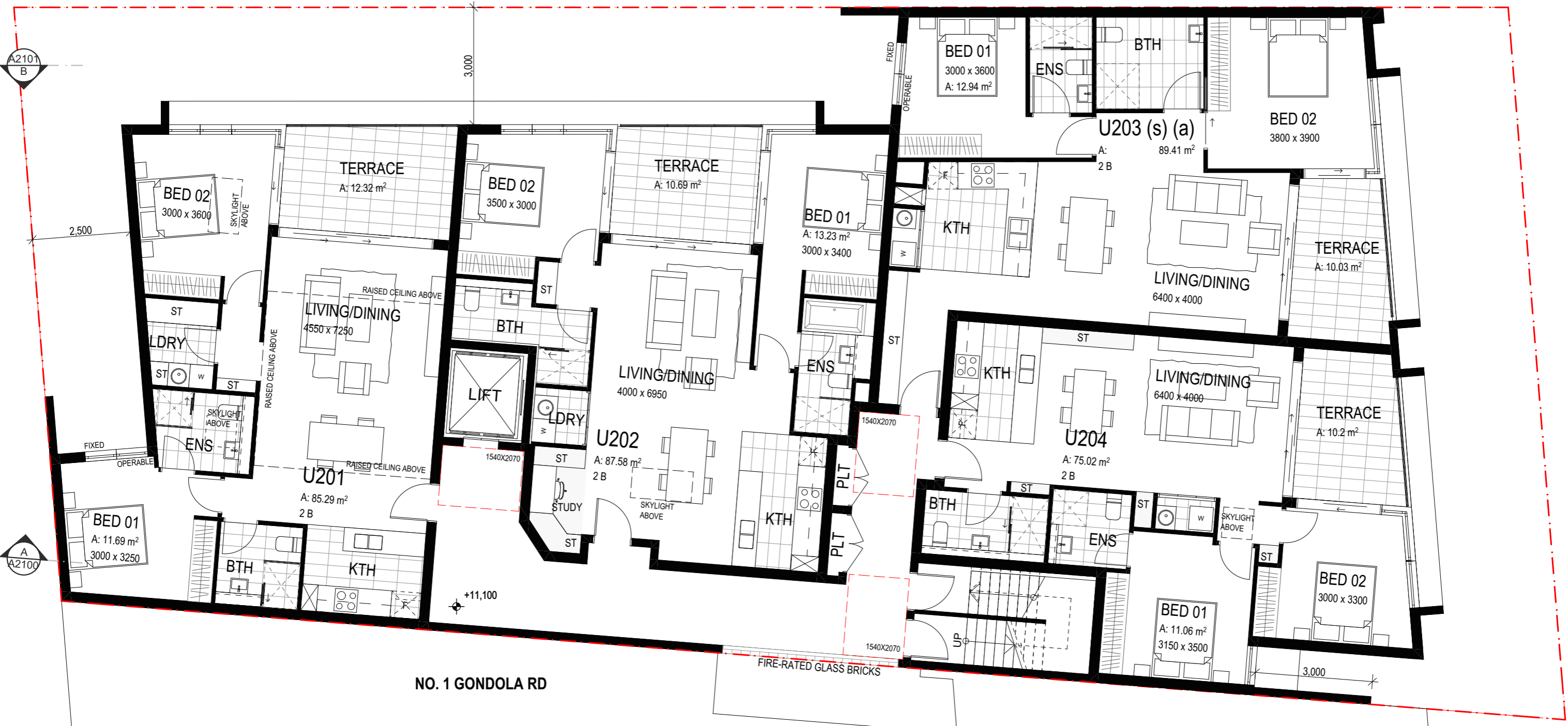


LEGEND

- SITE BOUNDARY
- EXISTING BLDG
- BASEMENT LINE
- BLDG ABOVE

NO. 5 GONDOLA RD

NO. 1 GONDOLA RD



Energy Rating Certificate Number: 0000179740

single-dwelling rating **5.2** stars
 multi-unit development (attach listing of ratings) heating: 38.5 stars cooling: 21.8 stars
 Possible star penalty due to energy area for whole development:

Processed drawings confirmation: Rated with Rated without

Assessor Name/Number: 10001
 Assessor Signature: [Signature]
 Date: 18/05/2022

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DRAWING:
SECOND FLOOR

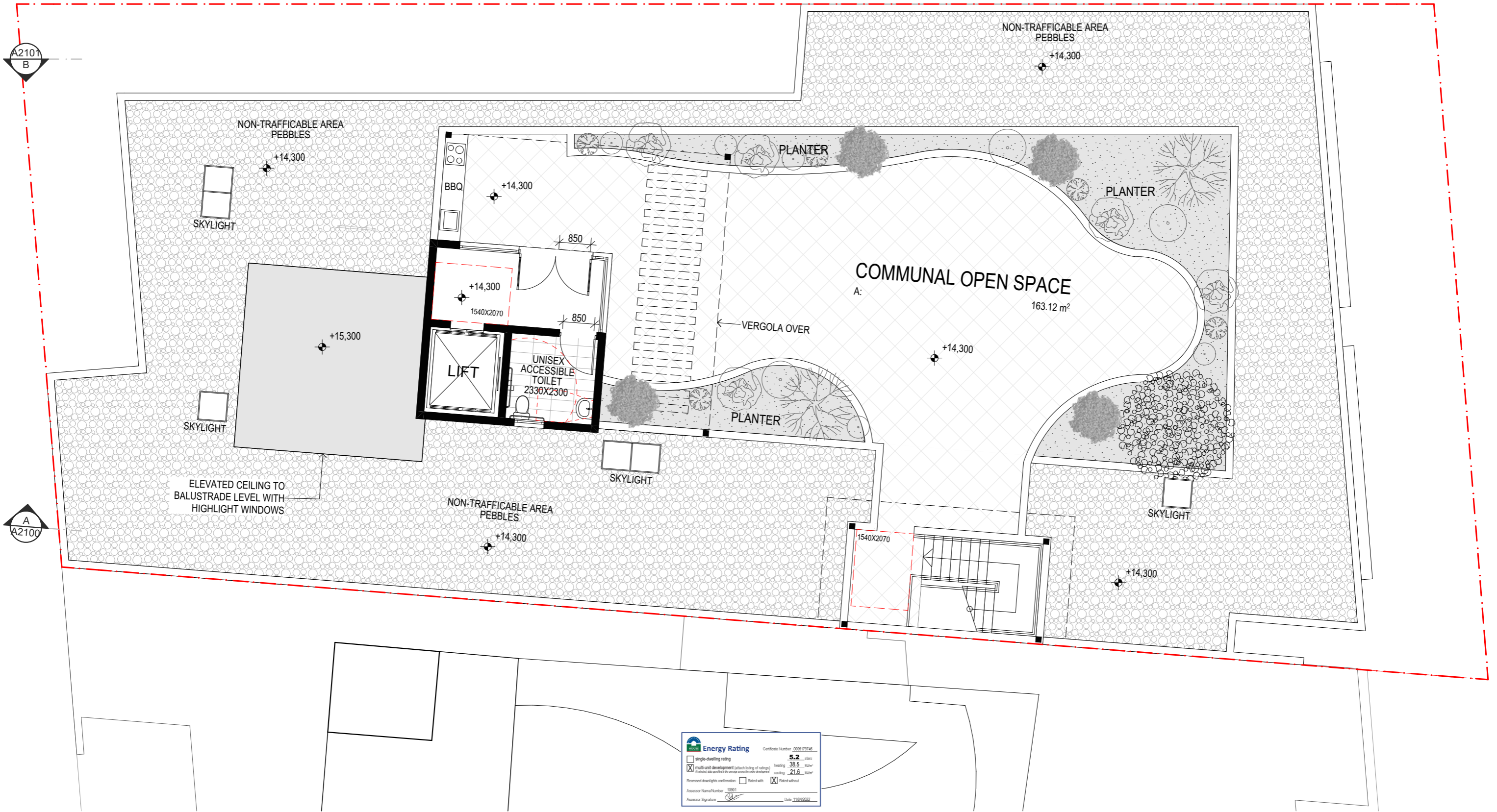
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 DRAWING NO.: **A1005**
 ISSUE: **A**

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LEGEND

- SITE BOUNDARY
- EXISTING BLDG
- BASEMENT LINE
- BLDG ABOVE



Energy Rating Certificate Number: 0005179749

single-dwelling rating **5.2** stars
 multi-unit development (attach listing of ratings) **38.5** stars
 Possible star uplift to energy class **21.8** stars
 Recessed downlights confirmation: Rated with Rated without
 Assessor Name/Number: 10001
 Assessor Signature: [Signature] Date: 18/05/2022

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		18/05/2022
		DATE

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DRAWING:
ROOF TERRACE / COS

SCALE: 1:100@A3

DRAWING NO.: **A1006**

ISSUE: **A**

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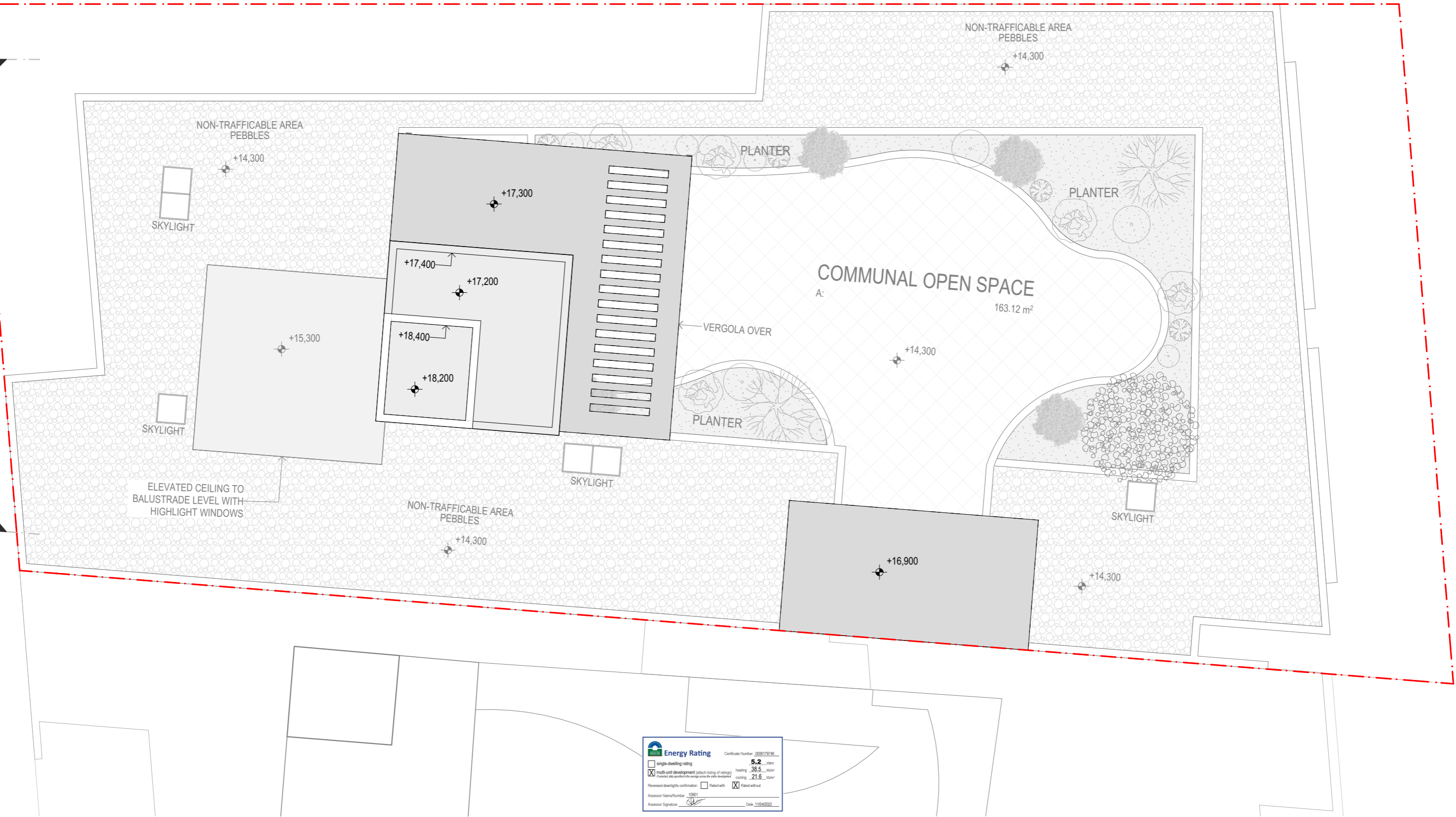


LEGEND

- SITE BOUNDARY
- EXISTING BLDG
- BASEMENT LINE
- BLDG ABOVE

A2101
B

A
A2100



Energy Rating Certificate Number: 0005179745

single-dwelling rating **5.2** stars
 multi-unit development (attach listing of ratings) **heating 38.5** stars
Passive design and the energy score for each element **cooling 21.8** stars
 Recessed downlights confirmation: Raked with Raked without

Assessor Name/Number: 10001
 Assessor Signature:
 Date: 18/05/2022

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PROJECT Development Application
**3 GONDOLA RD
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 NSW 2101, AUSTRALIA**

DRAWING: ROOF

SCALE: 1:100@A3

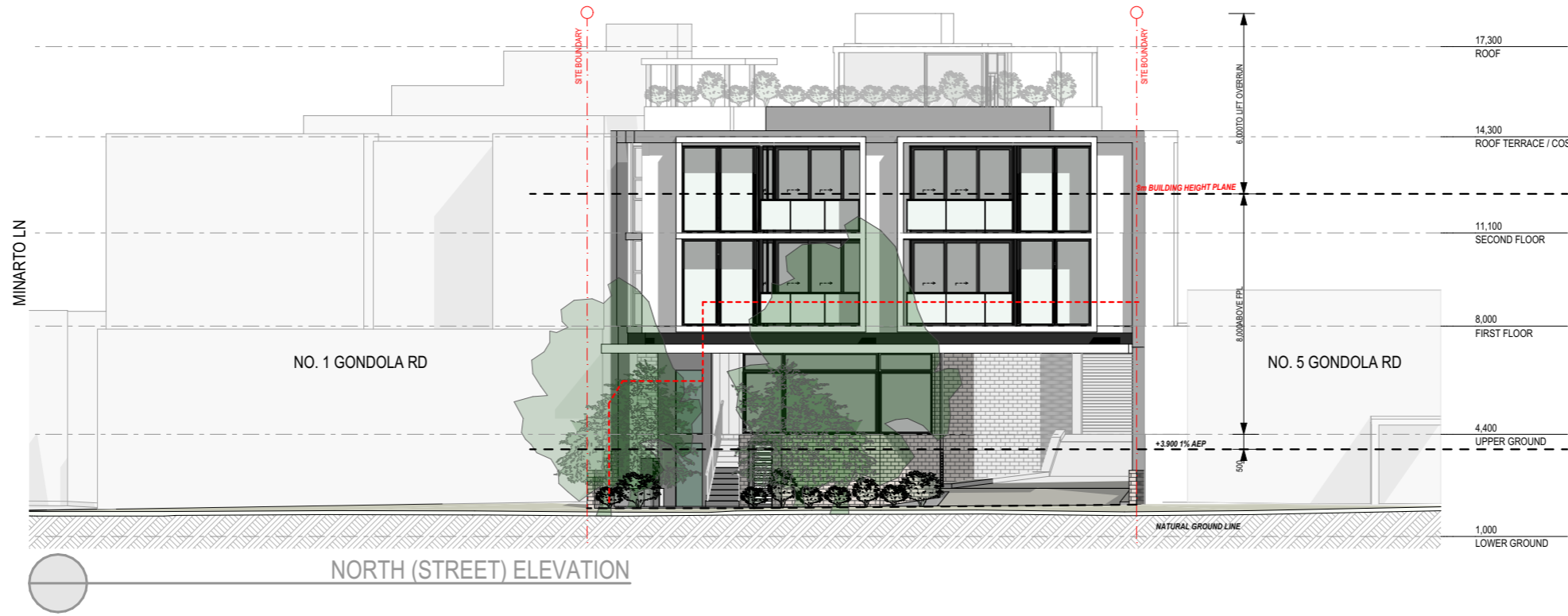
DRAWING NO.: **A1007**

ISSUE: **A**

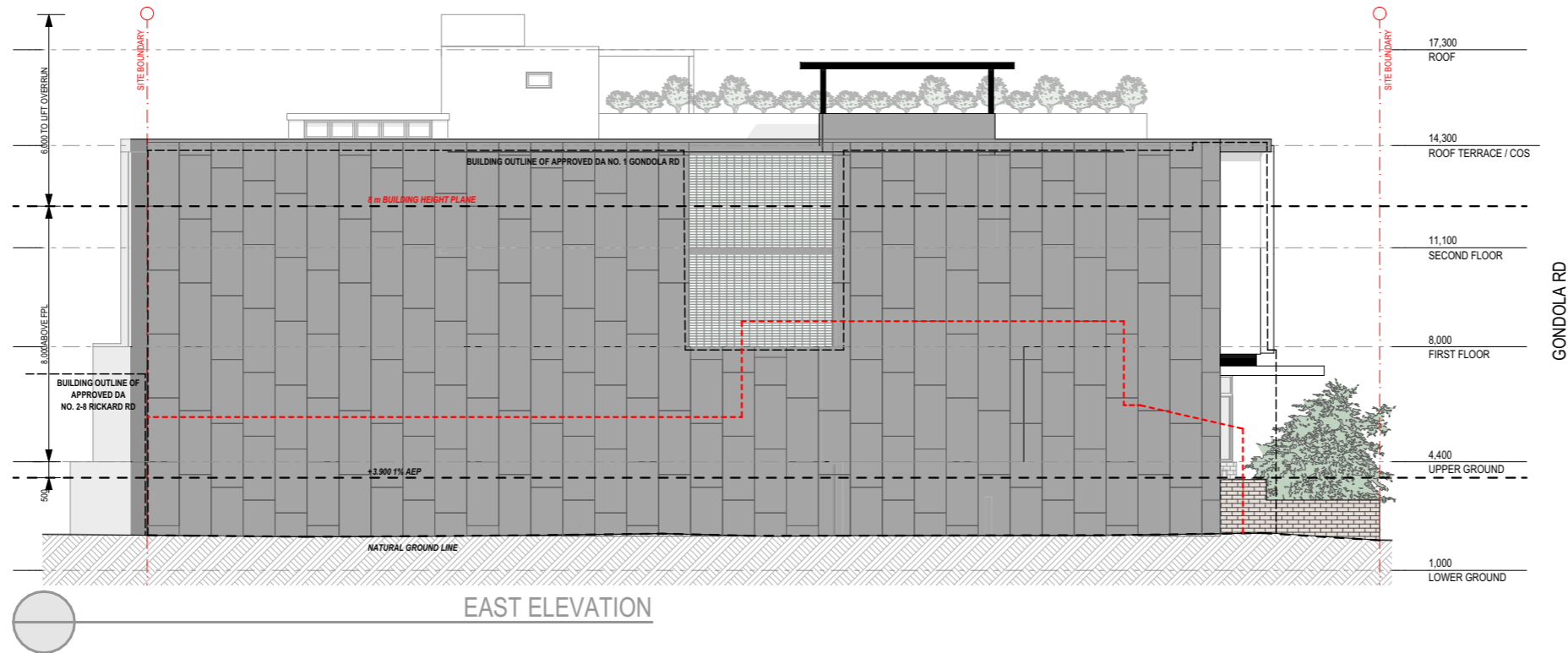
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LEGEND

- - - - - SITE BOUNDARY
- - - - - EXISTING BLDG



NORTH (STREET) ELEVATION



EAST ELEVATION

Thermal Load & NatHERS Spec			
Unit no.	Heating load MJ/m ² /yr	Cooling load MJ/m ² /yr	Star Rating
101	37	23	5.3
102	32	21	5.4
103	45	25	5.1
104	38	25	5.2
201	39	24	5.3
202	40	20	5.1
203	34	21	5.6
204	43	14	5.1
Total(8)	308	173	42.1
Average	38.5	21.6	5.2

