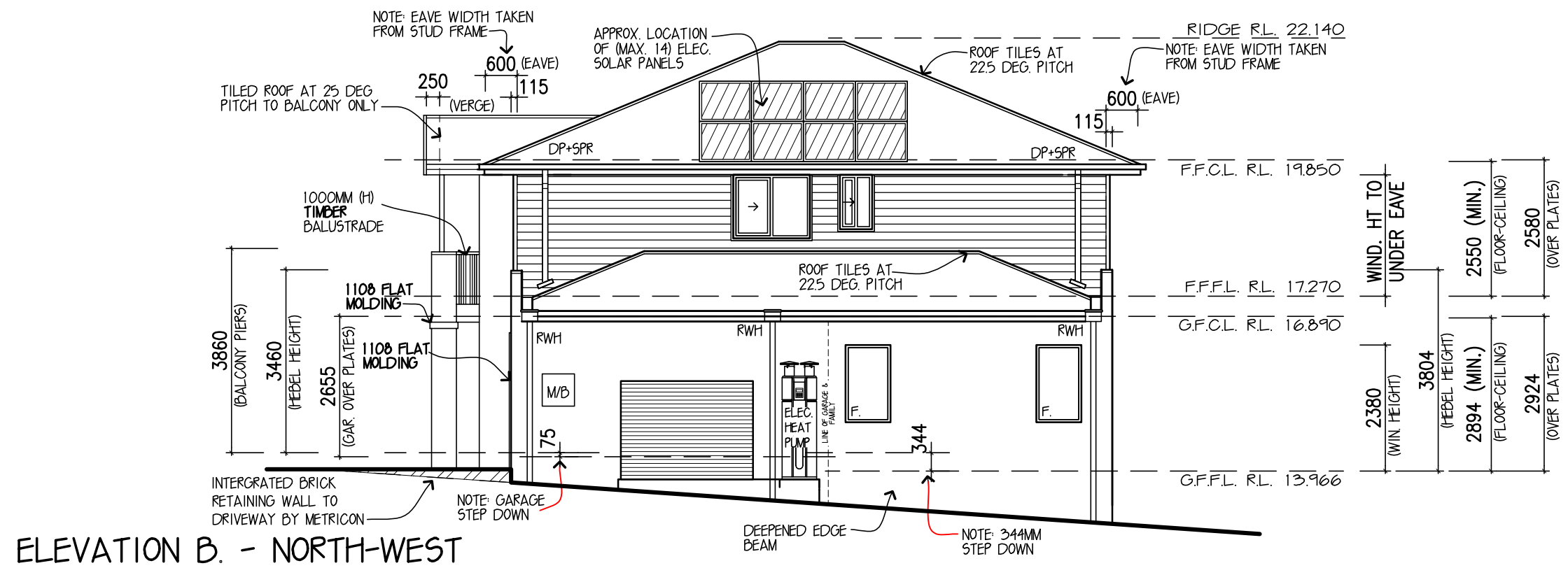
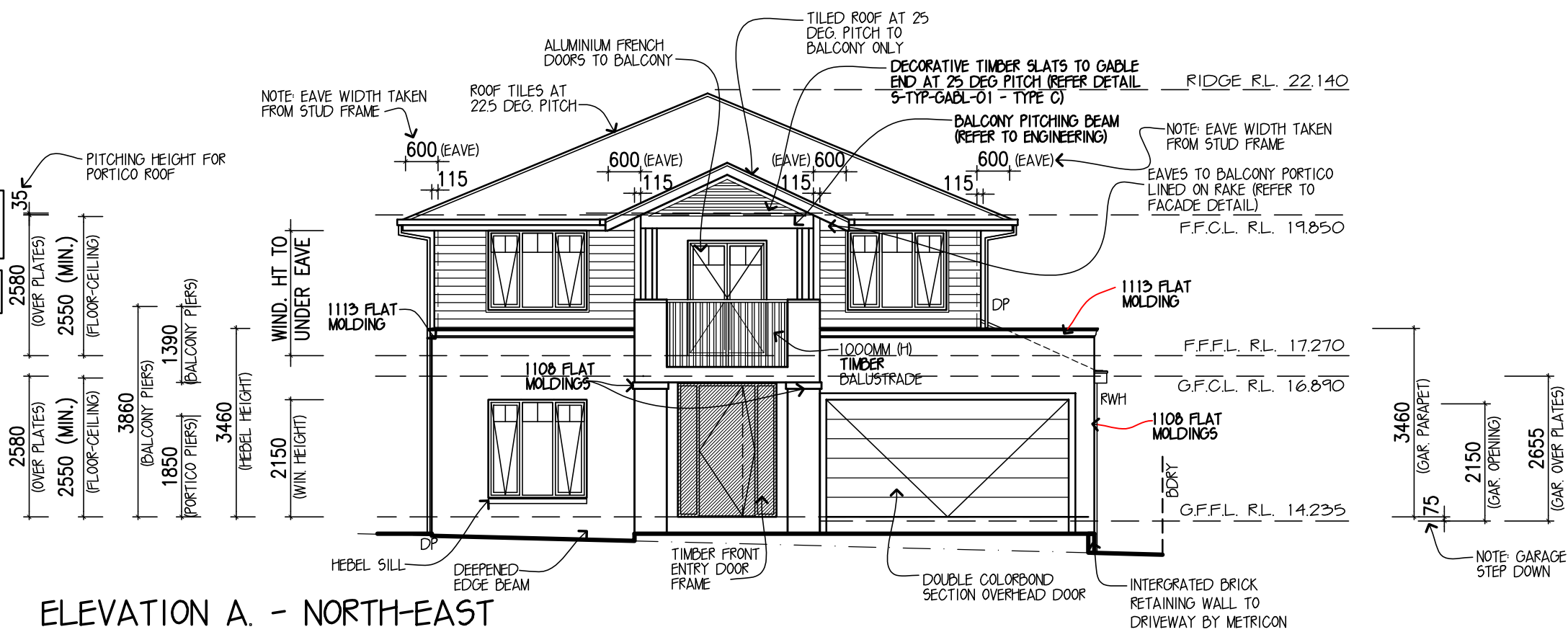