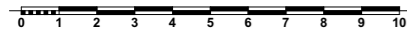
Ceiling insulation: R2.0 (for exposed roof)
 External wall insulation: R1.5
 Roof type / colour
 Concrete Roof, medium colour, SA 0.475-0.7
 External Glazing:
 Aluminium standard SG: clear glass
 U=6.7 SHGC= 0.70
 All External door & window to be weather sealed
 Exhaust fans / Downlights to be sealed (if any)
 Eaves / shading as per drawings

Energy Rating Certificate Number: 000179740

single-dwelling rating
 multi-unit development (attach listing of ratings)
Heating load per m² per year: 38.5 MJ/m²/yr
 Cooling load per m² per year: 21.6 MJ/m²/yr

Reasoned downlights confirmation: Rated with Rated without

Assessor Name/Number: 1001
 Assessor Signature: [Signature] Date: 18/05/2022



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REV	STATUS	AM	18/05/2022	STREET + EAST ELEVATIONS
A	DA	AM	18/05/2022	SCALE: 1:200@A3
		BY	DATE	DRAWING NO.: A2000
				ISSUE: A

PROJECT
 Development Application
3 GONDOLA RD
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NSW 2101, AUSTRALIA

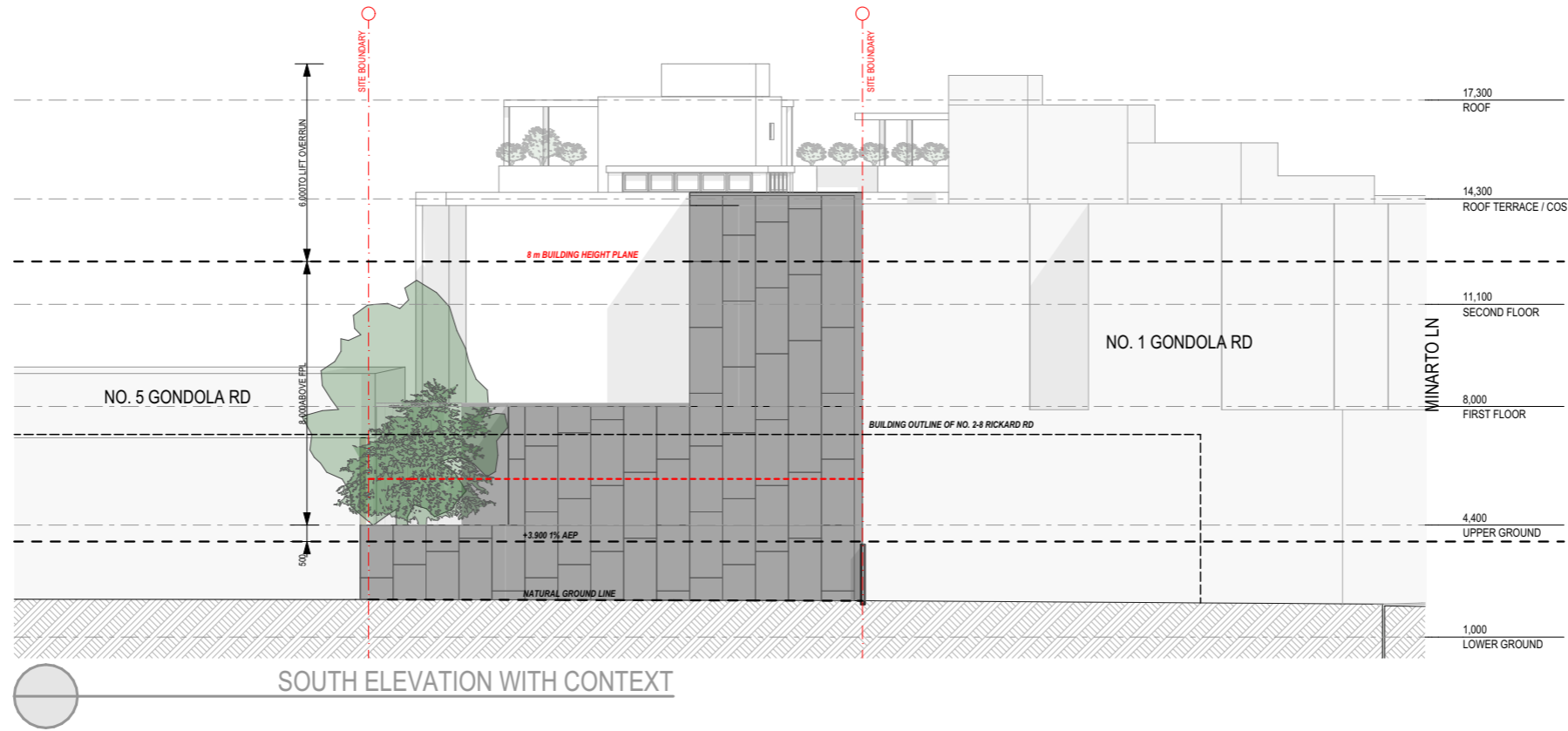
DRAWING:
STREET + EAST ELEVATIONS

SCALE: 1:200@A3
 DRAWING NO.: **A2000**
 ISSUE: **A**

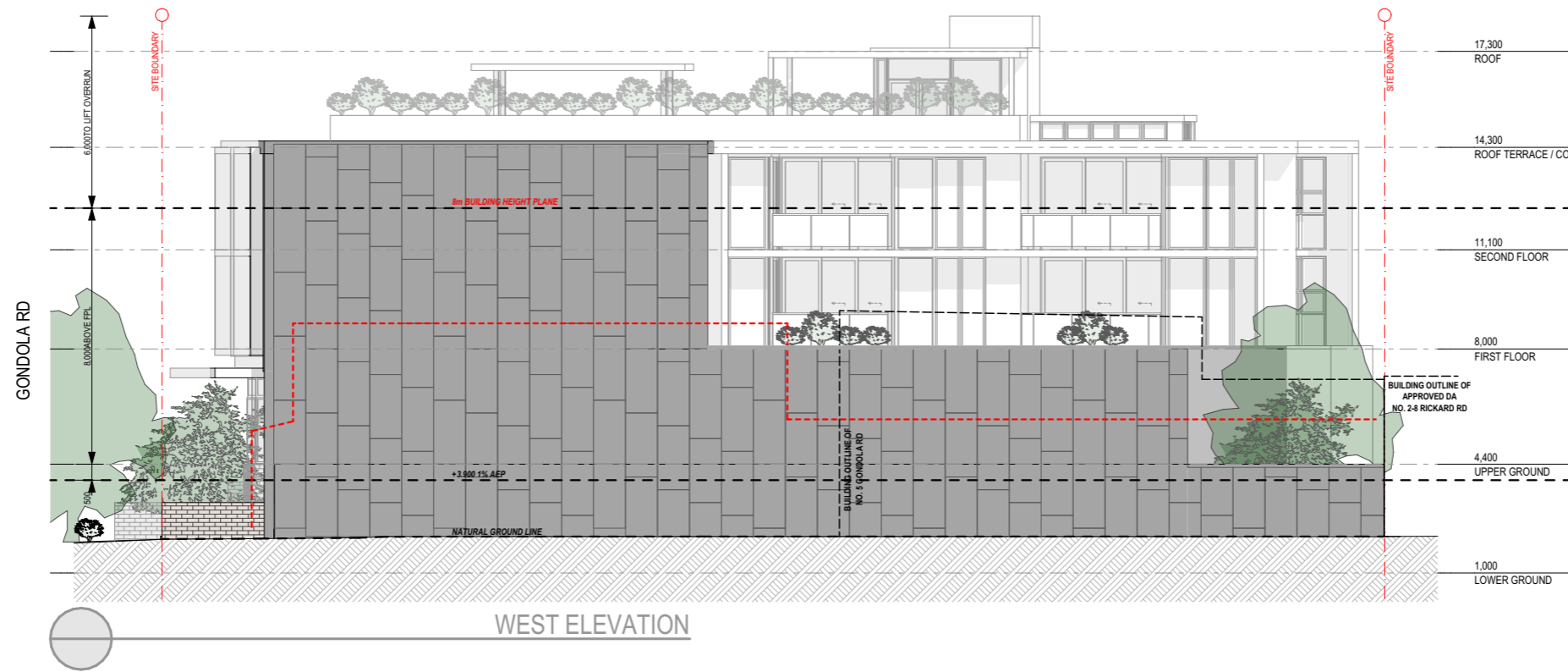
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LEGEND

- - - - - SITE BOUNDARY
- - - - - EXISTING BLDG



SOUTH ELEVATION WITH CONTEXT



WEST ELEVATION

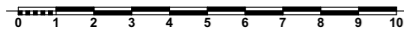
Energy Rating Certificate Number: 0005179749

single-dwelling rating **5.2** stars

multi-unit development (attach listing of ratings) Heating: 38.5 stars Cooling: 21.8 stars

Processed daylight confirmation: Rated with Rated without

Assessor Name/Number: 11001 Assessor Signature: [Signature] Date: 18/04/2022



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Nominated Architect No.6033
 ABN 78 091 101 201
 ACN 091107201

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PROJECT NORTH

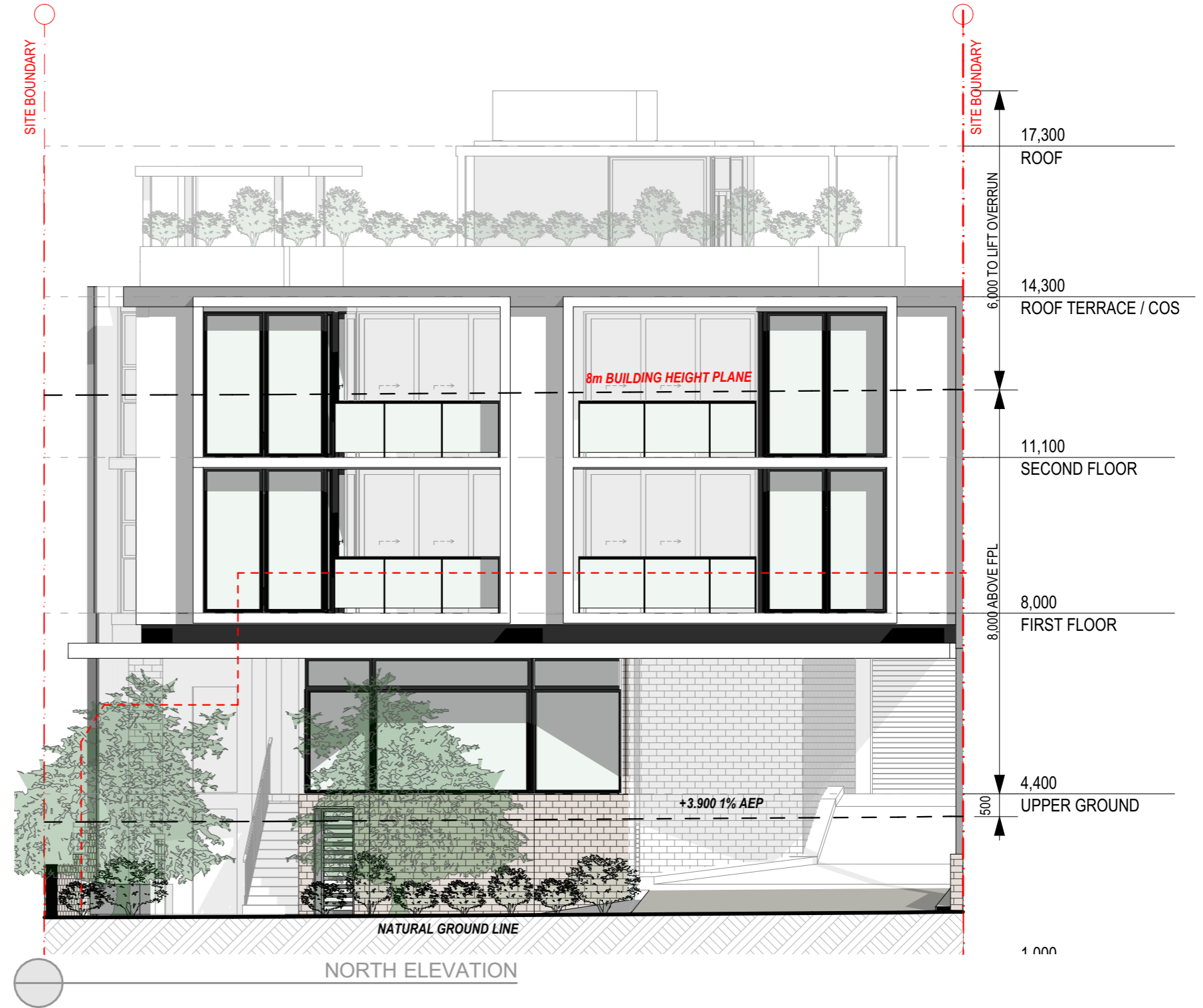
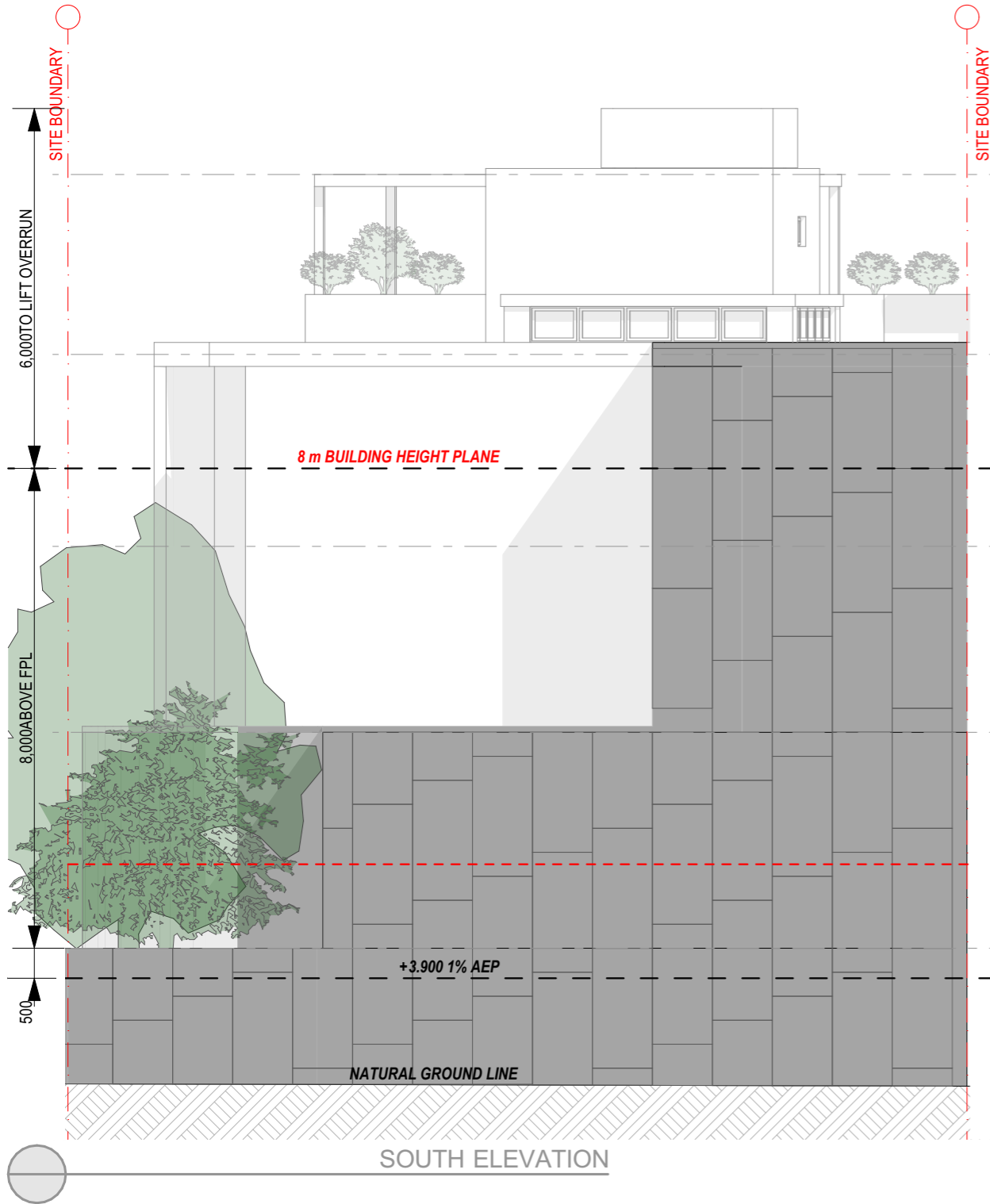
PROJECT
 Development Application
3 GONDOLA RD
NORTH NARRABEEN
NSW 2101, AUSTRALIA

DRAWING:
SOUTH + WEST ELEVATIONS

SCALE: 1:200@A3
 DRAWING NO.: **A2001**
 ISSUE: **A**
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LEGEND

- - - SITE BOUNDARY
- - - EXISTING BLDG

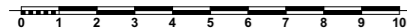
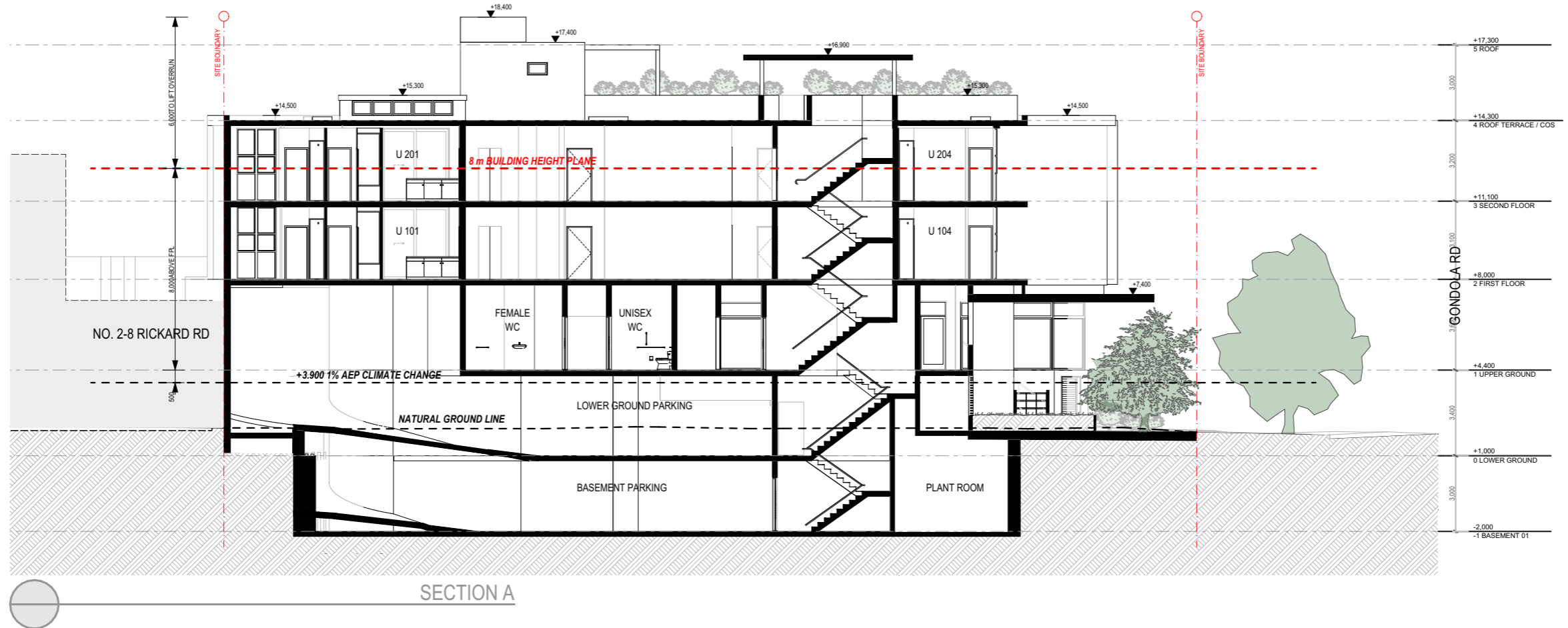


Energy Rating Certificate Number: 000179740

single-dwelling rating **5.2** stars
 multi-unit development (attach listing of ratings) **heating: 38.5** stars
 cooling: **21.8** stars
Finalistic design subject to energy audit by a qualified assessor

Processed drawings confirmation: Rated with Rated without

Assessor Name/Number: 11001
 Assessor Signature: *[Signature]* Date: 18/05/2022



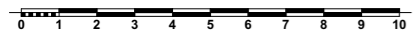
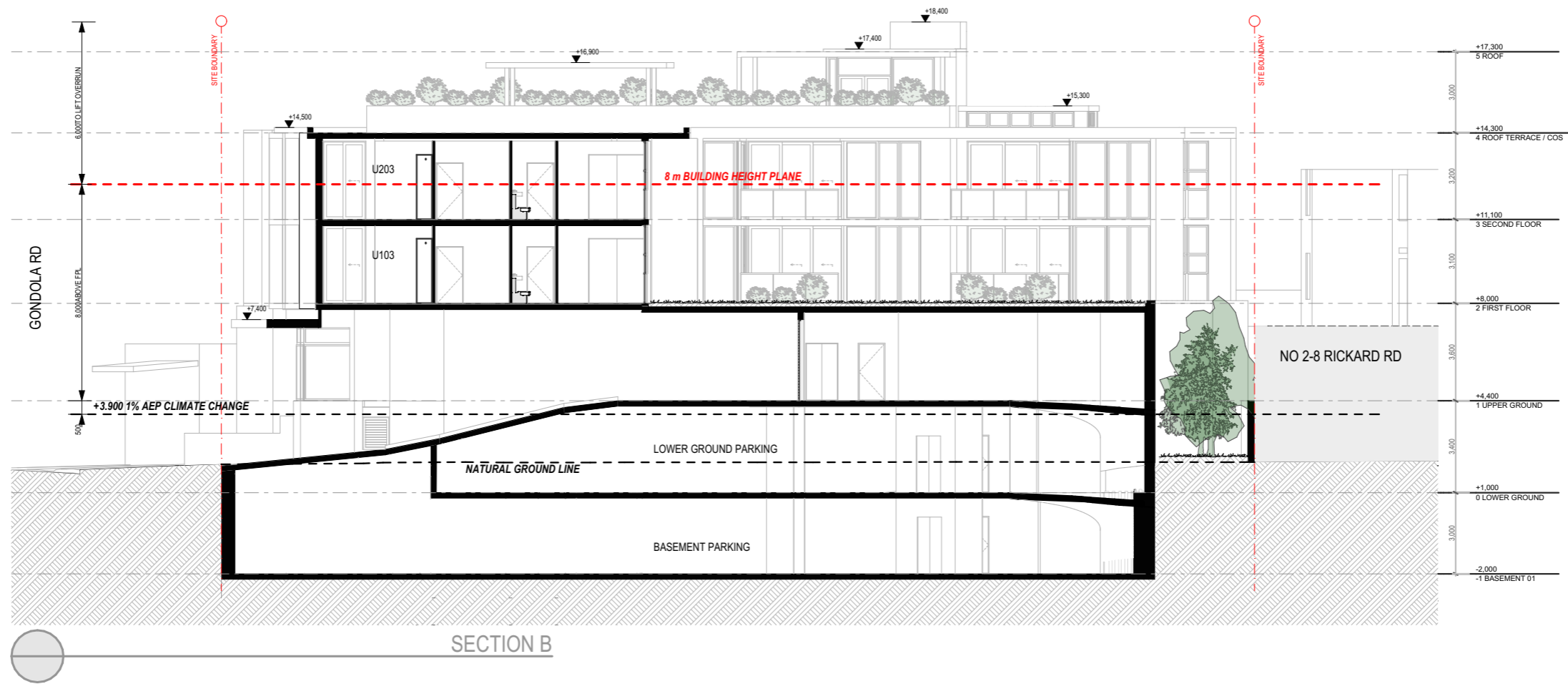
Energy Rating Certificate Number: 0009179740

single-dwelling rating **5.2** stars
 multi-unit development (attach listing of ratings) heating **38.5** stars cooling **21.6** stars
Finalist also applied the energy saving for water efficiency

Processed daylight confirmation: Rated with Rated without

Assessor Name/Number: 1001
 Assessor Signature: [Signature] Date: 18/05/2022

	mackenzie architects international Pacific Hwy, Gordon 2072 Phone: (02) 9967 9966 Fax: (02) 9967 9977 info@maininternational.com.au www.maininternational.com.au <small>Nominated Architect No.6033 ABN 78 091 101 201 ACN 091107201</small>	STATUS: #Project Status LEGEND: DO NOT SCALE DRAWINGS VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK COPYRIGHT: <small>Mackenzie Architects International is the owner of the copyright subsisting in these drawings, plans, designs and specifications. They must not be used, reproduced or copied in whole or part without prior written consent of Mackenzie Architects International.</small>	AMENDMENTS <table border="1"> <tr> <th>REV</th> <th>STATUS</th> <th>BY</th> <th>DATE</th> </tr> <tr> <td>A</td> <td>DA</td> <td>AM</td> <td>18/05/2022</td> </tr> </table>	REV	STATUS	BY	DATE	A	DA	AM	18/05/2022	PROJECT NORTH PROJECT Development Application 3 GONDOLA RD NORTH NARRABEEN NSW 2101, AUSTRALIA	DRAWING: SECTION A SCALE: 1:200@A3 DRAWING NO.: A2100 ISSUE: A <small>Copyright Mackenzie Architects International. All rights reserved</small>
		REV	STATUS	BY	DATE								
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Energy Rating Certificate Number: 0009179749

single-dwelling rating **5.2** stars

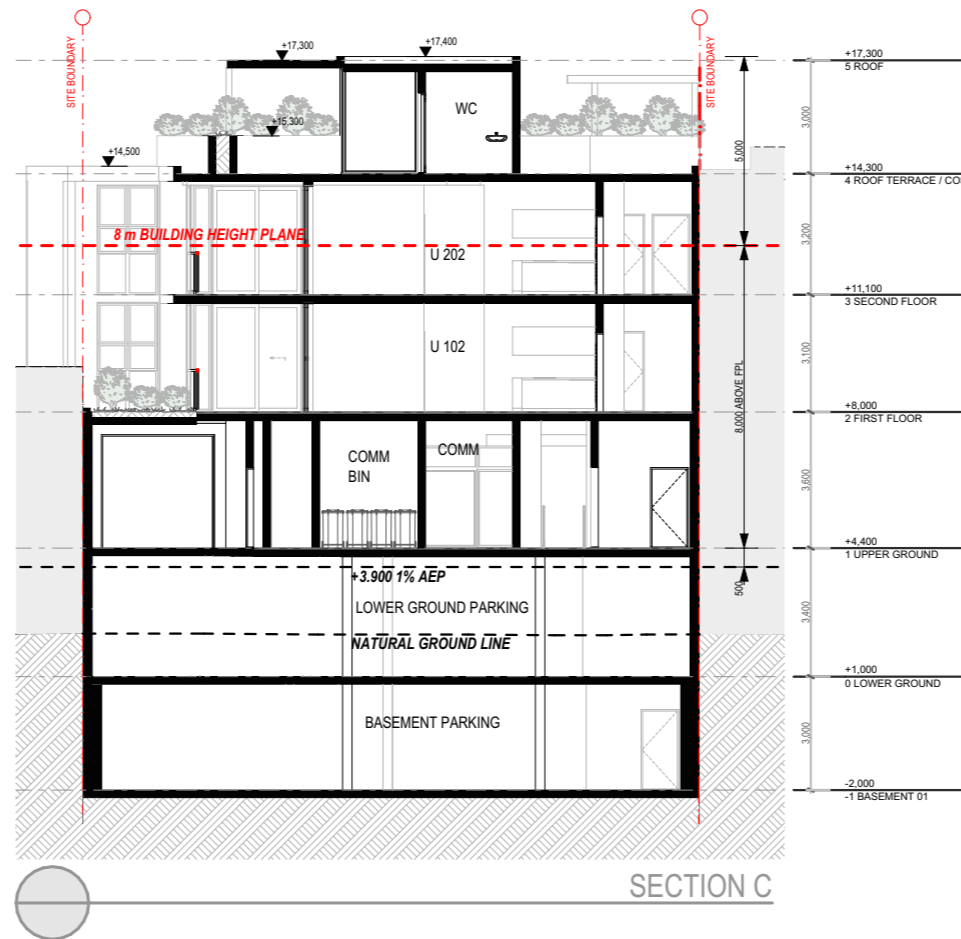
multi-unit development (pitch listing of ratings) heating **38.5** stars

Passive design (pitch listing of ratings) cooling **21.8** stars

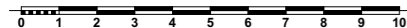
Processed daylight confirmation: Rated with Rated without

Assessor Name/Number: 1001
Assessor Signature: [Signature]
Date: 18/05/2022

	Pacific Hwy, Gordon 2072 Phone: (02) 9967 9966 Fax: (02) 9967 9977 info@maininternational.com.au www.maininternational.com.au	Nominated Architect No.6033 ABN 78 091 101 201 ACN 091107201	STATUS: #Project Status LEGEND: DO NOT SCALE DRAWINGS VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK COPYRIGHT: Mackenzie Architects International is the owner of the copyright subsisting in these drawings, plans, designs and specifications. They must not be used, reproduced or copied in whole or part without prior written consent of Mackenzie Architects International.	AMENDMENTS <table border="1"> <tr> <th>REV</th> <th>STATUS</th> <th>BY</th> <th>DATE</th> </tr> <tr> <td>A</td> <td>DA</td> <td>AM</td> <td>18/05/2022</td> </tr> </table>	REV	STATUS	BY	DATE	A	DA	AM	18/05/2022	PROJECT NORTH PROJECT Development Application 3 GONDOLA RD NORTH NARRABEEN NSW 2101, AUSTRALIA	DRAWING: SECTION B SCALE: 1:200@A3 DRAWING NO.: A2101 ISSUE: A <small>Copyright Mackenzie Architects International. All rights reserved</small>
			REV	STATUS	BY	DATE								
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BASIX COMMITMENTS SUMMARY NOTES (TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE)				
BASIX Certificate # 1292718M				
WATER				
No hot water reticulation required				
Fixtures	All shower heads	All toilets	All kitchen taps	All bathrooms taps
Rating	4 Star (>4.5 But <=6 L/M)	4 star	4 star	4 star
Appliances	Dishwasher	Cloth Washer		
Rating	4 star	not specified		
Common area	Taps	All toilets	Common kitchen taps	Common bath rms
	3 star	na	na	na
Alternate water source	Central			
Type		Size	Roof area connected	Connections
.....	
ENERGY				
Hot water	Type	Rating		
	Individual, gas instantaneous	6 star		
Mech. Ventilation	System	Operation Control		
Bath	Indiv. fan, ducted to facade or roof	Manual Switch On/Off		
L'dry	Indiv. fan, ducted to facade or roof	Manual Switch On/Off		
Kitchen	Indiv. fan, not ducted	Manual Switch On/Off		
Cooling System	Type	Living areas	Bed rooms	
	1 Phase Air conditioning: Day / Night Zoned	3 star (average zone)	3 star (average zone)	
Heating System	Type	Living areas	Bed rooms	
	1 Phase Air conditioning: Day / Night Zoned	3 star (average zone)	3 star (average zone)	
Artificial Lighting	Primary type of artificial lighting is fluorescent or light emitting diode (LED)			
	Bed rms	Living rms	Each Kitchen, Bath / Toilet	L'dry & Hallway
Not dedicated	Yes	All	Yes	Yes
Others	Indoor private Cloth Line		Not Required	
	Outdoor or sheltered common Cloth Line		No	
	Well ventilated Fridge space		Yes	
	Kitchen Cook top / Oven		Gas Cook top + Electric Oven	
Appliances	Dishwasher	Cloth Dryer	Cloth Washer	Refrigerator
Rating	4 star	2 star
Central System	Type	Service Levels	Lighting	
	Gearless Traction With VVVF Motor	5	As nominated below	
Common areas	Ventilation System	Ventilation Efficiency measure	Primary type of artificial lighting	Lighting Efficiency measure
Basement Car parking areas	No Mech. Ventilation	na	LED	daylight sensor and motion sensor
Lower Basement Car parking areas	No Mech. Ventilation	na	LED	daylight sensor and motion sensor
Garbage room	No Mech. Ventilation	na	LED	motion sensors
Plant service room-1	No Mech. Ventilation	na	LED	motion sensors
Plant service room-2	No Mech. Ventilation	na	LED	motion sensors
Services	No Mech. Ventilation	na	LED	motion sensors
Commn WC	No Mech. Ventilation	na	LED	motion sensors
Ground floor lobby	No Mech. Ventilation	na	LED	daylight sensor and motion sensor
Hallway/lobby Level-1	No Mech. Ventilation	na	LED	daylight sensor and motion sensor
Hallway/lobby Level-2	No Mech. Ventilation	na	LED	daylight sensor and motion sensor
Lobby_roof	No Mech. Ventilation	na	LED	daylight sensor and motion sensor
Lift car	No Mech. Ventilation	na	LED	Connected to Lift Call button
THERMAL				
As per thermal simulation carried out by assessor				
Refer assessor's stamped drawings with NatHERS Commitments for Wall insulation, Ceiling Insulation, Glazing details etc.				



Energy Rating Certificate Number: 0002179749

single-dwelling rating
 multi-unit development (attach listing of ratings)
 Heating: 38.5 stars
 Cooling: 21.8 stars
 Possible star gain/loss through design:

Processed drawings confirmation:
 Packed with
 Packed without

Assessor Name/Number: 1001
 Assessor Signature: [Signature]
 Date: 18/04/2022



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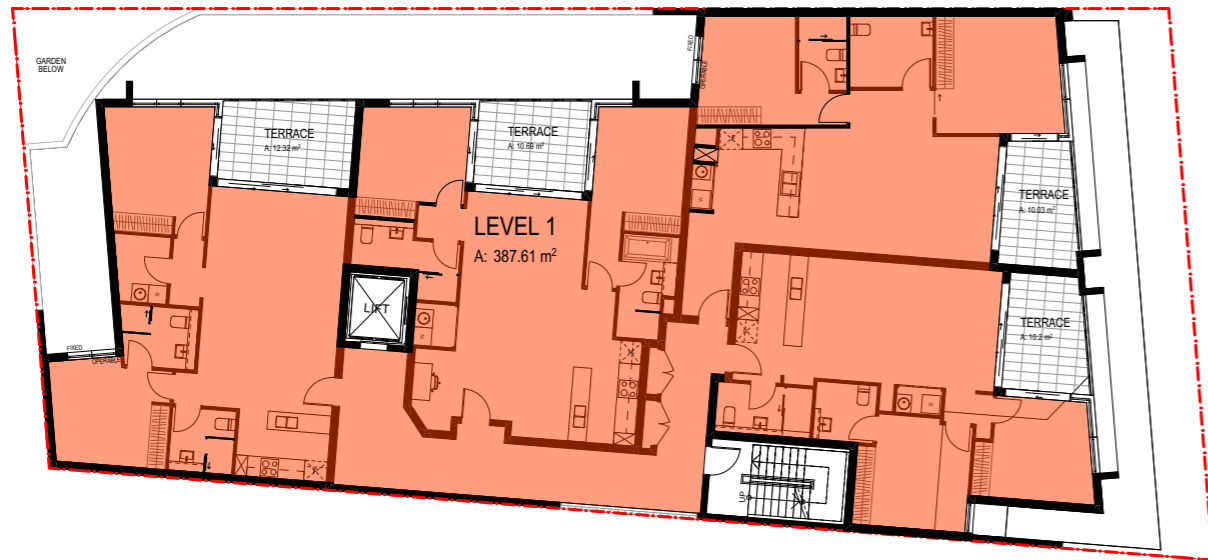
REV	STATUS	BY	DATE
A	DA	AM	18/05/2022

PROJECT NORTH

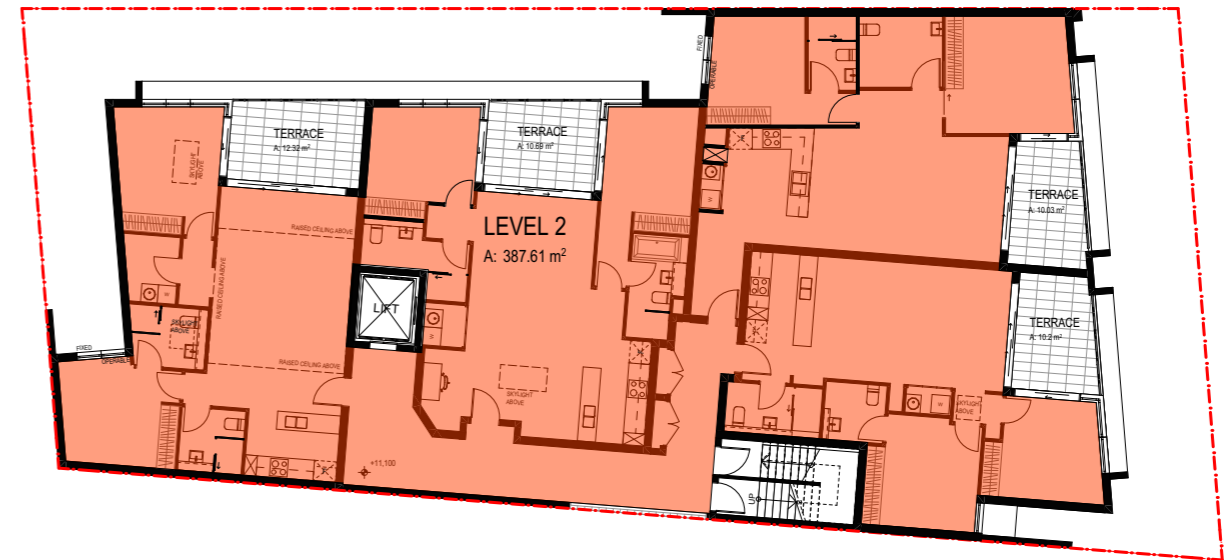
PROJECT
 Development Application
 3 GONDOLA RD
 NORTH NARRABEEN
 NSW 2101, AUSTRALIA