IMPORTANT NOTE:
REFER TO FACADE DETAIL
REF. NO. **S-TYP-PLAN-07**





PROVIDE JAMES HARDIES SCYON
LINEA WEATHERBOARD CLADDING
TO FIRST FLOOR ELEVATIONS
(UNLESS NOTED OTHERWISE)
REFER TO DETAIL: **S-TYP-CLAD-02**

PROVIDE **ACRYLIC RENDER FINISH TO HEDEL
PANELS** TO GROUND FLOOR ELEVATIONS
(UNLESS NOTED OTHERWISE)

 DENOTES WINDOWS/DOORS WITH
TRANSLUCENT GLAZING



SYMBOL LEGEND

-  RECESSED ELECTRICITY METER BOX
-  DOWNPIPE W/- RAINWATER HEAD
-  ROTATING ROOF VENTILATOR
-  ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS

DESIGN: **TRENTHAM 30**
FACADE: **PLANTATION** CEILING: 25, L
GARAGE: **DOUBLE** LOCATION: F

FREEDOM | **m**
metricon

OWNER: **MR & MRS HODGES**
LOT 7, NO 45 WARRIEWOOD ROAD
WARRIEWOOD

ELEVATIONS

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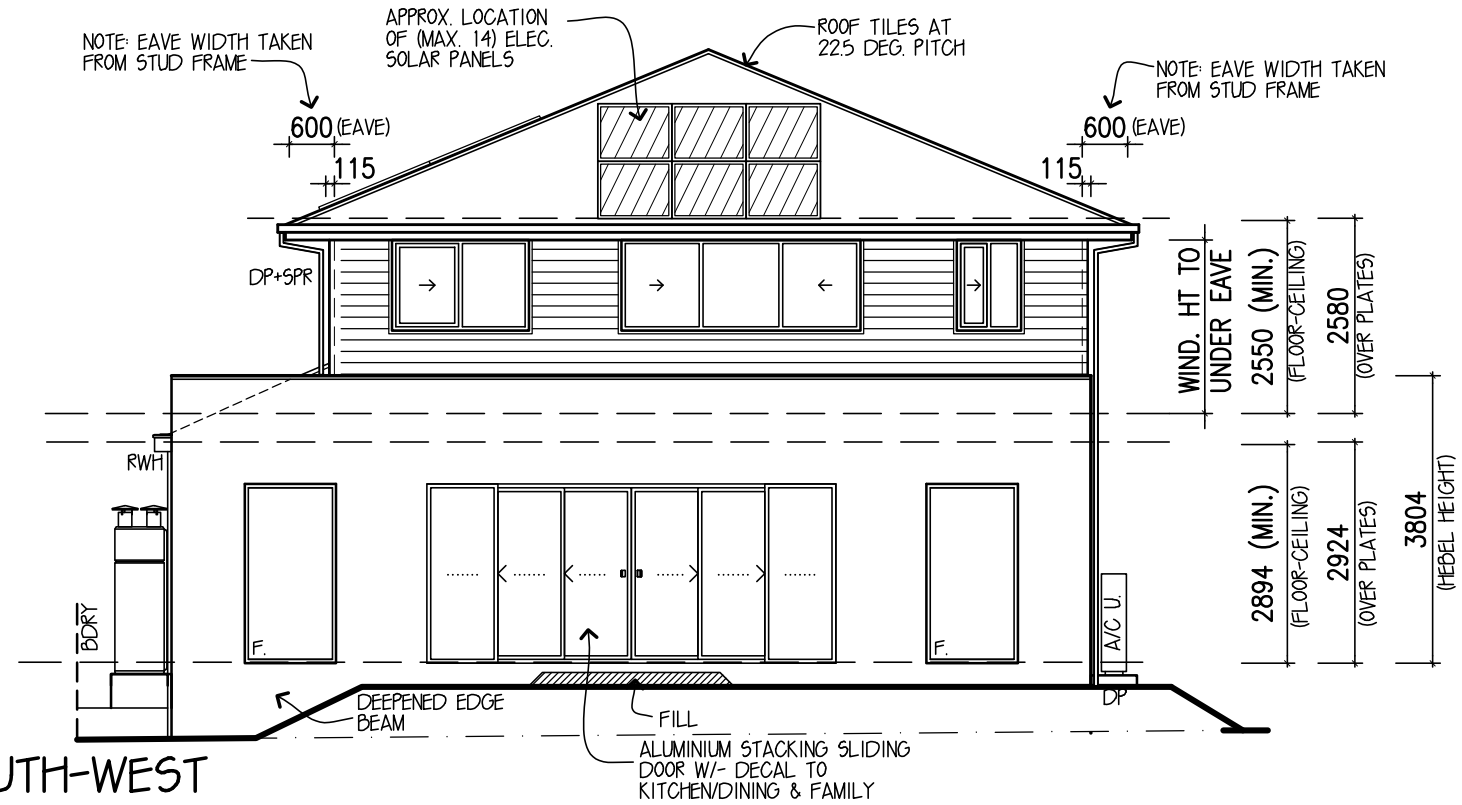
Build. E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153
P.O. Box 7510, Norwest Business Park NSW 2153
Tel: 02 8887 9000 Fax: 02 8079 5901
Contractor Licence No: 174 699 A.C.N. 005 108 752
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JOB No: **720385** DATE: **17.02.2021**
FC DATE: **DD.MM.YYYY** MST VER: **16.02.2017**
SCALE: **1:100 ON A3 SHEET** REVISION: **E**
DRAWN: **CM8** CHECK: **XX** SHEET: **4 of 11**