DRAWING:
SECTION C

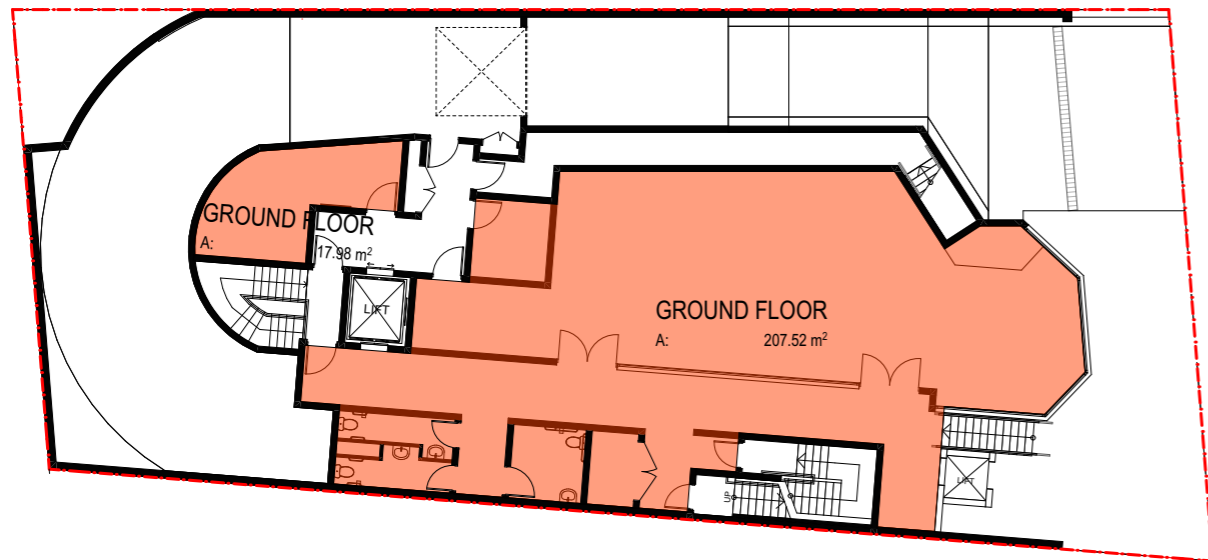
SCALE: 1:200@A3
 DRAWING NO.: A2102
 ISSUE: A
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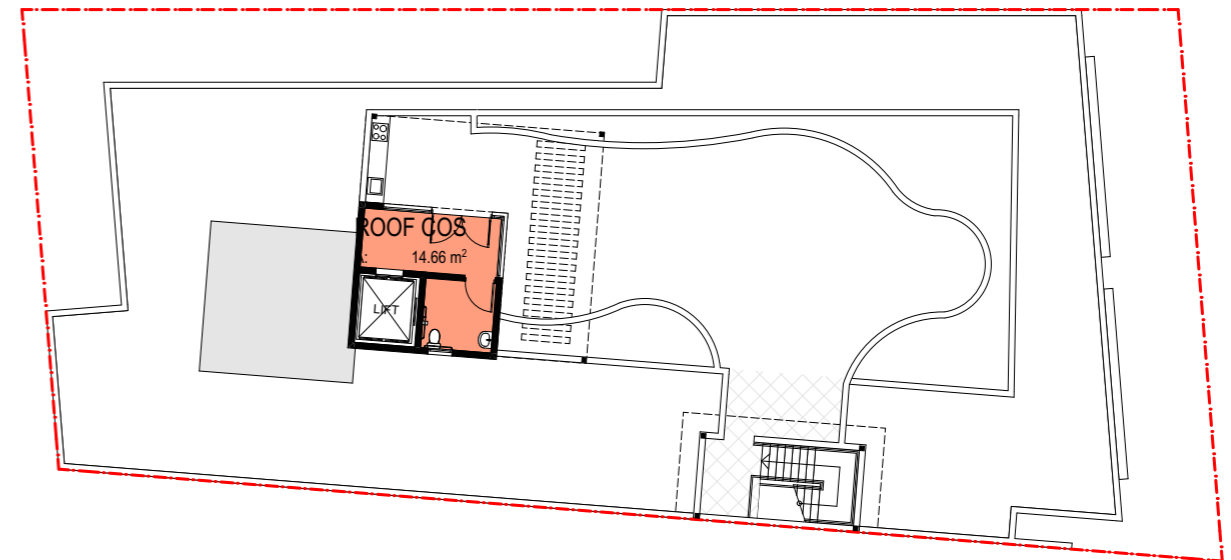
FIRST FLOOR



SECOND FLOOR



UPPER GROUND



ROOF TERRACE / COS

GFA CALCULATIONS	
	AREA
GROUND FLOOR	225.50
LEVEL 1	387.61
LEVEL 2	387.61
ROOF COS	14.66
	1,015.38 m²

SECTION B2.6 of P21DCP :
MIN. 25% of the Gross Floor Area (GFA) for commercial/retail purposes

TOTAL GFA

PROPOSED COMM/RETAIL AREA
PROPOSED COMM/RETAIL AREA %

Energy Rating Certificate Number: 0009179749

single-dwelling rating **5.2** stars
 multi-unit development (attach listing of ratings) **38.5** stars
 Possible star-patched (to average area for each developer) **21.6** stars
 Processed dwellings confirmation: Rated with Rated without

Assessor Name/Number: 10001
Assessor Signature: [Signature] Date: 18/05/2022



GROUND LEVEL DEEP SOIL

DEEP SOIL COMPLIANCE	
SITE AREA	638.7m ²
ADG MINIMUM DEEP SOIL AREA	44.7m ²
ADG MINIMUM DEEP SOIL %	7%
PROPOSED DEEP SOIL AREA	50.12m ²
PROPOSED DEEP SOIL %	7.8%

DEEP SOIL	
LEVEL	AREA (m2)
LOWER GROUND	50.12
	50.12 m²

Energy Rating Certificate Number: 0009179740

single-dwelling rating **5.2** stars
 multi-unit development (pitch listing of ratings) **38.5** stars
 Possible star-pitch to average area for each development **21.6** stars
 Processed drawings confirmation: Rated with Rated without
 Assessor Name/Number: 10001
 Assessor Signature: [Signature] Date: 18/05/2022



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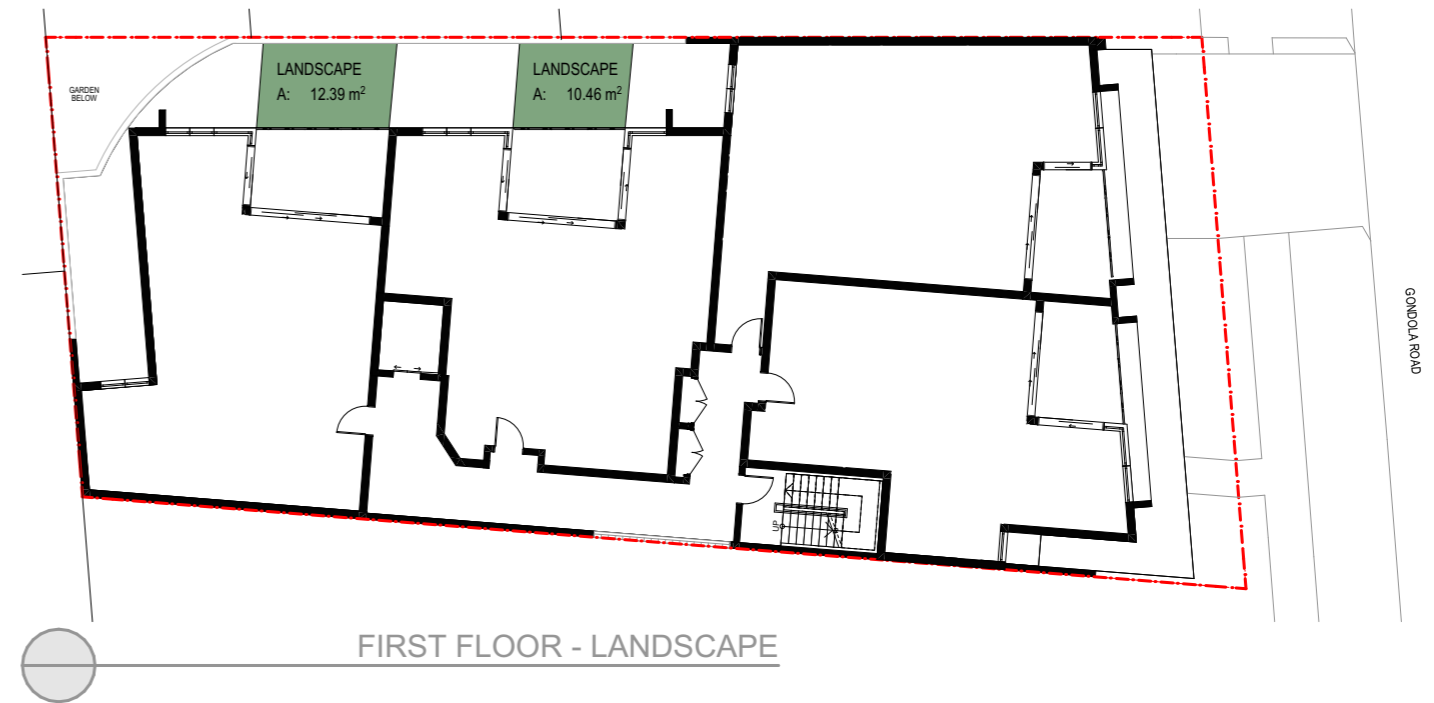
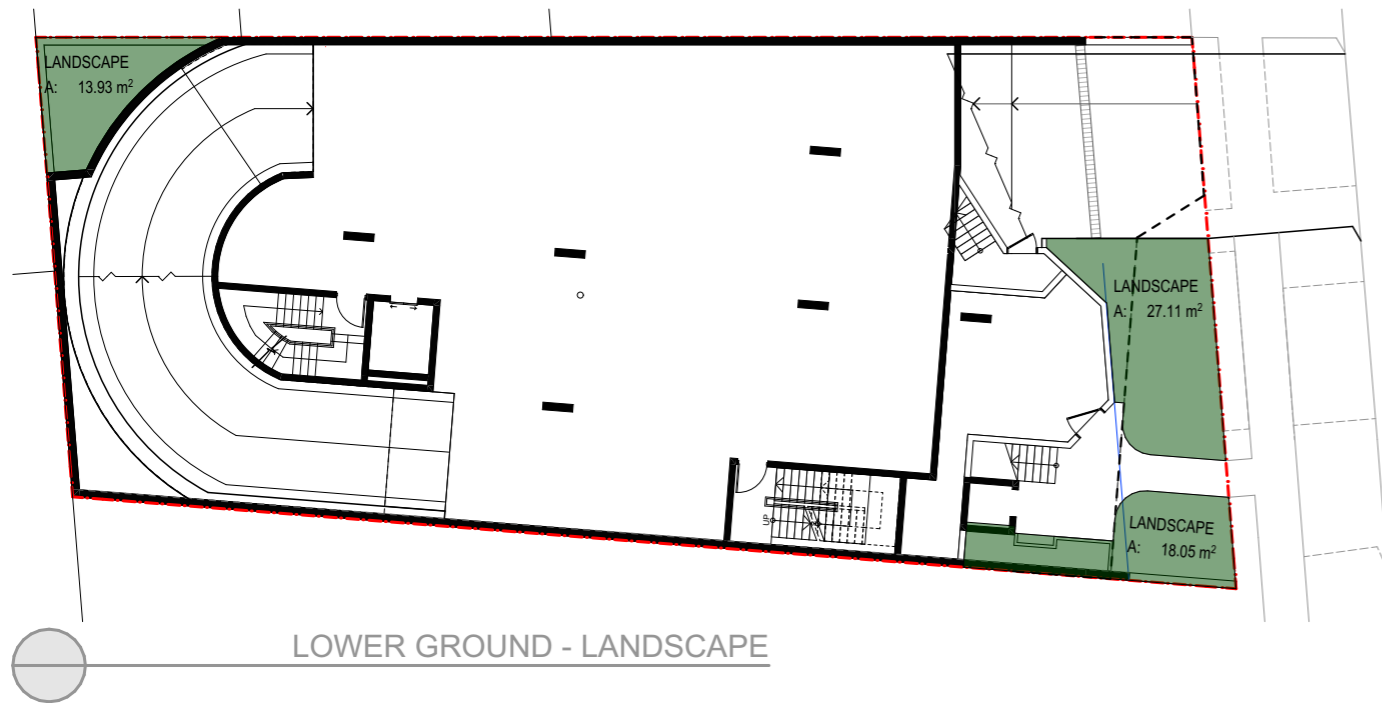
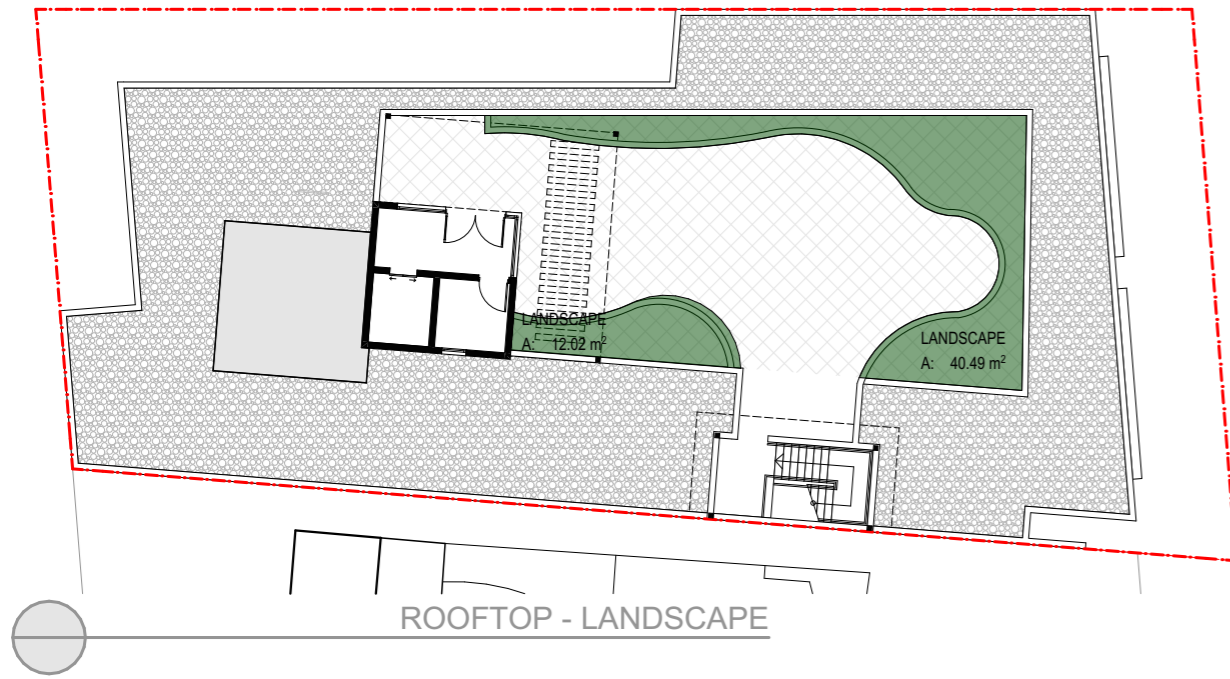
AMENDMENTS		BY	DATE
REV	STATUS	AM	18/05/2022
A	DA		



PROJECT NORTH

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Development Application
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DRAWING: DEEP SOIL		
SCALE: @A3	DRAWING NO.: A3001	ISSUE: A
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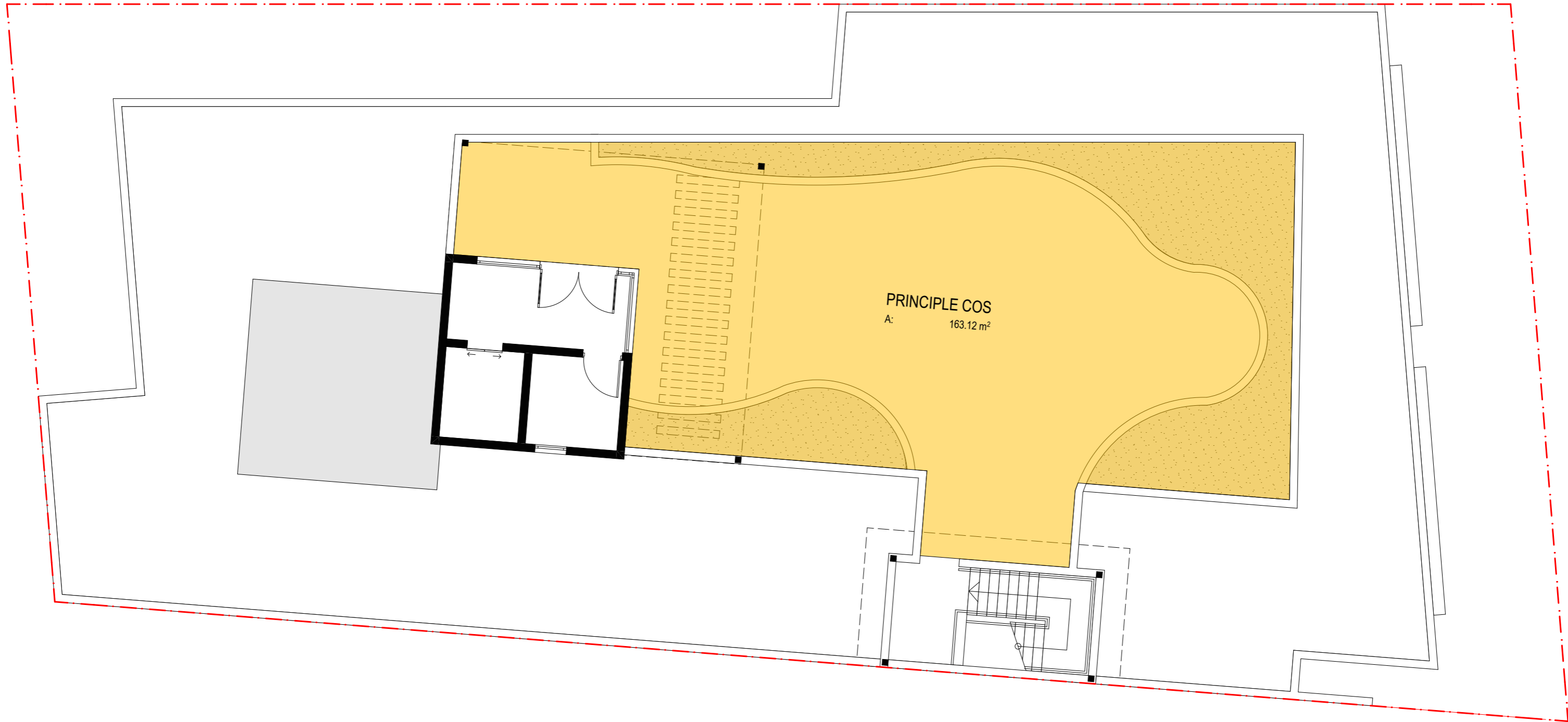


LANDSCAPE	
LEVEL	AREA (m2)
LOWER GROUND	59.09
FIRST FLOOR	22.85
ROOFTOP/COS FLOOR	52.51
	134.45 m²

Energy Rating Certificate Number: 0005179740

single-dwelling rating **5.2** stars
 multi-unit development (attach listing of ratings) heating **38.5** stars cooling **21.8** stars
 Possible discount on energy area for solar shading
 Recessed downlights confirmation: Rated with Rated without