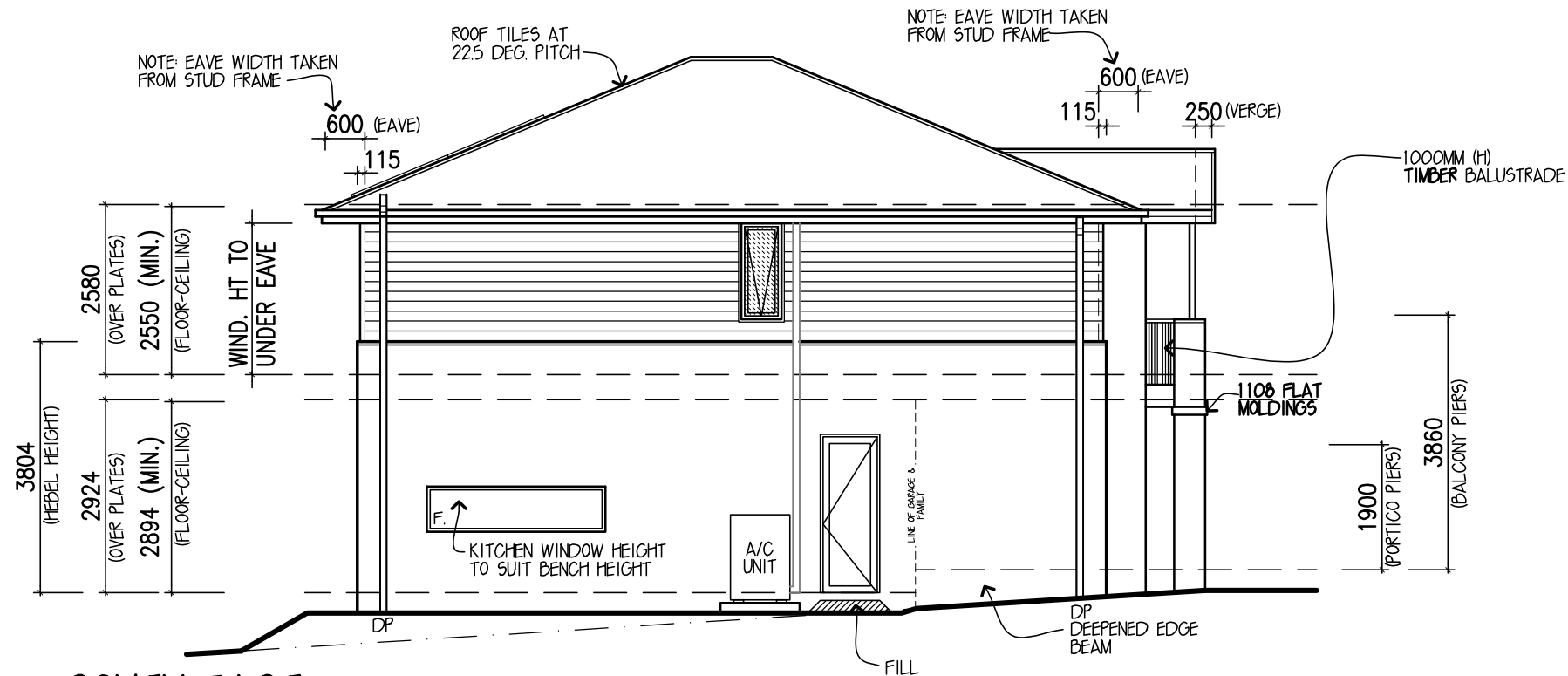
PROVIDE JAMES HARDIES SCYON LINEA WEATHERBOARD CLADDING TO FIRST FLOOR ELEVATIONS (UNLESS NOTED OTHERWISE) REFER TO DETAIL: 5-TYP-CLAD-02

PROVIDE ACRYLIC RENDER FINISH TO HEBEL PANELS TO GROUND FLOOR ELEVATIONS (UNLESS NOTED OTHERWISE)

DENOTES WINDOWS/DOORS WITH DECOR SATIN TOUGHENED GLAZING







ELEVATION C. - SOUTH-WEST



ELEVATION D. - SOUTH-EAST

SYMBOL LEGEND

-  RECESSED ELECTRICITY METER BOX
-  DOWNPIPE W/- RAINWATER HEAD
-  ROTATING ROOF VENTILATOR
-  ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS

DESIGN: **TRENTHAM 30**
 FACADE: **PLANTATION** CEILING: 25, L
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WARRIEWOOD

ELEVATIONS

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SCALE: **1:100 ON A3 SHEET** REVISION: **E**

DRAWN: **CM8** CHECK: **XX** SHEET: **5 of 11**

SITE AREA:	404.4 SQM
PROPOSED ROOF COVERAGE	
DWELLING:	161.71 SQM
TOTAL COVERAGE AREA:	161.71 SQM

PRIVATE OPEN SPACE	
PRIVATE OPEN SPACE:	80 SQM
MIN. REQUIRED BY COUNCIL:	80 SQM
MINIMUM DIMENSION OF 3M	

PRINCIPAL PRIVATE OPEN SPACE	
PRINCIPAL PRIVATE OPEN SPACE:	24 SQM
MIN. REQUIRED BY COUNCIL:	24 SQM
MINIMUM DIMENSIONS OF 4M X 4M	

LANDSCAPED AREA	
TOTAL LANDSCAPED AREA:	189.49 SQM
EXCL. ALL HARD SURFACES, MINIMUM DIMENSION OF 2M	46.85 %
MIN. REQUIRED BY COUNCIL:	45 %

FRONT YARD LANDSCAPED AREA	
TOTAL FRONT YARD AREA:	110.22 SQM
LANDSCAPED FRONT YARD AREA:	72.00 SQM
LANDSCAPED FRONT YARD AREA:	65.32 %
MIN. REQUIRED BY COUNCIL:	60 %

STORMWATER CALCULATION	
HARD LANDSCAPE AREAS: (INCL. ROOF/DRIVEWAY/PATHS ETC)	192.12 SQM
SITE COVERAGE RATIO:	47.50 %
EXISTING SITE COVERAGE:	0 SQM
MAXIMUM ALLOWABLE BY COUNCIL PRIOR TO O.S.D. BEING REQUIRED: (EXISTING SITE COVERAGE + 50 SQM)	0 %

BUILDING HEIGHT RESTRICTION	
MAXIMUM 8.5M RIDGE HEIGHT (F.F.L. MUST BE ACCURATE TO COMPLY)	

BUILDING ENVELOPE	
PROVIDE 45 DEGREE PLANE PROJECTED AT 4.5M HIGH ABOVE SIDE BOUNDARY NATURAL GROUND LEVEL.	