Assessor Name/Number: 1001
 Assessor Signature: [Signature] Date: 18/05/2022



 ROOFTOP COMMUNAL OPEN SPACE

COMMUNAL OPEN SPACE COMPLIANCE	
SITE AREA	638.7m ²
ADG COMMUNAL OPEN SPACE AREA	159.7m ²
ADG COMMUNAL OPEN SPACE %	25%

COMMUNAL OPEN SPACE	
	AREA (M2)
ROOFTOP/COS FLOOR	163.12
	163.12 m²

PROPOSED ROOF COS (PRIMARY)	163.12m ²
PROPOSED COMMUNAL OPEN SPACE%	25.5%

Energy Rating Certificate Number: 0009179749

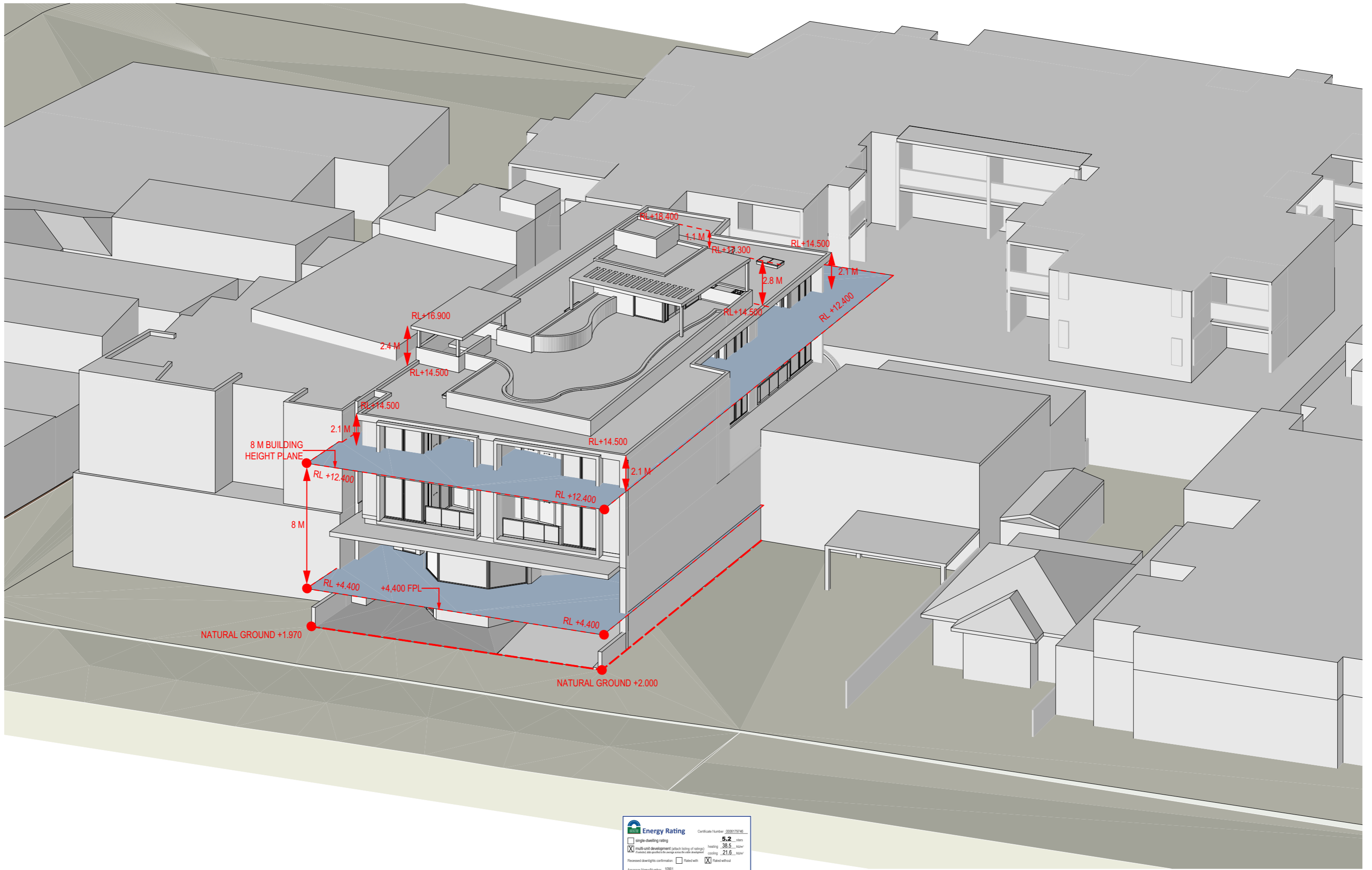
single-dwelling rating **5.2** stars

multi-unit development (attach listing of ratings) **38.5** stars

Residential design and construction (attach listing of ratings) **21.6** stars

Processed daylight confirmation: Rated with Rated without

Assessor Name/Number: 10001 Assessor Signature:  Date: 18/05/2022



Energy Rating Certificate Number: 0005179740

single-dwelling rating **5.2** stars

multi-unit development (attach listing of ratings) **38.5** stars

Passive design (attach the energy assessment) **21.8** stars

Processed daylight confirmation: Rated with Rated without

Assessor Name/Number: 10001
Assessor Signature: [Signature] Date: 18/05/2022



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A	DA	AM	18/05/2022
REV	STATUS	BY	DATE

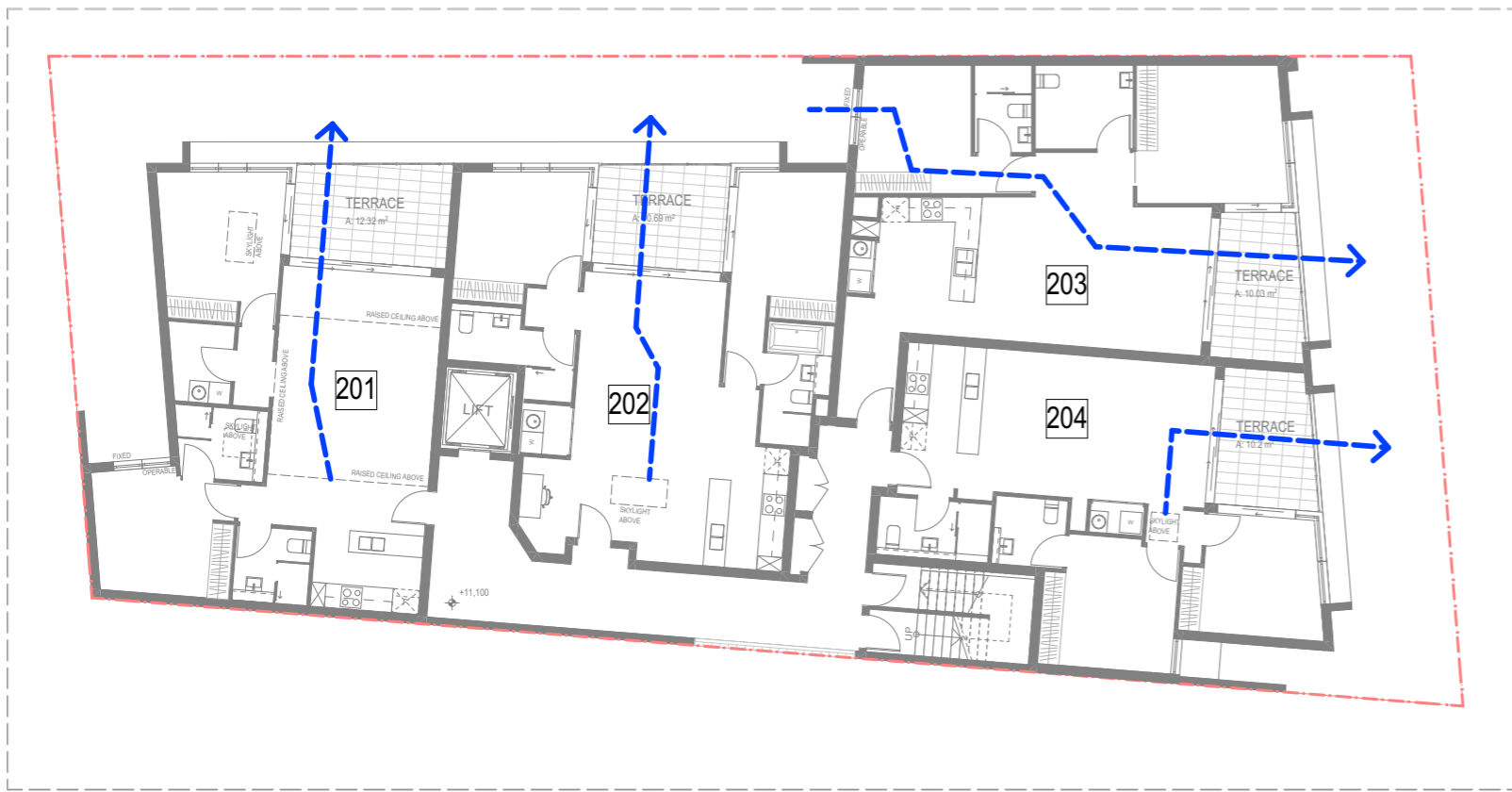
PROJECT NORTH

PROJECT
Development Application
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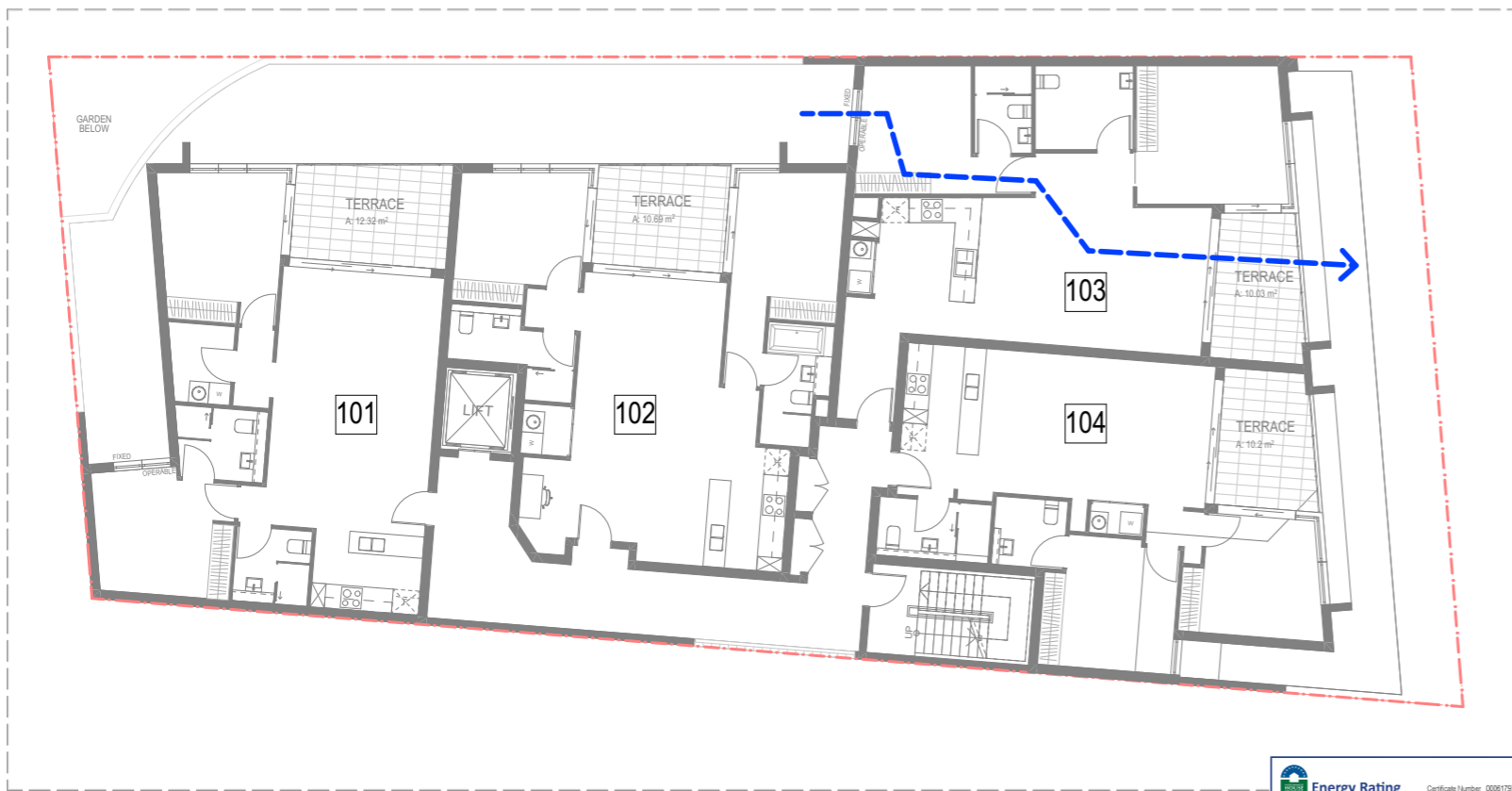
DRAWING:
BUILDING HEIGHT PLANE

SCALE: @A3
DRAWING NO.: **A3004**
ISSUE: **A**

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SECOND FLOOR



FIRST FLOOR

Energy Rating Certificate Number: 0002179740

5.2 stars

single-dwelling rating

multi-unit development (batch listing of ratings) Heating: 38.5 kWh/m²/yr Cooling: 21.6 kWh/m²/yr

Processed daylight confirmation: Rated with Rated without

Assessor Name/Number: 1001 Assessor Signature: [Signature] Date: 18/05/2022

UNIT No.	NATURAL VENTILATION COMPLIANT
FIRST FLOOR	
U101	
U102	
U103 (s) (a)	
U104	
SECOND FLOOR	
U201	NATURAL VENTILATION VIA OPERABLE SKYLIGHTS
U202	NATURAL VENTILATION VIA OPERABLE SKYLIGHTS
U203 (s) (a)	
U204	NATURAL VENTILATION VIA OPERABLE SKYLIGHTS

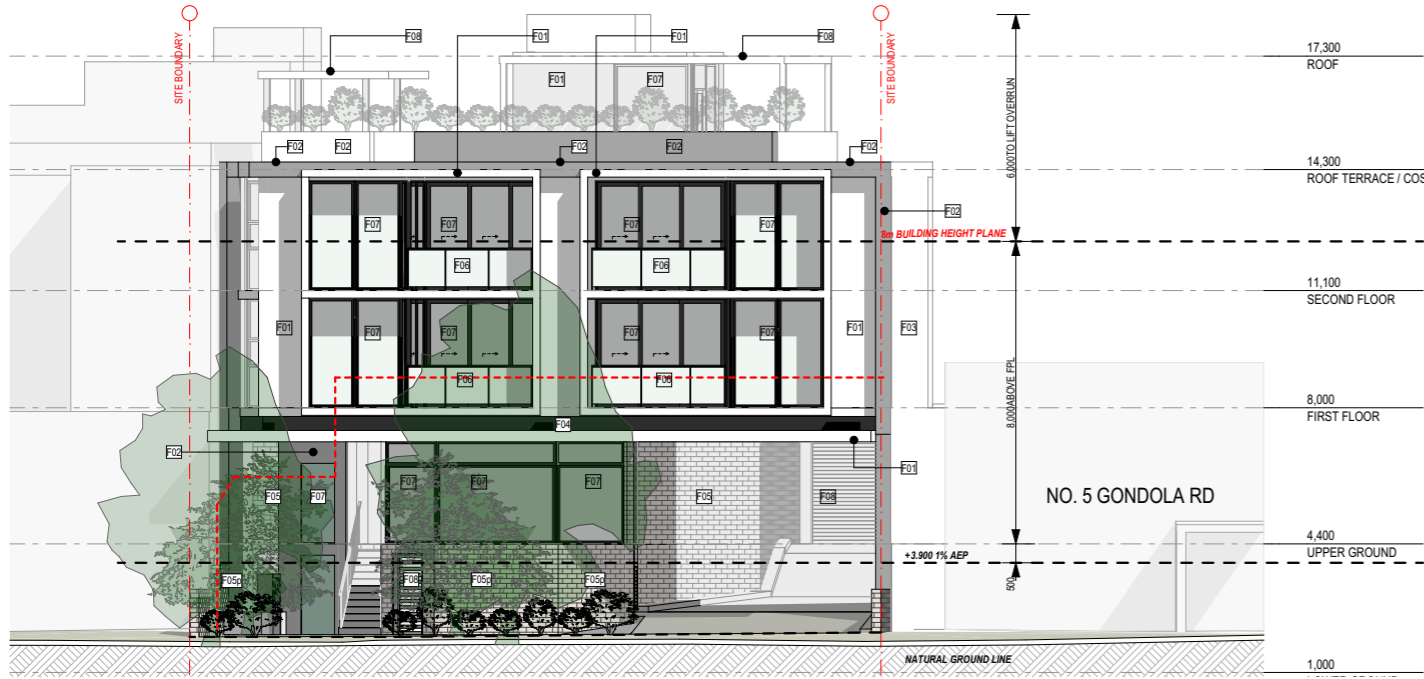
LEGEND

ACHIEVABLE NATURAL VENTILATION	
NOT ACHIEVABLE NATURAL VENTILATION	

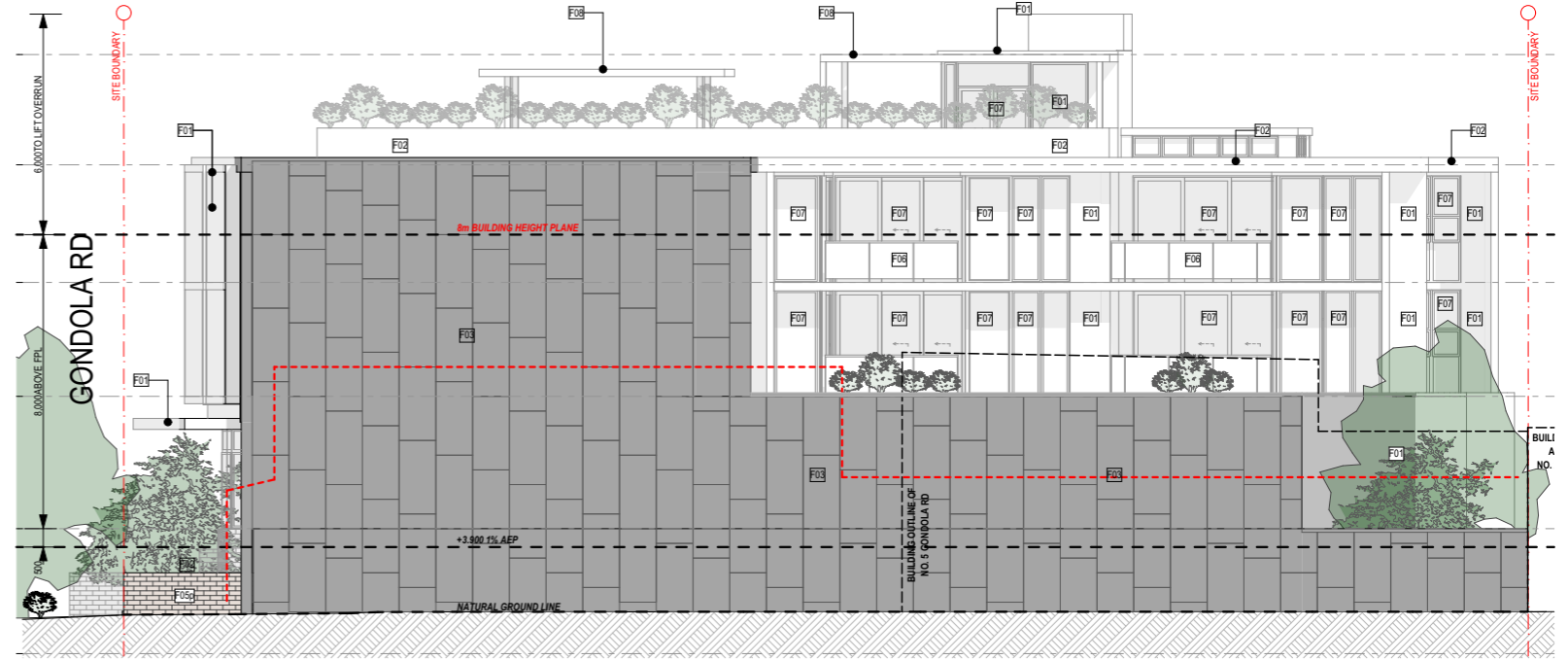
NATURAL VENTILATION COMPLIANCE

TOTAL NUMBER OF UNITS	8
ADG REQUIRED NATURAL VENTILATED UNITS	4.8
ADG REQUIRED NATURAL VENTILATED %	60%

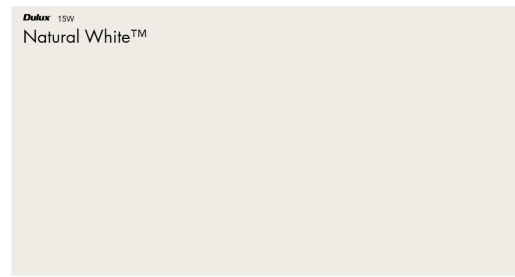
PROPOSED NATURAL VENTILATED UNITS	5
PROPOSED NATURAL VENTILATED %	62.5%



NORTH (STREET) ELEVATION



WEST ELEVATION



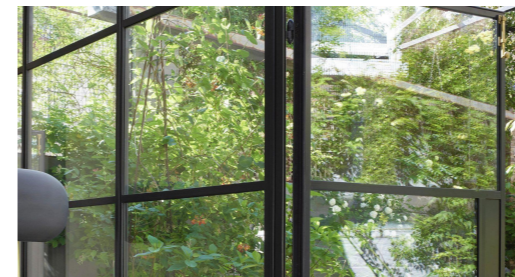
F01 : RENDERED PAINTED WALL WITH WHITE SHADE FINISH
EQ. DULUX ACRATEX NATURAL WHITE