MAXIMUM 1000 MM CUT	
MAXIMUM 1000MM FILL	

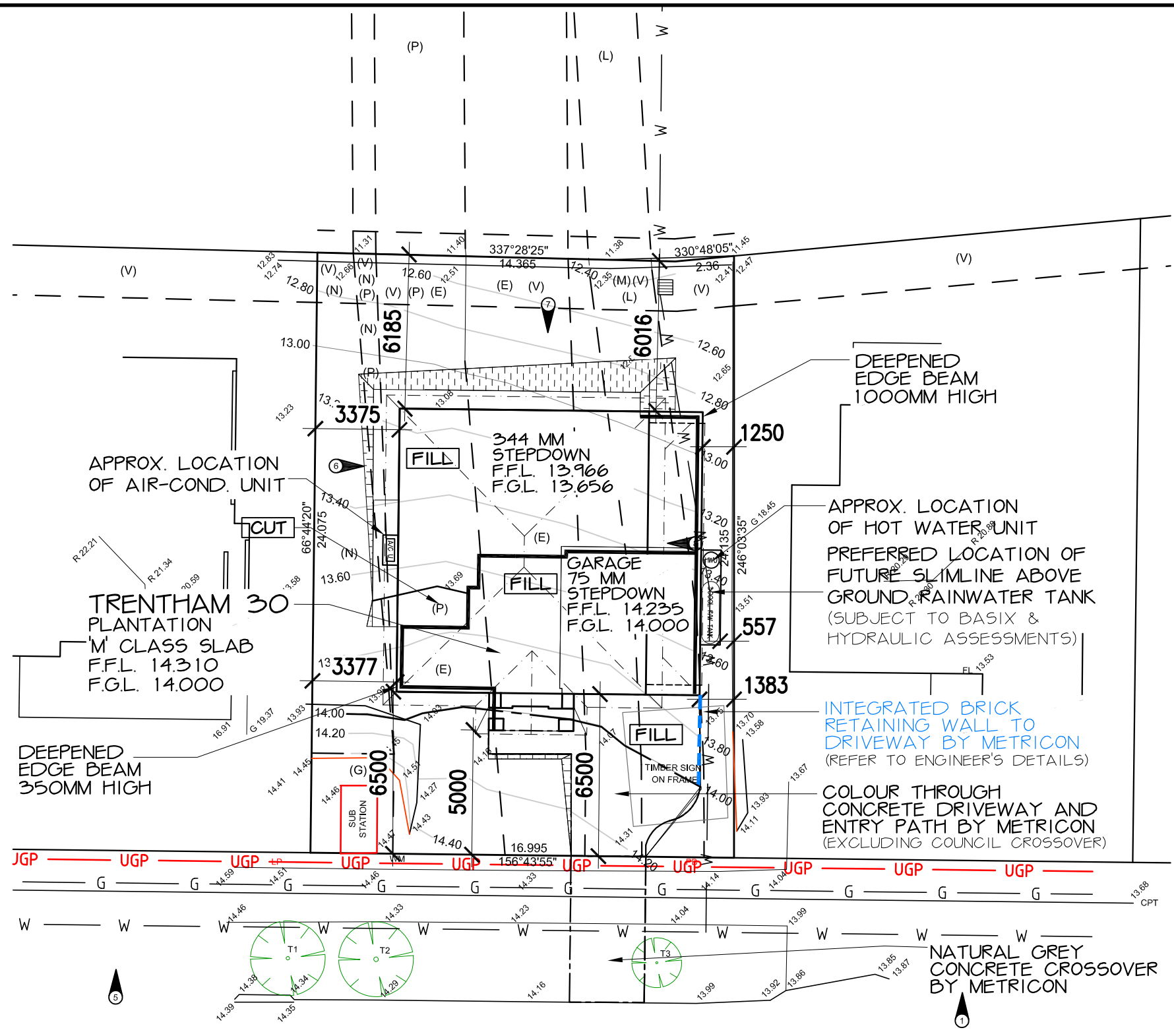
SURVEYORS NOTES

A. THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY.

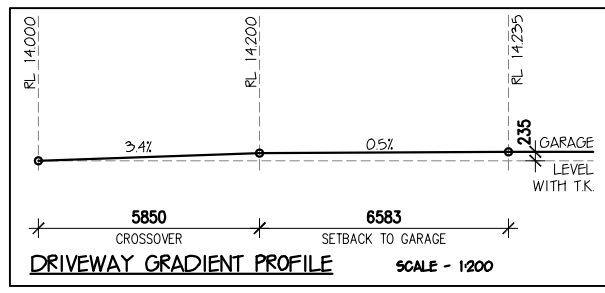
B. AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.

C. SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.

D. CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.



(E) RIGHT OF CARRIAGEWAY 7.7 WIDE (E) (DP 1206507)
(G) EASEMENT FOR ELECTRICITY PURPOSES 3.3 WIDE (G) (DP 1206507)
(L) EASEMENT FOR WATER SUPPLY PURPOSES 2.5 WIDE (L) (DP 1206507)
(M) EASEMENT FOR ACCESS & DRAINAGE PURPOSES 2.5 WIDE (M) (DP 1206507)
(N) EASEMENT FOR ELECTRICITY PURPOSES VARIABLE WIDTH (N) (DP 1206507)
(P) EASEMENT FOR ELECTRICITY & OTHER PURPOSES 4.5 WIDE (P) (DP 1206507)
(V) EASEMENT TO DRAIN WATER 2 WIDE (V) (DP 1206507)



	LOT NO:	LOT 7.
	DEPOSITED PLAN:	DP 1206507.
	COUNCIL / LGA:	NORTHERN BEACHES
	SLAB CLASS:	M
MGA	WIND SPEED:	N2

EXCAVATION NOTES:
50MM (+/-) TOLERANCE TO NOMINATED RL'S
UPPER LEVEL
EXCAVATE APPROX. 0MM ON RL. 14.000
AND FILL APPROX. 600MM WITHIN DEB
LOWER LEVEL
EXCAVATE APPROX. 200MM ON RL. 13.656
AND FILL APPROX. 756MM
EXCAVATIONS ARE TO START A MINIMUM OF 1000MM FROM THE EDGE OF THE BUILDING AND ARE TO BE BATTERED BACK TO SUIT. IT IS THE RESPONSIBILITY OF THE OWNER TO PROVIDE A GRATED DRAIN ACROSS GARAGE OPENINGS (IF REQUIRED) DUE TO CONSTRUCTION OF DRIVEWAY.