F03 : EXPOSED PRECAST CONCRETE PANEL



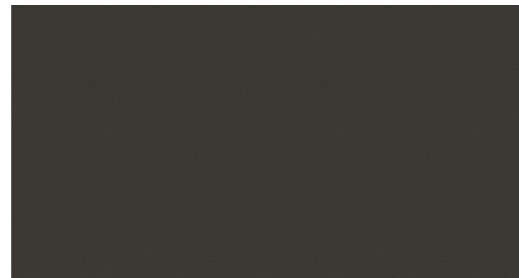
F05 : BRICK WALL EQ. BOWRAL 50 SIMMENTAL SILVER
F05p : PERFORATED BRICK WALL



F07 : CLEAR GLASS WITH POWDERCOATED ALUM. FRAME
EQ. DULUX COLORBOND MONUMENT



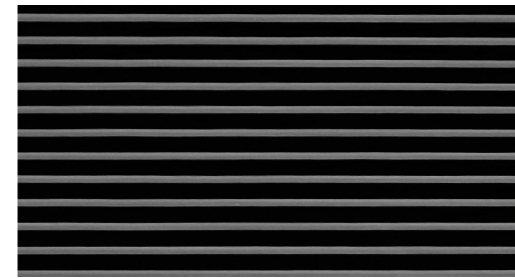
F02 : OFF-FORM CONCRETE WITH WHITE SKIM COAT FINISH



F04 : FC SHEET WITH DARK CHARCOAL PAINT FINISH
EQ. DULUX COLORBOND MONUMENT



F06 : CLEAR GLAZED POWDERCOATED
EQ. DULUX COLORBOND MONUMENT



F08 : METAL SHUTTER / PERGOLA POWDERCOATED
DULUX COLORBOND MONUMENT



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PROJECT NORTH
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Development Application
3 GONDOLA RD
NORTH NARRABEEN
NSW 2101, AUSTRALIA

DRAWING:
FINISHES SCHEDULE
SCALE:
@A3
DRAWING NO.:
A3006
ISSUE:
A
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LHD SILVER LEVEL UNITS	
UNIT No.	
U103 (s) (a)	
U203 (s) (a)	



SILVER LEVEL UNIT LAYOUTS	
NUMBER OF UNITS	8
ADG MINIMUM % OF SILVER LEVEL UNITS	20%
ADG MINIMUM NUMBER OF SILVER LEVEL UNITS	1.6
PROPOSED % OF SILVER LEVEL UNITS	25%
PROPOSED NUMBER OF SILVER LEVEL UNITS	2

Energy Rating Certificate Number: 0009179740

single-dwelling rating **5.2** stars
 multi-unit development (attach listing of ratings) **38.5** stars
 Possible discount to average area for whole development **21.8** stars
 Processed drawings confirmation: Rated with Rated without

Assessor Name/Number: 10001
 Assessor Signature: [Signature]
 Date: 18/05/2022



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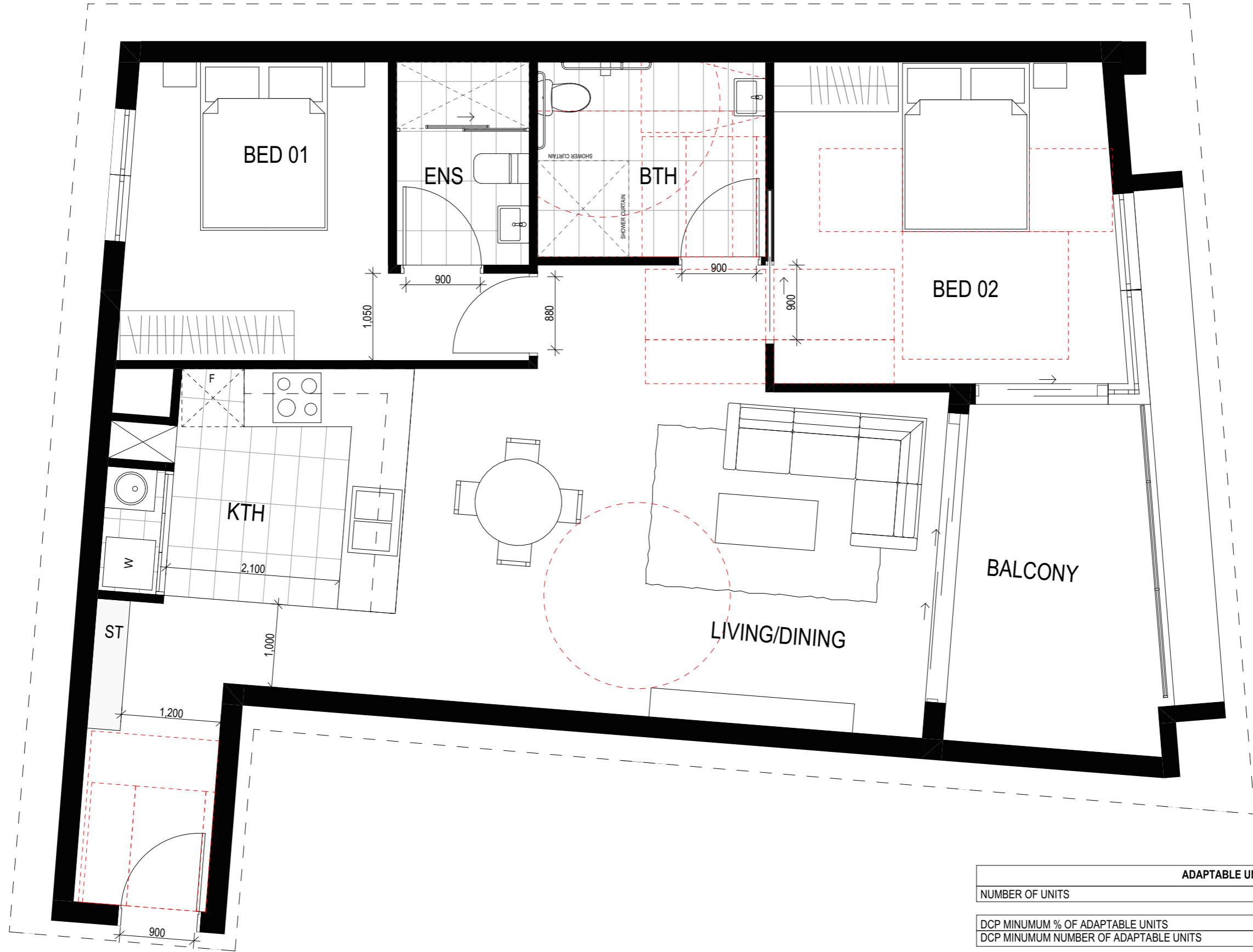
AMENDMENTS		BY	DATE
REV	STATUS	AM	18/05/2022
A	DA		



PROJECT NORTH
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 Development Application
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 NORTH NARRABEEN
 NSW 2101, AUSTRALIA

DRAWING:
PRE-ADAPTABLE (SILVER)
 SCALE: 1:50@A3
 DRAWING NO.: **A3007**
 ISSUE: **A**
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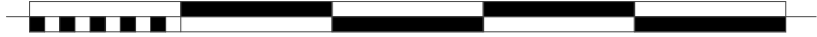
ADAPTABLE UNITS	
UNIT No.	
U103 (s) (a)	
U203 (s) (a)	



ADAPTABLE UNITS	
NUMBER OF UNITS	8
DCP MINIMUM % OF ADAPTABLE UNITS	20%
DCP MINIMUM NUMBER OF ADAPTABLE UNITS	1.6
PROPOSED % OF ADAPTABLE UNITS	25%
PROPOSED NUMBER OF ADAPTABLE UNITS	2

Energy Rating Certificate Number: 0009179740

single-dwelling rating **5.2** stars
 multi-unit development (attach listing of ratings) **38.5** stars
 Possible discount to average area for whole development **21.8** stars
 Processed dwellings confirmation: Rated with Rated without
 Assessor Name/Number: 10001
 Assessor Signature: [Signature] Date: 18/05/2022

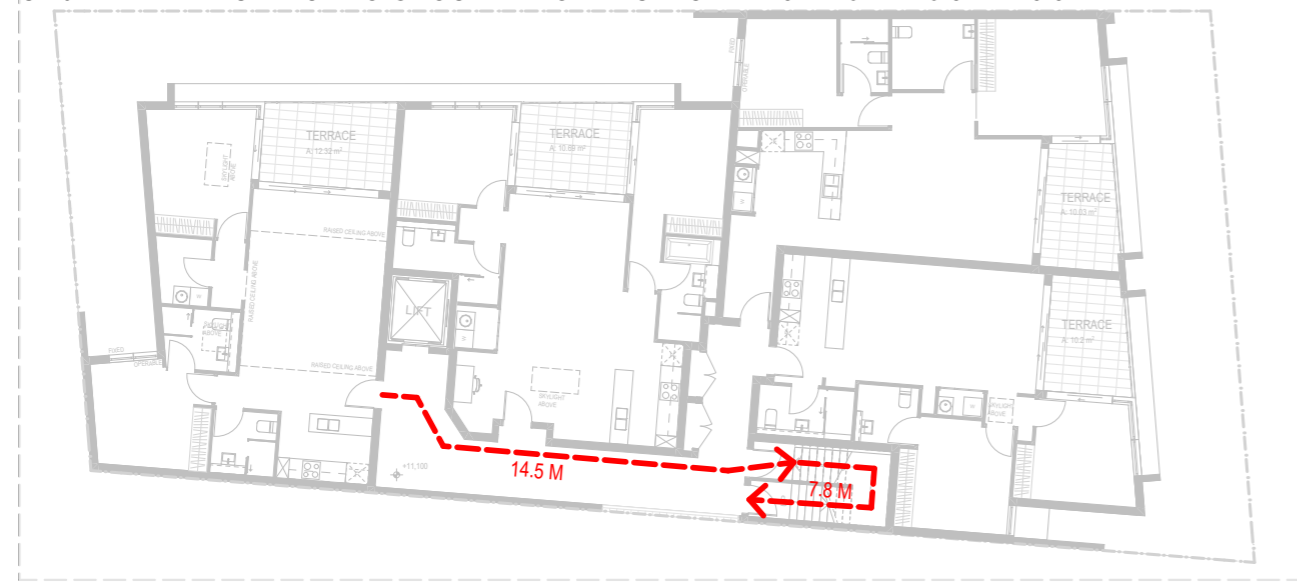


REV	STATUS	BY	DATE
A	DA	AM	18/05/2022

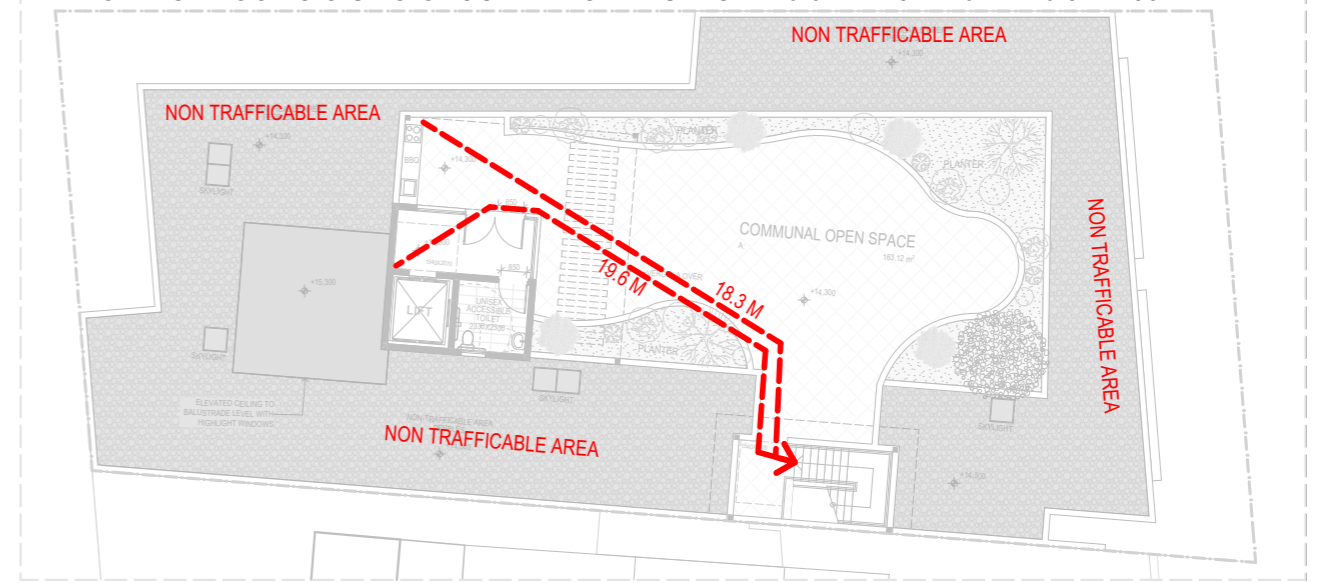


U 201 TRAVEL DISTANCE TO GROUND FL OPEN SPACE : 14.5m + 9m + 19.8m = 43.3m

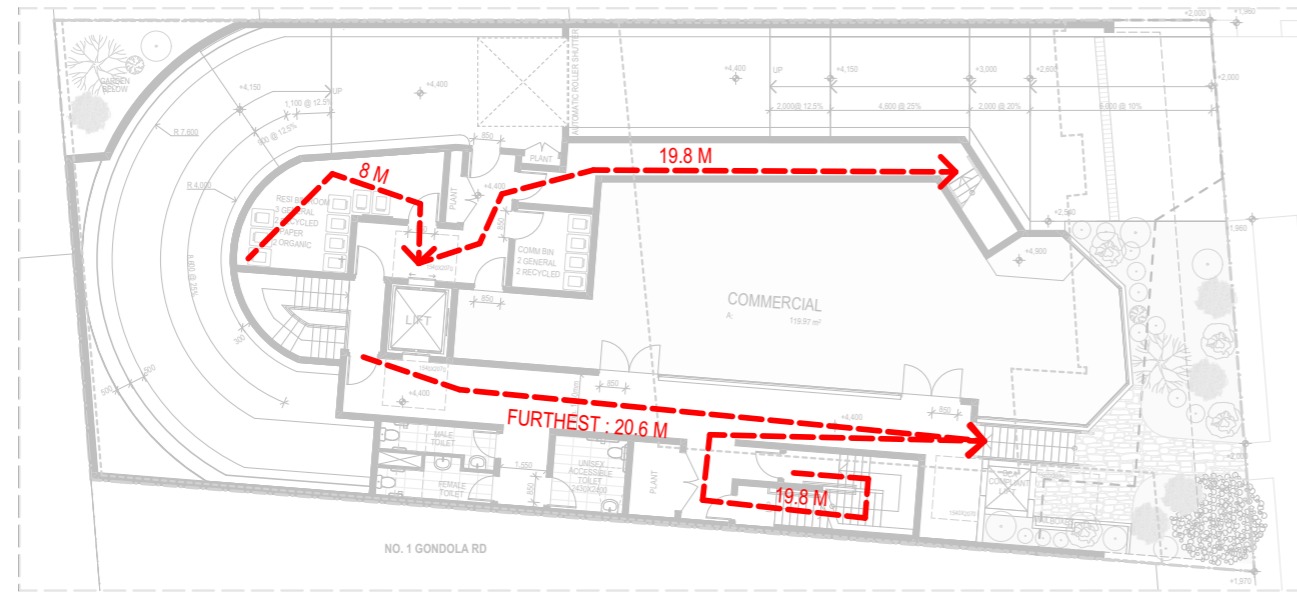
FAR POINT OF ROOF C.O.S TO GROUND FL OPEN SPACE : 19.6m + 7.8m + 9m + 19.8m = 56.2m



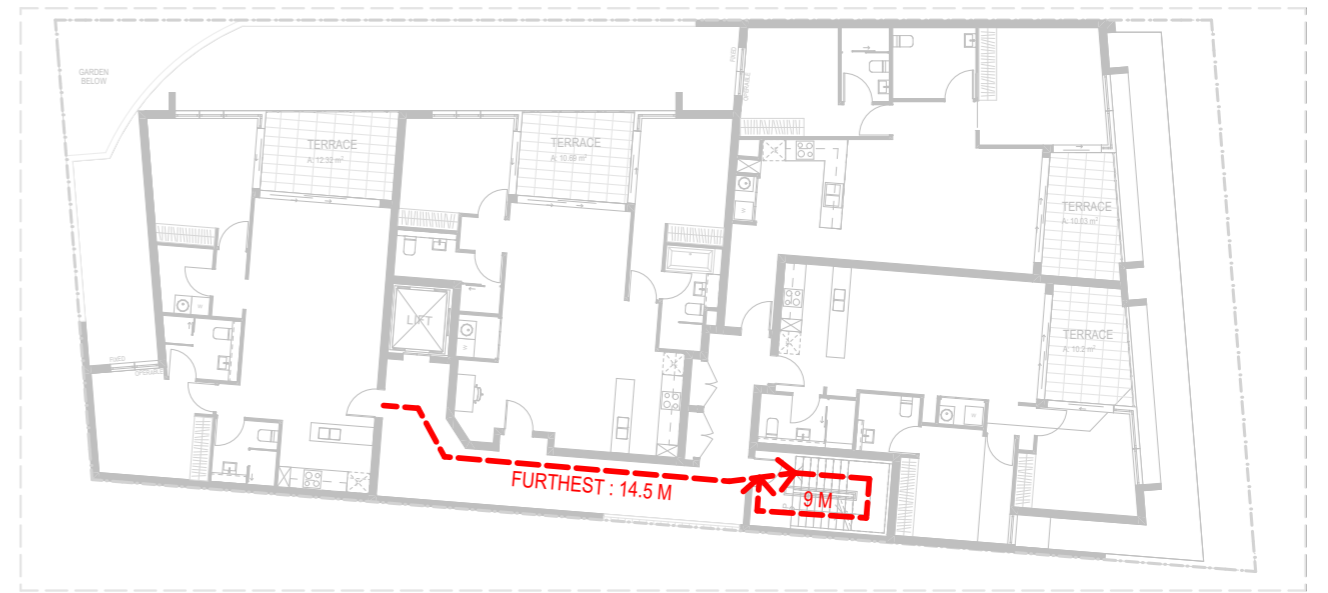
SECOND FLOOR



ROOF TERRACE / COS



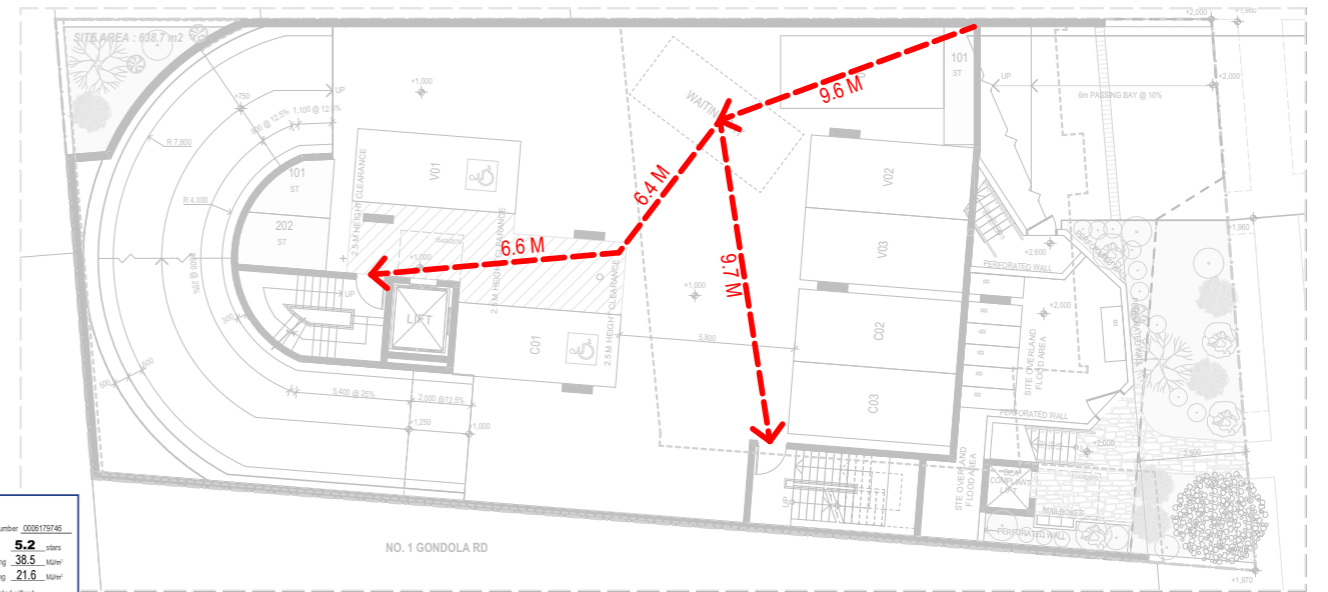
UPPER GROUND



FIRST FLOOR



BASEMENT 01



LOWER GROUND

Energy Rating Certificate Number: 0009179746

single-dwelling rating **5.2** stars
 multi-unit development (attach listing of ratings) heating **38.5** stars
 cooling **21.8** stars
 Possible star penalties for energy areas in each direction:
 Recessed downlights confirmation: Rated with Rated without
 Assessor Name/Number: 10001
 Assessor Signature: [Signature] Date: 18/05/2022