IMPORTANT NOTES:
SITE CUTS ARE SUBJECT TO COUNCIL APPROVAL & NOT TO BE USED BY ANY OTHER CONTRACTORS OTHER THAN METRICON HOMES PTY LTD

STORMWATER TO DRAIN TO EASEMENT VIA ON-SITE DETENTION AND RAINWATER TANK(S)
REFER TO HYDRAULIC ENGINEER'S DETAILS

TEMPORARY SITE FENCING:
METRICON TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (AS REQUIRED)

ALL WEATHER ACCESS:
METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION

SURVEY LEGEND

— S —	— W —	— T —
UGROUND SEWER MAINS	UGROUND WATER MAINS	UGROUND TELECOM LINE
— G —	— OHP —	— UGP —
UGROUND GAS MAINS	O'HEAD POWER SUPPLY	UGROUND POWER SUPPLY

TOP OF KERB	EDGE OF BITUMEN
<ul style="list-style-type: none"> PP POWER POLE PB POWER BOX SP SERVICE POLE LP LIGHT POLE HYD HYDRANT WM WATER METER 	<ul style="list-style-type: none"> SV STOP VALVE SMH SEWER MAINTENANCE HOLE SIO SEWER INSPECTION OPENING CPT TELECOMMUNICATIONS PIT GM GAS MARKER KI KERB INLET STP STORMWATER PIT

INTRAX SURVEY DATE: 19.01.2021
CONTOUR INTERVALS: 200MM
LEVELS TO AHD
SITE PLAN

metricon
Build E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153
P.O. Box 7510, Norwest Business Park NSW 2153
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MR & MRS HODGES
LOT 7, NO 45 WARRIEWOOD ROAD
WARRIEWOOD

JOB No:	720385
DATE:	17.02.2021
DRAWN:	CMB
SCALE:	1:200
SHEET:	1 OF 11
UBD REF:	SYD XX XX