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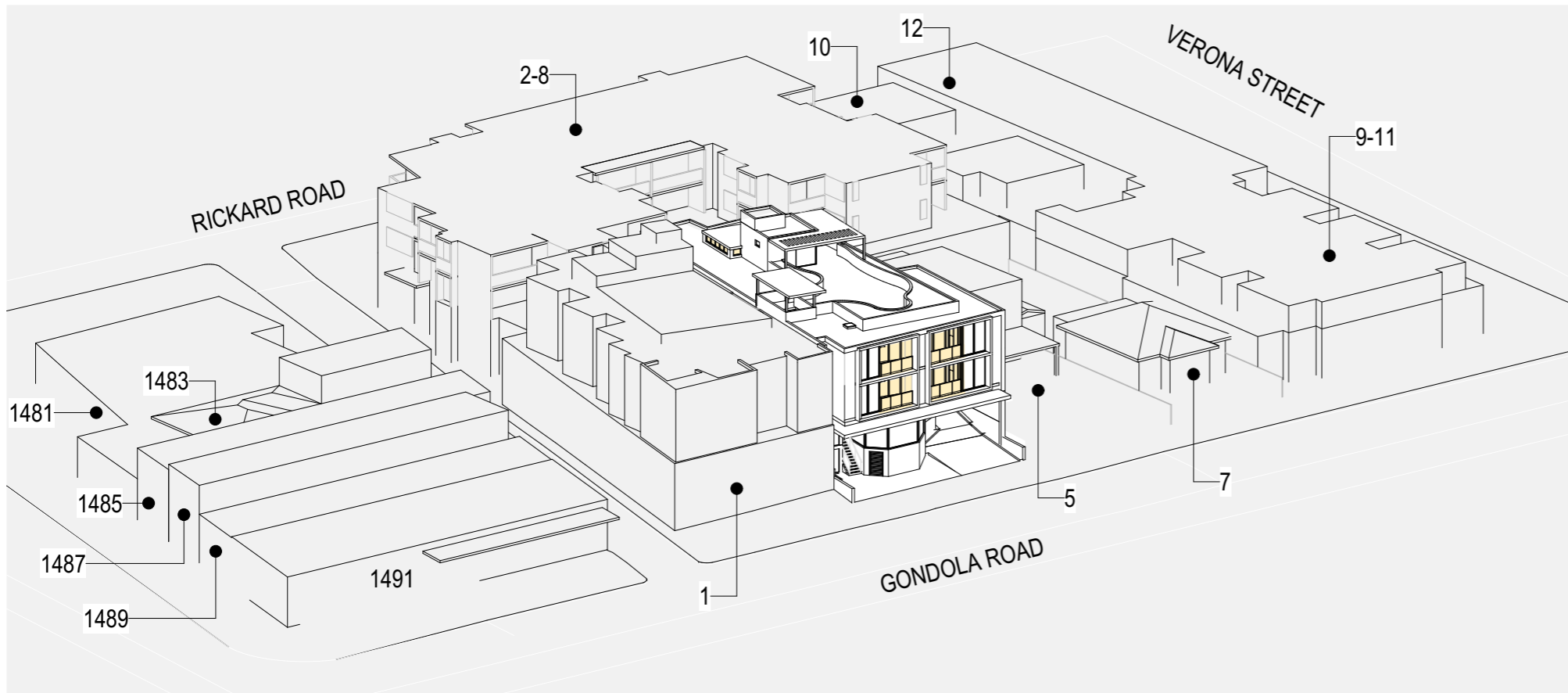
Nominated Architect No.6033
 ABN 78 091 101 201
 ACN 091107201

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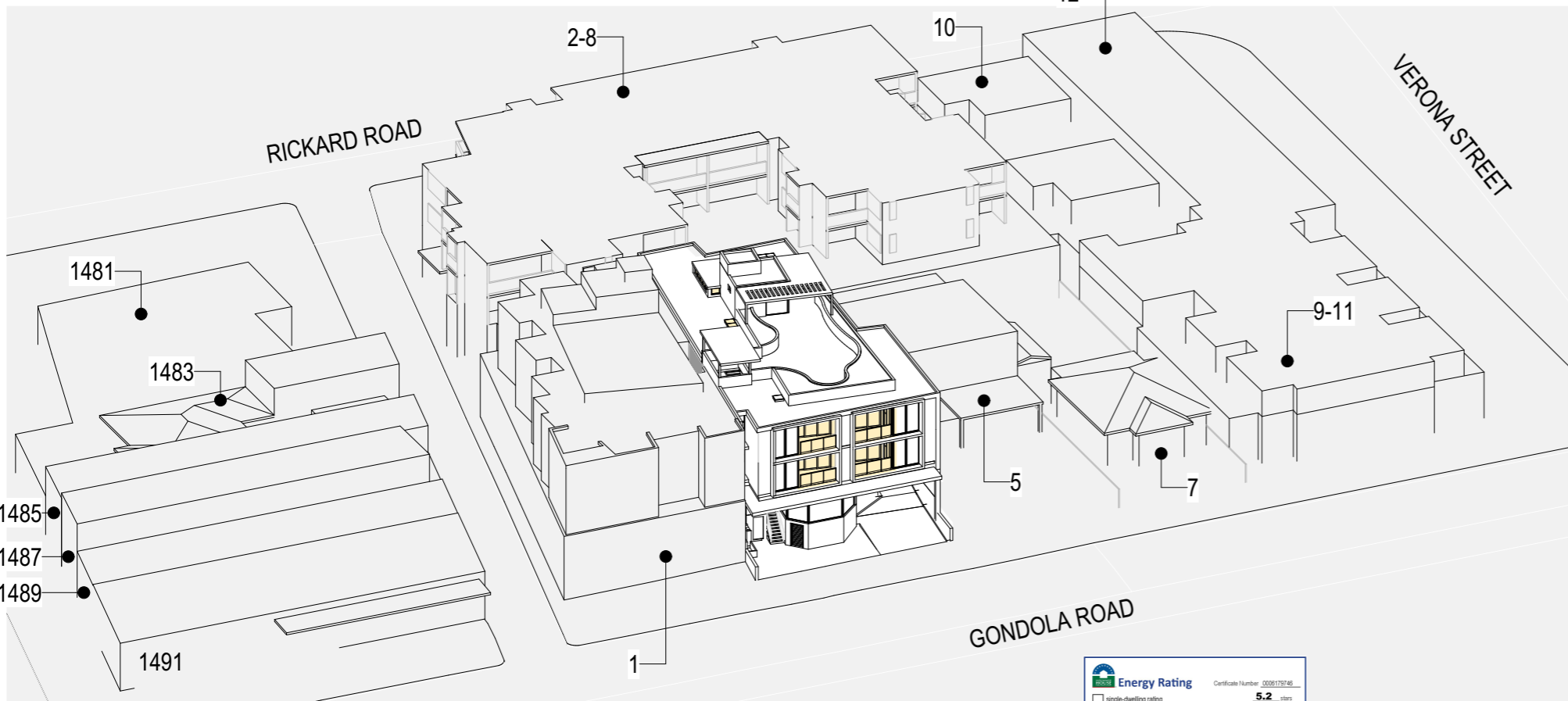
AMENDMENTS		PROJECT NORTH	PROJECT	DRAWING:
REV	STATUS	BY	DATE	TRAVEL DISTANCE
A	DA	AM	18/05/2022	SCALE: 1:250@A3
				DRAWING NO.: A3009
				ISSUE: A

PROJECT NORTH
 PROJECT Development Application
 3 GONDOLA RD
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DRAWING: TRAVEL DISTANCE
 SCALE: 1:250@A3
 DRAWING NO.: A3009
 ISSUE: A
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SOLAR ACCESS 21 JUN 9 AM



SOLAR ACCESS 21 JUN 10 AM

Energy Rating Certificate Number: 000179740

single-dwelling rating **5.2** stars
 multi-unit development (pitch listing of ratings) **38.5** stars
Points are based on energy audit by developer **21.8** stars
 Recessed downlights confirmation: Rated with Rated without

Assessor Name/Number: 10001
 Assessor Signature: [Signature]
 Date: 18/05/2022



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REV	STATUS	AM	18/05/2022	JUN 21 SOLAR ACCESS
A	DA	BY	DATE	SCALE: 1:500@A3
				DRAWING NO.: A4000
				ISSUE: A

PROJECT NORTH

PROJECT
 Development Application
3 GONDOLA RD
NORTH NARRABEEN
NSW 2101, AUSTRALIA

DRAWING:
JUN 21 SOLAR ACCESS

SCALE: 1:500@A3

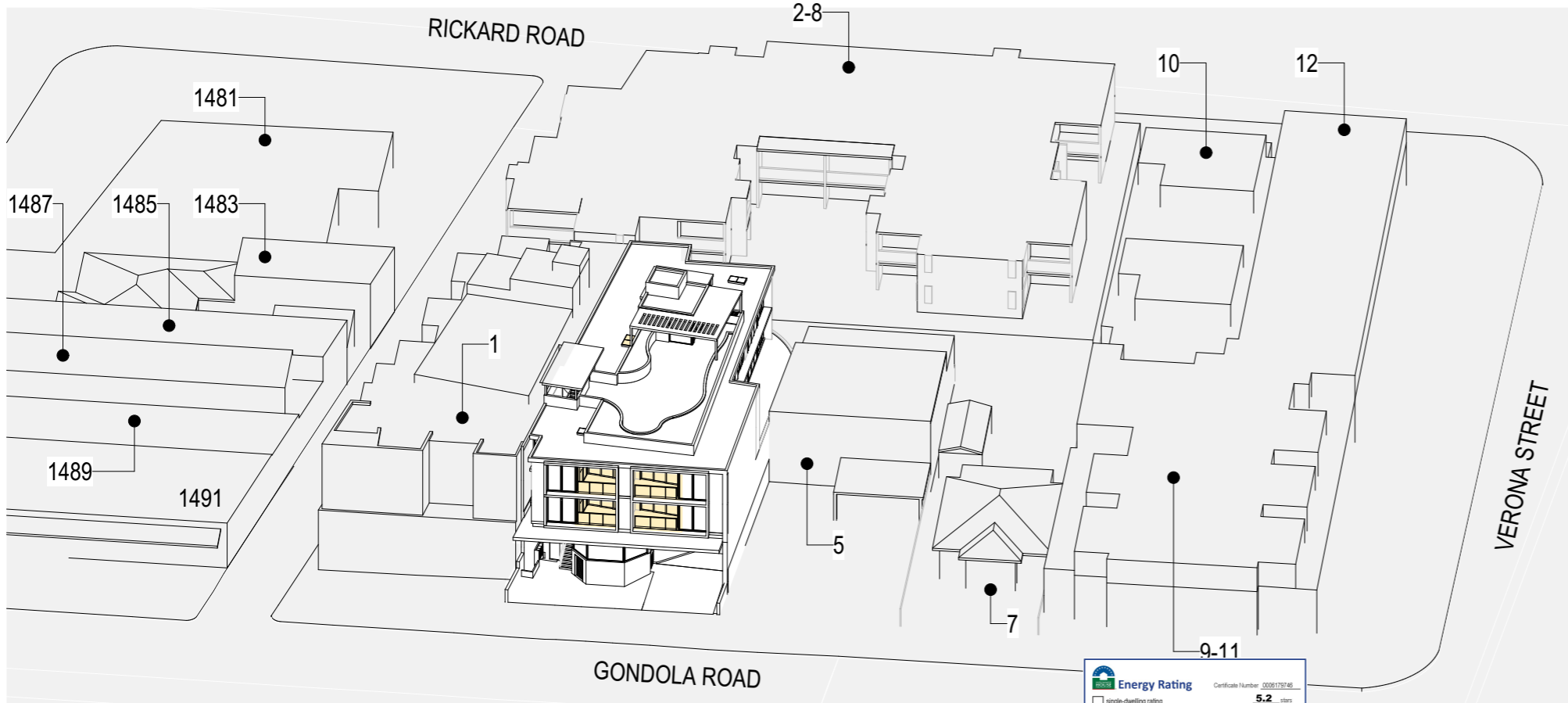
DRAWING NO.: **A4000**

ISSUE: **A**

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SOLAR ACCESS 21 JUN 11 AM



SOLAR ACCESS 21 JUN 12 PM

Energy Rating Certificate Number: 0009179740

single-dwelling rating **5.2** stars
 multi-unit development (pitch listing of ratings) **38.5** stars
 Possible discount to average area for developer **21.6** stars
 Processed daylight confirmation: Rated with Rated without

Assessor Name/Number: 10001
 Assessor Signature: [Signature]
 Date: 18/06/2022



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Nominated Architect No.6033
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 ACN 931107201

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REV	STATUS	BY	DATE

PROJECT NORTH

PROJECT
 Development Application
 3 GONDOLA RD
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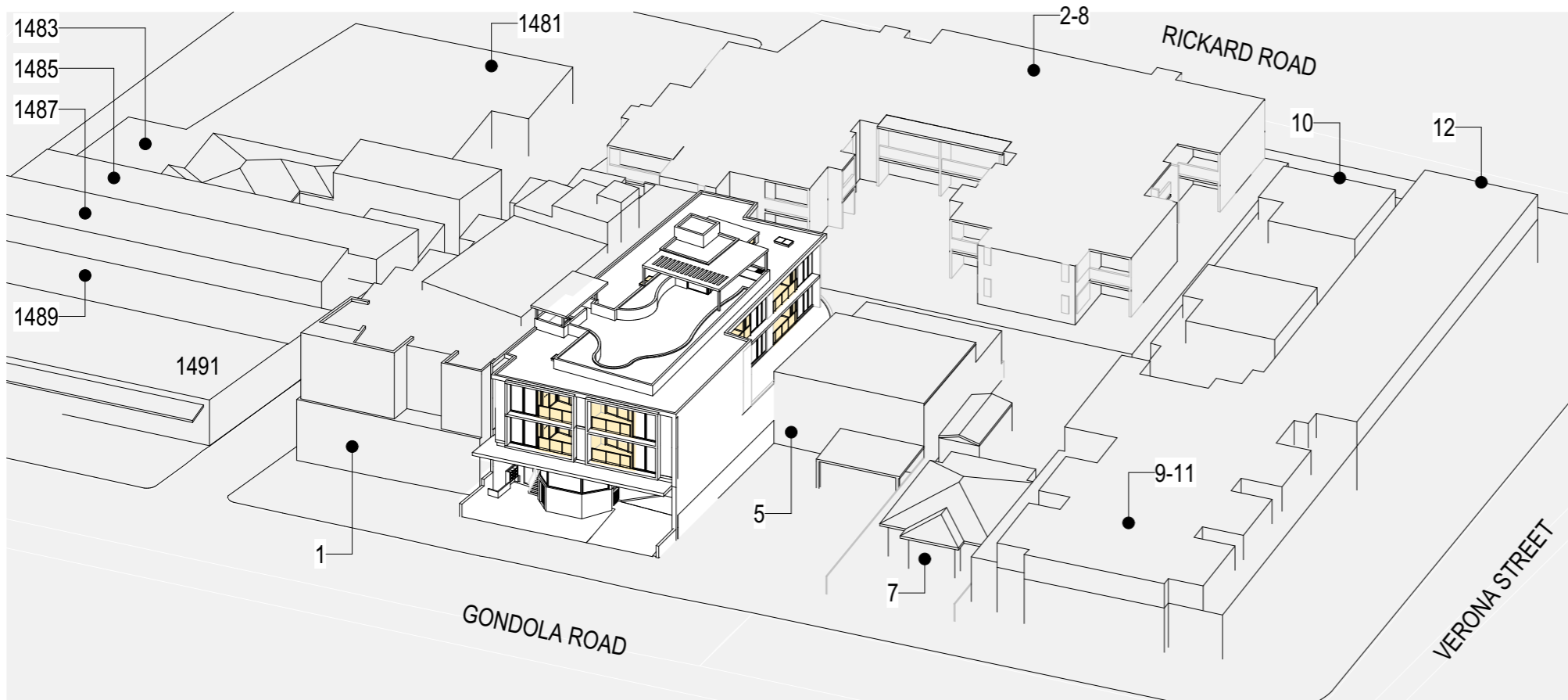
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SCALE: 1:500@A3

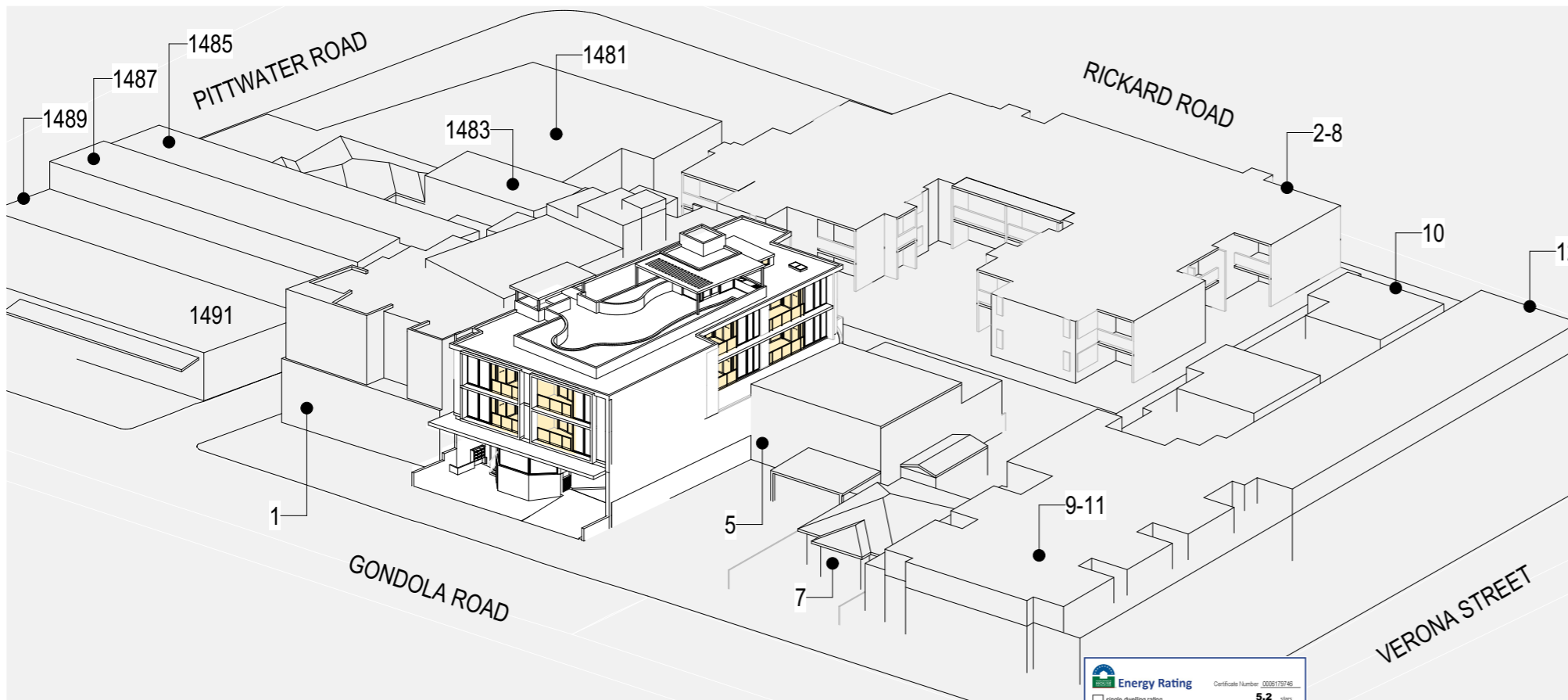
DRAWING NO.:
A4001

ISSUE:
A

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SOLAR ACCESS 21 JUN 1 PM



SOLAR ACCESS 21 JUN 2 PM

Energy Rating Certificate Number: 0002170740

single-dwelling rating **5.2** stars

multi-unit development (pitch listing of ratings) heating **38.5** stars

Passive design (pitch listing of average area to volume ratio) cooling **21.6** stars

Processed daylight confirmation: Rated with Rated without

Assessor Name/Number: 10001
Assessor Signature: [Signature] Date: 18/05/2022



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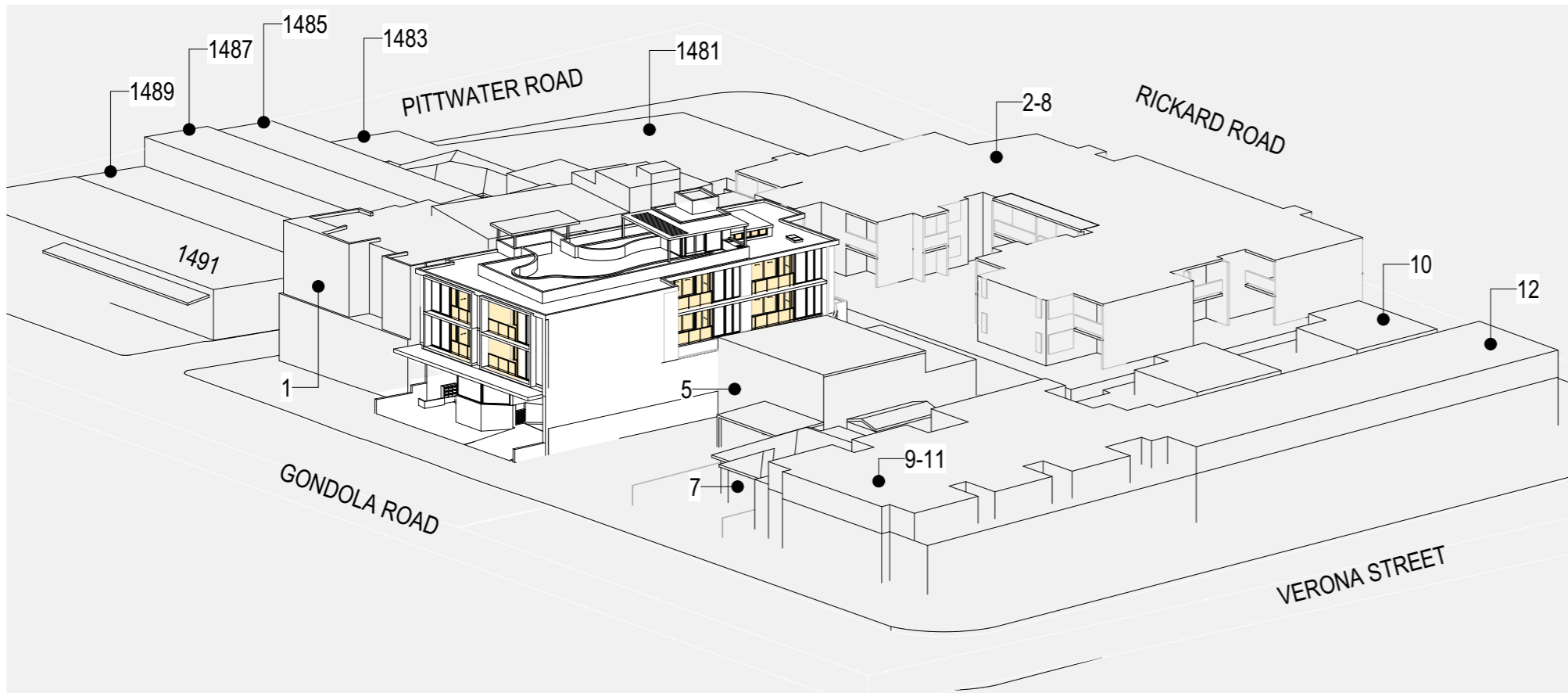
AMENDMENTS		REV	STATUS	BY	DATE
A	DA			AM	18/05/2022

PROJECT NORTH

PROJECT
Development Application
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NSW 2101, AUSTRALIA

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JUN 21 SOLAR ACCESS

SCALE: 1:500@A3
DRAWING NO.: **A4002**
ISSUE: **A**
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SOLAR ACCESS 21 JUN 3 PM

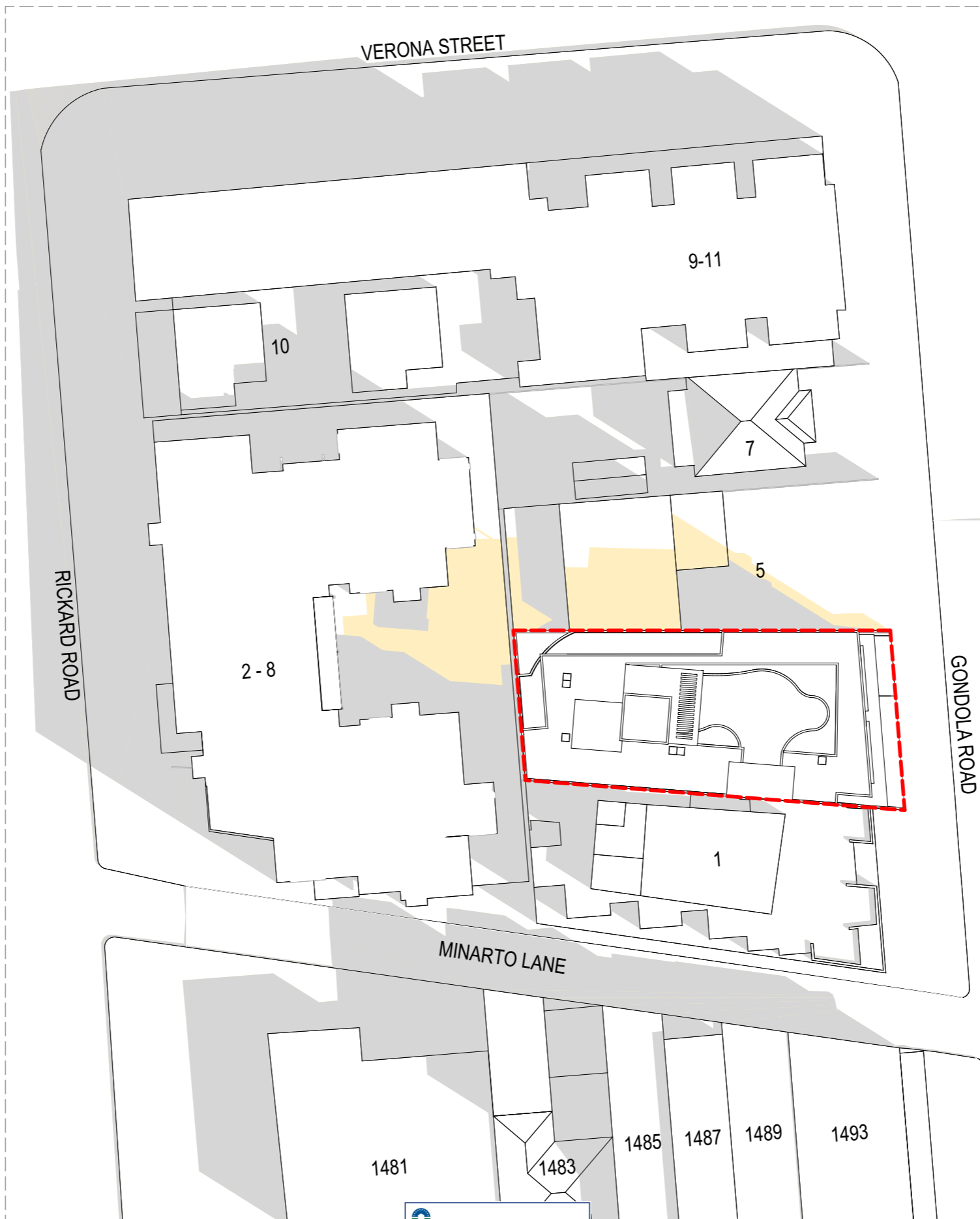
UNIT No.	9-10am	10-11am	11-Noon	Noon-1pm	1-2pm	2-3pm	solar access
FIRST FLOOR							
U101							Y
U102							N
U103 (s)(a)							Y
U104							Y
SECOND FLOOR							
U201							Y
U202							N
U203 (s)(a)							Y
U204							Y

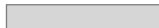
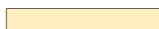

LEGEND

SOLAR ACCESS TO POS+LIVING ROOM
 NO SOLAR ACCESS TO POS+LIVING ROOM

Total Number of Units	8
ADG's min 70% to have 2h direct solar access	5.6
Number of proposed units with minimum 2 hour solar access	6
% of total Units	75%
ADG's max 15% of units with no direct solar access	1.2
Number of proposed units with no direct solar access	0
% of total Units	0%





LEGEND
 EXISTING SHADOW 
 PROPOSED SHADOW 
 SITE BOUNDARY 

Energy Rating Certificate Number: 0009179749

single-dwelling rating **5.2** stars
 multi-unit development (pitch listing of ratings) heating **38.5** stars cooling **21.8** stars
Finalistic design and the average area for each dwelling

Processed daylight confirmation: Rated with Rated without

Assessor Name/Number: 10001
 Assessor Signature:  Date: 18/05/2022



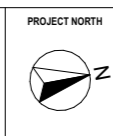
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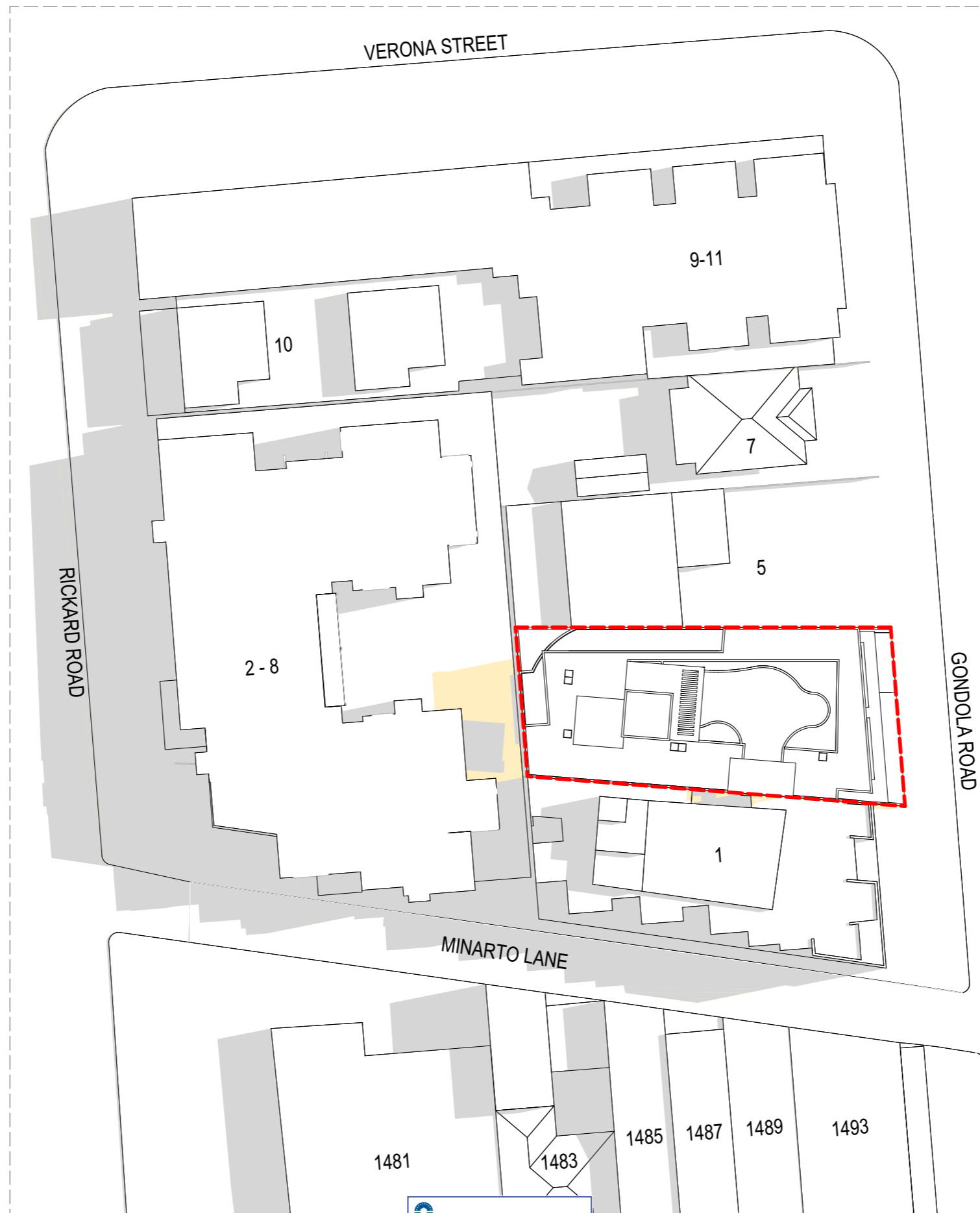
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PROJECT
 Development Application
 3 GONDOLA RD
 NORTH NARRABEEN
 NSW 2101, AUSTRALIA

DRAWING:
 JUN 21 SHADOW DIAGRAM 9 AM
 SCALE: 1:500@A3
 DRAWING NO.: **A4100**
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- LEGEND**
- EXISTING SHADOW
 - PROPOSED SHADOW
 - SITE BOUNDARY

Energy Rating Certificate Number: 0009179749

single-dwelling rating **5.2** stars

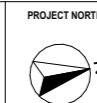
multi-unit development (pitch listing of ratings) Heating **38.5** stars

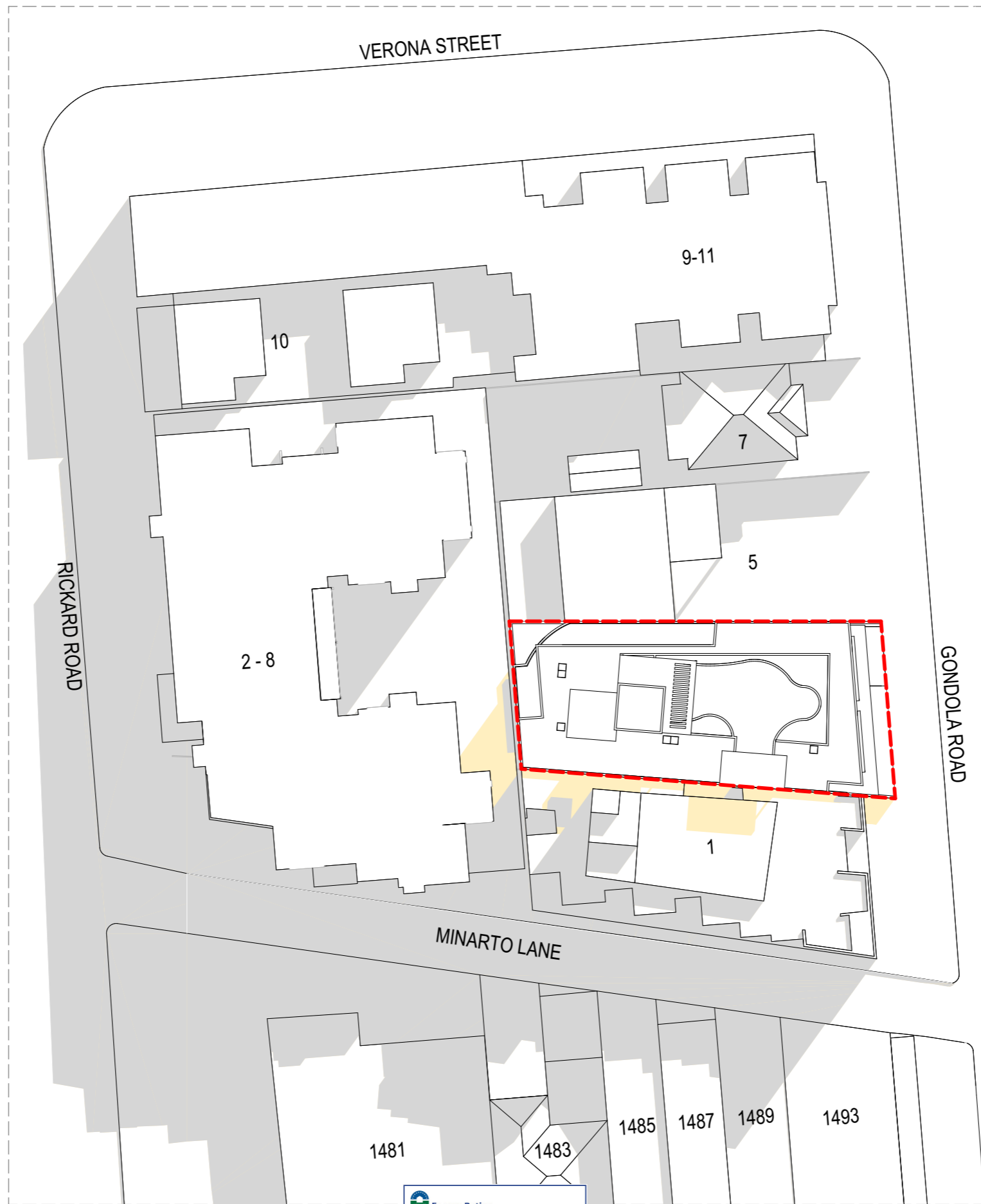
Passive design (pitch listing of ratings) Cooling **21.8** stars


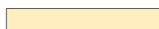

Processed daylight confirmation: Rated with Rated without

Assessor Name/Number: 10001
 Assessor Signature: Date: 18/05/2022

AMENDMENTS		AM	18/05/2022
REV	STATUS	BY	DATE
A	DA	AM	18/05/2022





LEGEND
 EXISTING SHADOW 
 PROPOSED SHADOW 
 SITE BOUNDARY 

Energy Rating Certificate Number: 0009179749

single-dwelling rating **5.2** stars
 multi-unit development (pitch listing of ratings) heating **38.5** stars cooling **21.8** stars
Finalistic design and the average area of each dwelling

Processed daylight confirmation: Rated with Rated without

Assessor Name/Number: 10001
 Assessor Signature:  Date: 18/05/2022



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PROJECT NORTH
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 Development Application
 3 GONDOLA RD
 NORTH NARRABEEN
 NSW 2101, AUSTRALIA

DRAWING:
JUN 21 SHADOW DIAGRAM 3 PM
 SCALE: 1:500@A3
 DRAWING NO.: **A4102**
 ISSUE: **A**
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